



Planning & Building Department  
6280 W 800N  
McCordsville, IN 46055  
Phone: 317.335.3604  
Email: [building@mccordsville.org](mailto:building@mccordsville.org)

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### **PUBLIC HEARING INFORMATION**

Case #: PC-22-012

Title: Hartman Capital's request for annexation of +/- 68 acres, located at 6579 W CR 650N, into the Town of McCordsville.

Meeting Date: this petition is currently scheduled to be heard at the August 9th Town Council meeting

\*Meeting agenda and staff report will be available on the website by end of business day on the Friday preceding the applicable meeting. Go to [www.mccordsville.org](http://www.mccordsville.org) and click on "Agendas & Minutes".

**McCCORDSVILLE PLAN COMMISSION**  
**APPLICATION for VOLUNTARY ANNEXATION**  
IC 36-4-3-5, AS AMENDED

**Applicant Information**

Name: Hartman Capital, LLC

Current Address: 505 S Fifth Street  
(Number) (Street)  
Champaign IL 61820  
(City) (State) (Zip)

Phone No.: 217-359-5835 E-mail Address: kunkel@jsmliving.com

**Property Owner Information** (the "owner" does not include tenants or contract buyers)

Name: Platinum Honor Revocable Trust, Nancy Daw, Trustee

Current Address: 4110 Rittencamp Ct  
(Number) (Street)  
Indianapolis IN 46250  
(City) (State) (Zip)

Phone No.: 317-913-9110 E-mail Address: busybodies2003@yahoo.com

**Notification Information** (list the person to whom all correspondence regarding this application should be directed)

Name: Scott Kunkel, Hartman Capital LLC

Current Address: 505 S Fifth Street  
(Number) (Street)  
Champaign IL 61820  
(City) (State) (Zip)

Phone No.: 217-359-5835 E-mail Address: kunkel@jsmliving.com

**Property Information**

Property Address: 6579 W 650 N, Vernon Township, Hancock County, IN  
(Number) (Street)

**Administrative Officer Use Only:**

Date Application Filed: \_\_\_\_\_

**OR** General Location (if no address has been assigned, please provide a street corner, subdivision lot number, or attach a legal description)

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Property Size: 68.4+/- \_\_\_\_\_ acres **OR** \_\_\_\_\_ square feet

Current Land Use: Agricultural

Intended Future Land Use: Residential

Current Zoning: R-2 (Hancock County)

Intended Future Zoning: Planned Development

**Annexation Reasons**

Explain the reason(s) why the applicant has proposed this annexation:

Provide orderly growth for the east side of McCordsville, avoid "island" exceptions to municipal boundaries, and assure orderly and logical access to city services.

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A legal description is attached (a legal description is required for the processing of all annexation requests – the legal description must include all adjacent rights-of-way that have not previously been annexed).

**Applicant's Signature**

The information included in and with this application is completely true and correct to the best of my knowledge and



July 11, 2022

\_\_\_\_\_  
(Applicant's Signature)

\_\_\_\_\_  
(Date)

**Owner's Signature** (the "owner" does not include tenants or contract buyers, use additional sheets if necessary)

I authorize the filing of this application and will allow Town staff to enter this property for the purpose of processing this request. Further, I will allow a public notice sign to be placed and remain on the property until the processing of the request is complete.

\_\_\_\_\_  
(Owner's Signature)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Owner's Signature)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Owner's Signature)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Owner's Signature)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Owner's Signature)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Owner's Signature)

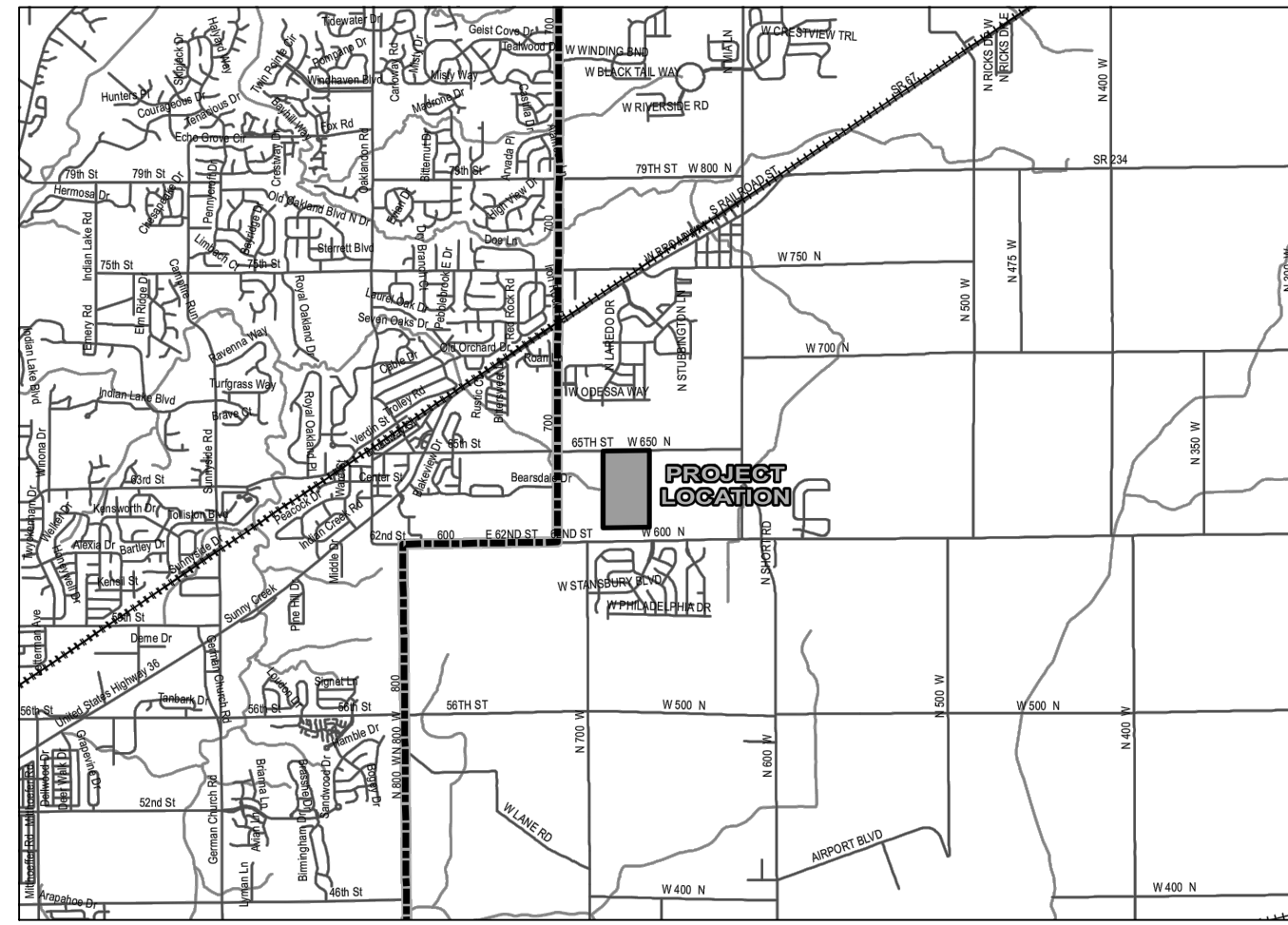
\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Owner's Signature)

\_\_\_\_\_  
(Date)

# MERIDIAN HOMES AT SYCAMORE DRIVE PRELIMINARY PLAT

Hartman Capital LLC  
Vernon Township, Sec. 35, T5N, R5E



LOCATION MAP  
SCALE 1" = 1 MILE

**DEVELOPER:**  
HARTMAN CAPITAL LLC  
SCOTT KUNKEL  
505 S. FIFTH STREET  
CHAMPAIGN, ILLINOIS 61820  
kunkel@jmliving.com

**CIVIL ENGINEER and SURVEYOR:**  
HWC ENGINEERING  
135 N. PENNSYLVANIA ST., SUITE 2800  
INDIANAPOLIS, IN 46204  
(317) 347-3663  
mmapple@hwcengineering.com

## SURVEYED LAND DESCRIPTION

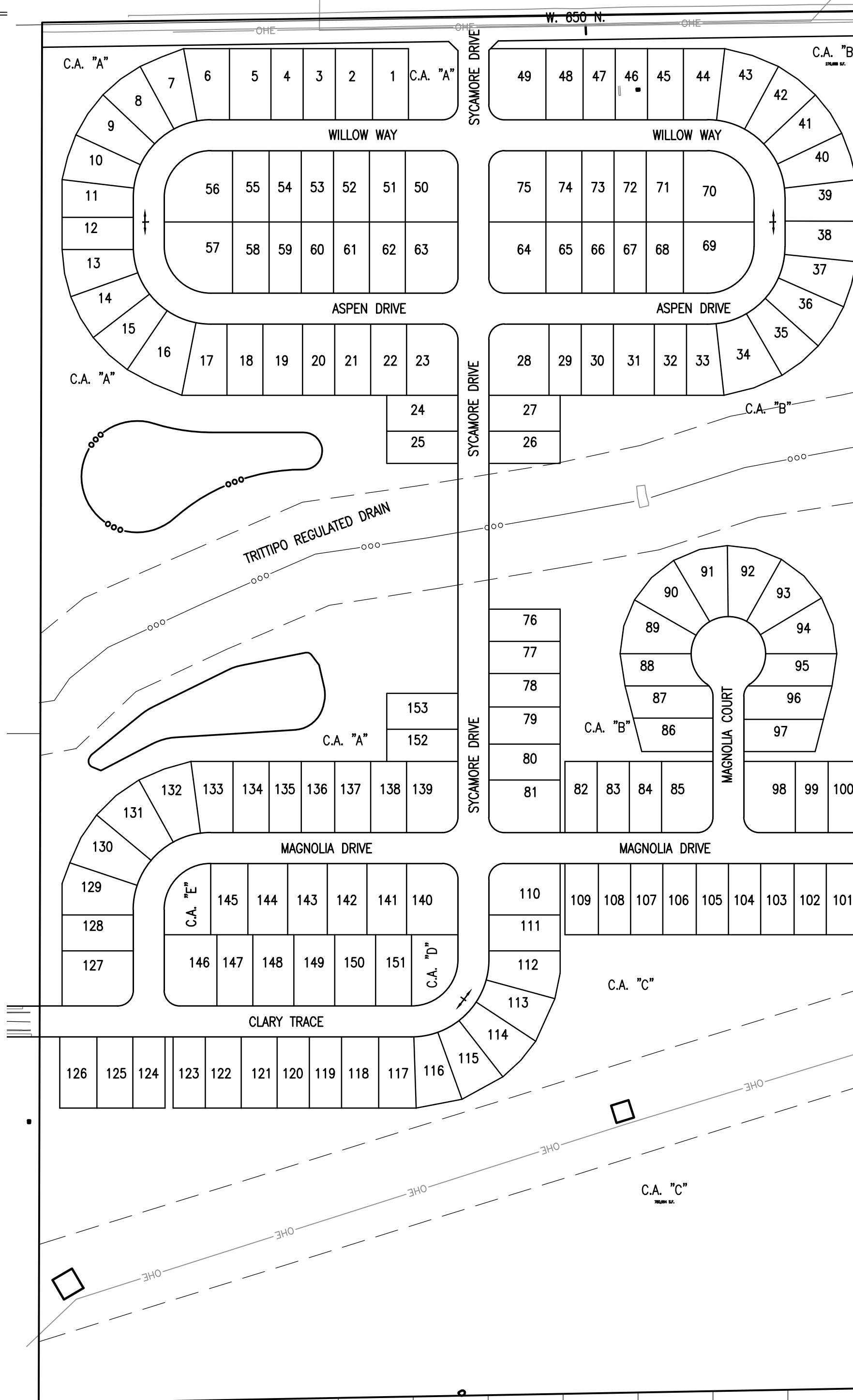
The East Half of the Southwest Quarter of Section 35, Township 17 North, Range 5 East of the Second Principal Meridian in Hancock County, Indiana and excepting twelve acres of uniform width off the entire south side thereof being a 68.33 acre tract of land shown on the plat of a boundary retracement survey of said tract certified by Steven W. Reeves PLS #20400005 on May 17, 2022 as HWC Engineering project number 2022-016-S (all references to monuments and courses herein are as shown on said plat of survey) being more particularly described as follows:

COMMENCING at a Harrison monument at the Northwest corner of the Southwest Quarter of said Section 35; thence North 89 degrees 11 minutes 26 seconds East (basis of bearing - Indiana State Plane Coordinate System - East Zone) along the North line of said Quarter a distance of 1,334.83 feet to the northwest corner of the East Half of said Southwest Quarter, being also the northeast corner of the Sagebrook Subdivision Section 4, as per plat thereof recorded as Instrument No. 202002605 in the Office of the Recorder of said County, and the POINT OF BEGINNING; thence continuing North 89 degrees 11 minutes 26 seconds East along the North line of said Half-Quarter a distance of 1,334.83 feet to the northeast corner of said Quarter; thence South 00 degrees 04 minutes 08 seconds West along the East line of said Quarter a distance of 2,225.12 feet to the northeast corner of Country View Estates, as per plat thereof recorded in Plat Cabinet B, Slide 236 as Instrument No. 9410049; thence South 88 degrees 58 minutes 00 seconds West along the north line thereof a distance of 1,337.60 feet to the West line of the East Half of said Southwest Quarter and a point on the east line of the Sagebrook Subdivision Section 1, as per plat thereof recorded as Instrument No. 201704283; thence North 00 degrees 08 minutes 16 seconds East along the West line of said East Half a distance of 2,230.39 feet to the Point of Beginning.

Containing 68.33 acres, more or less.

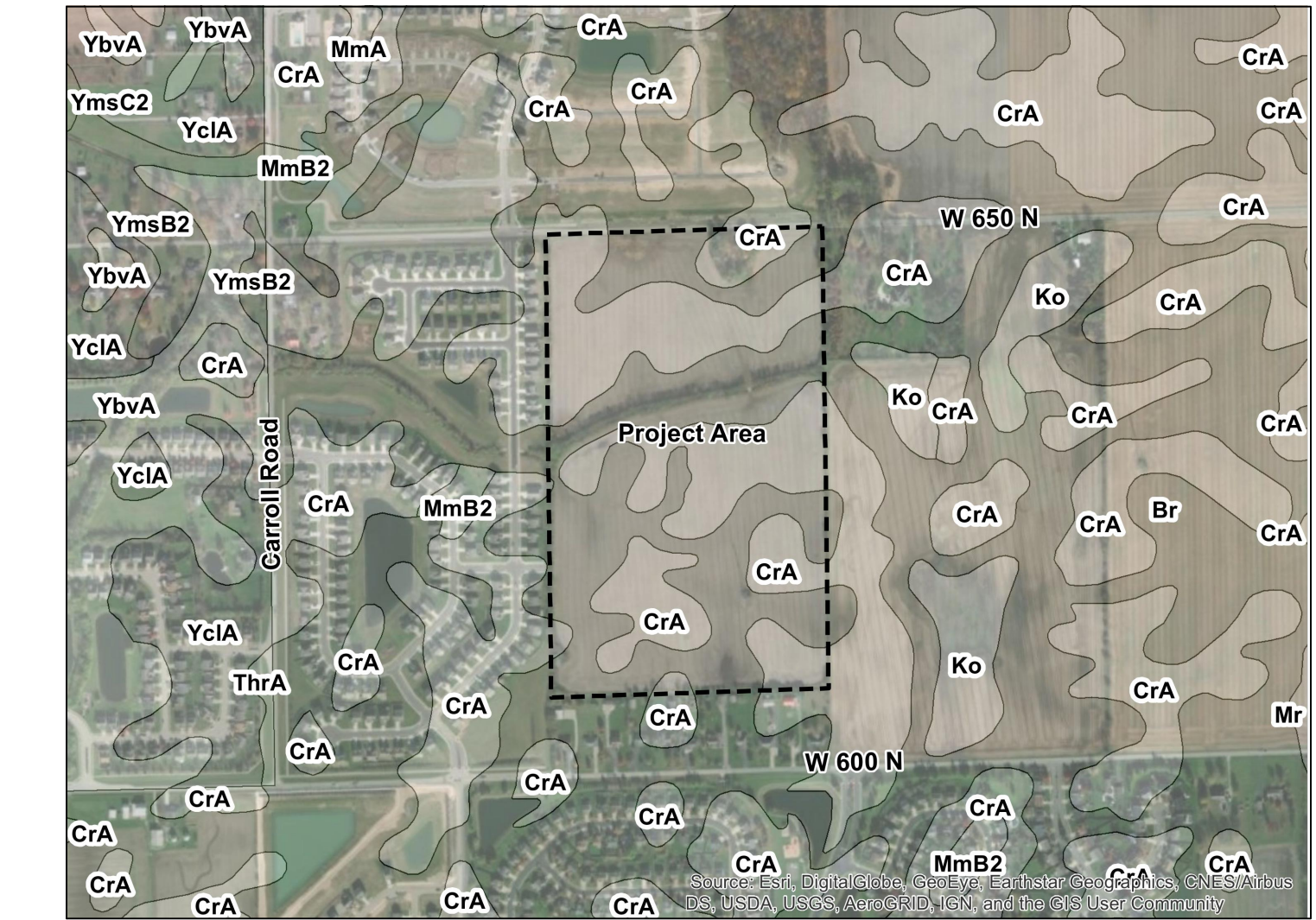
## FLOOD HAZARD STATEMENT:

THE ACCURACY OF THE FLOOD HAZARD INFORMATION SHOWN OR IDENTIFIED HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE WITHIN DESCRIBED TRACT OF LAND DOES NOT LIE WITHIN A FLOOD ZONE. REFER TO FEMA MAPS #18059C0018D EFFECTIVE DATE DECEMBER 4, 2007 & 18059C0106E EFFECTIVE DATE MARCH 17, 2014.



PROPERTY ADDRESS  
6579 W 650 N  
McCORDSVILLE, IN 46055

SITE MAP  
SCALE: 1" = 150'



SOILS MAP  
NOT TO SCALE

SOILS LEGEND  
CrA BROOKSTON SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES  
Crosby SILT LOAM, NEW CASTLE TILL PLAIN, 0 TO 2 PERCENT SLOPES

## SHEET LIST TABLE

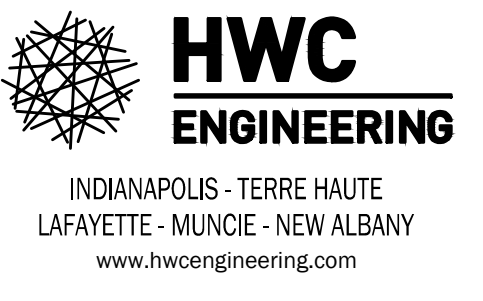
Sheet Title	Sheet Description
C1.0	COVER
C1.1	OVERALL EXISTING CONDITIONS PLAN
C1.2	OVERALL SITE AND DRAINAGE PLAN
C2.0-C2.2	PRIMARY PLAT PLAN
C3.0	OVERALL PRELIMINARY EROSION CONTROL PLAN

ACREAGE =	68.33
LOTS =	162
ZONING =	R2.5

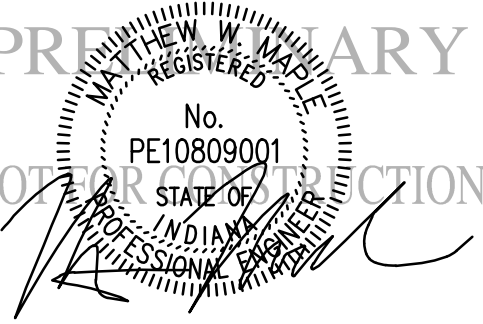
### CONTACT INFORMATION:

<b>GAS</b> VECTREN - GREENFIELD 2520 LINCOLN DRIVE CLARKSVILLE, INDIANA 47129 (317) 323-2082 MARY BARBER	<b>MINSTAR CONNECT (Cable)</b> 2331 EAST 600N GREENFIELD, IN 46140 (317) 323-2714 BRADLEY HENDERSON	<b>ROAD</b> HANCOCK COUNTY HIGHWAY DEPARTMENT 921 W. OSAGE ST. GREENFIELD, IN 46140 (260) 477-1130 RANDY MOORE / GARY POOLE
<b>MINSTAR CONNECT (Electric &amp; Telecom)</b> 2331 EAST 600N GREENFIELD, IN 46140 (317) 323-2714 BRADLEY HENDERSON	<b>CITIZENS ENERGY GROUP (WATER)</b> 2150 DR. MARTIN LUTHER KING JR. STREET INDIANAPOLIS, INDIANA 46202 (317) 264-7715	<b>DRAINAGE</b> HANCOCK COUNTY SURVEYOR HANCOCK COUNTY ANNEX 111 S. AMERICAN LEGION PLACE, SUITE 171 GREENFIELD, IN 46140 (317) 477-1150 SUSAN BOOKIN
<b>SANITARY</b> WESTERN HANCOCK UTILITIES C/O AQUA INDIANA, INC. 5750 CASTLE CREEK PARKWAY N. DR., ST. 314 INDIANAPOLIS, IN 46250 (317) 577-1390 KERAN TANSY / JIM SHIELDS	<b>TRANSMISSION LINE</b> IPL TRANSMISSION DESIGN GROUP AND MAINTENANCE GROUP 1230 W. MORRIS ST. INDIANAPOLIS, IN 46221 (317) 261-8686 DANA SMITH	<b>FIRE DEPARTMENT</b> VERNON TOWNSHIP FIRE STATION 600 VITALITY DRIVE FORTVILLE, IN 46040 (317) 649-6012 JOSH EARLY
<b>POlice</b> HANCOCK COUNTY SHERIFF'S DEPT. 123 EAST MAIN STREET GREENFIELD, IN 46140 (317) 477-1147	<b>SCHOOL DISTRICT</b> MT. VERNON COMMUNITY SCHOOL CORP. 1806 WEST STATE ROAD 234 FORTVILLE, IN 46040 (317) 485-3100	<b>PLAN COMMISSION</b> HANCOCK COUNTY ANNEX 111 S. AMERICAN LEGION PLACE, SUITE 146 GREENFIELD, IN 46140 (317) 477-1134 MICHAEL DALE, ACP

REVISIONS		
DATE	DESCRIPTION	BY



**MERIDIAN HOMES AT SYCAMORE DRIVE PRELIMINARY PLAT**  
**HANCOCK COUNTY, INDIANA**  
**COVER**



DRAWN BY TD/MM	JOB NUMBER 2022-016-A
CHECKED BY MM	
DATE MAY 27, 2022	<h1>C1.0</h1> COVER
SCALE AS SHOWN	
SHEET	

Plot Date: Jun 24, 2022 Plot Time: 9:04am File Name: W:\Hartman Capital LLC\2022-016-A - Hartman Primary Plat\Design\CAD\20216-A-Cover\_Sheet.dwg Layout: C1.0 By: tabvis

**ABBREVIATIONS:**

BC	- BACK OF CURB	B.S.L.	- BUILDING SETBACK LINE
CL	- CENTERLINE	S.F.	- SQUARE FEET
FL	- FLOW LINE	R/W	- PUBLIC RIGHT-OF-WAY
NP	- NORMAL POOL (ELEVATION)		
PVC	- POLYVINYL CHLORIDE PIPE		
RCP	- REINFORCED CONCRETE PIPE		
C.A.	- COMMON AREA		
D.E.	- DRAINAGE EASEMENT		
S.S.D.&U.E.	- SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT		
D.&U.E.	- DRAINAGE AND UTILITY EASEMENT		
P.S.E.	- PERMANENT STORMWATER EASEMENT		
P.A.E.	- PEDESTRIAN ACCESS EASEMENT		
T.P.E.	- TREE PRESERVATION EASEMENT		
ESMT.	- EASEMENT		
25	- LOT NUMBER		

**LEGEND:**

EXISTING	RIGHT-OF-WAY LINE	EXISTING	TREE LINE
---	EASEMENT LINE	---	SANITARY MANHOLE
---	SETBACK LINE	---	STORM MANHOLE
---	CENTERLINE	---	STORM INLET
---	SWALE / FLOWLINE	---	STORM END SECTION
---	SUBSURFACE DRAIN	---	FIRE HYDRANT
---	SANITARY SEWER	---	FLOW ARROW
---	STORM SEWER		
---	STORM CULVERT		
---	WATER MAIN		
---	CONTOUR, MAJOR		
---	CONTOUR, MINOR		
---	FENCE		

KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.  
Call 811 or 800-382-5544 Before you Dig!  
GRAPHIC SCALE  
0' 100' 200' 300'  
(IN FEET)

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

THIS INSTRUMENT PREPARED BY:  
MICHAEL G. JUDT  
HWC ENGINEERING  
135 N. PENNSYLVANIA ST., SUITE 2800  
INDIANAPOLIS, INDIANA 46204  
PHONE: (317) 347-3663  
PROFESSIONAL SURVEYOR #21500017

**REVISIONS**

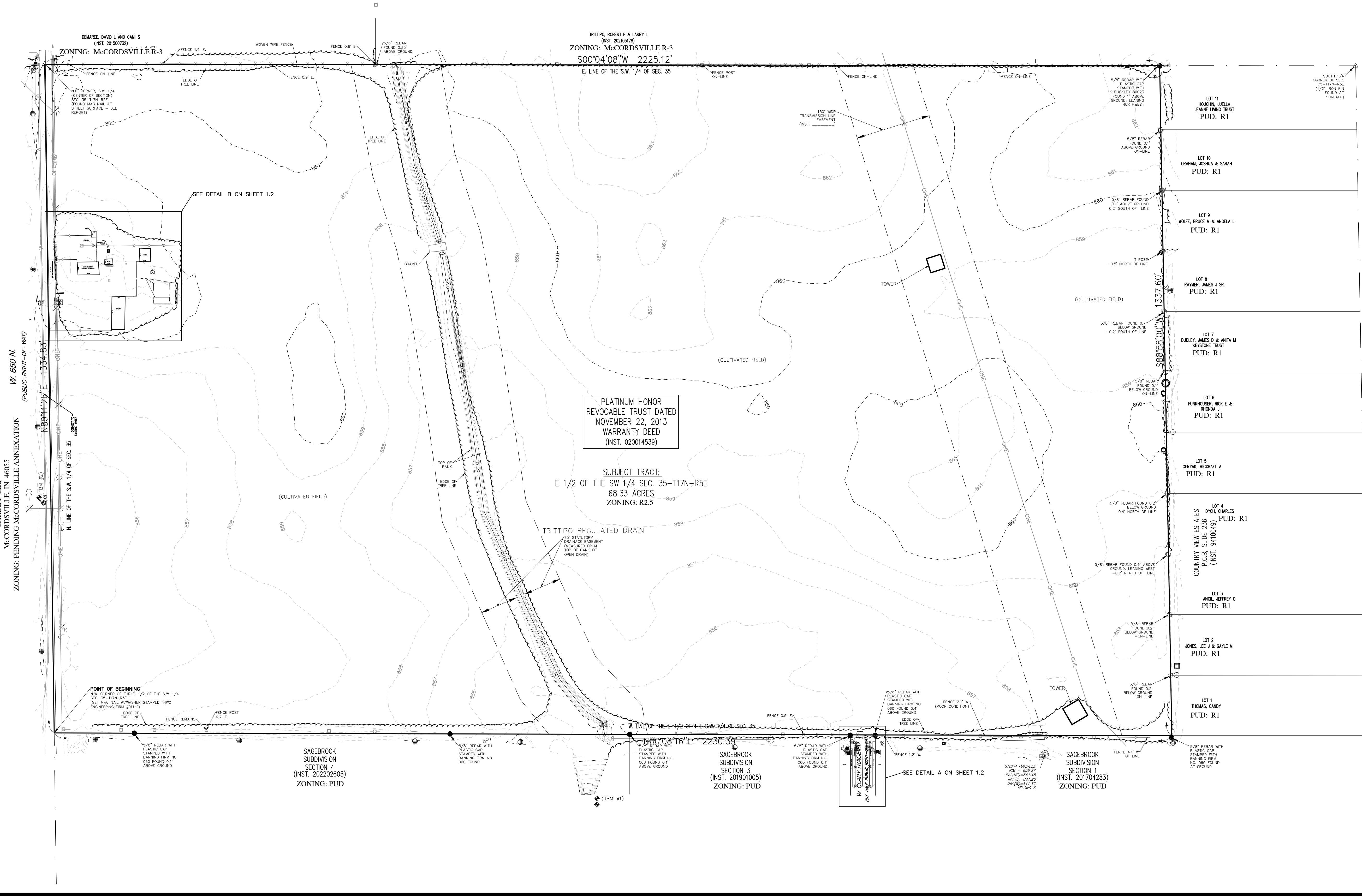
DATE	DESCRIPTION	BY

**HWC ENGINEERING**  
INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwceengineering.com

**MERIDIAN HOMES AT SYCAMORE DRIVE PRELIMINARY PLAT  
HANCOCK COUNTY, INDIANA  
OVERALL EXISTING CONDITIONS PLAN**

PRELIMINARY  
No. PE10809001  
NOT FOR CONSTRUCTION  
STATE OF INDIANA  
Professional Engineer Seal

DRAWN BY TD/MM  
CHECKED BY MM  
DATE MAY 27, 2022  
SCALE AS SHOWN  
SHEET  
JOB NUMBER 2022-016-A  
**C1.1**  
OVERALL EXISTING CONDITIONS PLAN



File Name: W:\Hortman Capital LLC\2022-016-A - Hortman Primary Plat\Design\CAD\22016-A-Overall Existing Conditions Plan.dwg, Layout: C1.1  
Plot Time: 11:17pm  
Plot Date: Jun 23, 2022

Plot Date: Jun 23, 2022 Plot Time: 11:18am File Name: W:\Hartman Capital LLC\2022-016-A - Hartman Primary Plat\Design\CAD\20216-A-Overall Site Plan.dwg Layout: C1.2 By: Idavis

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

**ABBREVIATIONS:**

- |             |   |        |                         |
|-------------|---|--------|-------------------------|
| BC          | - BACK OF CURB                                  | B.S.L. | - BUILDING SETBACK LINE |
| CL          | - CENTERLINE                                    | S.F.   | - SQUARE FEET           |
| FL          | - FLOW LINE                                     | R/W    | - PUBLIC RIGHT-OF-WAY   |
| NP          | - NORMAL POOL (ELEVATION)                       |        |                         |
| PVC         | - POLYVINYL CHLORIDE PIPE                       |        |                         |
| RCP         | - REINFORCED CONCRETE PIPE                      |        |                         |
| C.A.        | - COMMON AREA                                   |        |                         |
| D.E.        | - DRAINAGE EASEMENT                             |        |                         |
| S.S.D.&U.E. | - SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT |        |                         |
| D.&U.E.     | - DRAINAGE AND UTILITY EASEMENT                 |        |                         |
| P.S.E.      | - PERMANENT STORMWATER EASEMENT                 |        |                         |
| P.A.E.      | - PEDESTRIAN ACCESS EASEMENT                    |        |                         |
| T.P.E.      | - TREE PRESERVATION EASEMENT                    |        |                         |
| ESMT.       | - EASEMENT                                      |        |                         |
| 25          | - LOT NUMBER                                    |        |                         |

**LEGEND:**

- |  |                   |  |                  |  |                   |  |                  |
|--|-------------------|--|------------------|--|-------------------|--|------------------|
|  | EXISTING          |  | PROPOSED         |  | EXISTING          |  | PROPOSED         |
|  | RIGHT-OF-WAY LINE |  | EASEMENT LINE    |  | TREE LINE         |  | SANITARY MANHOLE |
|  | SETBACK LINE      |  | CENTERLINE       |  | STORM MANHOLE     |  | STORM INLET      |
|  | SWALE / FLOWLINE  |  | SUBSURFACE DRAIN |  | STORM END SECTION |  | FIRE HYDRANT     |
|  | SANITARY SEWER    |  | STORM SEWER      |  | FLOW ARROW        |  | STREET LIGHT     |
|  | STORM CULVERT     |  | WATER MAIN       |  |                   |  |                  |
|  | CONTOUR, MAJOR    |  | CONTOUR, MINOR   |  |                   |  |                  |
|  | FENCE             |  |                  |  |                   |  |                  |

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0' 100' 200' 300'  
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REVISIONS		
DATE	DESCRIPTION	BY

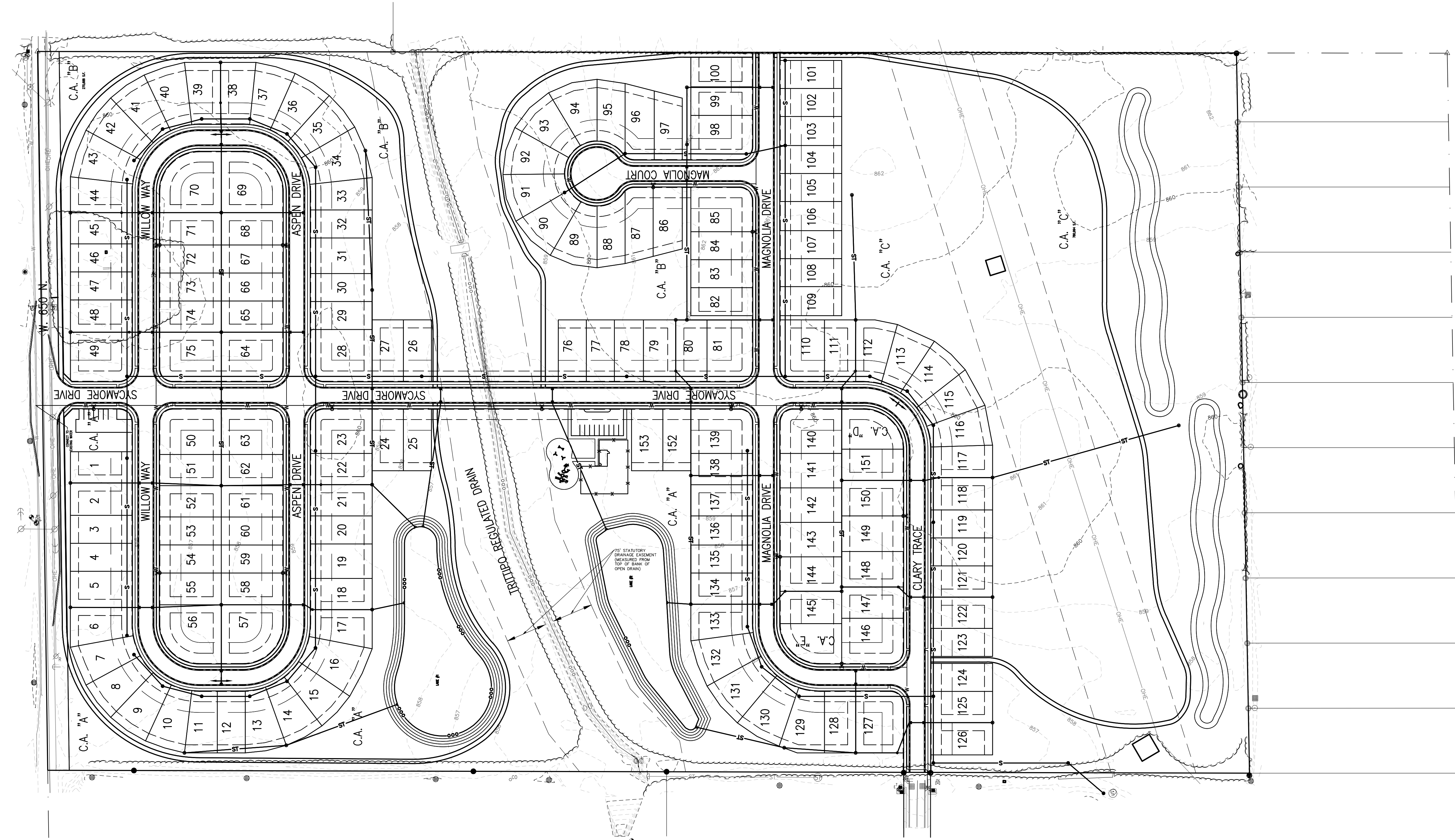
**HWC**  
ENGINEERING  
INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwceengineering.com

**MERIDIAN HOMES AT SYCAMORE DRIVE PRELIMINARY PLAT  
HANCOCK COUNTY, INDIANA  
OVERALL SITE AND DRAINAGE PLAN**

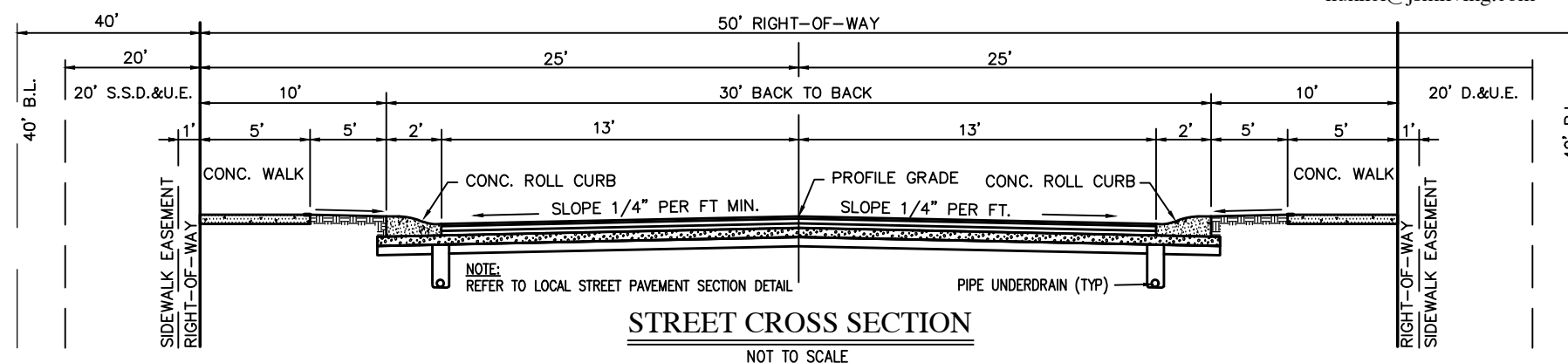
PRELIMINARY  
No. PE10809001  
NOTAR PUBLIC  
STATE OF INDIANA  
JULIA A. [Signature]

DRAWN BY TD/MM	JOB NUMBER 2022-016-A
CHECKED BY MM	
DATE MAY 27, 2022	
SCALE AS SHOWN	
SHEET	

**C1.2**  
OVERALL SITE AND DRAINAGE PLAN



SEE SHEET C2.1 & C2.2 FOR ASPHALT PATH/TRAIL PAVEMENT SECTION.



**DEVELOPER:**  
HARTMAN CAPITAL LLC  
SCOTT KUNKEL  
505 S. FIFTH STREET  
CHAMPAIGN, ILLINOIS 61820  
kunkel@jmslinc.com

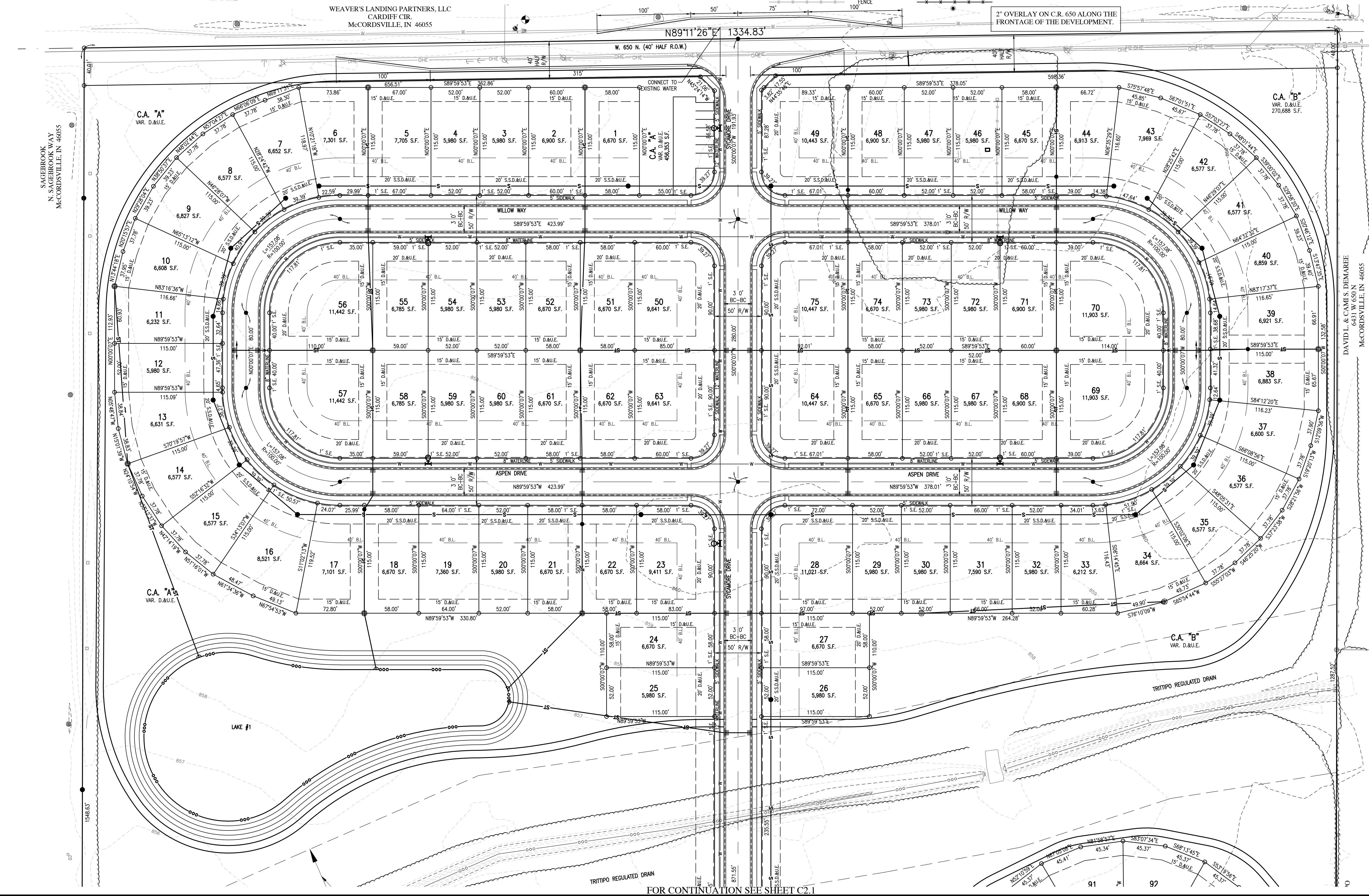
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  - PROPOSED: RIGHT-OF-WAY LINE, EASEMENT LINE, SETBACK LINE, CENTERLINE, SWALE / FLOWLINE, SUBSURFACE DRAIN, SANITARY SEWER, STORM SEWER, STORM CULVERT, WATER MAIN, CONTOUR, MINOR FENCE
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**R/W - PUBLIC RIGHT-OF-WAY**
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

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REVISIONS		
DATE	DESCRIPTION	BY

HWC ENGINEERING  
INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwceengineering.com

Plot Date: Jun 23, 2022 Plot Time: 11:19pm File Name: W:\Hartman Capital LLC\2022-016-A - Hartman Primary Plat\Design\CAD\20216-A-Primary Plat\_Plan.dwg Layout: C2.0 By: Idavis



**MERIDIAN HOMES AT SYCAMORE DRIVE PRELIMINARY PLAT**  
**HANCOCK COUNTY, INDIANA**  
**PRIMARY PLAT PLAN**

PRELIMINARY  
No. PE10809001  
NOTAR STATE OF INDIANA  
JULIE A. HARTMAN  
PLAT BOOK 10809001 PAGE 1

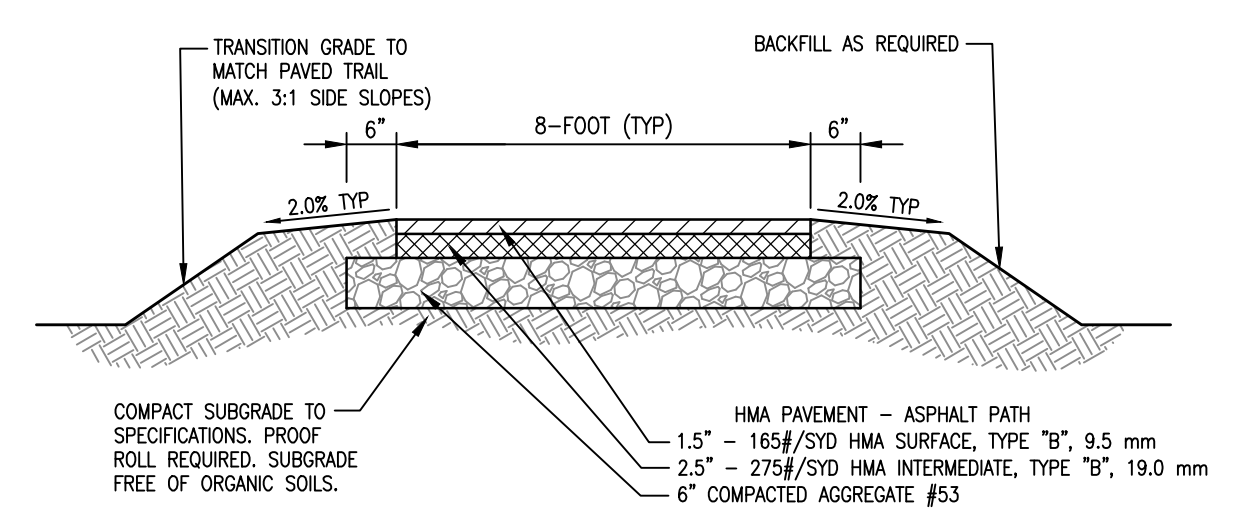
DRAWN BY TD/MM	JOB NUMBER 2022-016-A
CHECKED BY MM	
DATE MAY 27, 2022	
SCALE AS SHOWN	
SHEET	

**C2.0**  
PRIMARY PLAT PLAN

FOR CONTINUATION SEE SHEET C2.1



Plot Date: Jun 23, 2022 Plot Time: 11:19pm File Name: W:\Hartman Capital LLC\2022-016-A - Hartman Primary Plat\Design\CAD\20216-A-Primary Plat\_Plan.dwg Layout: C2.1 By: tdavis



- DEVELOPER:**  
HARTMAN CAPITAL LLC  
SCOTT KUNKEL  
505 S. FIFTH STREET  
CHAMPAIGN, ILLINOIS 61820  
kunkel@jmslinc.com
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  - P.S.E. - PERMANENT STORMWATER EASEMENT
  - P.A.E. - PEDESTRIAN ACCESS EASEMENT
  - T.P.E. - TREE PRESERVATION EASEMENT
  - ESMT. - EASEMENT
  - 25 - LOT NUMBER
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  - EXISTING: TREE LINE, SANITARY MANHOLE, STORM MANHOLE, STORM INLET, STORM END SECTION, FIRE HYDRANT, FLOW ARROW, STREET LIGHT
  - PROPOSED: TREE LINE, SANITARY MANHOLE, STORM MANHOLE, STORM INLET, STORM END SECTION, FIRE HYDRANT, FLOW ARROW, STREET LIGHT
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

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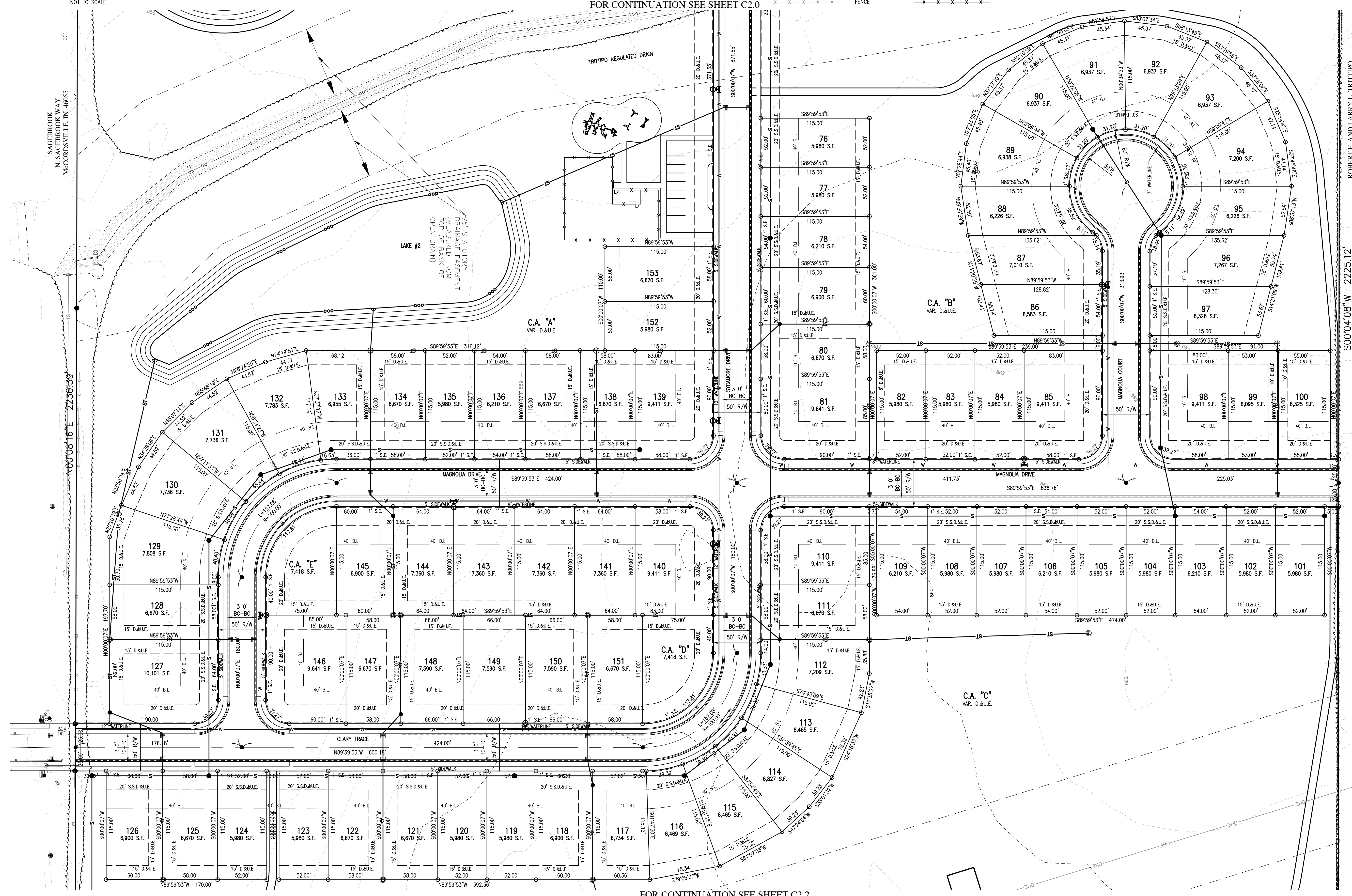
**HWC ENGINEERING**  
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**MERIDIAN HOMES AT SYCAMORE DRIVE PRELIMINARY PLAT**  
**HANCOCK COUNTY, INDIANA**  
**PRIMARY PLAT PLAN**

PRELIMINARY  
No. PE10809001  
NOTARIAL STATE OF INDIANA  
JULY 15, 2022

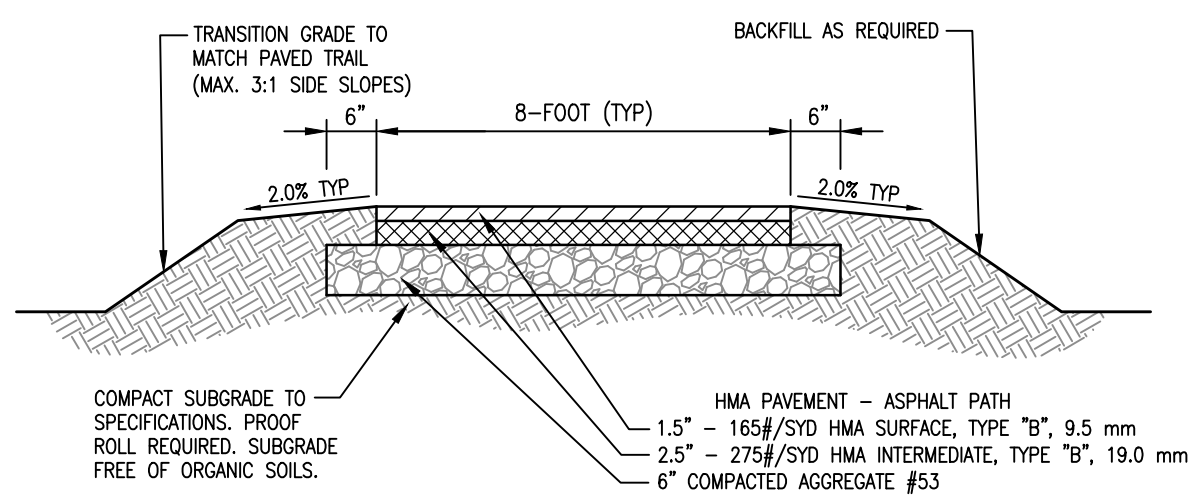
DRAWN BY: TD/MM  
CHECKED BY: MM  
DATE: MAY 27, 2022  
SCALE: AS SHOWN  
SHEET

**C2.1**  
PRIMARY PLAT PLAN



FOR CONTINUATION SEE SHEET C2.0

FOR CONTINUATION SEE SHEET C2.2



ASPHALT PATH/TRAIL PAVEMENT SECTION  
NOT TO SCALE

**DEVELOPER:**  
HARTMAN CAPITAL LLC  
SCOTT KUNKEL  
505 S. FIFTH STREET  
CHAMPAIGN, ILLINOIS 61820  
kunkel@jmliving.com

**ABBREVIATIONS:**

- BC - BACK OF CURB
- CL - CENTERLINE
- FL - FLOW LINE
- NP - NORMAL POOL (ELEVATION)
- PVC - POLYVINYL CHLORIDE PIPE
- RCP - REINFORCED CONCRETE PIPE
- C.A. - COMMON AREA
- D.E. - DRAINAGE EASEMENT
- S.S.D.&U.E. - SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
- D.&U.E. - DRAINAGE AND UTILITY EASEMENT
- P.S.E. - PERMANENT STORMWATER EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- T.P.E. - TREE PRESERVATION EASEMENT
- ESMT. - EASEMENT
- 25 - LOT NUMBER

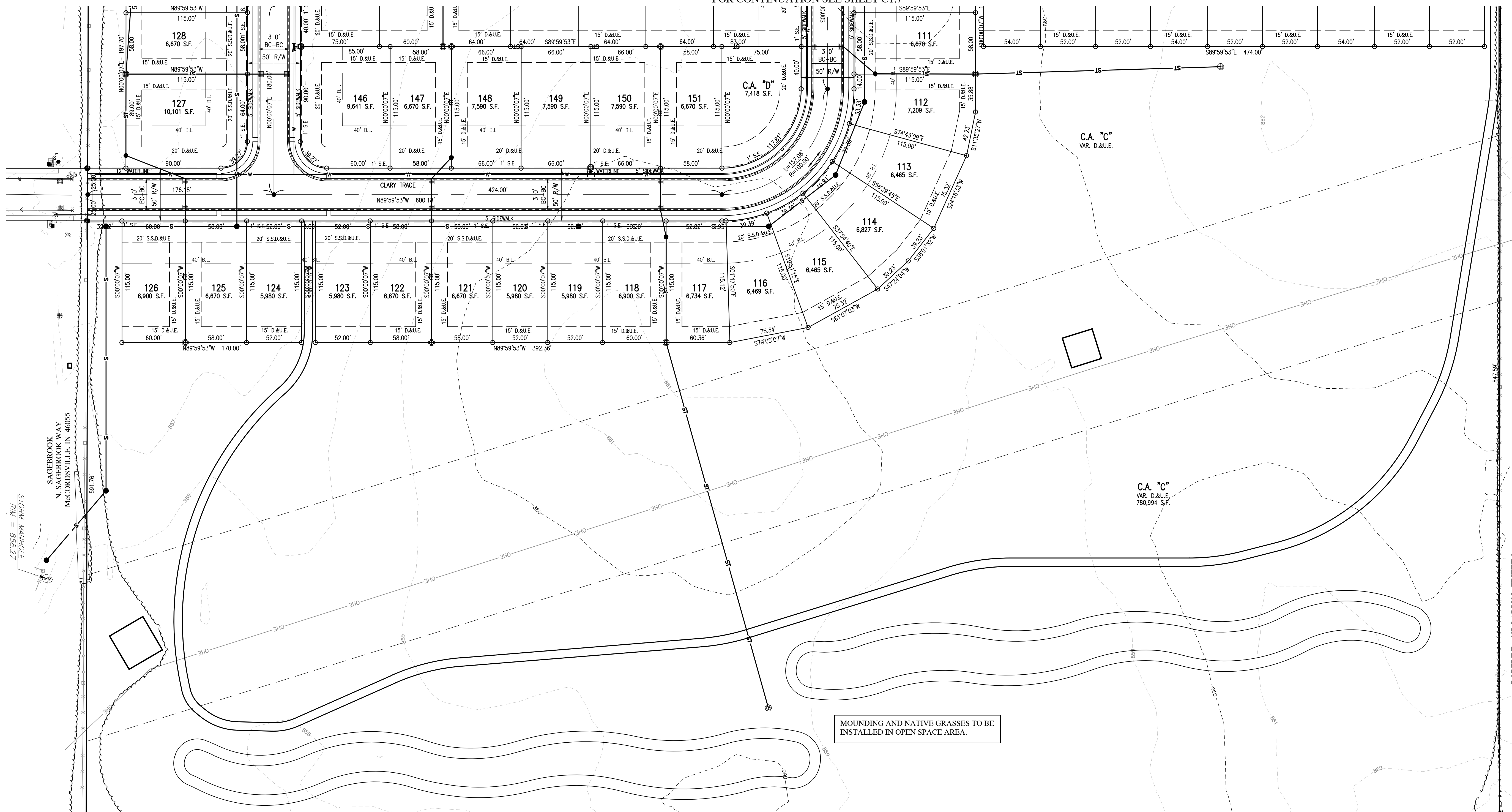
**LEGEND:**

- EXISTING: RIGHT-OF-WAY LINE, EASEMENT LINE, SETBACK LINE, CENTERLINE, SWALE / FLOWLINE, SUBSURFACE DRAIN, SANITARY SEWER, STORM SEWER, STORM CULVERT, WATER MAIN, CONTOUR, MAJOR CONTOUR, MINOR
- PROPOSED: RIGHT-OF-WAY LINE, EASEMENT LINE, SETBACK LINE, CENTERLINE, SWALE / FLOWLINE, SUBSURFACE DRAIN, SANITARY SEWER, STORM SEWER, STORM CULVERT, WATER MAIN, CONTOUR, MAJOR CONTOUR, MINOR

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

Vernon Township, Sec. 35, T5N, R5E

FOR CONTINUATION SEE SHEET C1.7



MOUNDING AND NATIVE GRASSES TO BE INSTALLED IN OPEN SPACE AREA.

Plot Date: Jun 23, 2022 Plot Time: 11:19pm File Name: W:\Hartman Capital LLC\2022-016-A - Hartman Primary Plat\Design\CAD\2022-016-A-Primary Plat Plan.dwg Layout: C2.2 By: tdavis

REVISIONS		
DATE	DESCRIPTION	BY

**HWC ENGINEERING**  
INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwceengineering.com

**MERIDIAN HOMES AT SYCAMORE DRIVE PRELIMINARY PLAT**  
**HANCOCK COUNTY, INDIANA**  
**PRIMARY PLAT PLAN**

PREPARED BY: MATTHEW W. MAZUR  
REGISTERED PROFESSIONAL ENGINEER  
No. PE10809001  
STATE OF INDIANA  
NOTAR PUBLIC

DRAWN BY: TD/MM	JOB NUMBER: 2022-016-A
CHECKED BY: MM	
DATE: MAY 27, 2022	
SCALE: AS SHOWN	
SHEET:	

**C2.2**  
PRIMARY PLAT PLAN

- NOTES:**
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED.
  - THERE SHALL BE NO DIRT, DEBRIS OR STORAGE OF MATERIALS IN THE STREET.
  - THIS SHEET IS TO BE USED FOR STORMWATER POLLUTION PREVENTION PURPOSES ONLY.
  - GEOTEXTILE FABRIC SHALL BE PLACED UNDER STONE LAYER OF THE CONSTRUCTION ENTRANCE.
  - ALL PORTABLE TOILETS MUST BE ANCHORED TO PREVENT SPILLS.
  - WHERE EXISTING DRAIN TILES OR FIELD TILES ARE ENCOUNTERED WHERE APPLICABLE, INTERCEPT EXISTING TILES AND TIE THEM INTO THE STORM SYSTEM.
  - SHOULD THE CONTRACTOR CHOOSE TO UTILIZE LIME STABILIZATION FOR SOIL SUBGRADE UNDER PAVED AREAS, PLEASE REFERENCE NOTES ON CONSTRUCTION PLAN SHEET C8.0. WHILE THE NOTES ON SHEET C8.0 SHALL SERVE AS GENERAL GUIDELINES FOR USE OF LIME STABILIZATION, THE CONTRACTOR SHALL ADHERE TO SPECIFIC GUIDELINES AND SPECIFICATIONS FOR TRANSPORTATION, HANDLING, APPLICATION, CONTAINMENT AND SAFETY OF THE STABILIZATION MATERIAL AS OUTLINED BY THE MANUFACTURER AND/OR SUPPLIER.

**LEGEND**

- TEMPORARY SEEDING
- PERMANENT SEEDING / SODDING
- TEMPORARY "DROP INLET PROTECTION BASKET"
- TEMPORARY CURB INLET PROTECTION SEE SHEET C8.1 FOR DETAIL
- CONSTRUCTION LIMITS
- EROSION CONTROL BLANKET

KNOW WHAT'S BELOW.  
CALL BEFORE YOU DIG.  
Call 811 or 800-382-5544 Before you Dig!

GRAPHIC SCALE  
0' 100' 200' 300'  
(IN FEET)

REVISIONS		
DATE	DESCRIPTION	BY

**HWC**  
ENGINEERING

INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwcengineering.com

**MERIDIAN HOMES AT SYCAMORE DRIVE PRELIMINARY PLAT  
HANCOCK COUNTY, INDIANA  
OVERALL PRELIMINARY EROSION  
CONTROL PLAN**

REGISTERED PROFESSIONAL ENGINEER  
No. PE10809001  
STATE OF INDIANA  
NOTARIAL PUBLIC SECTION

DRAWN BY TD/MM	JOB NUMBER 2022-016-A
CHECKED BY MM	
DATE MAY 27, 2022	
SCALE AS SHOWN	
SHEET	

**C3.0**  
OVERALL PRELIMINARY  
EROSION CONTROL PLAN

