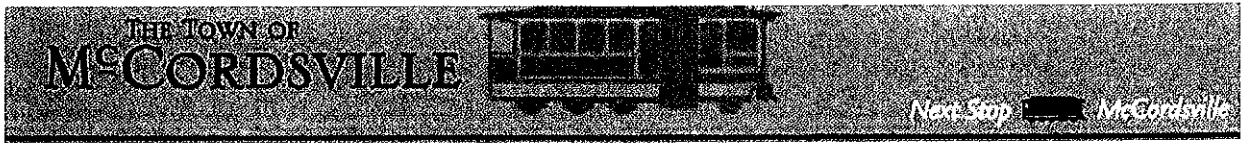


Welcome to McCordsville! We are glad you are here.
Helpful numbers and services
(More information at www.mccordsville.org)

Town Administration	317-335-3151 317-335-3495 (fax)
Clerk-Treasurer's Office/ Ordinance Violations Bureau	317-335-2810 317-335-3495 (fax)
Police Department Emergency Police Administration	911 317-335-2812
Planning & Building Department Building@mccordsville.com	317-335-3604 317-335-9120 (fax)
Public Works Department (includes streets)	317-335-3493 317-335-1049 (fax)
Fire Department Emergency Fire Department Non-Emergency	911 317-335-9236
Hancock County Sheriff Emergency Hancock County Sheriff Non-Emergency	911 317-477-1144
Indiana Poison Center	1-800-222-1212
Hancock Immediate Care – McCordsville	317-335-6960
Post Office	317-336-6446
Bureau of Motor Vehicles	317-335-0268
Utilities:	
McCordsville (Sewer and Storm Water)	317-335-1044; 317-335-7483 (fax) umail@mccordsville.org
Vectren (Gas)	1-800-227-1376
Citizens Energy Group (Water)	317-631-3311
NineStar Connect (Electric & landline phone)	317-326-3131
Public Library:	
Fortville-Vernon Township Public Library, Fortville	317-485-6402
Hancock County Public Library, Greenfield	317-462-5141



Where do I go for.....?

Property tax issues:

Hancock County Auditor's Office
111 American Legion Place, Suite 217
Greenfield IN 46140
317-477-1105
<http://hancockcoingov.org/hancock-county-government-departments/auditor>

To register to vote:

Hancock County Courthouse Election Office
9 E Main St, Room 227
Greenfield IN 46140
317-477-1109
<http://hancockcoingov.org/hancock-county-government-departments/hancock-county-indiana-election-office>
or <https://indianavoters.in.gov/PublicSite/PublicMain.aspx>

A marriage license:

Hancock County Courthouse
9 E Main St, Room 213
Greenfield IN 46140
317-477-1109
<http://hancockcoingov.org/hancock-county-government-departments/hancock-county-indiana-clerk>

Other Hancock County departments: <http://hancockcoingov.org/>

Hancock County Animal Management:

809 S State St
Greenfield IN 46140
317-477-4367
<http://www.greenfieldin.org/government/animal-control>

Other Types of Help

Connect2Help: Dial 211 or <http://www.connect2help211.org>

United Way of Hancock County: 1 Court House Plz, Greenfield 46140, 317-467-2346
<http://www.liveunitedhancockcounty.org>

Vernon Township Trustee: 104 N Main St, Fortville 46040, open Tuesdays and Thursdays 1-3pm. Jim Nolte 317-485-7327

Angel Connection: 7739 N 600 W, McCordsville 46055, open Wednesdays,
Donna Foster 317-335-2253

Hancock County Senior Services: 1870 Fields Blvd, Greenfield 46140, open 8-4 Monday thru Friday. In-home services call 317-462-3758, transportation call 317-462-1103, <http://hcssi.org>

Other Important Information

Would you like to know what is happening around Town? How about signing up for our McCordsville Email Blast! You will get information about road closings and road repair work, community events, festivals, trash delays, lost pets, food drives and much more information. Just call (317) 335-3151, sign up via our website www.mccordsville.org, from your email account email the Town Manager at tgalbriath@mccordsville.org or let the Utility department know when you set up or pay your utility bill.

Want information on the Vernon Township Park or Shelter House? Please call the Vernon Township Trustee's Office at (317) 485-7327.

Want to adopt a new dog/cat or pet? Do you need to report a loose animal? Call Hancock County Animal Management at (317) 477-4367, located in Greenfield.

THE TOWN OF McCordsville

Restaurants and Brewery

Chicago's Pizza

McCordsville Commons
5917 W Broadway
McCordsville, IN 46055
317-335-3131
www.chicagospizza.com

The Grill 2

Gateway Crossing
6621 W Broadway
McCordsville, IN 46055
317-336-4700
<http://thegrillatmccordsville.com/>

Kinsey's Italian Café

6383 W Broadway
McCordsville, IN 46055
317-336-1300
<http://kinseysitaliancafe.com>

Los Agaves Grill

McCordsville Commons
5965 W Broadway
McCordsville, IN 46055
317-589-4777
www.losagavesgrill.com

Pizza King

5550 W Broadway
McCordsville, IN 46055
317-335-2426
www.ringtheking.com

Subway

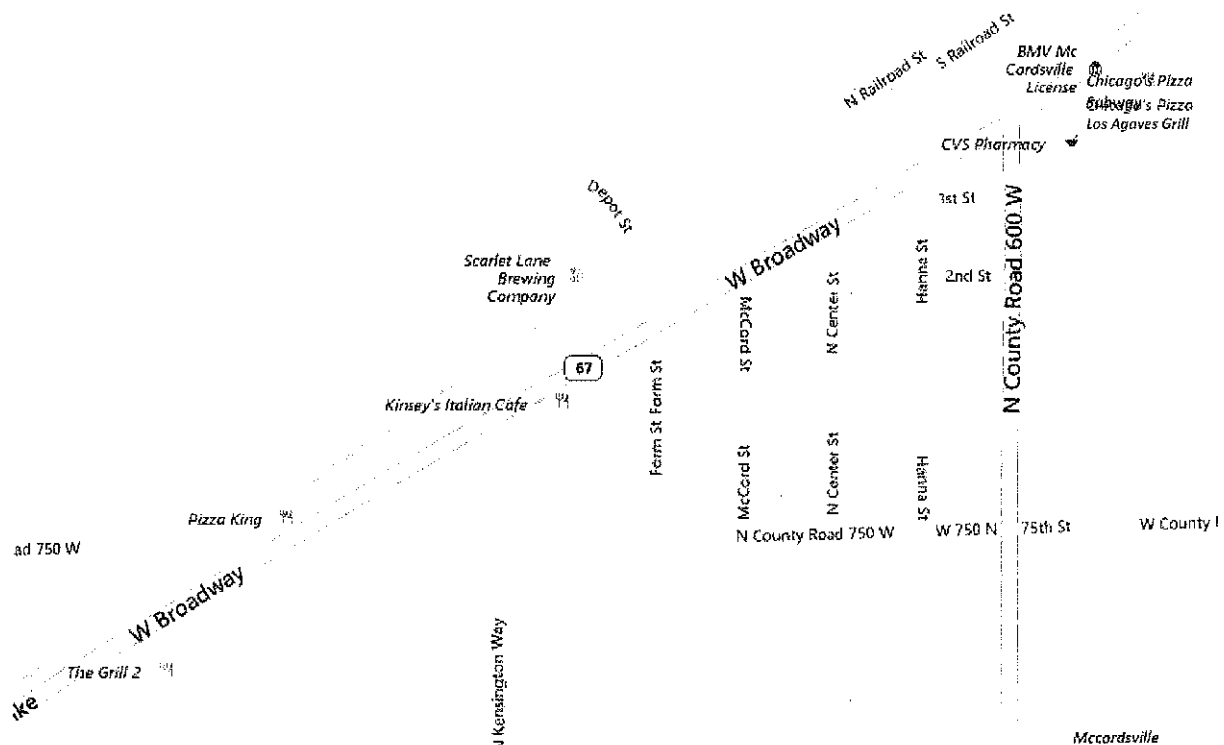
McCordsville Commons
5945 W Broadway
McCordsville, IN 46055
317-335-5500
www.subway.com

Scarlet Lane Brewing Company

7724 Depot St
McCordsville, IN 46055
317-336-1590
www.scarletlanebrew.com

Offers a select pub menu from the Grill 2.

All orders are delivered and remain on your Scarlet Lane tab.



Next Stop  McCordsville

THE TOWN OF McCordsville

Key Facts at a Glance

The Town of McCordsville is a close-knit community poised for dramatic growth in the next few years making it the next stop for economic development. The Town has a community plan that will create an extraordinary new town center and terrific neighborhoods for families to live, work and play, while maintaining existing values.

Basic Facts:

- Population: 5773 (2015 estimate)
- Area: 4.7 square miles
- Location: Northwestern Hancock County in Vernon Township, just minutes from Indianapolis, the Geist Reservoir and the I-69 Corridor
- Incorporated in 1988

Transportation:

- Numerous transportation opportunities exist including highways, interstates (I-65, I-69 and I-70), CSX rail lines, airports and ports
- According to the Indy Partnership, 75% of the U.S. and Canadian population can be reached within a one-day drive from Indiana
- From Indiana, one-third of the U.S. population can be reached within a day's drive (IEDC)

Workforce:

- 98.2% of McCordsville residents have a high school diploma or higher
- 9% of McCordsville residents have a bachelor's degree or higher
- Mean travel time to work is 26 minutes
- Median family income is \$82,835

Source: U.S. Bureau of Census, Census 2010

Education:

- 1 school within the Mt. Vernon school district has the honor of being distinguished as a Four Star School in 2015
- 3 schools received "A" ratings from the Indiana Department of Education in 2014
- Several higher education institutions are in the area: Anderson University, Ball State University, Butler University, Indiana University, Indiana University-Perdue University Indianapolis, Indiana Wesleyan University, Ivy Tech Community College, Martin University, Purdue University, Taylor University and University of Indianapolis.

Source: Indiana DOE

Other Features of Indiana:

- Indianapolis has a number of professional sports teams including the Colts (American football), Pacers (basketball) and Ice (ice hockey).
- The Indianapolis Museum of Art boasts 54,000 pieces of art as well as 100 acres of outdoor art space
- Indiana has over 356 miles of mountain biking trails.
- The Klipsch Music Theater in Noblesville seats a maximum of 24,000 guests for outdoor concerts and festivals such as Kenny Chesney, Def Leppard and Dave Matthews Band

Next Stop  *McCordsville*

The Mt. Vernon Community School Corporation includes a high school, middle school, three elementary schools and a pre-school. The outstanding schools in the McCordsville area provide students with numerous educational opportunities. The Mt. Vernon Community School Corporation is Now a 1:1 Computing District (one computer device to one student/staff). To provide an alternative to school cancellations, the Indiana Department of Education approved MVCSC for eLearning Days, also known as the Inclement Weather Virtual Learning Option.

Mt. Vernon Community School Corporation (MVCVS)

Superintendent: Dr. Shane Robbins, 317-485-3100, shane.robbins@mvcsc.k12.in.us

<u>MVCSC School</u>	<u>Grades</u>	<u>Principal</u>	<u>E-Mail</u>	<u>Phone</u>
Mt. Vernon High School	9-12	Greg Roach	greg.roach@mvcsc.k12.in.us	317-485-3131
Mt. Vernon Middle School	6-7	Scott Shipley	scott.shipley@mvcsc.k12.in.us	317-485-3160
8th Grade Academy	8			317-485-3131
McCordsville Elementary	K-5	Stephanie Miller	stephanie.miller@mvcsc.k12.in.us	317-336-7760
Mt. Comfort Elementary	K-5	Heather Whitaker	heather.whitaker@mvcsc.k12.in.us	317-894-7667
Fortville Elementary	K-5	Heather Noesges	heather.noesges@mvcsc.k12.in.us	317-485-3180

Mount Vernon High School (MVHS)

- Honors classes, advanced college credit courses, or the advanced placement classes are offered for high school high ability learners. The AP® participation rate at Mt Vernon High School is 49%.
- Mt. Vernon High School is ranked #1987 in the National Rankings and earned a silver medal.
- Mt. Vernon High School received an "A" * as its final letter grade for school accountability.
- 95% of students graduate from high school.
- The Science Olympiad Team won 3rd place at the 2016 Butler Regionals Competition.
- The school's FCCLA (Family, Career, Community Leaders of America) Chapter received the highest honor, the FCCLA Gold Honor Chapter Award, at the 2016 Indiana FCCLA State Leadership Conference.
- Two-thirds of the entire high school band program earned a gold rating at the 2016 state finals.

MVCS Middle and Elementary Schools:

- Students at the Mt. Vernon Middle School are provided a challenging and rigorous curriculum through ability clustered courses and honors courses.
- Mt. Vernon Middle School offers a wide range of extra-curricular activities for students to get involved in and provides academic competition opportunities and has numerous fine arts or club options to choose from.
- Fortville Elementary School and Mt Comfort Elementary School received an "A" * as their final letter grade for school accountability.
- All three elementary schools offer several extra-curricular activities for students to get involved in. Staff know that getting students involved in opportunities they are interested in engages and empowers students to discover their strengths and enriches their lives.

Source: Indiana DOE, Mt. Vernon Community School Corporation (MVCSC), US News & World Report

THE TOWN OF McCordsville

Transportation Infrastructure

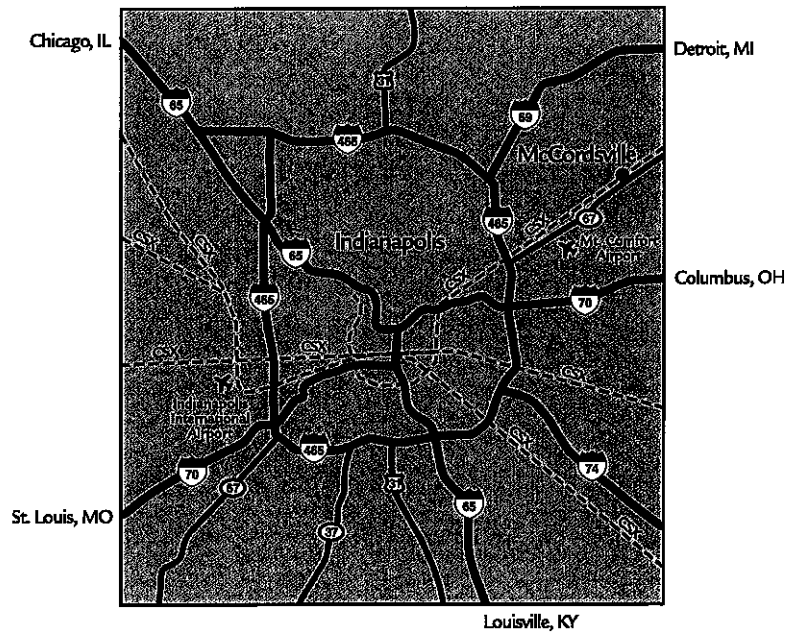
Taking advantage of excellent highway and rail access and its proximity to Indianapolis, the Town of McCordsville is not only a residential community, but also an excellent location for companies seeking access to markets and a skilled workforce. McCordsville is positioned in the Crossroads of America, near the Geist Reservoir and bordering the Town of Fishers, just north of the Indianapolis Regional Airport and conveniently located close to the I-69 corridor.



Distance to Major Metro Areas

Atlanta, GA	550
Chicago, IL	193
Cincinnati, OH	121
Cleveland, OH	308
Columbus, OH	167
Detroit, MI	265
Evansville, IN	203
Fort Wayne, IN	108
Indianapolis, IN	21
Louisville, KY	130
St. Louis, MO	264

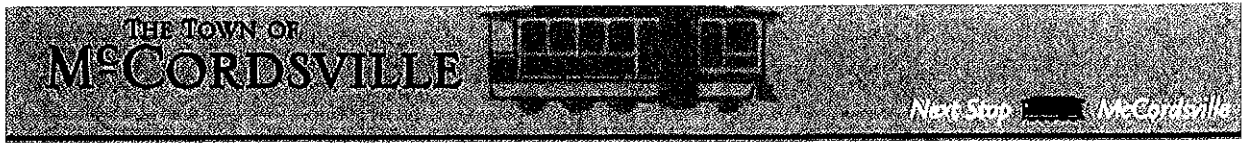
Source: Mapquest



- Indiana is within a day's drive of one-third of the U.S. population (IEDC)
- A total of 150 million people live within 500 miles of Indiana (IEDC)
- The Major Moves program will provide \$12 billion to improve Indiana's transportation infrastructure during the next 10 years (IEDC)
- The Indianapolis International Airport is the home of the world's second-largest FedEx hub
- The runways at Indianapolis Regional Airport are 3,900/5,500 feet (HEDC)
- Rail options include CSX (Avon Switching Yard in Hendricks County), Norfolk Southern (Anderson Switching Yard in Madison County), The Indiana Railroad, Indiana Southern Railroad and The Louisville & Indiana Railroad (HEDC)
- Ports of Indiana include: Burns Harbor in Portage on Lake Michigan, Jeffersonville on the Ohio River near Louisville and Mount Vernon on the Ohio River near Evansville (HEDC)

Sources: Indiana Economic Development Corporation (IEDC), Hancock Economic Development Council (HEDC)

Next Stop  McCordsville



The McCordsville Volunteer Fire Department

The McCordsville Volunteer Fire Department was established in 1952. While it is called The McCordsville Volunteer Fire Department, it is actually owned by Vernon Township which is responsible for taxation related to providing fire services.

Currently the department has almost 30 all-volunteer members that respond from a single station. Station 8 is located on Form Street in McCordsville. McCordsville Fire has 5 front line apparatus including: Engine 81, Engine 82, Tanker 85, Grass 87 and Rescue 89. McCordsville Volunteer Fire Department covers all of the town of McCordsville and the residents of Vernon Township.

One very important aspect of the McCordsville Volunteer Fire Department is the number of mutual aid agreements they have in place with other entities. These mutual aid agreements ensure that property owners will be protected in the event the McCordsville Volunteer Fire Department's services reach their maximum ability.

Station 8 has mutual aid agreements with all of Hancock County, The Town of Fishers and The City of Lawrence Fire Departments. These agreements ensure that there is a timely response to emergencies.

Contact Information:

Phone: Emergency 911

Non-Emergency 317-335-9236

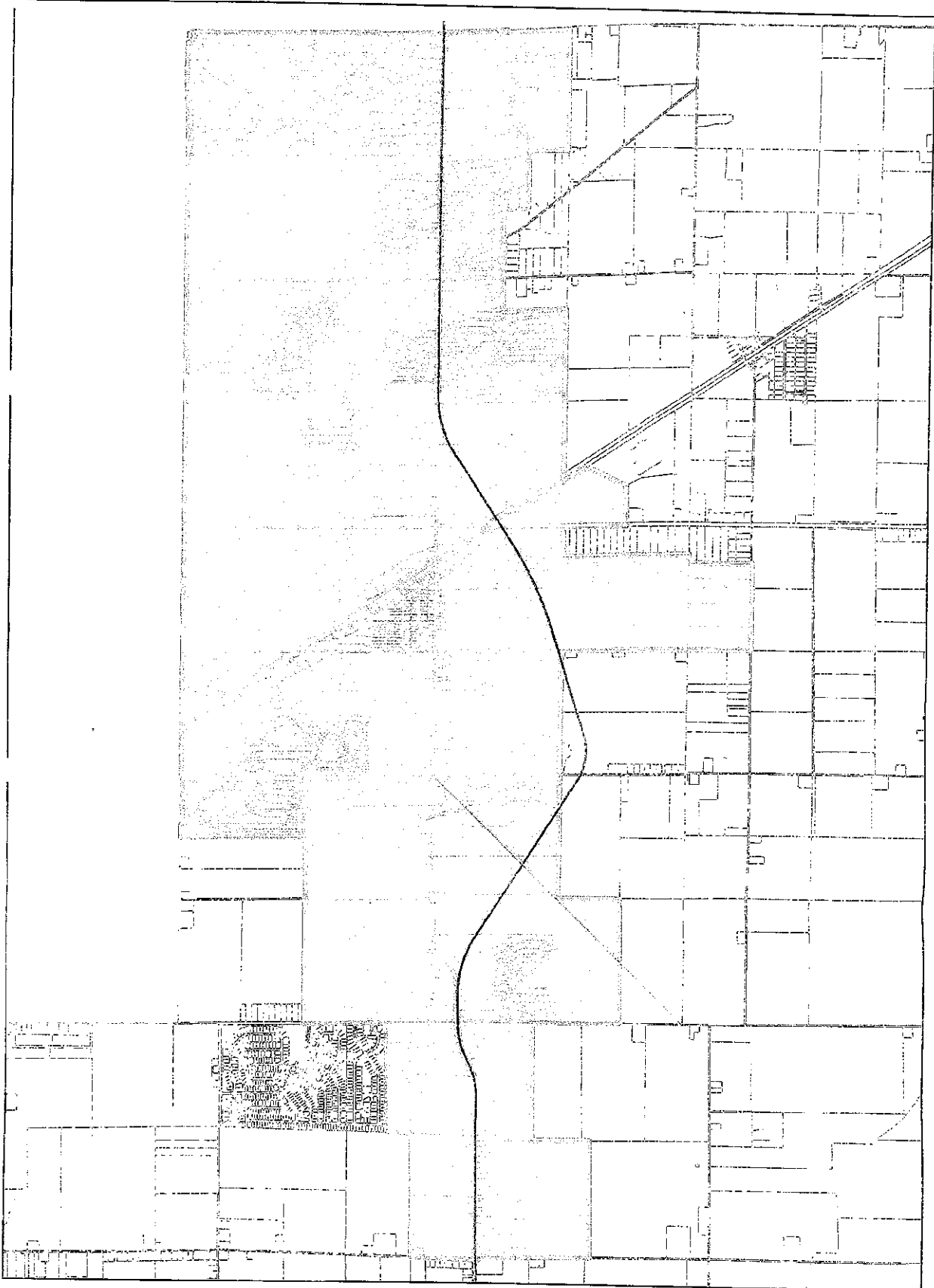
Email: mccordsvillefire@aol.com

Address: 7580 N Form Street, McCordsville IN

Chief of Fire: Tom Alexander



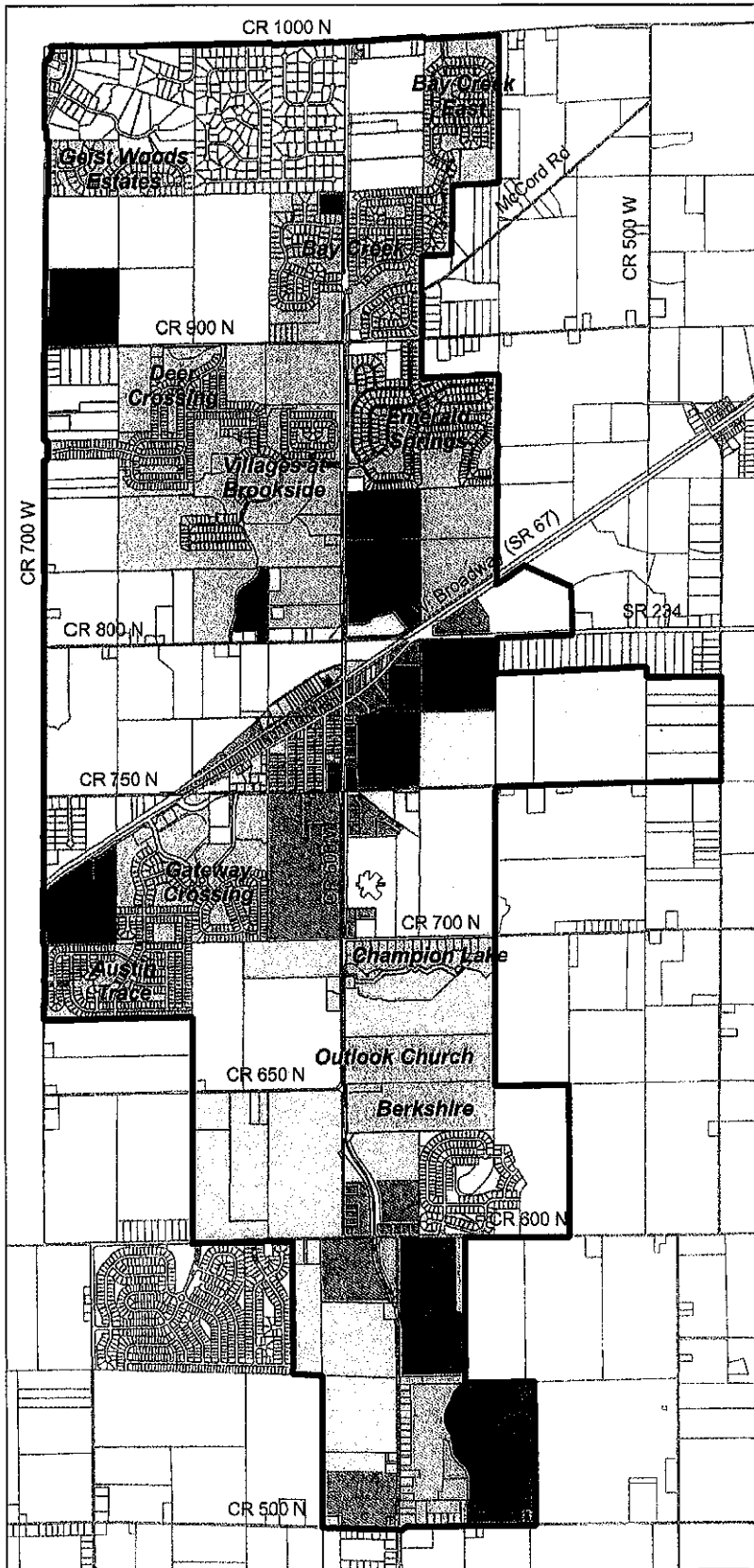
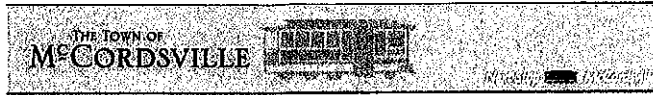
Corporate Limits



























Corporate Boundary

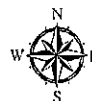


Zoning Map

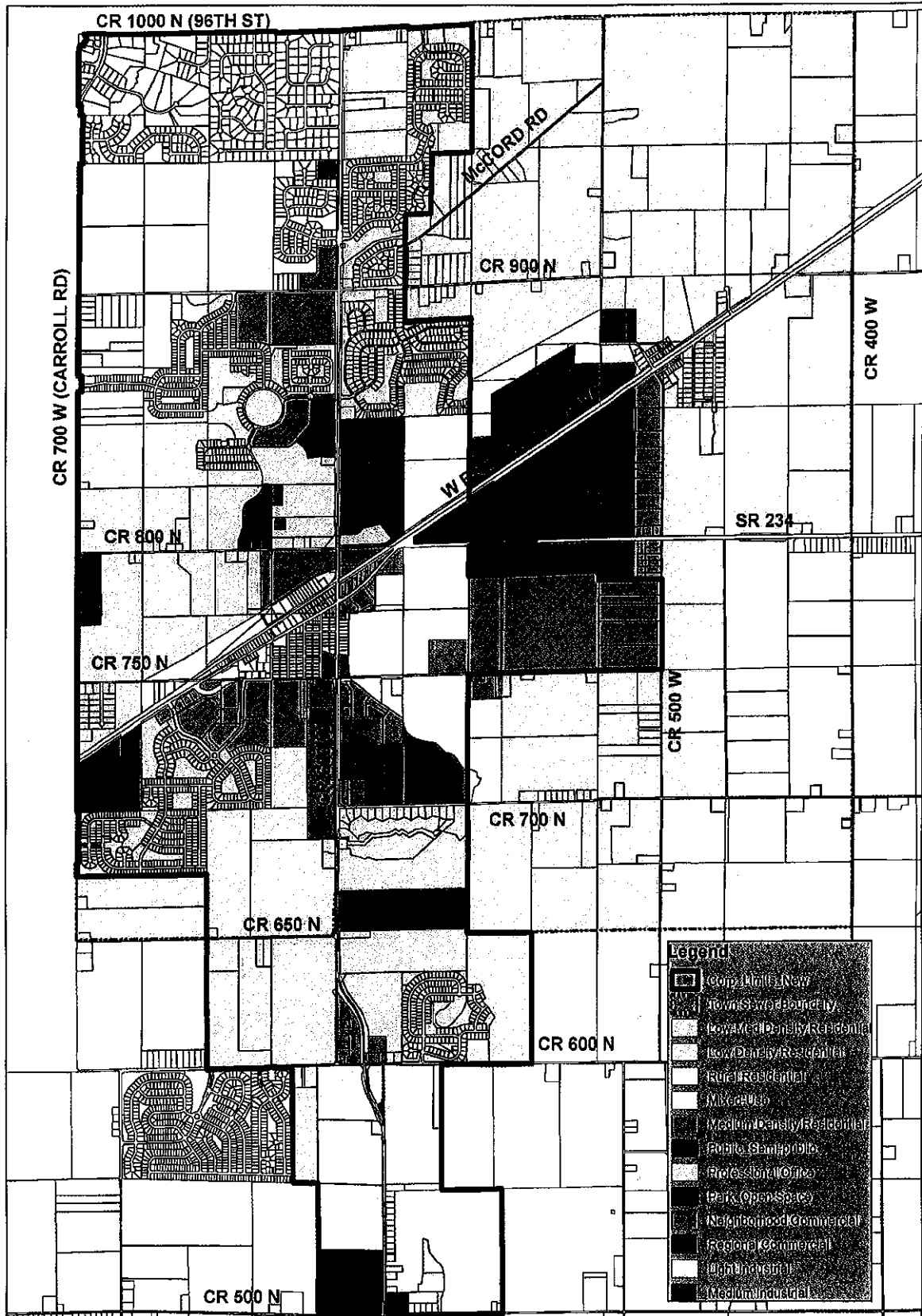
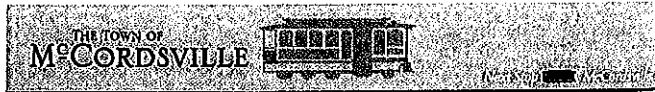


Legend

-  Corporate Limits
-  Residential-1 (R-1)
-  Residential-2 (R-2)
-  Residential-3 (R-3)
-  Old Town (OT)
-  Professional Business Office (CO)
-  Neighborhood Commercial (CN)
-  Regional Commercial (CR)
-  Industrial-1 (I-1)
-  Industrial-2 (I-2)
-  Public_Semi-public (P)
-  Austin Trace PUD
-  Bay Creek PUD
-  Bay Creek East PUD
-  Berkshire PUD
-  Champion Lake PUD
-  Outlook Christian Church PUD
-  Deer Crossing PUD
-  Emerald Springs PUD
-  Gateway Crossing PUD
-  Geist Woods Estates PUD
-  Villages at Brookside PUD
-  Boucher Zoning
-  Woodhaven Zoning



Future Land Use Map 2015 Update



Available Sites and Buildings:

- *Ameri-Stor Self Storage & Office Flex Suite*— Located at 8079 N 600 W (Mt. Comfort Road). 750-3,000 square feet of Office flex Suites available. The Self Storage units include 5x5—10x30 Non Climate Units, 10x20 Climate Control Units, RV/boat storage, walled/gated/video surveillance with 24/7 access. For Office Flex leasing, contact Kathy Brown at KMB Realty at 317-726-5577 or Kathy@KMBrealitygroup.com.
- *Broadview Farms, Inc.*— 97 acres (will subdivide) and 10-acre corner lot, both of which front CR 600 W (Mt. Comfort Road) and CR 750 N, directly across from the New McCordsville Elementary School and Greenfield Banking Company. The property is zoned commercial/neighborhood. For further information contact Amy Reeves at 317-695-0472 or Reeves.Amy@insightbb.com.
- *Gateway Village Shops*— Located off SR 67 in Gateway Crossing Planned Unit Development. There are six outlots fronting SR 67 with 95,000 square feet of retail available. For further information, contact Steve Shea at 317-579-6926 or sheawayshea@aol.com.
- *Interurban Place*— Plans call for a three-story mixed use office/commercial/retail building featuring a “green” roof. Project is zoned commercial/neighborhood with a possible residential component on the top floor. Located on Depot Street near W Broadway (SR 67) the building offers 12,750 square feet of space. For more information, contact Neal Tucker at 317-335-7075, ext. 115 or nrtucker@hotmail.com.
- *McCordsville Commons*— 22,400 square feet of new retail space available. Located on W Broadway (SR 67) and CR 600 W next to the recently opened CVS Pharmacy. For more information, contact Paul Rogozinski of Veritas Realty, LLC at 317-472-1800 or progozinski@veritasrealty.com.
- *McCord Square*— Plans call for a 90-acre commercial regional development comprised of two unique areas: The Town Square to the south along CR 750 W and the Merchants Square along W. Broadway (SR 67) and SR 234. For more information, contact Tom Willey at twilley@cbcrs.com or Kurt Mathewson at kmathewson@cbcrs.com or at 317-249-9000.
- *Proportion Air*— Proportion Air/Brookside Business Center—Located just north of SR 67 on CR 600 (Mt. Comfort Road). Largest industrial facility in the Town, subdivided into individual flex spaces. Current availability of 1,200 square feet corner office space and 1,200 square feet of office/warehouse space. Outlots available for development, either for sale or for lease build to suit. Come join 10 of the most successful businesses in the Town. Boat and RV storage available as well. Contact either Lyn Mills or John McCarrel at 317-335-2602 or jmccarrel@proportionair.com or lmills@proportionair.com.
- *Slaughter Family Farm LLC*— 129 acres (will subdivide) fronting on CR 600 W (known as Olio Road farther north) and just north of Broadway (SR 67). The property is designated as commercial/industrial and zoned I-1. For further information, contact Abbe Hohmann, CCIM at Colliers Turley Martin Tucker at 317-639-0452 or ahohmann@ctmt.com.
- *Villages at Brookside*— The development is a 300+ acre mixed Planned Unit Development. The development includes more than 80 acres of commercial/retail/industrial sites. One such parcel is located on the southwest corner of CR 600 W and CR 900 N (86th and Olio Road). This 20-acre site is zoned for commercial use. Retail space and outlots are available. Contact Beth Patterson at 317-472-6494 or bpatterson@paulkiteco.com. The remaining portion is being offered by Blackwell Construction through Dan Van Trees at 317-319-7708 or dan61a@comcast.net.

Five Steps for Getting Your Utilities Marked.

If you're planning to dig on your property, a free call to 811 is the most important thing you can do to avoid hitting underground utility lines, keeping you and your neighborhood safe. Below are five steps to follow when working with Indiana 811 to notify the utility operators in your area of your intent to dig. Remember, the call and utility locating process are free. If you have any questions or concerns during the process, don't hesitate to call Indiana 811. We are open 24/7 to take your call!



Know what's below.
Call before you dig.

1. Plan Your Project

Before you call Indiana 811, you will need to know specific details about where you plan to dig, including the street address, county and township. You will also need the name and phone number of the person or company who will be doing the digging. We recommend you mark the designated area with white paint or flags so the utility operators will only mark that area.

2. Call Indiana 811

Make a free call to Indiana 811 by simply calling 811 or 1-800-382-5544. After speaking to an Indiana 811 representative, you will be given a ticket number, and a list of all the utility operators who will be responding to your request. He or she will also answer any questions you have about the utility locating process.

3. Wait for the Marks

The marking process typically takes two full working days, meaning if you call on a Tuesday, the utility operators have Wednesday and Thursday to mark the approximate location of lines. Each line will be marked in the color that corresponds to the appropriate utility.

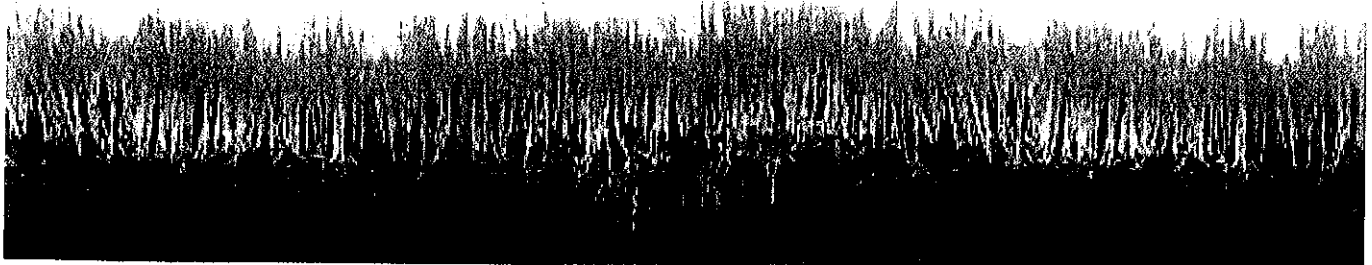
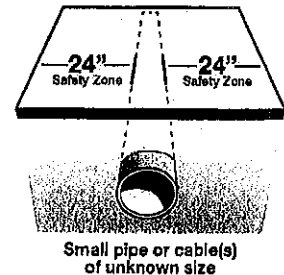
APWA UNIFORM COLOR CODE	
[Red]	ELECTRIC
[Yellow]	GAS OIL-STEAM
[Blue]	TELEPHONE-CATV
[Green]	WATER
[Purple]	SEWER
[Black]	RECLAIMED WATER
[Orange]	UNKNOWN UTILITY
[White]	CONSTRUCTION

4. Confirm the Marks

After two full working days, confirm that all utility operators have visited your property by comparing the various colors of the marks on your property to the list of utilities given to you. If a utility operator does not locate a utility line in the designated area, a representative will let you know they do not have a conflict by calling you, or painting an "OK" along with the company's initials in the corresponding utility color. For example, if you do not have a gas line running through the area, the utility operator will write an "OK" in yellow paint in the designated area.

5. Dig With Care

Now that your utility lines are marked, you can begin digging. Indiana state law mandates a two-foot safety zone on either side of the marks. In the safety zone, you can only dig with hand tools. The size of the safety zone will depend on the size of the underground facility, which is sometimes noted by the utility locators. For example, if a water line is marked as six inches wide, the safety zone on both sides of the line is two feet three inches from the mark. You will only want to use mechanical equipment outside of the zone after you have exposed the line(s) by safely digging with hand tools.



How well do you know your property?

What you need to know about easements to avoid legal problems, frustration, and expense!

SAVE AS REFERENCE

Are you aware that easements exist on most Properties within the Town of McCordsville?

Most lots platted within the Town of McCordsville have drainage and utility easements of varying widths and lengths placed on them. Usually these easements border lot lines, like a picture frame. However, some properties contain easements that are not placed in these typical locations.

An **Easement**, as defined by the McCordsville Zoning Ordinance is "A grant by a property owner to specific persons, the general public, corporations, utilities, or others, for the purpose of providing services or access to the property.

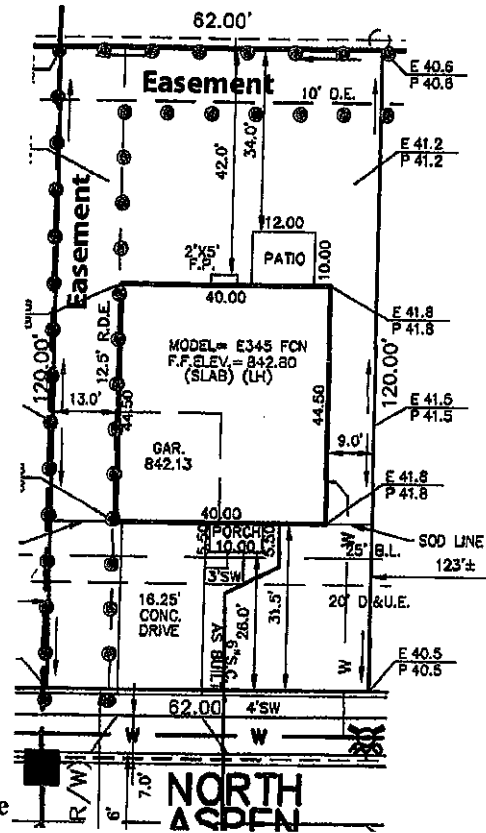
What is the purpose of an easement?

When lots are platted or created by the developer before homes are built, easements are dedicated for utility and drainage purposes. Easements are needed for draining water (stormwater runoff) and installing utilities such as water, sewer and storm sewer lines, gas, electric, telephone, and cable. **Remember that McCordsville is not the only utility using easements.** Easements also serve as protective buffers for environmentally sensitive areas.

When public utilities or drainage areas need to be inspected or maintained, easements allow authorized personnel to access the area without obtaining approval from the property owner.

How is the use of easement areas restricted?

It is important, especially in light of recent storms and flooding that has plagued our area that trees, shrubs, or any other structures or fences not be erected or placed in any of the Town's drainage or utility easements. This regulation can be found in the Stormwater Management Ordinance (030805) as well as the ordinance requiring fence construction permits (111307A). The Stormwater Management Ordinance is a federally mandated ordinance which required McCordsville to establish a mechanism for regulating stormwater quality management.



Legend:

Do Not Build in the Following

- | | |
|---------|--------------------------|
| D.&U.E. | UTILITY EASEMENT |
| D.E. | DRAINAGE EASEMENT |
| B.L. | BUILDING SETBACK LINE |
| R.D.E. | REGULATED DRAIN EASEMENT |
| C.A. | COMMON AREA |

Exhibit from an actual plot plan showing the different widths and lengths of easements that may exist on a typical lot. The dotted lines indicate easements. These represent sub-surface drain, utility and regulated drainage easements.