

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, INC.
11555 N. MERIDIAN ST., SUITE 400
CARMEL, INDIANA 46032
PHONE: (317) 659-3200

SUMMERTON SECTION 1

SECONDARY PLAT

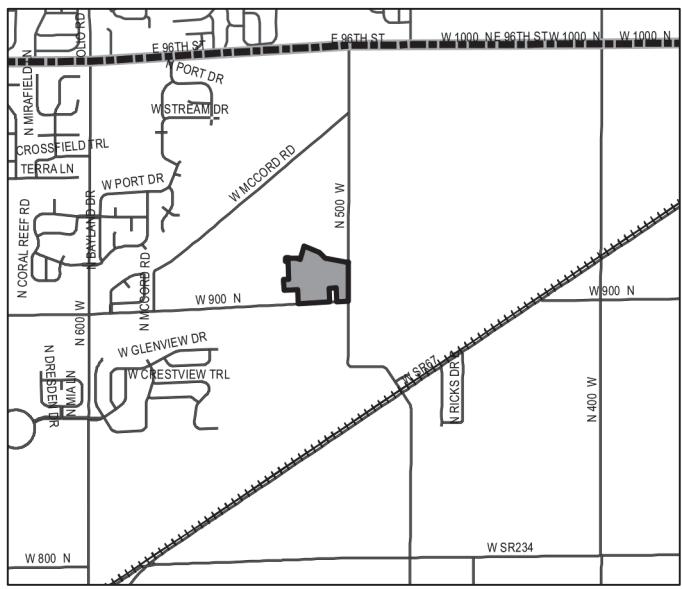
TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

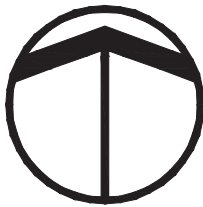
CABINET: _____

SLIDE: _____



Vicinity Map

Not to Scale



Assumed North

Scale: 1" = 150'

DEVELOPMENT STANDARDS

AREA "B"

MAXIMUM NUMBER OF LOTS	116
MINIMUM LOT AREA	8,450 SQ. FT.
MINIMUM LOT WIDTH AT BUILDING LINE	65
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	7.5 FEET
MINIMUM REAR YARD SETBACK	15 FEET
MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY) 1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	50%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	114.91'	1973.00'	114.89'	S88°35'03"W	3°20'13"
C-2	116.48'	2000.00'	116.46'	S88°35'03"W	3°20'13"
C-3	118.05'	2027.00'	118.04'	S88°35'03"W	3°20'13"
C-4	31.42'	20.00'	28.28'	S48°05'03"E	90°00'00"
C-5	31.42'	20.00'	28.28'	S41°54'57"W	90°00'00"
C-6	31.42'	20.00'	28.28'	N48°05'03"W	90°00'00"
C-7	31.42'	20.00'	28.28'	N41°54'57"E	90°00'00"
C-8	46.61'	60.00'	45.45'	S25°20'23"E	44°30'40"
C-9	291.11'	62.00'	88.43'	N86°54'57"E	269°01'20"
C-10	46.61'	60.00'	45.45'	N19°10'17"E	44°30'40"
C-11	150.67'	123.00'	141.42'	N38°10'34"W	70°11'02"
C-12	183.74'	150.00'	172.47'	N38°10'34"W	70°11'02"
C-13	216.81'	177.00'	203.51'	N38°10'34"W	70°11'02"
C-14	94.42'	273.00'	93.95'	N83°10'34"W	19°48'58"
C-15	103.76'	300.00'	103.24'	N83°10'34"W	19°48'58"
C-16	113.10'	327.00'	112.53'	N83°10'34"W	19°48'58"
C-17	31.42'	20.00'	28.28'	S48°05'03"E	90°00'00"
C-18	31.42'	20.00'	28.28'	N41°54'57"E	90°00'00"

REFER TO SECTION K OF THE SUMMERTON PUD FOR TREE CONSERVATION.

ALL MAINTENANCE OF LANDSCAPING IN THE MEDIAN IS THE RESPONSIBILITY OF THE HOA.

ALL SNOW REMOVAL IS THE RESPONSIBILITY OF THE HOA AND NOT THE TOWN.

SEE SHEET 6 FOR LAND DESCRIPTION

Site Map

SCALE: 1" = 150'

Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021



SHEET 1 OF 6

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SUMMERTON SECTION 1

SECONDARY PLAT

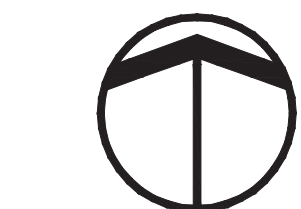
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VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____



Scale: 1" = 50'

FOR CONTINUATION SEE SHEET 5 OF 6

- SUBDIVISION MONUMENTS**
- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
 - DENOTES A 5/8" REBAR 30" LONG WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" TO BE SET AT LOT CORNERS, INCLUDING BEGINNING AND ENDING OF CURVES AND THE INTERSECTION OF LINES.
 - ⊠ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH
 - DENOTES FOUND 5/8" REBAR 30" LONG WITH CAP STAMPED "S&A FIRM #0008"
 - ⊠ DENOTES FOUND 4"x4" CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, FLUSH WITH GRADE

LEGEND

RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	_____
SETBACK LINE	_____
CENTERLINE	_____
SECTION LINE	_____

LEGEND

25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
P.A.E.	PEDESTRIAN ACCESS EASEMENT
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
[2334]	STREET ADDRESS

REFER TO SECTION K OF THE SUMMERTON PUD FOR TREE CONSERVATION.

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SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 6 FOR LAND DESCRIPTION



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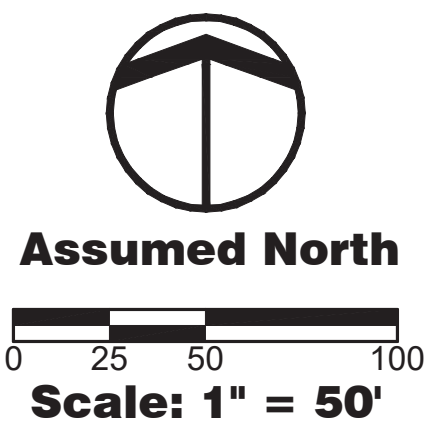


SHEET 2 OF 6

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FOR CONTINUATION SEE SHEET 4 OF 6

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

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LEGEND

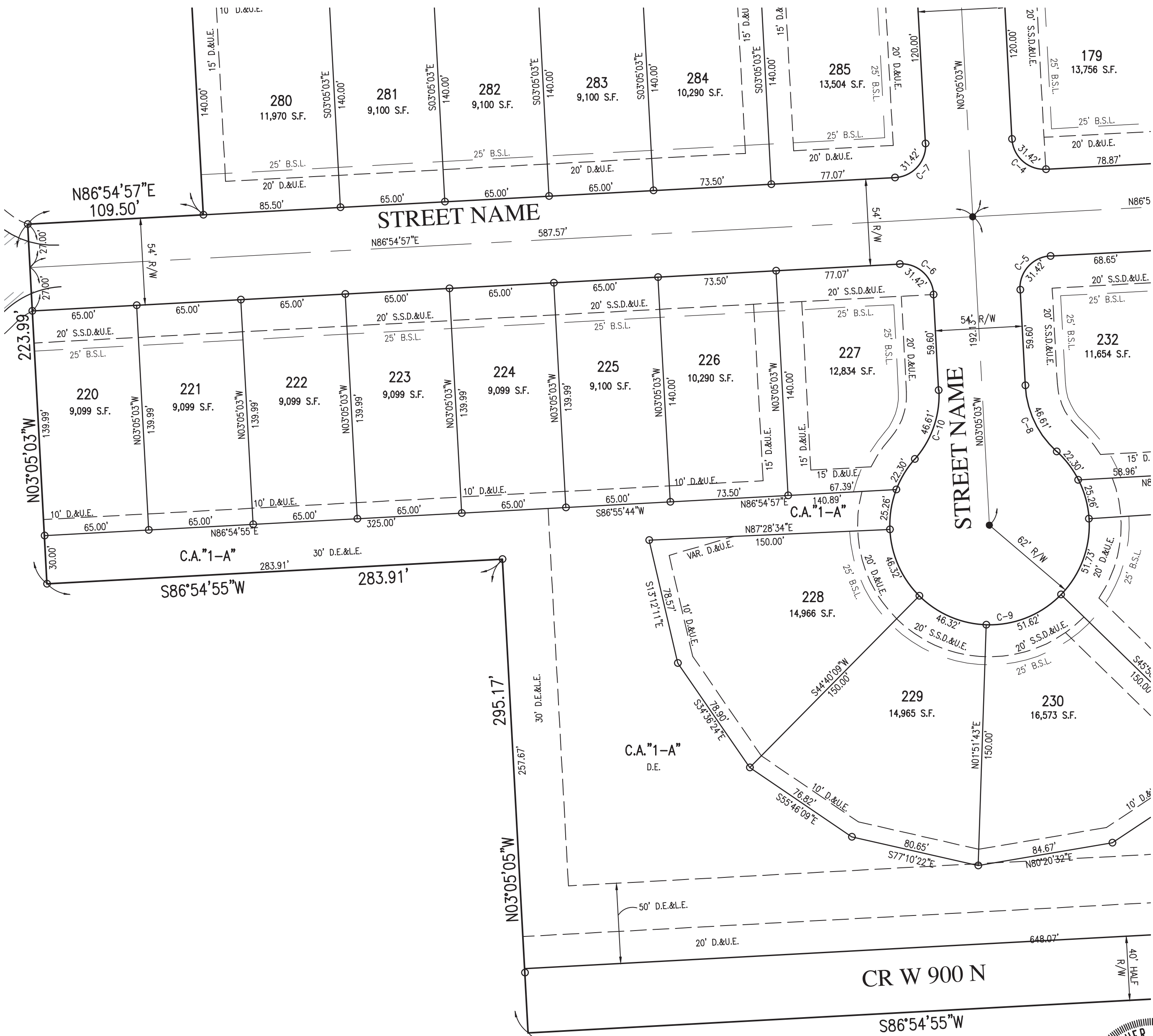
25	LOT NUMBER
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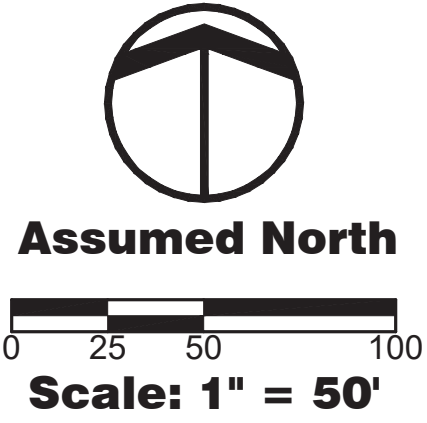


SHEET 3 OF 6

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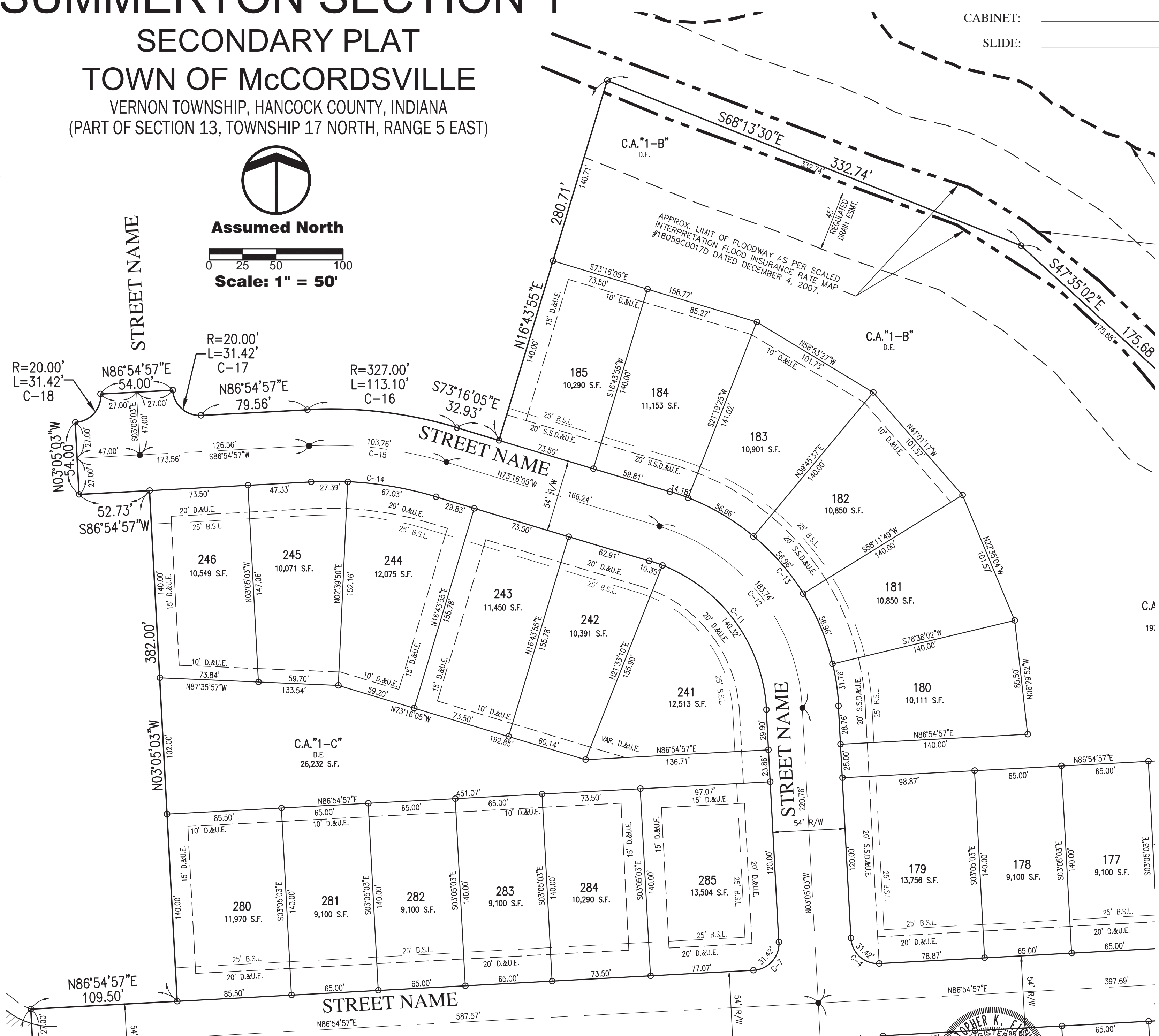
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SHEET 4 OF 6

