

FOUNDATION NOTES

- IT IS ADVISABLE TO DO SOIL TEST IF THERE IS ANY EVIDENCE THAT THE SOIL WAS DISTURBED OR IF THERE IS EVIDENCE OF ORGANIC MATERIAL IN SOIL.
- ALL FOOTINGS ARE 8"x18" UNLESS NOTED OTHERWISE.
- ALL INTERIOR PIERS ARE 8"x16" CMU CAPPED WITH 4" OF SOLID MASONRY ON 1 STORY STRUCTURES OR 8" ON 2 STORY STRUCTURES UP TO 32" HIGH. ALL PIERS OVER 32" HIGH MUST BE FILLED WITH TYPE S MORTAR. MAXIMUM HEIGHT FOR 8"x16" FILLED PIER IS 6'-8". PIERS LARGER THAN 8"x16" ARE NOTED ON PLAN.
- FOOTINGS FOR 8"x16" PIERS ARE 2'x3'x8" UNLESS NOTED OTHERWISE.
- DESIGN LOADS ARE ALL DEAD LOADS PLUS:
 - ROOF LIVE LOAD - 20 LBS. PER S.F.
 - MAIN FLOOR LIVE LOADS (KITCHEN FLOOR) - 40 LBS. PER S.F.
 - ALL OTHER FLOORS - 30 LBS. PER S.F.
 - BEARING FOR FOOTINGS ON ORIGINAL SOLID GROUND IS 2,000 LBS. PER S.F. FOR SPREAD FOOTINGS & 1,500 LBS. PER S.F. FOR CONTINUOUS FOOTINGS.
 - WIND LOAD IS 80 M.P.H. EQUIVALENT TO 17.3 LBS. PER S.F.
 - ALL DESIGNS ARE IN ACCORDANCE WITH INDIANA BUILDING CODES.
 - ATTIC CEILING JOIST UNDER ROOF SLOPES > 3:12 20 LBS. PER S.F.
ATTIC CEILING JOIST UNDER ROOF SLOPES < 3:12 10 LBS. PER S.F.
 - SNOW LOAD IS PER CODE WHERE APPLICABLE.
- WAFFLE SLABS ARE SELF-SUPPORTING SLABS REINFORCED ACCORDING TO DETAILS AND DO NOT REQUIRE FIRM SOIL FOR SUPPORT. SOIL MUST ONLY BE CAPABLE OF SUPPORTING CONCRETE UNTIL IT HARDENS AND DEVELOPS STRENGTH.
- CONCRETE SHALL BE 2,500 PSI IN 28 DAYS UNLESS NOTED OTHERWISE.
- ALL RE-BAR SPLICES SHALL BE A MINIMUM OF 2'-0" UNLESS NOTED OTHERWISE.
- CAISSON FOUNDATIONS USE 12" DIAMETER DRILLED CONC. UNREINFORCED TO A DEPTH WITH A MINIMUM OF 2 FEET PENETRATION INTO GOOD ORIGINAL GROUND. DEPTH OF DRILLING IS LIMITED TO 15'. THEREFORE, NO POOR MATERIAL MORE THAN 13' OF DEPTH IS SUITABLE FOR A CAISSON FOUNDATION. CAISSON CANNOT BE USED IF WATER RISES IMMEDIATELY INTO DRILLED HOLES. PILES WILL HAVE TO BE USED IN THIS CASE.
- 6" MIN. DIAMETER TREATED WOOD PILES W/ A MINIMUM DESIGN LOAD OF 6 TONS ARE USED FOR ALL FOUNDATIONS WITH UNSUITABLE SOIL DEEPER THAN 13' OR W/ INRUSHING WATER IN DRILLED CAISSONS.
- SIZE AND REINFORCING FOR FOOTING CAPS OVER CAISSONS OR PILES SHALL BE AS SHOWN ON PLANS.
- CHIMNEY FOOTINGS ARE 12" LARGER THAN FOOTPRINTS AND 12" THICK.
- WALLS BACKFILLED WITH DIRT SUPPORTING FRAMING ABOVE
 - FOR EARTH FILL UP TO 4' MAXIMUM HEIGHT - USE 8" CMU OR 10" CONC. WITH BITUTHANE MEMBRANE WATER-PROOFING ON EXTERIOR. FOOTING 12"x24" OR AS NOTED ON PLAN.
 - FOR EARTH FILL 4' AND HIGHER UP TO A MAX. OF 9'-USE 8"x24" FOOTING WITH #4 AT 16" DOBELS HOOKED IN FOOTING AND PROJECTING 18" ABOVE FOOTING. FOR 12" CMU WALLS USE #4 AT 16" VERTICAL BARS LOCATED 4" FROM NON DIRT FILL FACE. LAP ALL SPLICES 12" & USE DUR-O-WALL HORIZONTAL REINFORCING EVERY 8" IN CMU JOINTS. FILL ALL OPEN CELLS OF CMU WITH EITHER TYPE S OR M MORTAR OR FILL WITH 2,500 PSI CONC. INSTALL WATERPROOF BITUTHANE MEMBRANE OR EQUAL AND ERECT ALL FRAMING BEFORE BACKFILLING.

DESIGNS ON DRAWINGS.
 * ALL POINT LOADS FROM ROOF BRACES, JACK STUDS, SUPPORTS - WHETHER WOOD OR STEEL - CANNOT BEAR ON SHEATHING ALONE. BLOCKING EQUAL TO OR BETTER THAN THE POINT LOAD SUPPORT ABOVE MUST BE CARRIED THROUGH ALL CONSTRUCTION TO THE FOUNDATION.

NOTES

- DOORS ARE 8'-0" HIGH ON LOWER LEVEL UNLESS NOTED OTHERWISE.
- ANGLES ARE 45° UNLESS NOTED OTHERWISE.
- ± DIMENSIONS ARE WITHIN 1".
- IF ANY DIMENSION APPEARS INCORRECT, CONTACT ARCHITECT BEFORE PROCEEDING.
- DETAILS TAKE PRECEDENCE, LARGER SCALE OVER SMALLER.

FRAMING CONST. OTHER THAN ROOF

- CRAWL GIRDERS AND BAND WITH 4" CURTAIN WALL & PIER CONSTRUCTION SHALL BE (2) 2x10 SOUTHERN YELLOW PINE #2 UNLESS NOTED OTHERWISE.
- ALL OTHER LUMBER CAN BE SPRUCE #2 UNLESS NOTED OTHERWISE.
- STEEL BEAMS MUST HAVE (5) 2x4 STUD JACKS UNDER EACH END FOR SUPPORT UNLESS NOTED OTHERWISE.
- MICRO-LAM BEAMS MUST HAVE (3) 2x4 STUD JACKS UNDER EACH END SUPPORT UNLESS NOTED OTHERWISE.
- ALL WOOD I-JOISTS & OPEN JOISTS MUST BE BRACED IN ACCORDANCE W/ MANUFACTURER'S DIRECTIONS PLUS DETAILS SHOWN ON PLANS. LOAD BEARING PARTITIONS, JACKS, BEAMS & COLUMN SUPPORTS MUST BE SOLID BLOCKED THROUGH FLOOR TO CARRY LOADS TO SUPPORTING MEMBERS & WALLS TO FOUNDATION. I-JOISTS, TRUSSES & PLYWOOD CANNOT CARRY CONCENTRATED POINT LOADS. ALL POINT LOADS MUST BE CARRIED TO FOUNDATIONS W/ BLOCKING AND/ OR BEAMS.
- ALL RAFTER BRACES MUST HAVE 2 STUDS FROM PLATE TO FOUNDATION OR BEAM BELOW THEM TO ALL FLOORS. NO BRACES ON CLG. PLATE WITHOUT STUDS DIRECTLY UNDER THEM.
- WHERE PARTITIONS FALL BETWEEN FLOOR TRUSSES 2x4 LADDERS AT 16" O.C. MUST BE PLACED PERPENDICULAR TO THE TRUSSES TO SUPPORT THE PLYWOOD DECKING.
- ON ALL OPEN WEB FLOOR TRUSSES OVER 10' SPAN A MINIMUM SINGLE LINE OF 2x4'S SHALL BE NAILED TO DIAGONAL MEMBERS OR VERTICAL MEMBER IN THE APPROXIMATE MID-SPAN AS A LOAD DISTRIBUTION MEMBER. IF LINE OF TIE MEMBER IS NOT CONTINUOUS, LAP ALL OFF-LINE MEMBERS ONE SPACE.
- WHERE CEILING JOISTS ARE PARALLEL TO EXTERIOR WALLS & RAFTERS BEAR ON STUD WALL TOP PLATE ADJACENT TO CLG. JOISTS, BRACE RAFTERS & TOP PLATE TO 2x6 HOGS 6' LONG (MIN) ON 6' CENTERS ALONG LENGTH OF CEILING JOISTS. BRACES SHOULD BE APPROX. 45-1/8 ANGLE.
ALL 2-STORY OPEN GREAT ROOMS & LIVING ROOMS, W/ 2 OR MORE ADJACENT OPENINGS & A SPACING BETWEEN OPENINGS OF 3 FEET OR LESS MUST USE A 3-1/2x3-1/2x5/16" STEEL ANGLE VERTICALLY FROM FLOOR TO TOP PLATE LAGGED TO KING STUDS W/ 3/8x3" LAGS AT 24" O.C. VERT. & LAGGED TO FLOOR & TOP PLATE W/ 1-3/8x3" LAG THRU A 1/4" PLATE AT THE TOP & BOTTOM. MULTIPLE OPENINGS W/ 3' OR LESS SPACE BETWEEN ROUGH OPENINGS SHALL HAVE AT LEAST 1 STEEL ANGLE VERT. IN EACH MULLION SPACE. THE SHEATHING ON THIS STEEL REINFORCED PARTITION SHALL BE 1/2" PLYWOOD - NO OTHER SHEATHING SHALL BE PERMITTED.
HEADERS SHALL BE AS SHOWN UNLESS NOTED DIFFERENTLY ON PLANS:
 - INTERIOR:
 - SPANS UP TO 2'-6" - (2) 2x6's
 - SPANS 2'-6" TO 3'-6" - (2) 2x8's
 - SPANS 3'-6" TO 6'-6" - (2) 2x10's
 - SPANS 6'-6" OR MORE - (2) 2x10's
 - EXTERIOR:
 - SPANS UP TO 2'-0" - (2) 2x6's
 - SPANS 2'-0" TO 3'-0" - (2) 2x8's
 - SPANS 3'-0" TO 5'-0" - (2) 2x10's
 - SPANS 5'-0" OR MORE - SEE PLAN
- ACTUAL TRUSS FLOOR FRAMING DESIGN BY TRUSS MANUFACTURER ENGINEER.

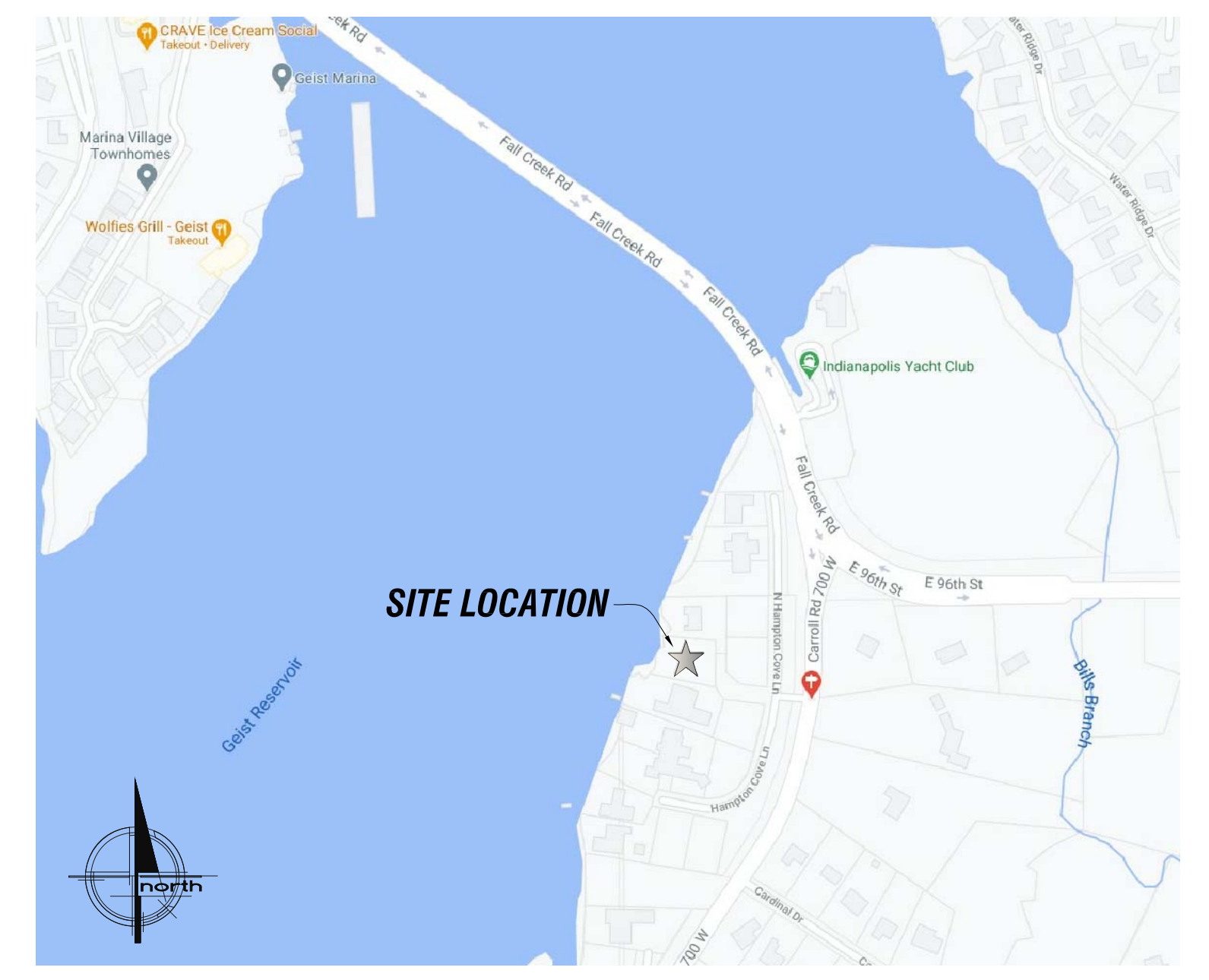
SOLID BEARING SCHEDULE	
STEEL BEAM OR GIRDER:	
(5) 2x4 STUD COLUMNS NAILED VERTICALLY W/ 16 P. NAILS AT 4" O.C.	
FLITCH PLATE OR MLB OR (2) 2x10's:	
(3) 2x4 STUD COLUMNS NAILED VERTICALLY W/ 16 P. NAILS AT 4" O.C.	

PROVIDE CONTINUOUS SUPPORT THRU STRUCTURE TO FOUNDATIONS.

GENERAL NOTES

- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS & CONDITIONS PRIOR TO CONSTRUCTION.
- GENERAL CONTRACTOR ASSUMES ALL LIABILITY FOR ANY CHANGES TO THE PLAN NOT APPROVED BY THE ARCHITECT.
- DIMENSIONS ON FLOOR PLANS ARE FROM FACE OF STUD ON EXTERIOR WALLS AND TO CENTERLINE OF STUD ON INTERIOR WALLS, EXCEPT WHERE NOTED.
- DIMENSIONS OF FOUNDATION PLANS ARE FROM FACE OF MASONRY.
- FLOOR TO FLOOR DIMENSIONS FROM FIRST FLOOR TO TOP OF FINISHED SLAB OF GARAGE FLOOR VARIES ACCORDING TO FIELD GRADE CONDITIONS.
- ALL EXTERIOR HEADERS NOT SPECIFIED ARE (2) 2x10 W/ 1/2" PLYWOOD FLITCH UP TO 6'-0" SPAN (OVER 6'-0", IF NOT CALLED OUT ON PLAN, CONTACT ARCHITECT IMMEDIATELY FOR SIZE)
- DOORS ARE 8'-0" HIGH, UNLESS NOTED OTHERWISE.
- ALL WINDOWS ARE FROM THE PELLA 'PROLINE' SERIES UNLESS OTHERWISE SPEC. (COLOR: TAN)
- ALL EXTERIOR TILE AREAS TO HAVE A 5/8" CEMENT BOARD BACKER.

VICINITY MAP



SYMBOLS LEGEND

	CONCRETE		BATT INSULATION
	CONCRETE MASONRY		RIGID INSULATION
	BRICK		EARTH
	FINISHED WOOD		COMPACTED GRANULAR FILL
	ROUGH WOOD, BLOCKING		EXTERIOR INSULATION FINISH SYSTEM
	SECTION NUMBER		NOTE REFERENCE
	SHEET NUMBER		DOOR REFERENCE
	DETAIL NUMBER		
	SHEET NUMBER		

ABBREVIATIONS

ACQST.	ACOUSTICAL	FIN.	FINISH	R.O.	ROUGH OPENING
A.F.F.	ABOVE FINISHED FLOOR	FL.	FLOOR	RTU.	ROOF TOP UNIT
ALT.	ALTERNATE	FOUND.	FOUNDATION	S.C.	STRUCTURAL CONTRACTOR
ALUM.	ALUMINUM	FT.	FOOT, FEET	SCHED.	SCHEDULE
APPROX.	APPROXIMATELY	FTG.	FOOTING	S.F.	SQUARE FEET
BD.	BOARD	G.C.	GENERAL CONTRACTOR	SHT.	SHEET
BLDG.	BUILDING	GA.	GAUGE	SIM.	SIMILAR
BLK.	BLOCK	GALV.	GALVANIZED	SPECS.	SPECIFICATIONS
BLKG.	BLOCKING	GEN.	GENERAL	SQ.	SQUARE
BM.	BEAM	GL.	GLASS, GLAZING, GLUE	STD.	STANDARD
BRG.	BEARING	GYP. BD.	GYPSUM BOARD	STL.	STEEL
C.J.	CONTROL JOINT	H.B.	HOSE BIB	STOR.	STORAGE
CL.	CLEAR, CENTERLINE	HC	HANDICAPPED	STRUCT.	STRUCTURAL
CLG.	CEILING	HDN.	HARDWARE	SUSP.	SUSPENDED
CMU.	CONCRETE MASONRY UNIT	H.M.	HOLLOW METAL	TELE.	TELEPHONE
C.O.	CLEAN OUT	HORIZ.	HORIZONTAL	T.O.S.	TOP OF STEEL
COL.	COLUMN	HT.	HEIGHT	TH.	THICKNESS
CONC.	CONCRETE	H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	TYP.	TYPICAL
EA.	EACH	INCL.	INCLUDE	UN.O.	UNLESS NOTED OTHERWISE
E.C.	ELECTRICAL CONTRACTOR	INCL.	INCLUDE	URI.	URINAL
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM	INSUL.	INSULATION	V.	VOLT
E.J.	EXPANSION JOINT	INT.	INTERIOR	VCT.	VINYL COMPOSITION TILE
EQ.	EQUAL	JT.	JOINT	VERT.	VERTICAL
EQUIP.	EQUIPMENT	LAM.	LAMINATED	W	WITH
EXIST.	EXISTING	LAV.	LAVATORY	W.C.	WATER CLOSET
EXP.	EXPOSED, EXPANSION	MAS.	MASONRY	WD.	WOOD
EXT.	EXTERIOR	MATL.	MATERIAL	WT.	WEIGHT
F.D.	FLOOR DRAIN	MAX.	MAXIMUM	WH.	WATER HEATER
		MECH.	MECHANICAL	WWF.	WELDED WIRE FABRIC

CODE INFORMATION

ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS AND DRAWINGS AND SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES, A.D.A. AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ANY MODIFICATIONS TO THE CONTRACT WORK REQUIRED BY SUCH AUTHORITIES SHALL BE AT THE EXPENSE OF THE OWNER, SUBJECT TO THE RECEIPT OF AN AFFIDAVIT OR LETTER FROM THE GOVERNING BODY AND OWNER'S PRIOR APPROVAL OF ANY ADDITIONAL COST TO BE INCURRED. ALL PERMITS AND LICENSES NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR INVOLVED.

APPLICABLE CODES	
BUILDING CODE:	2005 INDIANA RESIDENTIAL CODE W/ 2011 CHAPTER II AMENDMENTS BASED ON PARTS OF THE 2009 IRC AND THE 2009 IECC.
CONSTRUCTION TYPE	SINGLE FAMILY RESIDENTIAL
TOTAL SQUARE FOOTAGE	
• BASEMENT	5,963
• FIRST FLOOR - MAIN LEVEL	3,386
• SECOND FLOOR	4,452

NOTICE:
 THE MATERIALS, EQUIPMENT, AND ASSEMBLIES SHOWN AND/OR SPECIFIED BY THE CONSTRUCTION DOCUMENTS ARE MINIMUM REQUIREMENTS OF PERFORMANCE STANDARDS. IT IS EXPECTED THAT EACH SUBCONTRACTOR BE FAMILIAR WITH LICENSING REQUIREMENTS, GOVERNING CODES AND LOCAL PRACTICES OR SHALL BECOME FAMILIAR WITH SAME PRIOR TO CONSTRUCTION.
 ANY AND ALL CHANGES, REVISIONS, AMENDMENTS ERRORS AND/OR OMISSIONS TO THESE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER PRIOR TO CONSTRUCTION. FAILURE TO DO SO RELEASES THE ARCHITECT FROM ANY LIABILITY.

DRAWING INDEX

ARCH	
A0	PROJECT INFORMATION
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A1.3	BASEMENT & FOUNDATION PLAN
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A2.2	SIDES (NORTH & SOUTH) ELEVATIONS
A4.1	BUILDING SECTIONS & DETAILS

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Mercho Residence

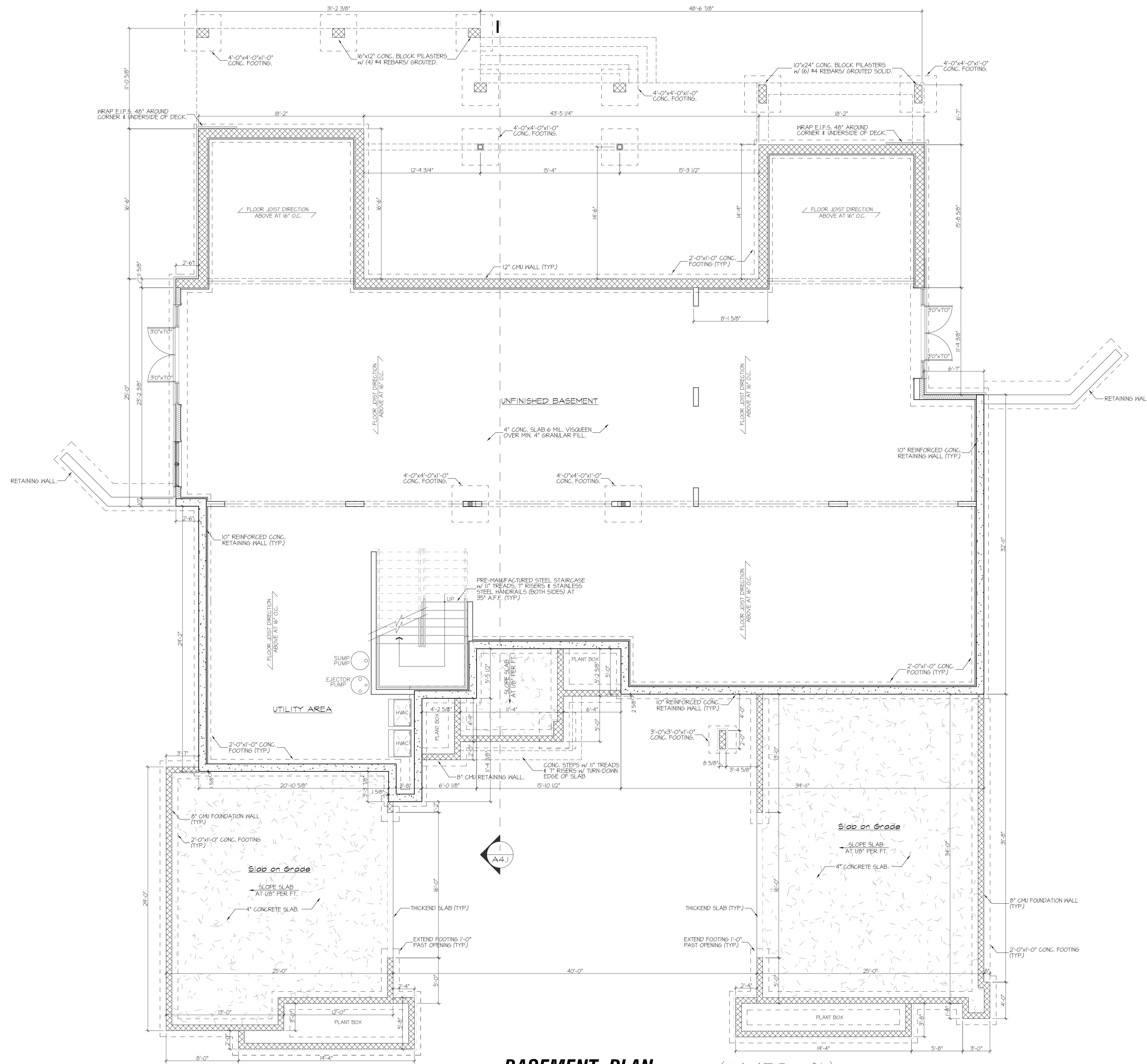
7049 W. Hampton Cove Court
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PROJECT INFORMATION

DATE:	12/24/20	FILE SET:	*
ISSUE #1:	12/24/20	REV. #1:	*
ISSUE #2:	1/20/21	REV. #2:	*
ISSUE #3:	2/09/21	REV. #3:	*
ISSUE #4:	2/10/21	REV. #4:	*
		DRAWN BY:	DS
		CHECKED BY:	DS
		PROJECT NO.:	2013

SHEET NO.

AO



1 BASEMENT PLAN (±4,452 s.ft)
 A1.1 scale 3/16" = 1'-0"

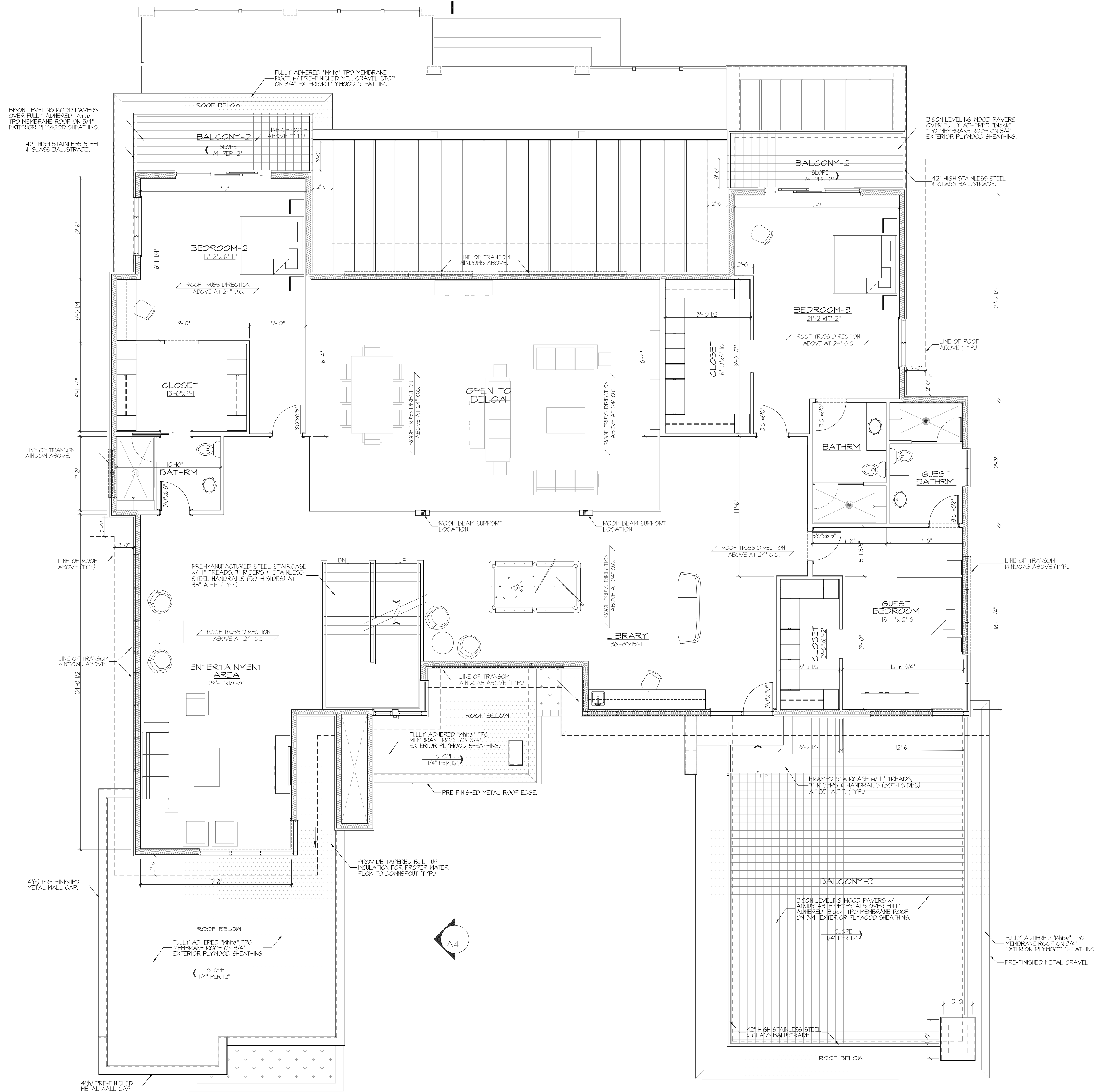
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BASEMENT PLAN

DATE	ISSUE #	ISSUE #	ISSUE #	ISSUE #
12/28/20	1	2	3	4
12/28/20	12/28/20	12/28/20	12/28/20	12/28/20
12/28/20	12/28/20	12/28/20	12/28/20	12/28/20
12/28/20	12/28/20	12/28/20	12/28/20	12/28/20



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SECOND FLOOR PLAN

DATE:	12/28/20	FILE SET:	
ISSUE #1	12/28/20	REV. #1	DS
ISSUE #2	1/20/21	REV. #2	DS
ISSUE #3	2/09/21	REV. #3	DS
ISSUE #4	2/19/21	REV. #4	DS

SHEET NO.

A1.3

1 SECOND FLOOR PLAN (±3,386 s.ft)
 A1.1 scale 3/16" = 1'-0"

AREA CALCULATION:

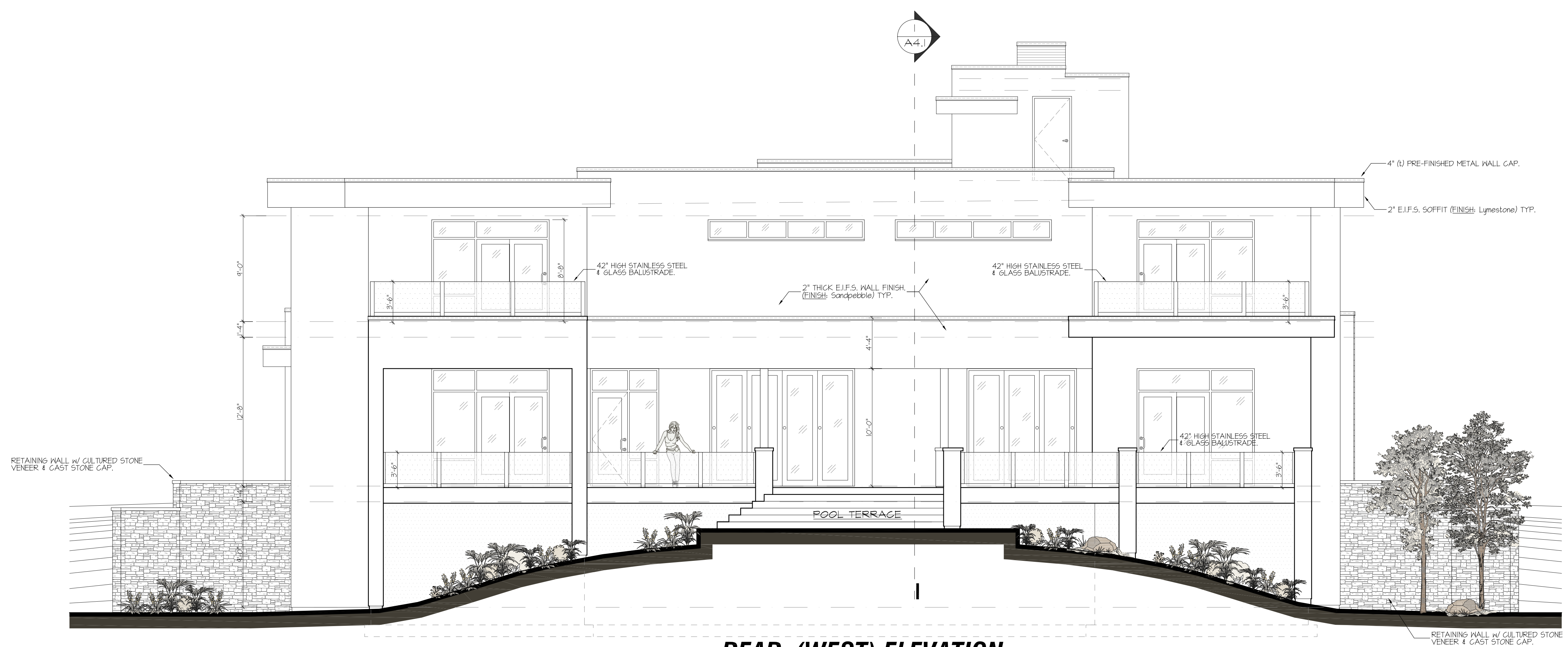
• SECOND FLOOR	3,386
• BALCONY-1	111
• BALCONY-2	111
• BALCONY-3	857

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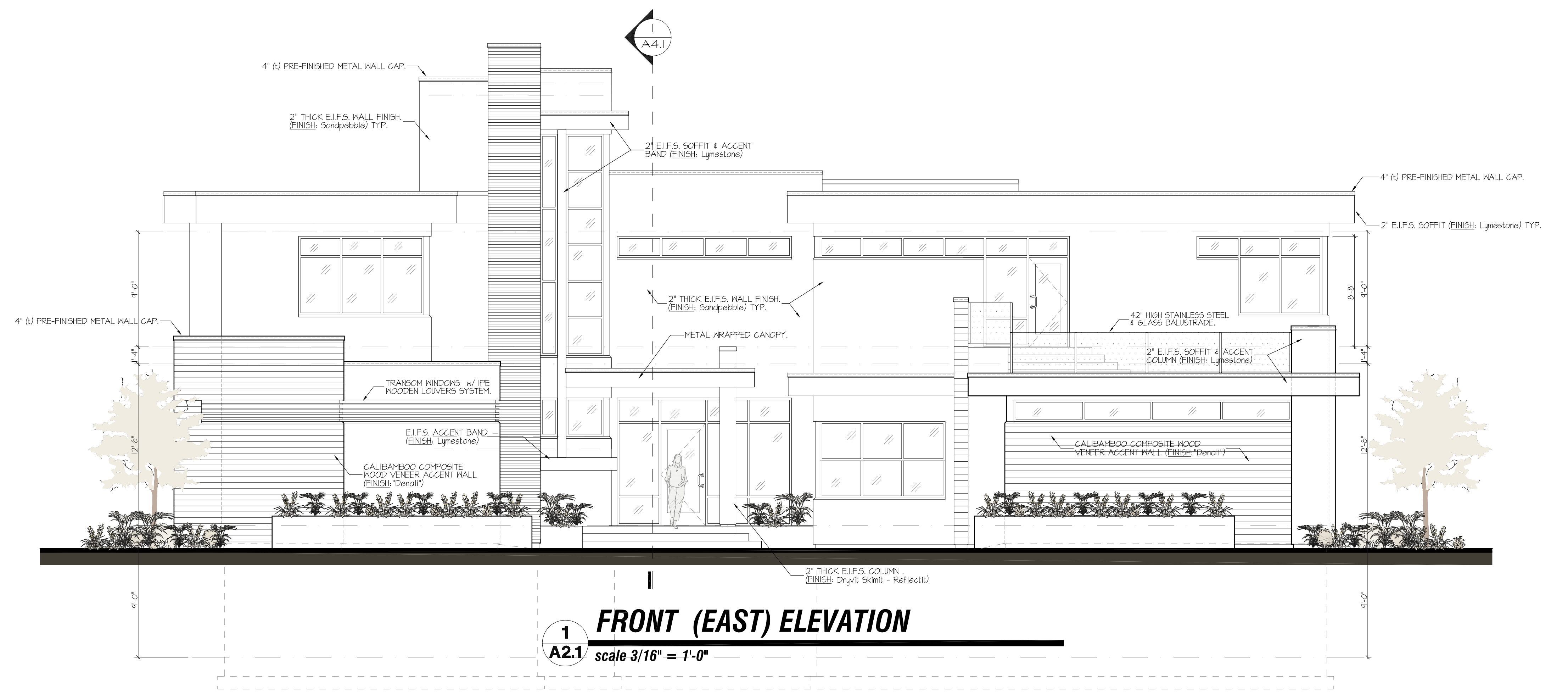
ELEVATIONS

DATE	ISSUE #	ISSUE #	ISSUE #	ISSUE #
12/28/20	1	2	3	4
12/28/20	1	2	3	4
12/28/20	1	2	3	4
12/28/20	1	2	3	4

FILE SET: *
 DRAWN BY: DCS
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 PROJ. NO.: 2018



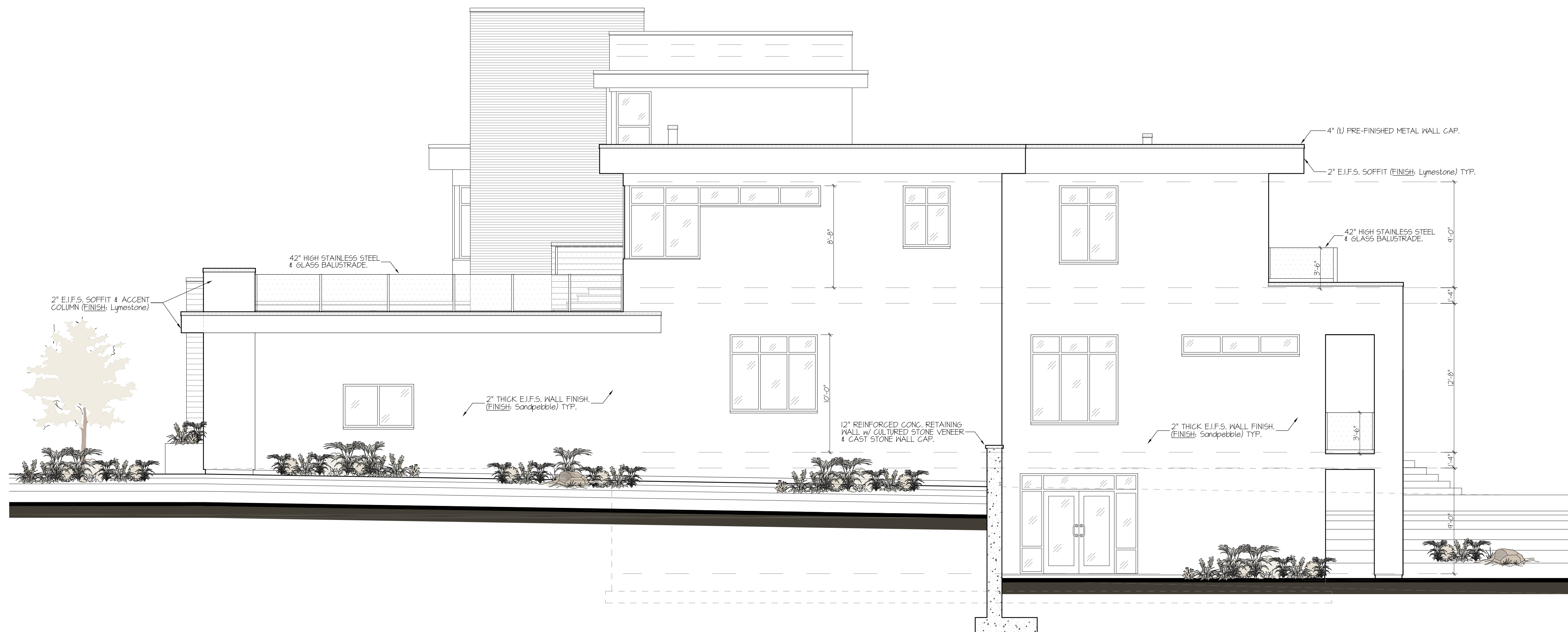
2 REAR (WEST) ELEVATION
 A2.1 scale 3/16" = 1'-0"



1 FRONT (EAST) ELEVATION
 A2.1 scale 3/16" = 1'-0"



2
A2.2 **SIDE (SOUTH) ELEVATION**
scale 3/16" = 1'-0"



1
A2.2 **SIDE (NORTH) ELEVATION**
scale 3/16" = 1'-0"

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ELEVATIONS

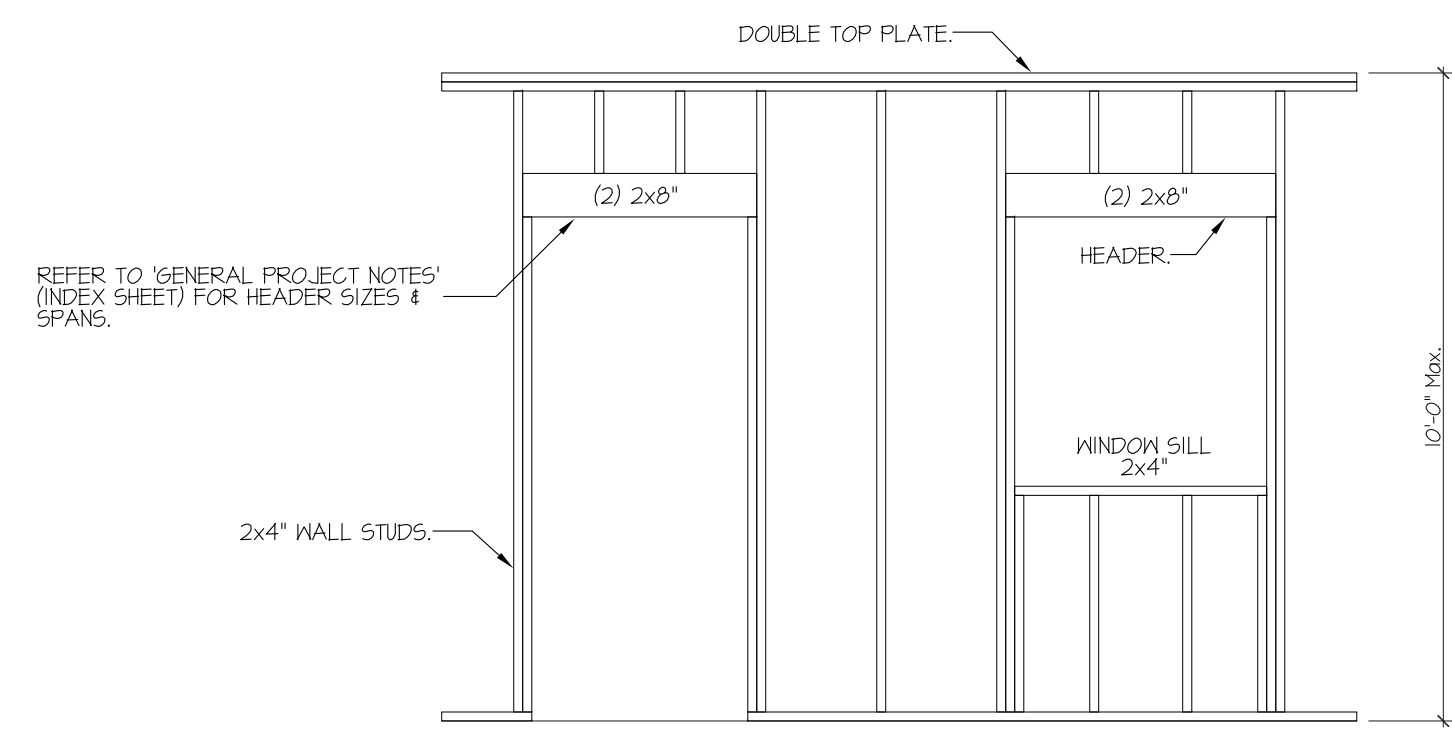
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					REV. #2
					REV. #3
					REV. #4
					PROJ. NO. 2018

SHEET NO.
A2.2

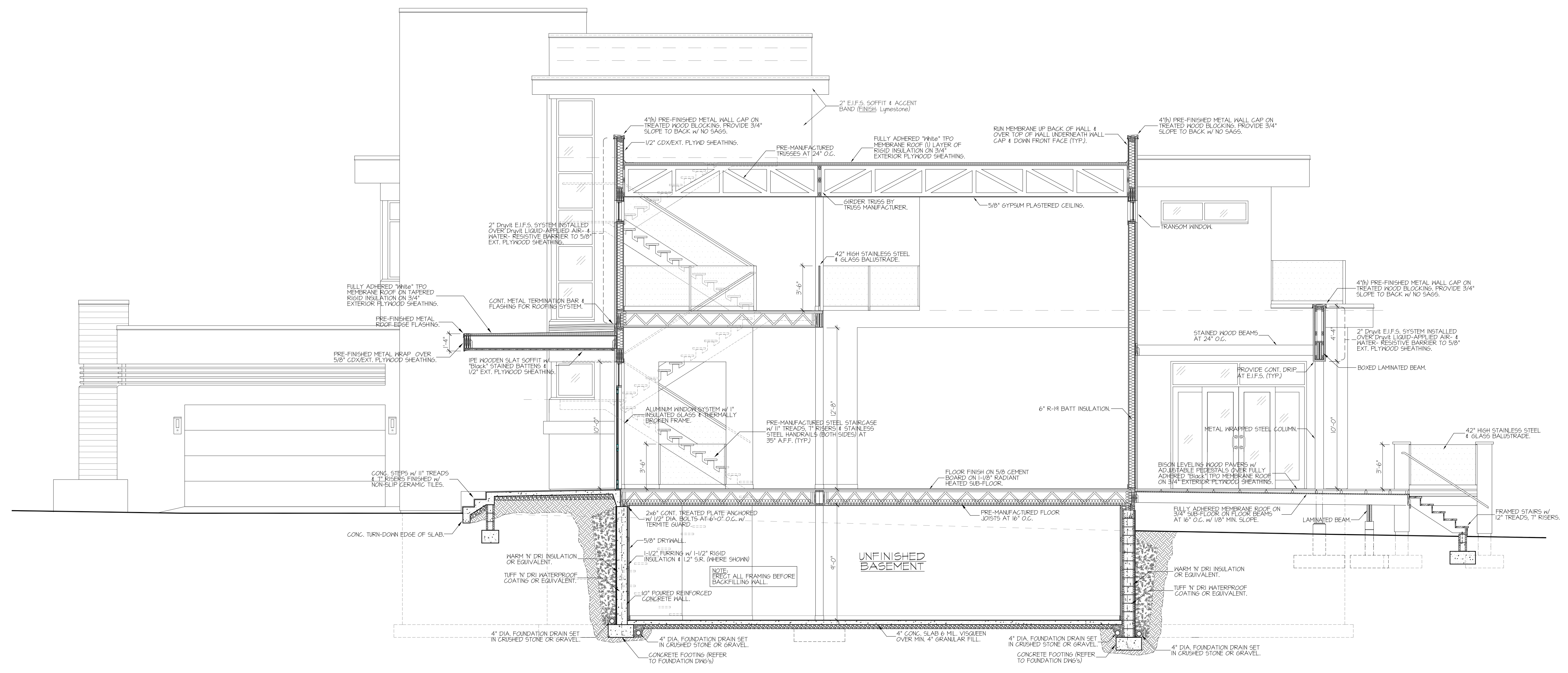
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BUILDING SECTIONS

DATE	12/29/20	FILE SET	
ISSUE #1		REV #1	
ISSUE #2		REV #2	
ISSUE #3		REV #3	
ISSUE #4	2/17/21	REV #4	
PROJ. NO.	2013		



2 WINDOW & DOOR FRAMING DETAIL
 A4.1 scale N.T.S.



1 BUILDING SECTION
 A4.1 scale 1/4" = 1'-0"