



Plan Commission Staff Report
Department of Planning and Building
Town of McCordsville

February 16, 2021

Project: PC-20-021, Vintner's Park PUD

Petitioner: Premier Land Development

Request: The petitioner is seeking a favorable recommendation on a rezone from Residential-1 (R-1) to Vintner's Park PUD.

Staff Review: This petition received a unanimous favorable recommendation from the Plan Commission last month. This petition is coming back to the Board for two reasons. (1) Staff's certification letter failed to include all of the commitments noted during the meeting and (2) the petitioner is seeking a small tweak to a proposed bulk standard. This staff report contains all of the previous information noted in last month's staff report. Near the end of this report, there is a section entitled "February Update", this is the only new information contained in this report, other than the redlines herein.

This property has been zoned R-1 since the Town took over Planning & Zoning authority from the County in 2011. The property is currently mostly open field, which is farmed. There is wooded area in the northwest corner of the site, and a legal drain traverses the south end of the property. The property has frontage along CR 900N.

Existing Land Use & Zoning

The subject parcel is approximately 80 acres and is undeveloped. It is located along the northside of CR 900N, approximately ¼ mile east of CR 700W (Carroll Rd). Adjacent properties are zoned as follows:

- North: Single-family homes, zoned Geist Woods Estates PUD
- East: Undeveloped property zoned R-1
- South: Across CR 900N lies common area within the Deer Crossing subdivision, a single-family residence, and a place of worship. All three uses are zoned as part of the Deer Crossing PUD
- West: Daniel's Vineyard, the southern 40 acres is zoned Regional Commercial (CR), while the northern 40 acres is zoned R-1

Infrastructure

The subject property is located within the Town's sanitary sewer territory. Sanitary service will be provided via a gravity sewer. Water service is provided by Citizens Energy Group. Vehicular site access will be provided via an entrance onto CR 900N, a connection to Dogwood Drive, and a street stub will be extended to the west property line for a future connection. Internal sidewalks and perimeter paths will also be installed for pedestrian accessibility. Drainage infrastructure will be installed in compliance with the Town's requirements.

Development Proposal

The proposed subdivision includes 127 lots on 80 acres, with a stipulation that density cannot exceed 1.6 units/acre. The three closest subdivisions feature the following densities:

- Geist Woods Estates: 1.6 u/a
- Deer Crossing: 3.2 u/a
- Highland Springs: 1.2 u/a

In keeping with many of the Town's PUDs the petitioner is proposing a number of specific bulk standards that would apply within the PUD. Highlights of those bulk standards are noted below, please note there are three (3) distinct lot sizes within the proposal:

Area A (Lots along 900N)

- Max No. of Lots: 5
- Min. Lot Area: 297,000 SF
- Min. Lot Width: 1320 feet
- Min. FY Setback: 40 feet
- Min. SY Setback: 10 feet
- Min. RY Setback: 30 feet
- Min. Livable Floor Area: 2,200 SF (single story)
2,800 SF (multi story)
- Max. Lot Coverage: 40%
- Max. Height (Principle): 35 feet

Area B

- Max No. of Lots: 75
- Min. Lot Area: 15,000 SF
- Min. Lot Width: 95 feet
- Min. FY Setback: 30 feet
 - 2ndary Frontage: 25 feet
- Min. SY Setback: 6 feet
- Min. RY Setback: 20 feet
- Min. Livable Floor Area: 2,200 SF (single story)
2,600 SF (multi story)
- Max. Lot Coverage: 40%
- Max. Height (Principle): 35 feet

Area C

- Max No. of Lots: 47
- Min. Lot Area: 11,000 SF
- Min. Lot Width: 75 feet
- Min. FY Setback: 30 feet
 - 2ndary Frontage: 25 feet
- Min. SY Setback: 6 feet
- Min. RY Setback: 20 feet
- Min. Livable Floor Area: 1,750 SF (single story)
2,000 SF (multi story)
- Max. Lot Coverage: 45%
- Max. Height (Principle): 35 feet

The petitioner's proposal also includes a number of architectural, landscaping, and other design standards. We will not list all those standards in this staff report. Some elements of the proposal will be discussed in the *Staff Comments* below. In addition, staff has prepared a matrix comparing the proposed PUD standards to those of Geist Woods Estates, Deer Crossing, Highland Springs, and the Town's R-2 Zoning District.

Staff Comments:

This petition seeks to arrange the lots in a manner that takes advantage of the natural features of the property. A significant portion of the wooded area at the northwest corner of the site is being conserved in a Tree Conservation Area (TCA). Secondly, there is TCA along most of the perimeter property lines so that property line trees and vegetation can be conserved. These TCAs limit clearing in those areas, as described and defined in the PUD Ordinance. A large common area has been formed along the legal drain. The legal drain features a significant amount of natural vegetation and trees. The petitioner is not showing this area as a TCA; however, the plan clearly shows intent to conserve as many as possible in this area. Additionally, the County Surveyor/Drainage Board will ultimately have say over tree conservation (or tree clearing) within the limits of their legal drain easement.

The proposal also includes multi-modal connectivity. As with all subdivisions in McCordsville, all internal streets will have sidewalks on both sides. The Town's Bicycle and Pedestrian Master Plan shows a multi-purpose trail option along the legal drain. This trail is not shown on the petitioner's plans. Staff and the petitioner had lengthy discussions over this element, and staff has concluded the trail is better left along CR 900N. Constructing the trail along the legal drain would result in the destruction of more trees, because it would not be allowed within the legal drain easement. The overall trail along CR 900N is not negatively affected by this alignment shift and in fact likely makes the trail more accessible and visible for more users. Immediate sections of this trail to the west and east will also be along the CR 900N frontage. Eventually this trail, will be extended and create, in conjunction with existing trails along CR 1000N (96th St), Carroll Rd (700W), and Mt. Comfort Rd (600W), and future trails along Carroll (700W) and CR 900N, a 4-mile trail loop. This project brings that 4-mile trail ¼ mile closer to reality.

The petitioner's plans include a significant perimeter and entrance landscape package. Most subdivisions in McCordsville include perimeter mounding and plantings at a rate of 7 trees and 6 shrubs per 100 lineal feet. The petitioner's proposal is unique, due to both the aesthetic choices they are proposing, as well as the site challenges the legal drain poses. The plans show mounding along the eastern portion of the CR 900N frontage. This mounding trails off as it nears the legal drain, as the natural terrain does. This grade needs to be maintained to keep proper drainage flow. In terms of the tree and shrub density the petitioner is proposing approximately 50 trees and 41 shrubs along the frontage. The normal standard (7 trees and 6 shrubs per 100') would produce a requirement of 27 trees and 23 shrubs. In addition to the upgraded landscape package and mounding, the petitioner plans also include a fence, with stone columns, extending from the entrance signage, and a heavily landscaped median designed to create a stately entrance into the development. Staff sees this proposed perimeter package as an upgrade. With that said, staff would like to denote the proposed fence calls out "rough sawn wood pickets" and staff would like to see an example of this type of fencing, and some discussion regarding it at the Plan Commission meeting.

Traffic

Staff requested a traffic study be completed for the development. That study has been uploaded to the online agenda, and the Town Engineer will be prepared to provide further explanation and answer questions regarding the study. Furthermore, Geist Woods Estates has expressed some concern regarding the traffic and connection into their neighborhood. Staff will be prepared to discuss these elements at the Plan Commission meeting.

At the time of this report, staff has received two letters of remonstrance to this petition. Those letters have been uploaded to the online agenda. The petitioner has prepared some responses, and those have been uploaded to the agenda as well. Staff is currently working on written responses to the applicable portions of the letters and will provide those written responses the day of the meeting.

For all rezones, Indiana Code Section 36-7-4-603 states that reasonable regard shall be paid to the following items:

1. The Comprehensive Plan
2. Current conditions and the character of the current structures and uses
3. The most desirable use for which the land is adapted
4. The conservation of property values throughout the jurisdiction
5. Responsible growth and development

The Future Land Use Map envisions this area to be developed as *Rural Residential*. According to the Comprehensive Plan *Rural Residential is intended for very low density, single-family residential uses in an otherwise rural setting. The purpose of this classification is to create an attractive, established, and orderly residential environment for citizens who desire large single-family residential lots. Development in this classification is often less than 1 dwelling unit per acre.* This area is no longer rural and should be considered a suburban area. In a contemporary suburban environment, which this area is, a density of 1.6 units/acre is a very low density and is in keeping with the existing development in the area. This makes a density of 1.6 acres an appropriate land

use density for the development of this property. Despite its suburban feel, this proposal meets the purpose of the *Rural Residential* classification because it clearly creates an attractive, established, and orderly residential environment. Staff finds this proposal is in keeping with the Comprehensive Plan. Furthermore, the proposed land use, low density, single-family residential, is clearly the most desirable land use for the property and the larger area. The proposed standards are in keeping with other developments in the area and is not expected to de-value property values.

Staff is supportive of this petition. Following a satisfactory resolution to staff's fencing type concern, and the public hearing, we recommend sending a favorable recommendation to the Town Council.

This petition will require a public hearing and following the public hearing and discussions from staff and the petitioner, the Commission can motion to provide (a) a favorable recommendation, (b) no recommendation, (c) unfavorable recommendation, or (d) continue the petition.

February Update:

As stated above, the only actual change to this petition is proposed change to a bulk standard. The legal drain that crosses the site is known as the Schulz & Schulz. This drain has a more restrictive release rate, which is dictated by the County Drainage Board. As the petitioner's engineer has continued to collect more information and evaluate the site from a drainage standpoint, it has been determined that a dry detention basin is likely needed on the southside of the legal drain. This area is slated for five (5) lots, as described, and regulated by Area A of the proposed PUD. To make room for a dry detention basin the petitioner is seeking to reduce the minimum lot width for Area A from 130' to 120'. Obviously, this change in lot width, also requires an adjustment to the minimum lot size. For ease of reference, the petitioner has red-lined both of those changes and redlined the added language regarding landscape plantings that was committed to last month.

The Town has not received any new remonstrance to this petition since last month.

Staff remains in full support of this petition and recommends a favorable recommendation to the Town Council.

Existing Conditions



 **Subject Site**

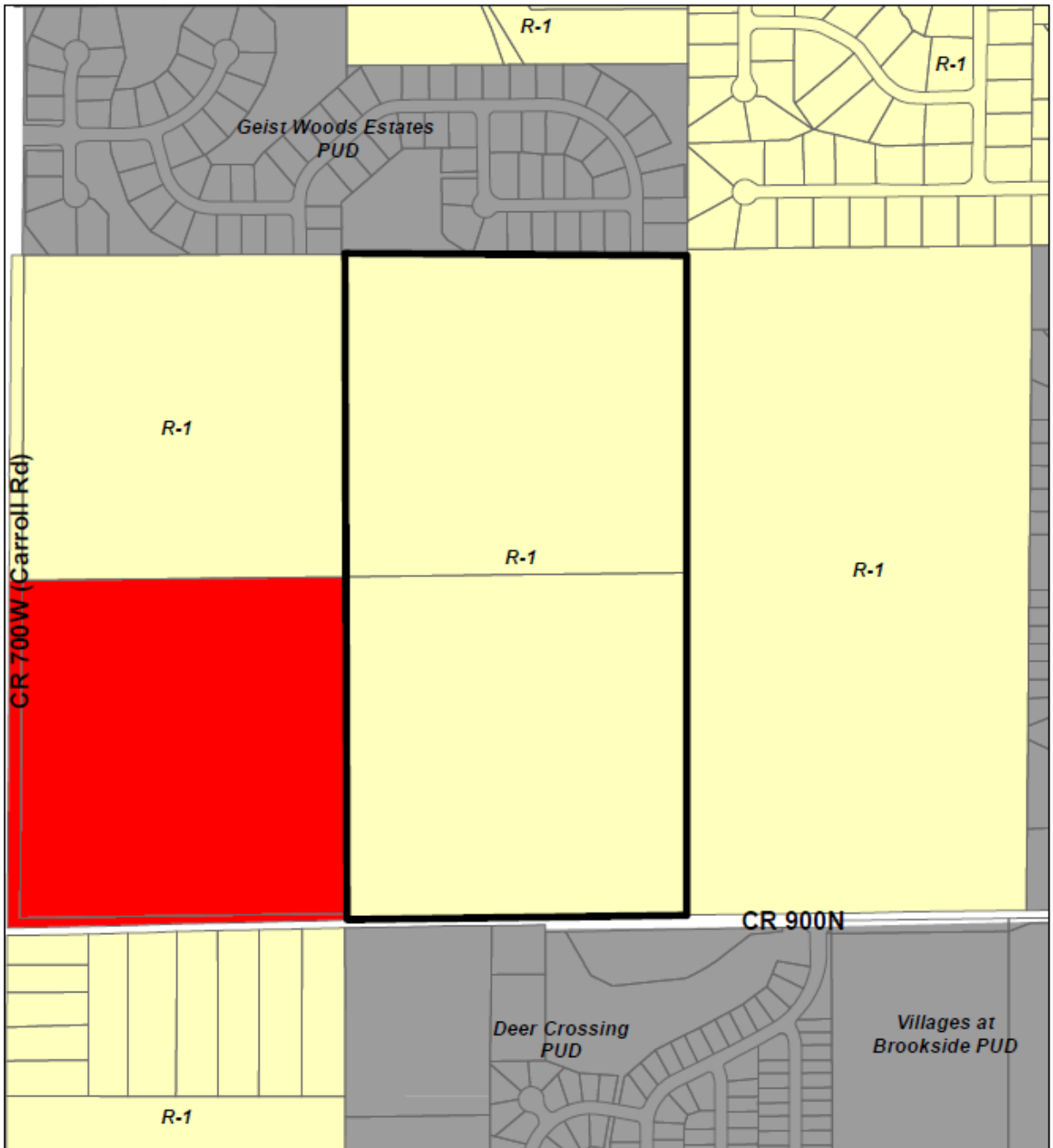



Zoning

THE TOWN OF
McCORDSVILLE



Next Stop McCordsville



 Subject Site

