



FINAL ENGINEERING PLANS PROJECT JARASCO

5671 N 600 W MCCORDSVILLE, IN 46055

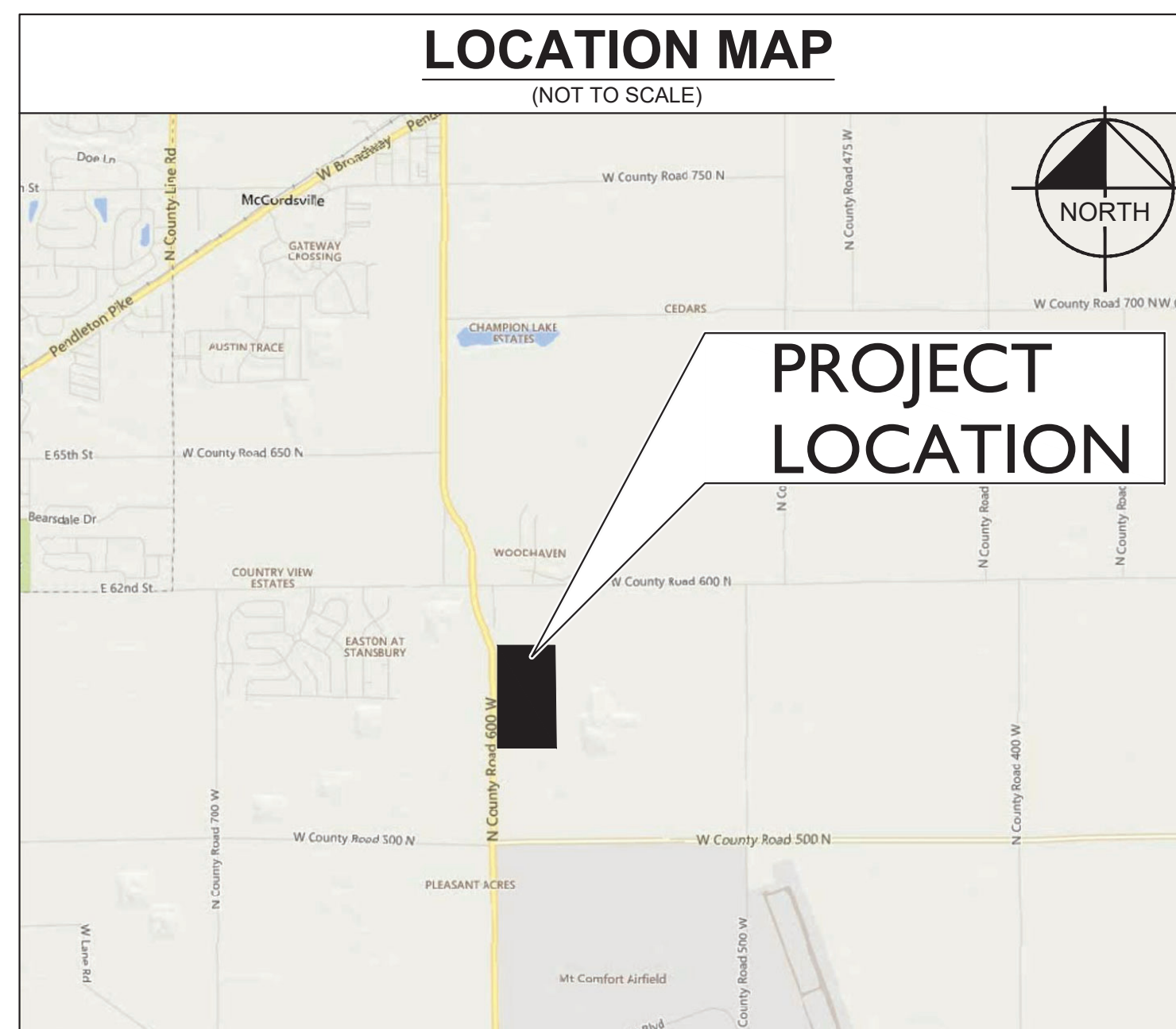
UTILITY AND GOVERNING AGENCY CONTACTS

SERVICE / JURISDICTION	COMPANY / DEPT.	ADDRESS	PHONE NUMBER	CONTACT
SANITARY SEWER	AQUA INDIANA	5750 CASTLE CREEK PARKWAY NORTH DR., SUITE 314, INDIANAPOLIS, IN 46250	(317) 577-1390	JIM SHIELDS, P. E.
WATER	CITIZENS ENERGY GROUP/CWA AUTHORITY, INC	2150 DR MARTIN LUTHER KING JR ST., INDIANAPOLIS, IN 46202	(317) 927-4351	BRAD HOSTETLER
STREETS	MCCORDSVILLE PUBLIC WORKS	6280 W 800 N MCCORDSVILLE, IN 46055	(317) 335-3493	RON CRIDER
STORM SEWER	MCCORDSVILLE PUBLIC WORKS	6280 W 800 N MCCORDSVILLE, IN 46055	(317) 335-3493	RON CRIDER
ELECTRICITY	DUKE ENERGY SERVICE AND INSTALLATION DEPT.	2727 CENTRAL AVE, COLUMBUS, IN 47201	(317) 774-0246	RYAN DAUGHERTY
NATURAL GAS	VECTREN	1630 N MERICIAN ST INDIANAPOLIS, IN 46202	(800) 227-1376	DAVID SHERRY
TELEPHONE / COMMUNICATIONS	NINESTAR CONNECT	2243 E MAIN ST GREENFIELD, IN 46140	(317) 323-2081	JASON WARRICK
PLANNING & ZONING	MCCORDSVILLE PLANNING AND BUILDING DEPARTMENT	6280 W 800 N MCCORDSVILLE, IN 46055	(317) 335-3604	RYAN CRUM

PROJECT TEAM

ROLE	COMPANY	ADDRESS	PHONE NUMBER	CONTACT
DEVELOPER/OWNER	THE PETERSON COMPANY, LLC	7132 ZIONSVILLE ROAD, INDIANAPOLIS, IN 46268	(317) 805-1200	LARRY SIEGLER
CIVIL ENGINEER	KIMLEY-HORN AND ASSOCIATES, INC.	250 E. 96TH ST., STE 580, INDIANAPOLIS, IN 46240	(317) 218-9560	BILL BUTZ, PE
LANDSCAPE ARCHITECT	KIMLEY-HORN AND ASSOCIATES, INC.	250 E. 96TH ST., STE 580, INDIANAPOLIS, IN 46240	(317) 218-9560	BRANDON SCHREEG, PLA
LAND SURVEYOR	ACCURA LAND SURVEYING	PO BOX 786 GREENFIELD, IN 46140	(317) 462-3734	PHILIP GOING

LOCATION MAP



HANCOCK COUNTY

CONSTRUCTION OF A ±350,000 SF INDUSTRIAL WAREHOUSE FOR INTERSTATE WAREHOUSING ON ±31.79 AC. PROJECT IS IN SECTION 6 OF T16N, R6E IN BUCK CREEK TOWNSHIP, HANCOCK COUNTY, INDIANA

LEGAL DESCRIPTION

THE SOUTHEAST QUARTER OF SECTION 6, TOWNSHIP 16 NORTH, RANGE 6 EAST IN BUCK CREEK TOWNSHIP, HANCOCK COUNTY, INDIANA:

TRACT 1:
A PART OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 16 NORTH, RANGE 6 EAST IN BUCK CREEK TOWNSHIP, HANCOCK COUNTY, INDIANA, SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A BRASS MONUMENT MARKING THE NORTHWEST CORNER OF SAID QUARTER SECTION; THENCE SOUTH 00 DEGREES 09 MINUTES 30 SECONDS EAST (NORTH AMERICAN DATUM OF 1983, INDIANA EAST ZONE) ALONG THE WEST LINE OF SAID QUARTER SECTION A DISTANCE OF 1265.62 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTH 89 DEGREES 50 MINUTES 30 SECONDS EAST 1039.13 FEET TO A CAPPED 1/8 INCH REBAR (ACCURA) ON THE WEST LINE OF A 5,000 ACRE TRACT OF LAND PER INSTRUMENT NUMBER 030000128 IN THE OFFICE OF SAID RECORDER OF HANCOCK COUNTY, INDIANA (THE NEXT TWO CALLS ARE ALONG THE WEST AND SOUTH LINES OF SAID 5,000 ACRE TRACT);

- SOUTH 00 DEGREES 13 MINUTES 41 SECONDS EAST 39.49 FEET;
- SOUTH 89 DEGREES 56 MINUTES 08 SECONDS EAST 167.40 FEET TO THE EAST LINE OF A 62 ACRE TRACT OF LAND PER INSTRUMENT NUMBER 850000125 IN THE OFFICE OF THE RECORDER OF HANCOCK COUNTY, INDIANA; THENCE SOUTH 00 DEGREES 13 MINUTES 41 SECONDS EAST ALONG SAID EAST LINE 1054.13 FEET TO A POINT THAT IS 75.00 FEET NORTH (AS MEASURED PERPENDICULARLY) FROM THE NORTH LINE OF A 3.605 ACRE TRACT OF LAND PER INSTRUMENT NUMBER 080009162 IN THE OFFICE OF SAID RECORDER; THENCE SOUTH 89 DEGREES 00 MINUTES 59 SECONDS WEST PARALLEL WITH SAID NORTH LINE 1177.99 FEET TO THE EASTERLY RIGHT OF WAY LINE OF COUNTY ROAD 600 WEST AS DEFINED BY A WARRANTY DEED TO HANCOCK COUNTY, INDIANA RECORDED AS INSTRUMENT NUMBER 930009024 IN THE OFFICE OF SAID RECORDER (THE NEXT TWO CALLS ARE ALONG SAID RIGHT OF WAY LINE);
- NORTH 00 DEGREES 09 MINUTES 30 SECONDS WEST 805.51 FEET;
- NORTH 03 DEGREES 24 MINUTES 52 SECONDS WEST 176.63 FEET; THENCE SOUTH 89 DEGREES 50 MINUTES 30 SECONDS WEST 19.99 FEET TO THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 6; THENCE NORTH 00 DEGREES 09 MINUTES 30 SECONDS WEST ALONG SAID WEST LINE 129.38 FEET TO THE POINT OF BEGINNING, CONTAINING 29.758 ACRES, MORE OR LESS.

SUBJECT, HOWEVER, TO ALL LEGAL HIGHWAYS, RIGHTS OF WAY, EASEMENTS AND RESTRICTIONS OF RECORD.

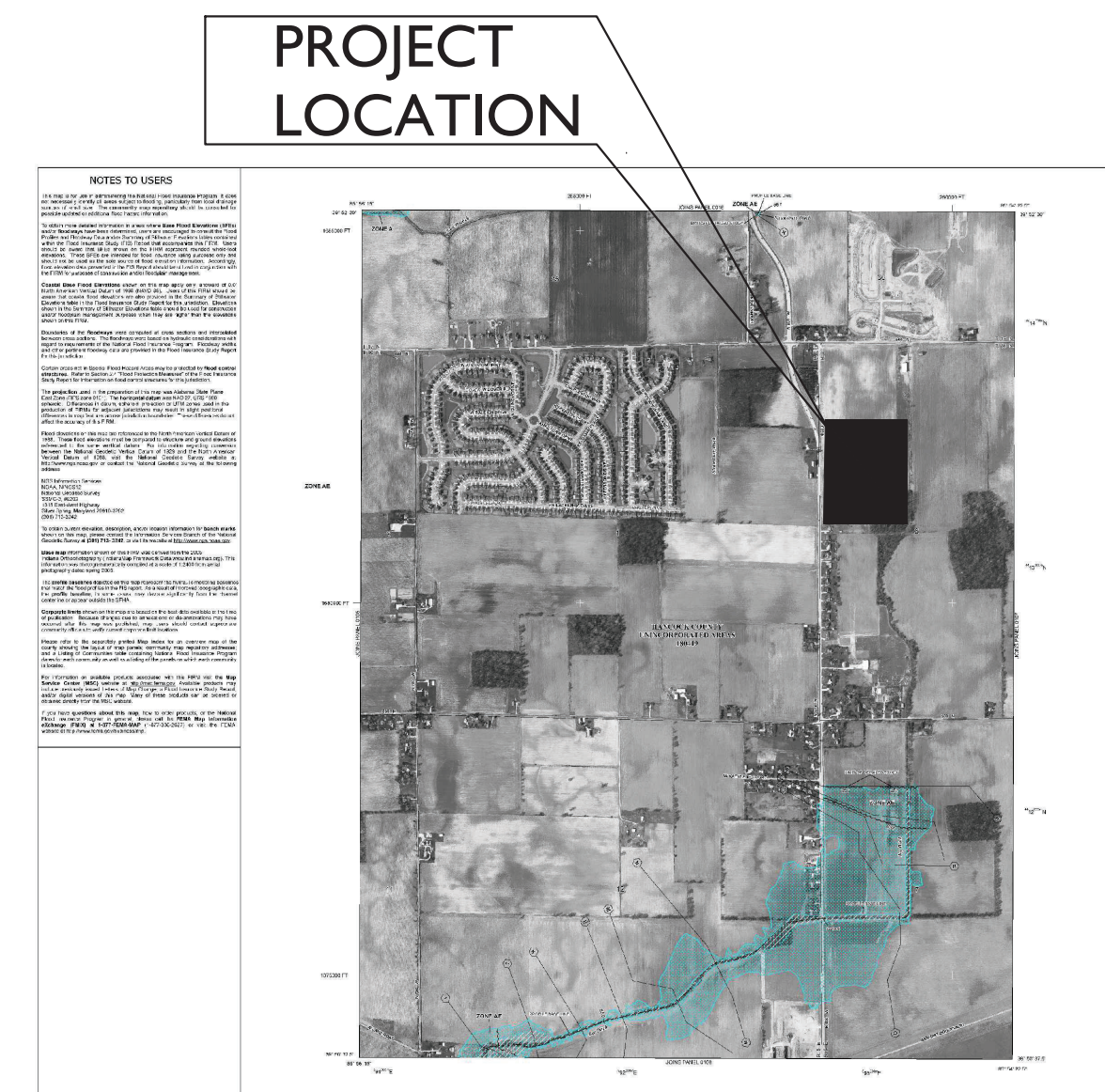
REMAINDER OF PARENT TRACT:
A PART OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 16 NORTH, RANGE 6 EAST IN BUCK CREEK TOWNSHIP, HANCOCK COUNTY, INDIANA, SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A BRASS MONUMENT MARKING THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER SECTION THENCE SOUTH 00 DEGREES 09 MINUTES 30 SECONDS EAST (NORTH AMERICAN DATUM OF 1983, INDIANA EAST ZONE) ALONG THE WEST LINE OF SAID QUARTER SECTION A DISTANCE OF 1265.62 FEET; THENCE NORTH 89 DEGREES 50 MINUTES 30 SECONDS EAST 1039.13 FEET TO A CAPPED 5/8 INCH REBAR (ACCURA) ON THE WEST LINE OF A 5,000 ACRE TRACT OF LAND PER INSTRUMENT NUMBER 030000128 IN THE OFFICE OF SAID RECORDER OF HANCOCK COUNTY, INDIANA; THENCE NORTH 00 DEGREES 13 MINUTES 41 SECONDS WEST 1234.56 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF COUNTY ROAD 600 NORTH AS DEFINED IN A WARRANTY DEED TO HANCOCK COUNTY, INDIANA RECORDED AS INSTRUMENT NUMBER 040008442 IN THE OFFICE OF SAID RECORDER (THE NEXT FOUR CALLS ARE ALONG SAID DEFINED RIGHT OF WAY LINE);

- SOUTH 87 DEGREES 46 MINUTES 26 SECONDS WEST 199.46 FEET;
- NORTH 89 DEGREES 56 MINUTES 08 SECONDS WEST 250.44 FEET;
- NORTH 87 DEGREES 38 MINUTES 42 SECONDS WEST 311.03 FEET;
- NORTH 00 DEGREES 03 MINUTES 52 SECONDS EAST 22.57 FEET TO THE NORTH LINE OF SAID NORTHWEST QUARTER SECTION; THENCE NORTH 89 DEGREES 56 MINUTES 08 SECONDS WEST ALONG SAID NORTH LINE 277.22 FEET TO THE POINT OF BEGINNING, CONTAINING 29.573 ACRES, MORE OR LESS.

SUBJECT, HOWEVER, TO ALL LEGAL HIGHWAYS, RIGHTS OF WAY, EASEMENTS AND RESTRICTIONS OF RECORD.

PROJECT LOCATION



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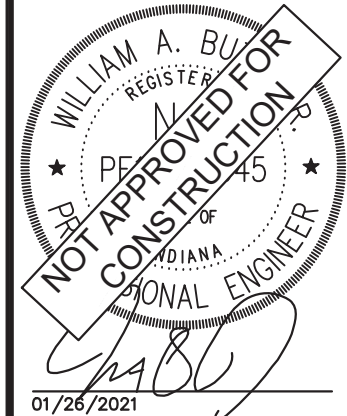
Hydrologic Soil Group—Hancock County, Indiana

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in ADI	Percent of ADI
Br	Brookston silty clay loam, 0 to 2 percent slopes	B/D	39.1	52.1%
CRA	Crookston silt loam, New Castle Till Plain, 0 to 2 percent slopes	C/D	27.1	36.1%
Ko	Kokomo silty clay loam, 0 to 2 percent slopes	C/D	4.8	6.4%
MmB2	Miami silt loam, 2 to 6 percent slopes, eroded	C	0.4	0.6%
Mt	Milford silty clay loam	C/D	3.6	4.8%
Totals for Area of Interest			75.0	100.0%

NO.	DATE	BY
02/15/2021	AMM	AMM
01/28/2021	AMM	AMM

DESIGNED BY: AMM
DRAWN BY: CWB
CHECKED BY: MJT



TITLE SHEET

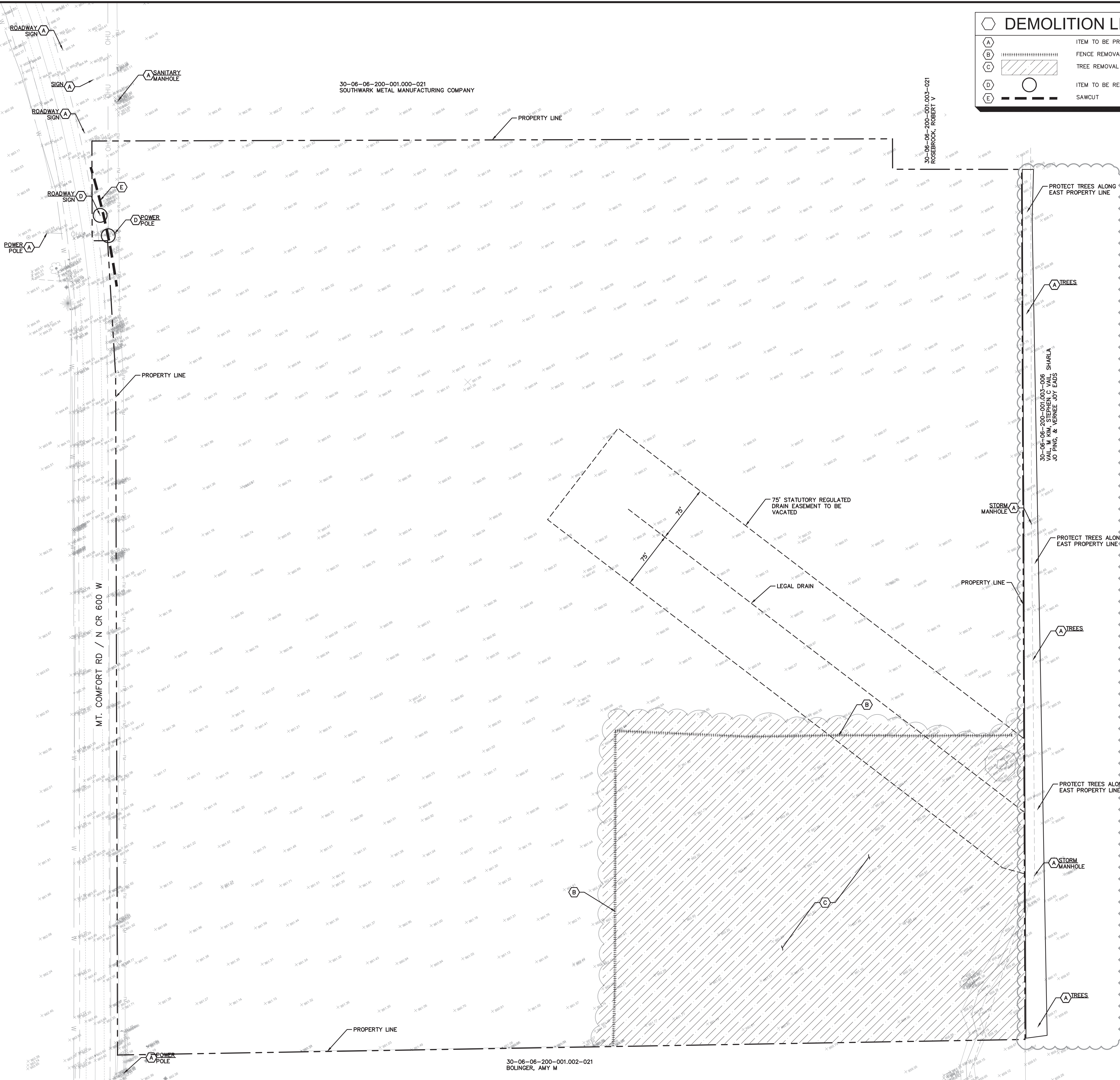
PROJECT JARASCO
5671 N 600 W
MCCORDSVILLE, IN

ORIGINAL ISSUE:
12/28/2020
KHA PROJECT NO.
170024022

SHEET NUMBER
C0.0

Drawing name: K:\IND\DEV\170024022_Peterson_Jarasco_McCordsville_IN2_Design\CAD\DWG\PlanSheets\C0.0 TITLE SHEET.dwg C0.0 Feb 08, 2021 9:48am by: Anthony.Magnity
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DEMOLITION LEGEND

(A)	ITEM TO BE PROTECTED
(B)	FENCE REMOVAL
(C)	TREE REMOVAL
(D)	ITEM TO BE RELOCATED
(E)	SAWCUT

Indiana Utilities Protection Service

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DEMOLITION NOTES

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
- IF DEMOLITION OR CONSTRUCTION ON SITE WILL INTERFERE WITH THE ADJACENT PROPERTY OWNER'S TRAFFIC FLOW, THE CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNER TO MINIMIZE THE IMPACT ON TRAFFIC FLOW. TEMPORARY RE-ROUTING OF TRAFFIC IS TO BE ACCOMPLISHED BY USING INDOT APPROVED TRAFFIC BARRICADES, BARRELS AND/OR CONES. TEMPORARY SIGNAGE AND FLAGMEN MAY BE ALSO NECESSARY.
- CONTRACTOR SHALL NOT DEMOLISH ANYTHING OUTSIDE THE OWNERS LEASE/PROPERTY LINE UNLESS SPECIFICALLY MENTIONED ON THIS SHEET.
- QUANTITIES DEPICTED ON THIS SHEET SHALL SERVE AS A GUIDE ONLY. CONTRACTOR TO VERIFY ALL DEMOLITION QUANTITIES.
- PRIOR TO BIDDING AND CONSTRUCTION, CONTRACTOR TO REFER TO OWNER PROVIDED PHASE I ENVIRONMENTAL SITE ASSESSMENT AND ASBESTOS REPORT FOR SITE SPECIFIC CONDITIONS AND CONSIDERATIONS.
- CONTRACTOR SHALL BEGIN CONSTRUCTION OF ANY LIGHT POLE BASES FOR RELOCATED LIGHT FIXTURES AND RELOCATION OF ELECTRICAL SYSTEM AS SOON AS DEMOLITION BEGINS. CONTRACTOR SHALL BE AWARE THAT INTERRUPTION OF POWER TO ANY LIGHT POLES OR SIGNS SHALL NOT EXCEED 24 HOURS.
- EROSION CONTROL MUST BE ESTABLISHED PRIOR TO ANY WORK ON SITE INCLUDING DEMOLITION. REFER TO THE EROSION CONTROL SHEET.
- REFER TO GEOTECHNICAL REPORT PROVIDED BY OTHERS FOR ALL SUBSURFACE INFORMATION.

DEMOLITION NOTES

THE EXTENT OF SITE DEMOLITION WORK IS AS SHOWN ON THE CONTRACT DOCUMENTS AND AS SPECIFIED HEREIN. SEE ARCHITECTURAL DRAWINGS FOR LIMITS AND PROPER DEMOLITION OF EXISTING BUILDING. FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICE NECESSARY TO COMPLETE THE WORK. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, REMOVAL AND DISPOSAL OFFSITE OF THE FOLLOWING ITEMS:

- SIDEWALK AND ON-SITE PAVEMENT
- BUILDINGS, FOUNDATIONS, AND SUPPORTING WALLS AND SLABS
- DEBRIS AND FOUNDATIONS FROM ALL DEMOLISHED STRUCTURES
- ALL PAVEMENT TO BE REMOVED ADJACENT TO PAVEMENT THAT IS TO REMAIN SHALL BE SAWCUT FULL DEPTH AT THE EDGES PRIOR TO REMOVAL TO OBTAIN A "CLEAN" JOINT WHERE IT ABUTS NEW CURB OR PAVEMENT.

CONTRACTOR MUST RECEIVE APPROVAL FROM CIVIL ENGINEER AND GEOTECHNICAL ENGINEER FOR THE MATERIAL TYPE AND USE IF CONTRACTOR DESIRES TO REUSE DEMOLISHED SITE PAVEMENT AS STRUCTURAL FILL.

DISPOSAL OF DEMOLISHED MATERIALS

REMOVE FROM SITE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS. BURNING OF REMOVED MATERIALS FROM DEMOLISHED STRUCTURES WILL NOT BE PERMITTED ON SITE. TRANSPORT MATERIALS REMOVED FROM DEMOLISHED STRUCTURES AND DISPOSE OF OFF SITE IN A LEGAL MANNER.

LANDSCAPE PROTECTION AND REMOVAL

SEE LANDSCAPE PLANS FOR INFORMATION ON LANDSCAPE AND TREE PROTECTION, PRESERVATION AND REMOVAL.

UTILITY SERVICES

EXISTING UTILITIES, WHICH DO NOT SERVICE STRUCTURES BEING DEMOLISHED, ARE TO BE KEPT IN SERVICE AND PROTECTED AGAINST DAMAGE DURING DEMOLITION OPERATIONS. CONTRACTOR TO SHUT-OFF OR ISOLATE ALL UTILITIES SERVING STRUCTURES TO BE DEMOLISHED. CONTRACTOR IS RESPONSIBLE FOR TURNING OFF, DISCONNECTING, AND SEALING INDICATED UTILITIES BEFORE STARTING DEMOLITION OPERATIONS. EXISTING UTILITIES TO BE ABANDONED ARE TO BE CAPPED AT BOTH ENDS AND FILLED WITH FLOWABLE FILL OR APPROVED EQUAL. ALL UNDERGROUND UTILITIES TO BE REMOVED ARE TO BE BACKFILLED WITH ENGINEERED FILL OR SELECT EXCAVATED MATERIAL, AS APPROVED BY THE GEOTECHNICAL ENGINEER, TO 95% OF MODIFIED PROCTOR DENSITY WITHIN PAVED AREAS AND TO 90% OF MODIFIED PROCTOR DENSITY FOR GREEN SPACE AREAS, IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS. ALL PRIVATE UTILITIES (ELECTRIC, CABLE, TELEPHONE, FIBER OPTIC, GAS) SHALL BE REMOVED AND RELOCATED PER THE UTILITY OWNER AND THE LOCAL MUNICIPALITY'S REQUIREMENTS.

UTILITY PROTECTION

UNDERGROUND UTILITIES SHOWN ARE BASED ON ATLASES AND AVAILABLE INFORMATION PRESENTED AT THE TIME OF SURVEY. CONTRACTOR SHOULD CALL INDIANA 811 (811 OR 800-382-5544) TO COORDINATE FIELD LOCATIONS OF EXISTING UNDERGROUND UTILITIES BEFORE ORDERING MATERIALS OR COMMENCING CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES IMMEDIATELY. CONTRACTOR SHALL LOCATE AND PROTECT EXISTING UNDERGROUND AND OVERHEAD UTILITIES DURING CONSTRUCTION. UTILITY PROTECTION SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY OWNER AND AS DIRECTED BY THE GOVERNING MUNICIPALITY. DAMAGED CABLES/CONDUITS SHALL BE REPLACED IMMEDIATELY. ALL EXISTING STRUCTURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PROCESS. ALL DAMAGED STRUCTURES SHALL BE REPLACED IN-KIND AND THEIR REPLACEMENT COST SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACTOR. PROPER NOTIFICATION TO THE OWNERS OF THE EXISTING UTILITIES SHALL BE MADE AT LEAST 48 HOURS BEFORE CONSTRUCTION COMMENCES.

POLLUTION CONTROLS

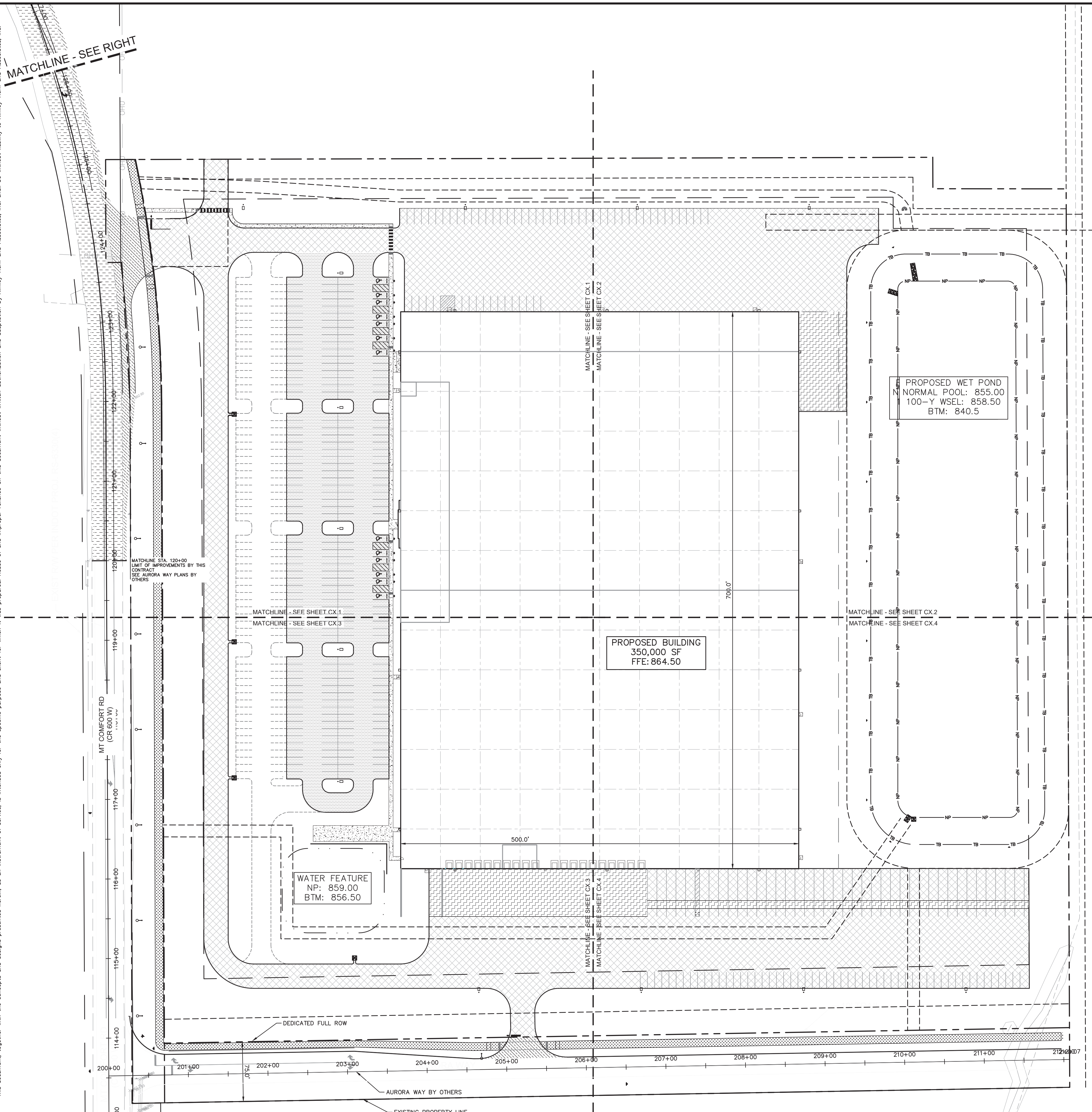
USE WATER SPRINKLING, TEMPORARY ENCLOSURES, AND OTHER SUITABLE METHODS TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL. COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION. SEE EROSION CONTROL SHEETS FOR FURTHER EROSION CONTROL REQUIREMENTS.

FILLING BASEMENTS AND VOIDS

COMPLETELY FILL BELOW-GRADE AREAS AND VOIDS RESULTING FROM DEMOLITION OF STRUCTURES TO THE FINISH LINES AND GRADES SHOWN ON THE CONTRACT DOCUMENTS. BACKFILL MATERIAL SHALL BE INDOT APPROVED CRUSHED LIMESTONE OR APPROVED EQUAL. USE SATISFACTORY SOIL MATERIALS CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. PRIOR TO PLACEMENT OF FILL MATERIALS, ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH AND DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NO EXCEEDING 9" IN LOOSE DEPTH. COMPACT EACH LAYER AT OPTIMUM MOISTURE CONTENT OF FILL MATERIAL TO 95% OF MODIFIED PROCTOR DENSITY UNLESS SUBSEQUENT EXCAVATION FOR NEW WORK IS REQUIRED.

AS NOTED	DESIGNED BY: AMM	SCALE:	WILLIAM A. BULL	REGISTERED PROFESSIONAL ENGINEER	NOTED FOR CONSTRUCTION	01/26/2021
DESIGNED BY: AMM	DRAWN BY: CWB	CHECKED BY: MJT	KIMLEY-HORN & ASSOCIATES, INC.			INDIANAPOLIS, IN 46240
DATE	02/15/2021	TAC COMMENTS	PROJECT JARASCO			ORIGINAL ISSUE: 12/28/2020
DATE	01/26/2021	TAC COMMENTS	EXISTING CONDITIONS & DEMO PLAN			KHA PROJECT NO. 170024022
DATE		REVISIONS	OVERALL EXISTING CONDITIONS & DEMO PLAN			SHEET NUMBER
DATE		REVISIONS	PROJECT JARASCO			C2.0
DATE		REVISIONS	5671 N 600 W			
DATE		REVISIONS	MCCORDSVILLE, IN			

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NORTH

GRAPHIC SCALE IN FEET
 0 30' 60' 120'

SITE SUMMARY

SITE ZONING	=	I-2	
SITE ACREAGE	=	31.79	AC.±
MAX LOT COVERAGE	=	75%	
TOTAL PROPERTY AREA	=	26.2	AC.±
TOTAL DISTURBED AREA	=	27.5	AC.±
EXISTING IMPERVIOUS AREA	=	0.0	AC.±
PROPOSED IMPERVIOUS AREA	=	15.7	AC.±
FUTURE IMPERVIOUS AREA	=	2.63	AC.±
BUILDING AREA	=	350,000	SF
BUILDING HEIGHT	=	40'	FT
PARKING SPACES (9'X20' STANDARD) REQUIRED	=	150	SPACES
PARKING SPACES (ACCESSIBLE) REQUIRED	=	8	SPACES
PARKING SPACES (9'X20' STANDARD) PROVIDED	=	350*	SPACES
PARKING SPACES (ACCESSIBLE) PROVIDED	=	13	SPACES
PROPOSED TRAILER SPACES (12'X54')	=	39	SPACES

*ADDITIONAL PROVIDED PARKING SPACES TO ACCOMMODATE SHIFT CHANGES

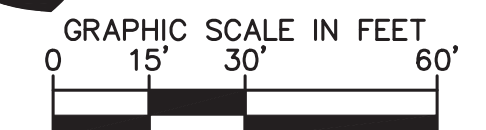
PAVING & CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD CONCRETE CURB

- ### SITE NOTES
- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS, DOOR LOCATIONS, PRIOR TO ORDERING MATERIALS.
 - RADI ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 5-FEET, TYPICAL.
 - REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
 - ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
 - REFER TO THE ARCHITECTURAL PLANS FOR INTERIOR TRASH LOCATION AND DETAILS.
 - OUTDOOR STORAGE OF ANY MATERIALS AND EQUIPMENT ARE NOT PERMITTED PER THE TOWN. ALL ITEMS SHALL BE STORED INSIDE OF THE BUILDING.
 - ALL PRIVATE SITE LIGHTING WITH WALL AND POLE MOUNTED FIXTURES SHALL FACE DIRECTLY DOWN.

 ©2021 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 96TH STREET, SUITE 560, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM	AS NOTED DESIGNED BY: AMM DRAWN BY: CWB CHECKED BY: MJT		PETERSON REGISTERED PROFESSIONAL ENGINEER	OVERALL SITE PLAN
PROJECT JARASCO 5671 N 600 W MCCORDSVILLE, IN	ORIGINAL ISSUE: 12/28/2020 KHA PROJECT NO. 170024022	SHEET NUMBER C3.0	TAC COMMENTS 02/5/2021 AMM 01/28/2021 AMM REVISIONS NO. DATE BY	DATE BY

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PAVING & CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD CONCRETE CURB

- ### KEY NOTES
1. CONCRETE CURB, TYP. (SEE DETAILS)
 2. DEPRESSED CURB (SEE DETAILS)
 3. CONCRETE SIDEWALK, TYP. (SEE DETAILS)
 4. CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
 5. CONCRETE PARKING BUMPER TYP. (SEE DETAILS)
 6. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
 7. ACCESSIBLE PARKING SIGN, TYP. (SEE PLAN FOR VAN LOCATION) (MUTCD R7-8, SEE DETAILS)
 8. ACCESSIBLE RAMP (SEE DETAILS)
 9. 2" WIDE TACTILE WARNING STRIP
 10. 4" WIDE PAINTED WHITE SOLID LINE, TYP.
 11. 24" WIDE STOP BAR, TYP. (SEE DETAILS)
 12. STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
 13. BOLLARD, TYP. (SEE DETAILS)
 14. PUBLIC STREET LIGHT POLES, MIN. 120' SPACING & AT ENTRANCES (SEE DETAILS & COORDINATE WITH TOWN ENGINEER)
 15. TRANSFORMER PAD (SEE ARCHITECTURAL PLANS FOR DETAILS)
 16. CONCRETE DOLLY PAD
 17. PRIVATE SITE LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE PHOTOMETRIC PLAN)
 18. 3-FT TRANSITION CURB
 19. RETAINING WALL WITH PROTECTIVE RAILS (SEE ARCHITECTURAL PLANS FOR DETAILS)
 20. 2' CURB TURNOUT (SEE DETAILS)
 21. 5' X 5' CONCRETE STOOP
 22. ASPHALT TRAIL, TYP. (SEE TOWN DETAILS)
 23. CROSSWALK
 24. TRUCK DOCK STAIRS (4' VERT. HEIGHT) SEE ARCHITECTURAL PLANS
 25. PCC RETAINING WALL
 26. POND SAFETY SIGN (SEE DETAILS)
 27. 20' HIGH ARCHITECTURAL WALL - SEE ARCHITECTURAL PLANS

- ### SITE NOTES
1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS, DOOR LOCATIONS, PRIOR TO ORDERING MATERIALS.
 4. RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 6- FEET, TYPICAL.
 5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
 6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED WHITE UNLESS OTHERWISE NOTED.
 7. REFER TO ARCHITECTURAL PLANS FOR INTERIOR TRASH LOCATION AND DETAILS.
 8. OUTDOOR STORAGE OF ANY MATERIALS AND EQUIPMENT ARE NOT PERMITTED PER THE TOWN. ALL ITEMS SHALL BE STORED INSIDE OF THE BUILDING.
 9. ALL PRIVATE SITE LIGHTING WITH WALL AND POLE MOUNTED FIXTURES SHALL FACE DIRECTLY DOWN

NO.	DATE	BY
	02/15/2021	AMM
	01/26/2021	AMM

SCALE: AS NOTED
DESIGNED BY: AMM
DRAWN BY: CWB
CHECKED BY: MJT

NOT APPROVED FOR CONSTRUCTION

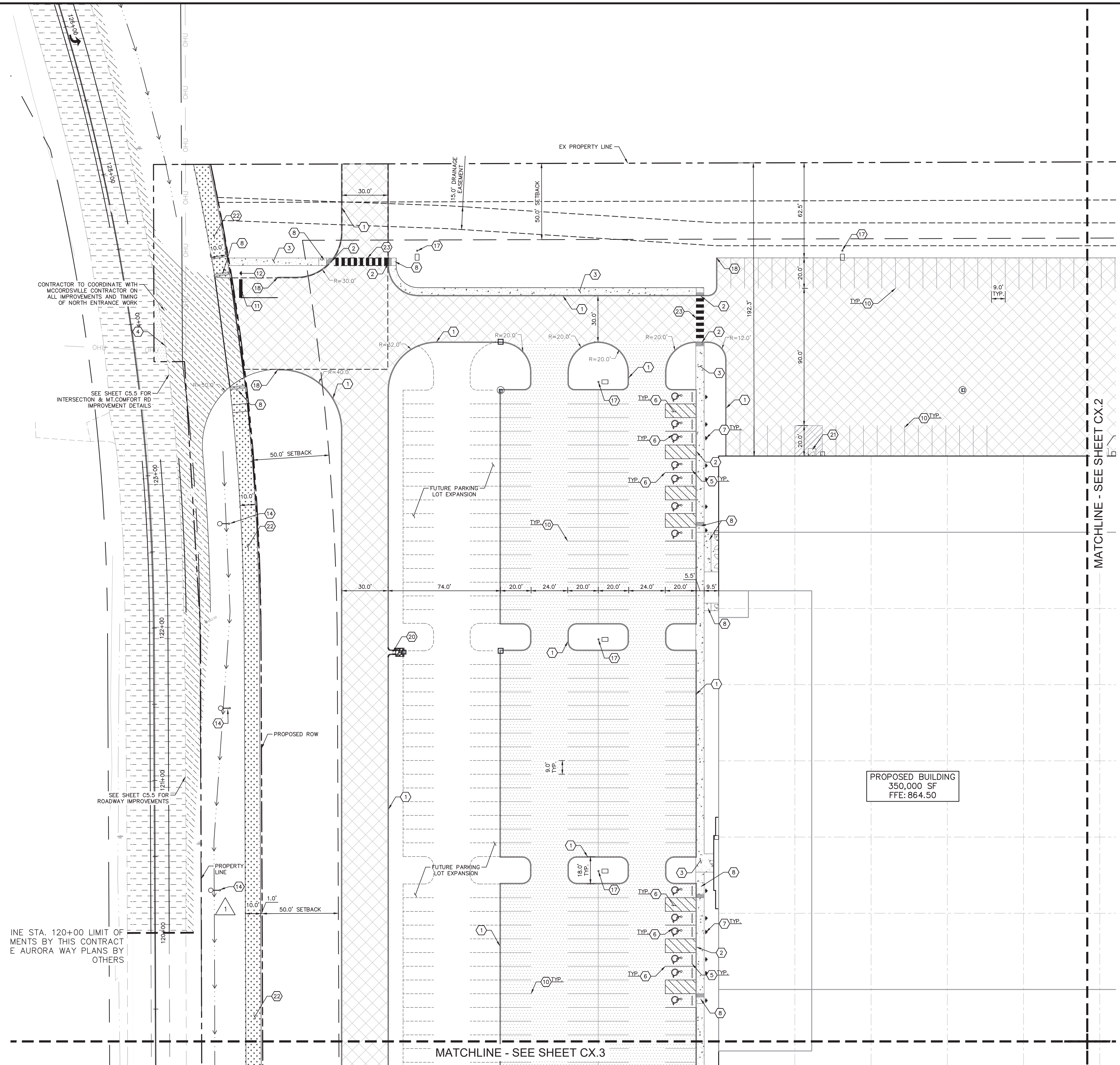
PETERSON

SITE PLAN

PROJECT JARASCO
5671 N 600 W
MCCORDSVILLE, IN

ORIGINAL ISSUE:
12/28/2020
KHA PROJECT NO.
170024022
SHEET NUMBER

C3.1



CONTRACTOR TO COORDINATE WITH MCCORDSVILLE CONTRACTOR ON ALL IMPROVEMENTS AND TIMING OF NORTH ENTRANCE WORK

SEE SHEET C5.5 FOR INTERSECTION & M.T.COMFORT RD IMPROVEMENT DETAILS

SEE SHEET C5.5 FOR ROADWAY IMPROVEMENTS

LINE STA. 120+00 LIMIT OF DIMENSIONS BY THIS CONTRACT E AURORA WAY PLANS BY OTHERS

MATCHLINE - SEE SHEET CX.3

MATCHLINE - SEE SHEET CX.2

PROPOSED BUILDING
350,000 SF
FFE: 864.50

Drawing name: K:\IND_DEV\170024022_Peterson_McCordville\IN2_Design\CAD\PlanSheets\C3.1_SITE_PLAN.dwg C3.2 Feb 08, 2021 9:34am by: AnthonyMagnin
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NORTH

GRAPHIC SCALE IN FEET
 0 15' 30' 60'

NO.	DATE	BY	REVISIONS

PAVING & CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- RIGHT OF WAY PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- ASPHALT TRAIL
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- STANDARD CONCRETE CURB

KEY NOTES

- CONCRETE CURB, TYP. (SEE DETAILS)
- DEPRESSED CURB (SEE DETAILS)
- CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- CONCRETE PARKING BUMPER TYP. (SEE DETAILS)
- ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- ACCESSIBLE PARKING SIGN, TYP. (SEE PLAN FOR VAN LOCATION) (MUTCD R7-8, SEE DETAILS)
- ACCESSIBLE RAMP (SEE DETAILS)
- 2" WIDE TACTILE WARNING STRIP
- 4" WIDE PAINTED WHITE SOLID LINE, TYP.
- 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- BOLLARD, TYP. (SEE DETAILS)
- PUBLIC STREET LIGHT POLES, MIN. 120' SPACING & AT ENTRANCES (SEE DETAILS & COORDINATE WITH TOWN ENGINEER)
- TRANSFORMER PAD (SEE ARCHITECTURAL PLANS FOR DETAILS)
- CONCRETE DOLLY PAD
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27. 20' HIGH ARCHITECTURAL WALL - SEE ARCHITECTURAL PLANS

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 250 EAST 96TH STREET, SUITE 560,
 INDIANAPOLIS, IN 46240
 WWW.KIMLEY-HORN.COM

SCALE: AS NOTED
 DESIGNED BY: AMM
 DRAWN BY: CWB
 CHECKED BY: MJT

REGISTERED PROFESSIONAL ENGINEER
 WILLIAM A. BULL
 NOT FOR CONSTRUCTION
 01/26/2021

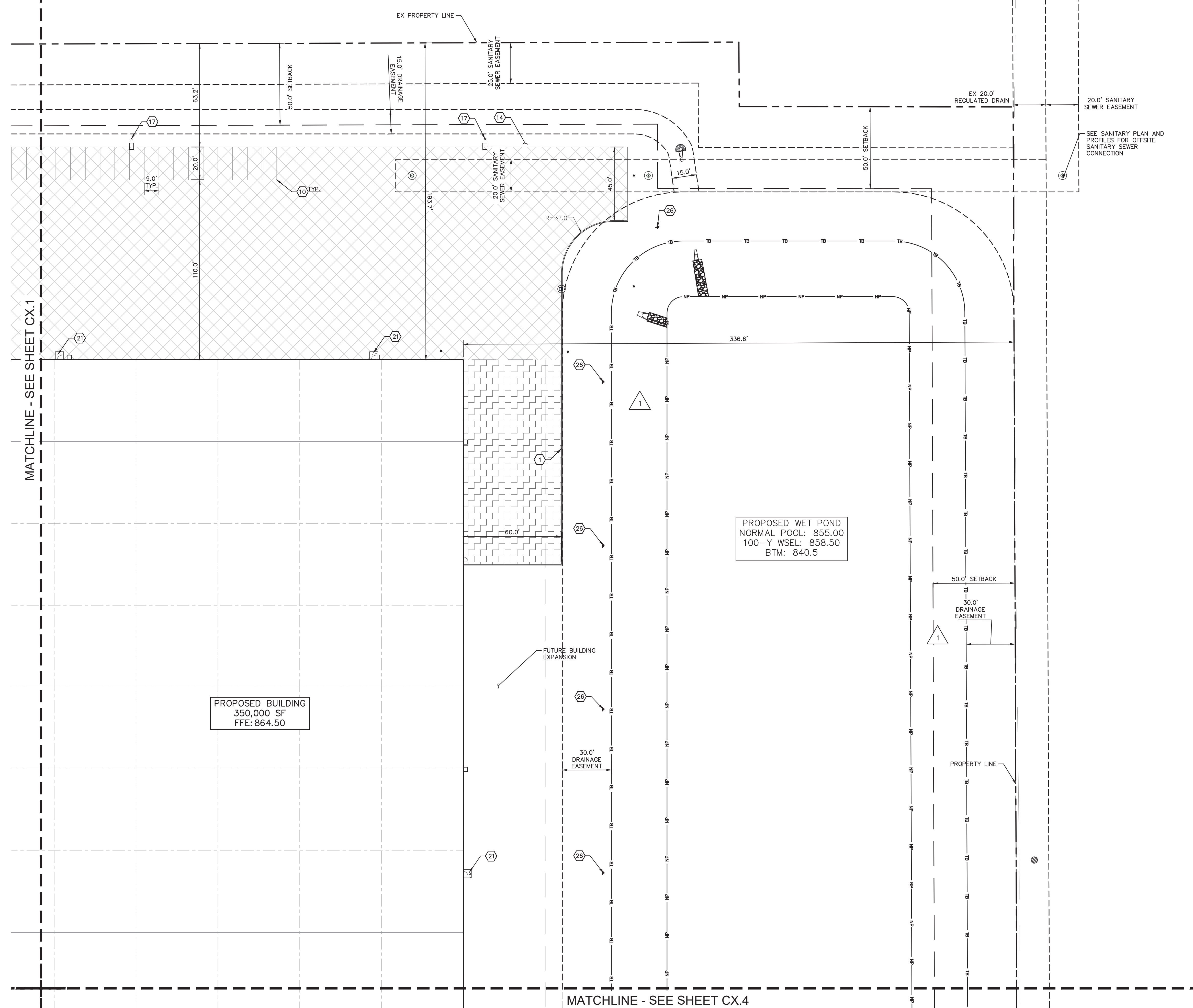
PETERSON

SITE PLAN

PROJECT JARASCO
 5671 N 600 W
 MCCORDSVILLE, IN

ORIGINAL ISSUE:
 12/28/2020
 KHA PROJECT NO.
 170024022
 SHEET NUMBER

C3.2



MATCHLINE - SEE SHEET CX.1

MATCHLINE - SEE SHEET CX.4

Drawing name: K:\IND_DEV\170024022_Peterson\Project_Jarasc_McCordville\IND2_Design\CADD\PlanSheets\C3.1_SITE_PLAN.dwg C3.3 Feb 08, 2021 9:34am by AnthonyMagnily
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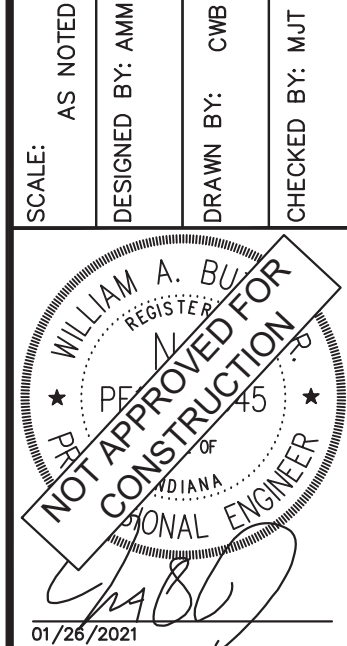
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NORTH

GRAPHIC SCALE IN FEET
0 15' 30' 60'

NO.	REVISIONS	DATE	BY
	TAC COMMENTS	02/15/2021	AMM
	TAC COMMENTS	01/28/2021	AMM

AS NOTED
 DESIGNED BY: AMM
 DRAWN BY: CWB
 CHECKED BY: MJT

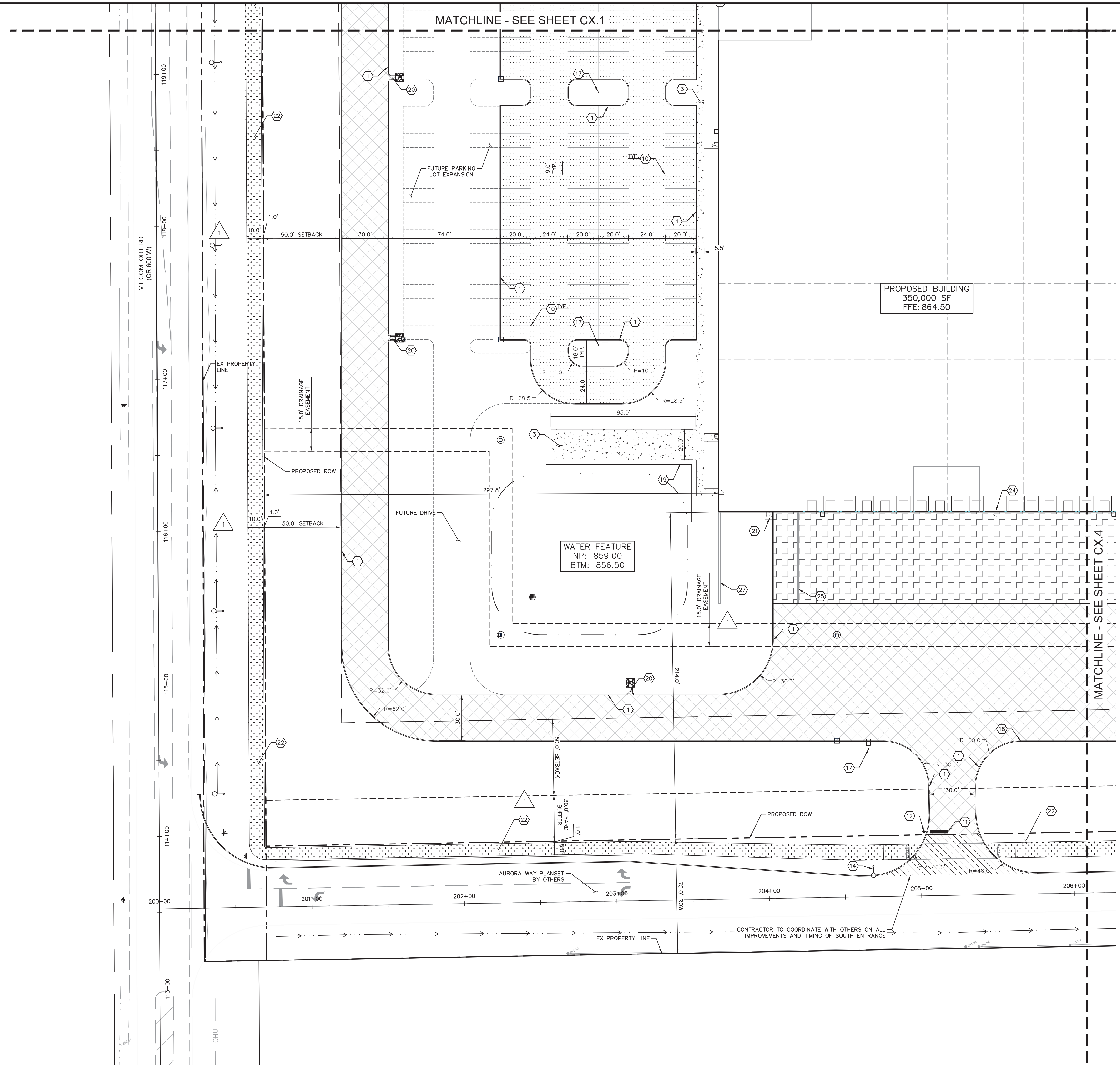


SITE PLAN

PROJECT JARASCO
5671 N 600 W
MCCORDSVILLE, IN

ORIGINAL ISSUE:
 12/28/2020
 KHA PROJECT NO.
 170024022
 SHEET NUMBER

C3.3



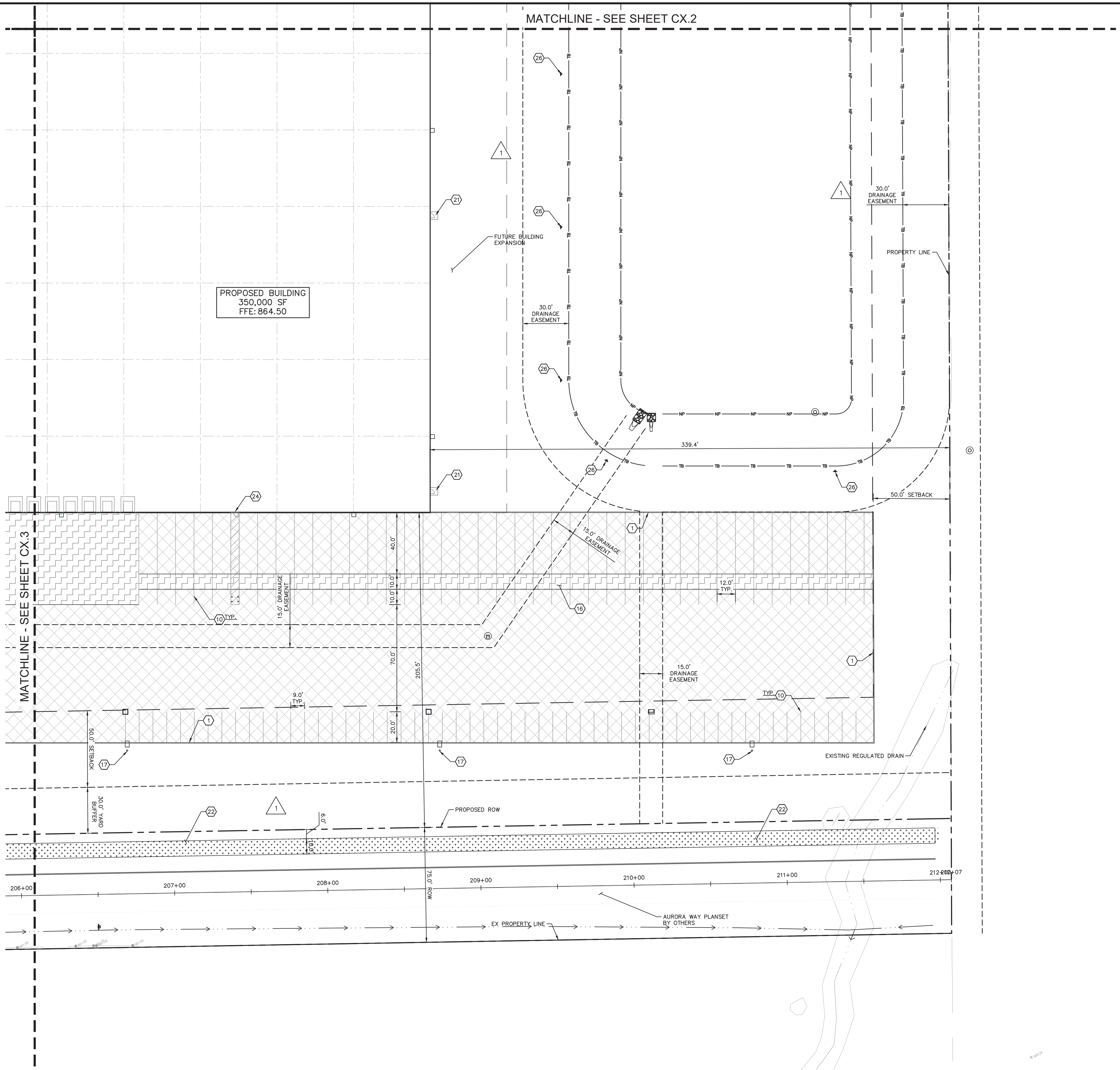
PAVING & CURB LEGEND

[Pattern]	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
[Pattern]	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
[Pattern]	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
[Pattern]	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
[Pattern]	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
[Pattern]	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
[Pattern]	STANDARD CONCRETE CURB

- KEY NOTES**
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 - DEPRESSED CURB (SEE DETAILS)
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 - PCC RETAINING WALL
 - POND SAFETY SIGN (SEE DETAILS)
 - 20" HIGH ARCHITECTURAL WALL - SEE ARCHITECTURAL PLANS

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Drawing name: K:\IND\DEV\170024022_Peterson_McCordville\2_Peterson_McCordville\2_Design\CAD\PlanSheets\C3.1_SITE_PLAN.dwg C3.4 Feb 08, 2021 9:54am by AnthonyMagnin
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NORTH

GRAPHIC SCALE IN FEET
0 15' 30' 60'

PAVING & CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
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PETERSON

PROJECT JARASCO
 5671 N 600 W
 MCCORDSVILLE, IN

SITE PLAN

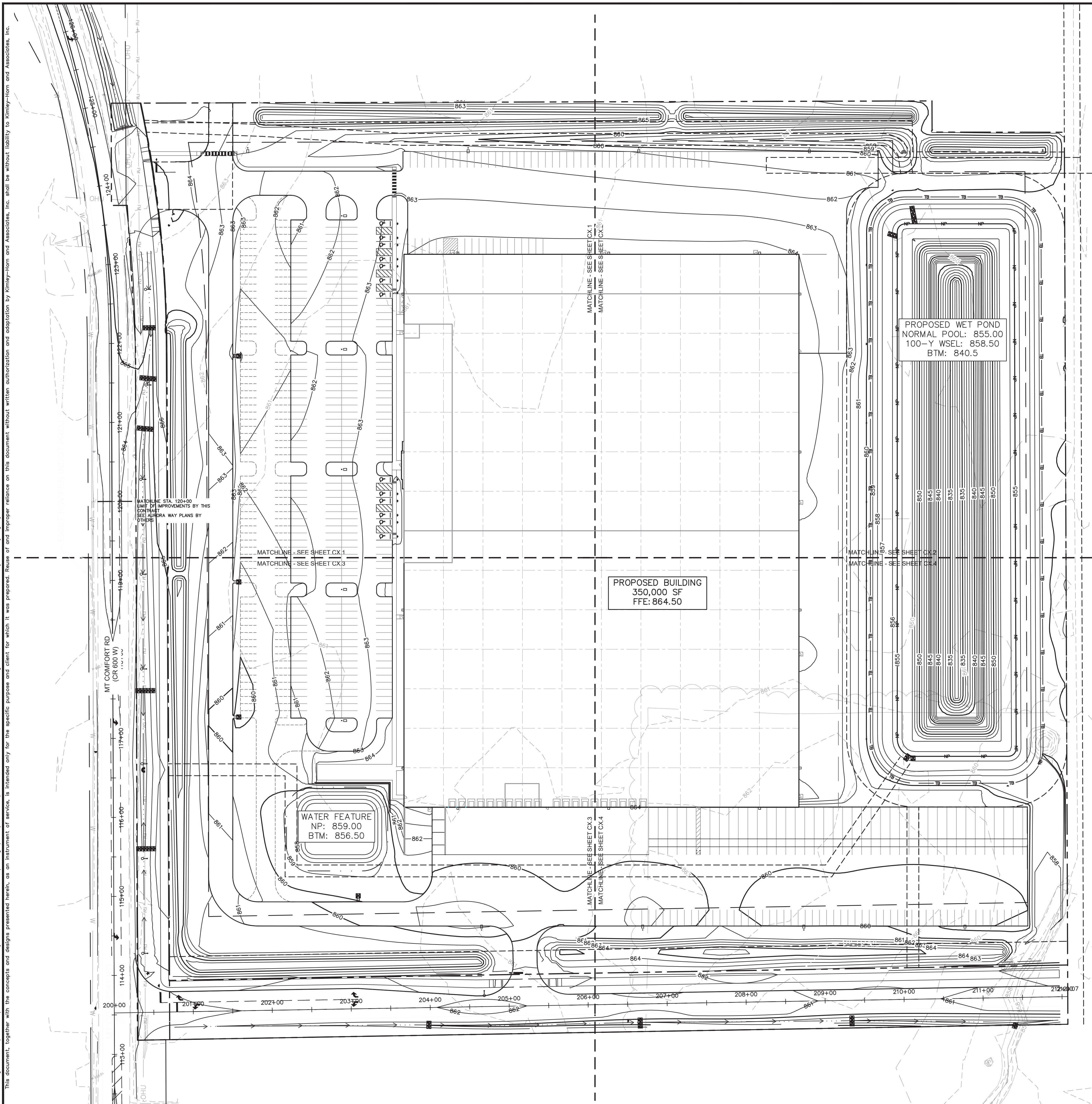
ORIGINAL ISSUE:
 12/28/2020
 KHA PROJECT NO.
 170024022
 SHEET NUMBER
C3.4

NO.	REVISIONS	DATE	BY
1	TAC COMMENTS	02/15/2021	AMM
2	TAC COMMENTS	01/28/2021	AMM

SCALE: AS NOTED
 DESIGNED BY: AMM
 DRAWN BY: CWB
 CHECKED BY: MJT

WILLIAM A. BU...
 REGISTERED PROFESSIONAL ENGINEER
 NOTED APPROVED FOR CONSTRUCTION
 01/26/2021

Drawing name: K:\IND_DEV\170024022_Peterson_McCordville\170024022_Peterson_McCordville\170024022_Peterson_McCordville\C5.0 OVERALL GRADING AND DRAINAGE PLAN.dwg C5.0 Feb 06, 2021 8:35am by AnthonyMgarity
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GRAPHIC SCALE IN FEET
 0 10 20 30 40 50

GRADING LEGEND

XXX.XX	FINISHED GRADE SPOT ELEVATION
TC XXX.XX BC XXX.XX	TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
FL XXX.XX	FLOW LINE SPOT ELEVATION
ME XXX.XX	MATCH EXISTING SPOT ELEVATION
FF XXX.XX	FINISHED FLOOR SPOT ELEVATION
FG XXX.XX	FINISHED GRADE NEAR BUILDING SPOT ELEVATION
TW XXX.XX	TOP OF WALL SPOT ELEVATION
SW XXX.XX	BOTTOM OF WALL SPOT ELEVATION
R XXX.XX	RIM ELEVATION
STR XX R XXX.XX	STRUCTURE ID & RIM ELEVATION
STR XX INV XXX.XX	STRUCTURE ID & INVERT ELEVATION
620	PROPOSED CONTOUR
---	RIDGE LINE
X.XX%	SLOPE AND FLOW DIRECTION
←	100-YEAR OVERLAND OVERFLOW ROUTE
←	DETECTION BASIN 100-YEAR EMERGENCY
---	PROPOSED SWALE
---	PROPOSED RETAINING WALL
---	PROPOSED STORM SEWER
○	PROPOSED STORM STRUCTURES
○	PROPOSED SANITARY MANHOLE
○	PROPOSED STORM/SANITARY CLEANOUT
○	PROPOSED WATER STRUCTURES
○	PROPOSED LIGHT POLES
□	PROPOSED TRANSFORMER PAD

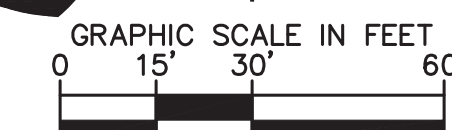
GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
- NO EARTHEN SLOPE SHALL BE GREATER THAN 3:1, UNLESS OTHERWISE NOTED.
- MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
- MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
- WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
- MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
- ALL STOOPS OR PEDESTRIAN EGRESS POINTS FROM THE BUILDING(S) SHALL BE NO GREATER THAN 2% FOR THE FIRST 5'.

SCALE:	AS NOTED	DESIGNED BY: AMM	DRAWN BY: CWB	CHECKED BY: MJT
PETERSON OVERALL GRADING AND DRAINAGE PLAN PROJECT JARASCO 5671 N 600 W MCCORDSVILLE, IN				
ORIGINAL ISSUE: 12/28/2020 KHA PROJECT NO. 170024022 SHEET NUMBER C5.0				
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TAC COMMENTS	AMM	DATE	BY	
REVISIONS	AMM	DATE	BY	

Drawing name: K:\IND_DEV\170024022_Peterson_Jarasco_McCordville\IND_2 Design\CADD\PlanSheets\C5.1 GRADING AND DRAINAGE PLAN.dwg C5.2 Feb 08, 2021 9:36am by AnthonyMagnity
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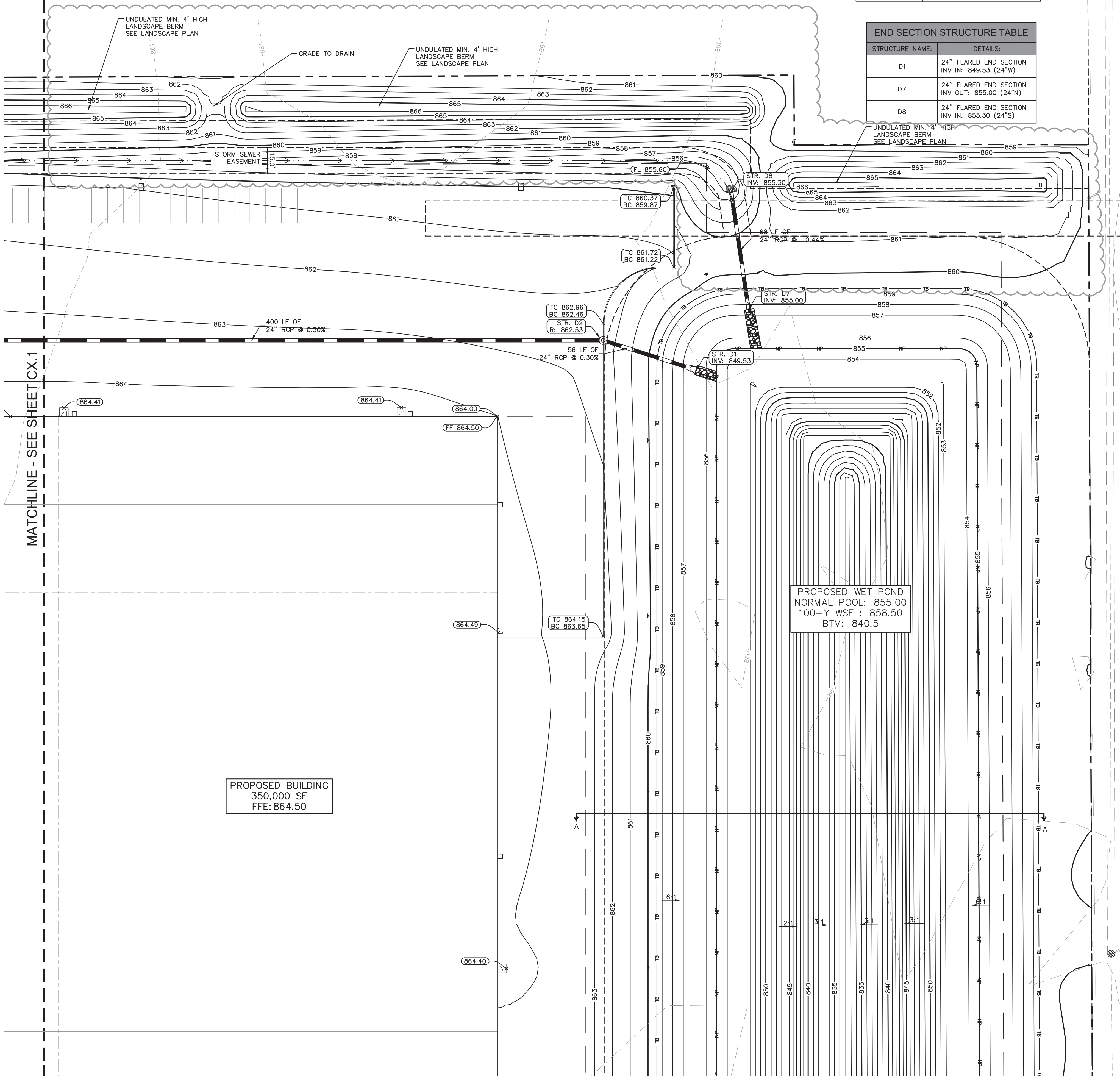
STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D2	TYPE "C" MH - NEENAH R-3010 RIM: 862.53 INV IN: 853.27 (24"W) INV OUT: 849.70 (24"E)

END SECTION STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D1	24" FLARED END SECTION INV IN: 849.53 (24"W)
D7	24" FLARED END SECTION INV OUT: 855.00 (24"N)
D8	24" FLARED END SECTION INV IN: 855.30 (24"S)

GRADING LEGEND

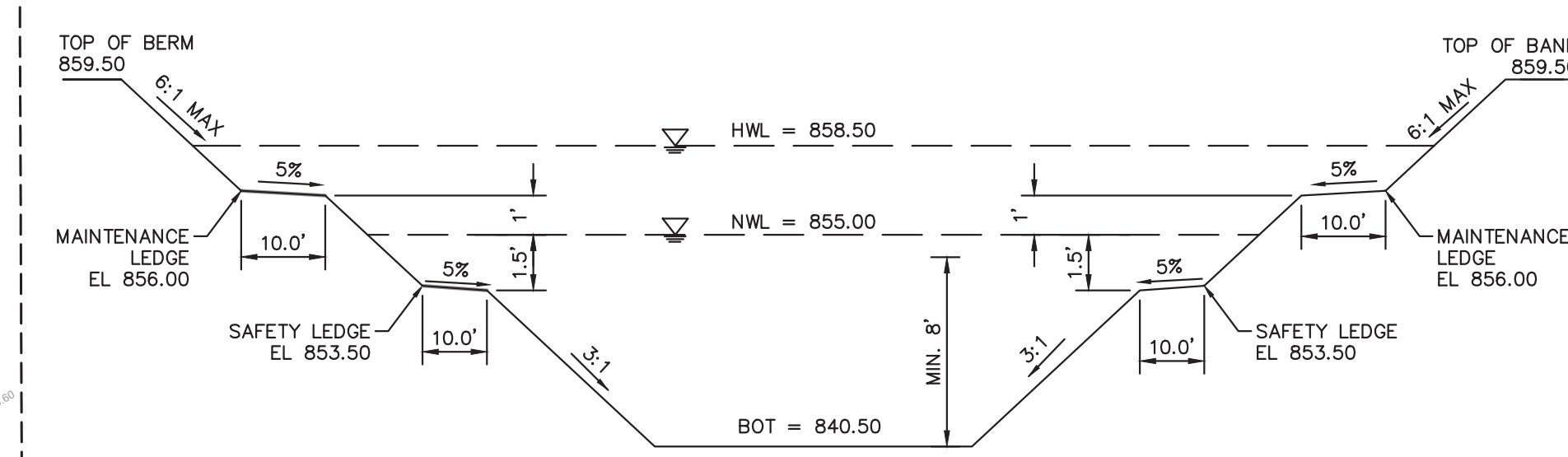
	FINISHED GRADE SPOT ELEVATION
	TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
	FLOW LINE SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	FINISHED FLOOR SPOT ELEVATION
	FINISHED GRADE NEAR BUILDING SPOT ELEVATION
	TOP OF WALL SPOT ELEVATION
	BOTTOM OF WALL SPOT ELEVATION
	RIM ELEVATION
	STRUCTURE ID & RIM ELEVATION
	STRUCTURE ID & INVERT ELEVATION
	PROPOSED CONTOUR
	RIDGE LINE
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	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER STRUCTURES
	PROPOSED LIGHT POLES
	PROPOSED TRANSFORMER PAD

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 - MAXIMUM SLOPE IN ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL NOT EXCEED 2.0% IN ALL DIRECTIONS.
 - MAXIMUM RUNNING SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE SHALL NOT EXCEED 2% ON ALL SIDEWALKS AND ACCESSIBLE ROUTES UNLESS OTHERWISE NOTED.
 - WHEN NATURAL FLOW OF DRAINAGE IS AWAY FROM CURB, CONTRACTOR TO INSTALL REVERSE GUTTER PITCH.
 - MATCH EXISTING ELEVATIONS AT THE PROPERTY LIMITS.
 - ALL STOOPS OR PEDESTRIAN EGRESS POINTS FROM THE BUILDING(S) SHALL BE NO GREATER THAN 2% FOR THE FIRST 5'.



PROPOSED WET POND
 NORMAL POOL: 855.00
 100-Y WSEL: 858.50
 BTM: 840.5

PROPOSED BUILDING
 350,000 SF
 FFE: 864.50



POND SCHEMATIC SECTION A-A
 N.T.S.

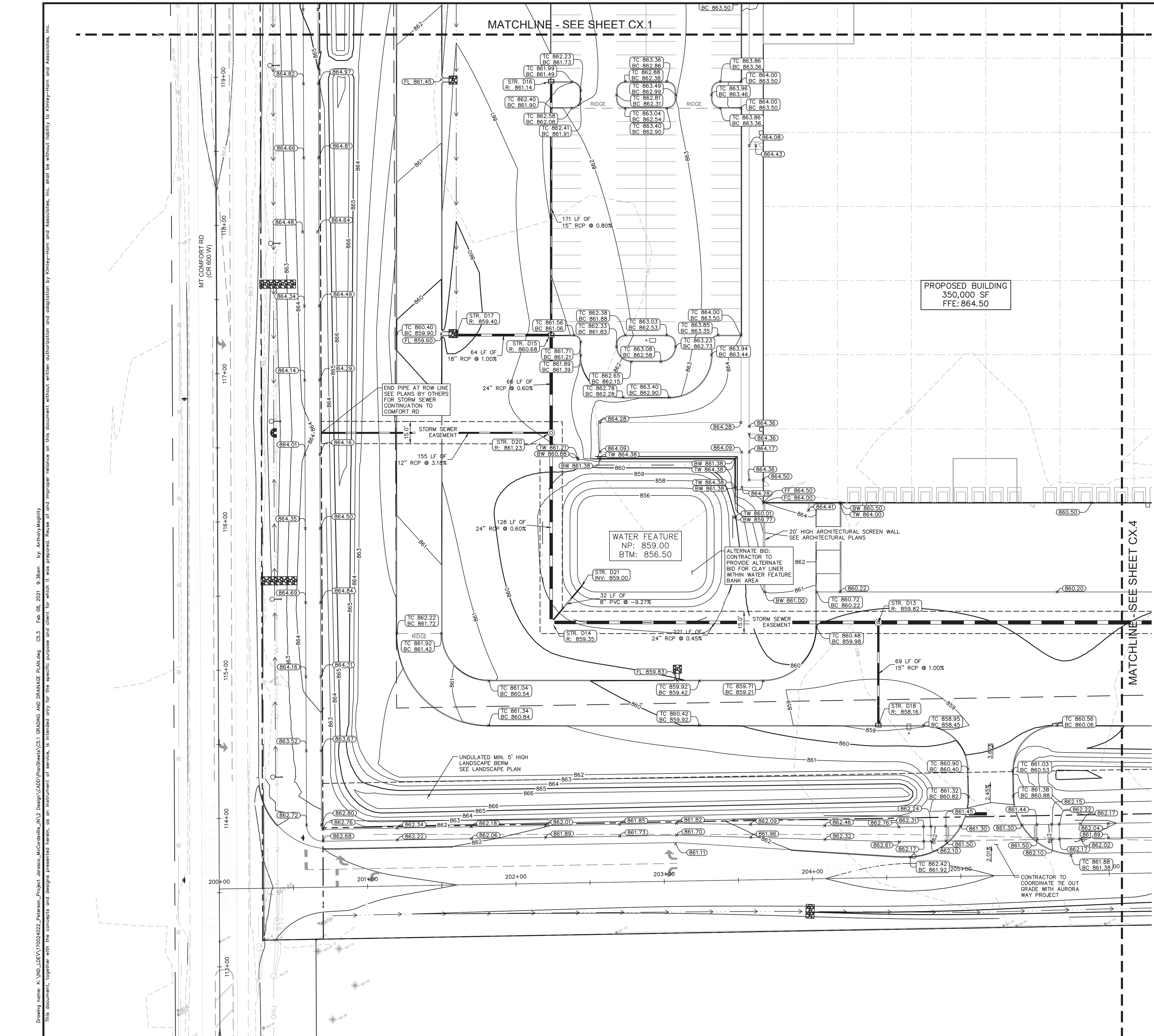
Kimley-Horn	DESIGNED BY: AMM	DRAWN BY: CWB	CHECKED BY: MJT	SCALE: AS NOTED
© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 96TH STREET, SUITE 560, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM	02/5/2021 AMM	01/28/2021 AMM	TAC COMMENTS	REVISIONS
PETERSON	GRADING AND DRAINAGE PLAN			
PROJECT JARASCO	5671 N 600 W MCCORDSVILLE, IN			
ORIGINAL ISSUE: 12/28/2020	SHEET NUMBER			
KHA PROJECT NO. 170024022	C5.2			

Drawing name: K:\INDO\LEVA\170024022_Peterson_Jarasco_McCordsville_IN2_DWG\CADD\PlanSheets\C5.1 GRADING AND DRAINAGE PLAN.dwg C5.3 Feb 08, 2021 9:36am by AnthonyMagnifico
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GRADING LEGEND

XXX.XX	FINISHED GRADE SPOT ELEVATION
TC XXX.XX BC XXX.XX	TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
FL XXX.XX	FLOW LINE SPOT ELEVATION
ME XXX.XX	MATCH EXISTING SPOT ELEVATION
FF XXX.XX	FINISHED FLOOR SPOT ELEVATION
FG XXX.XX	FINISHED GRADE NEAR BUILDING SPOT ELEVATION
TW XXX.XX	TOP OF WALL SPOT ELEVATION
BW XXX.XX	BOTTOM OF WALL SPOT ELEVATION
R XXX.XX	RIM ELEVATION
STR XX R XXX.XX	STRUCTURE ID & RIM ELEVATION
STR XX INV XXX.XX	STRUCTURE ID & INVERT ELEVATION
620	PROPOSED CONTOUR
---	RIDGE LINE
XX	SLOPE AND FLOW DIRECTION
←	100-YEAR OVERLAND OVERFLOW ROUTE
←	DETENTION BASIN 100-YEAR EMERGENCY
---	PROPOSED SWALE
---	PROPOSED RETAINING WALL
---	PROPOSED STORM SEWER
○	PROPOSED STORM STRUCTURES
○	PROPOSED SANITARY MANHOLE
○	PROPOSED STORM/SANITARY CLEANOUT
○	PROPOSED WATER STRUCTURES
○	PROPOSED LIGHT POLES
○	PROPOSED TRANSFORMER PAD

GRADING NOTES

- CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON THE SITE AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- ALL PAVEMENT SPOT GRADE ELEVATIONS AND RIM ELEVATIONS WITHIN OR ALONG CURB AND GUTTER REFER TO EDGE OF PAVEMENT ELEVATIONS UNLESS OTHERWISE NOTED.
- ALL ELEVATIONS SHOWN DEPICT FINISHED GRADE OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR TO COORDINATE WITH EXCAVATION, LANDSCAPE AND PAVING SUBCONTRACTORS REGARDING TOPSOIL THICKNESS FOR LANDSCAPE AREAS AND PAVEMENT SECTION THICKNESS FOR PAVED AREAS TO PROPERLY ENSURE ADEQUATE CUT TO ESTABLISH SUBGRADE ELEVATIONS.
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STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS: NOTE: NEENAH CASTINGS
D13	TYPE "C" MH - NEENAH R-3472 RIM: 859.82 INV IN: 852.95 (24"W) INV IN: 854.28 (15"S) INV OUT: 852.45 (30"E)
D14	TYPE "C" MH - NEENAH R-4342 RIM: 859.35 INV IN: 853.98 (24"N) INV IN: 853.95 (24"E) INV OUT: 856.00 (8"NE)
D15	TYPE "J" INLET - NEENAH R-3287-10V RIM: 860.88 INV IN: 856.16 (15"N) INV IN: 856.66 (18"W) INV OUT: 856.16 (24"S)
D16	TYPE "J" INLET - NEENAH R-3287-10V RIM: 861.14 INV OUT: 857.53 (15"S)
D17	TYPE "A" INLET - NEENAH R-4342 RIM: 859.40 INV OUT: 857.30 (18"E)
D18	TYPE "J" INLET - NEENAH R-3287-SB10 RIM: 858.16 INV OUT: 854.97 (15"N)
D20	TYPE "C" MH - NEENAH R-1772 RIM: 861.23 INV IN: 855.76 (24"N) INV IN: 855.76 (12"W) INV OUT: 854.74 (24"S)

AS NOTED
 DESIGNED BY: AMM
 DRAWN BY: CWB
 CHECKED BY: MJT
 SCALE: 1"=40'
 DATE: 02/28/2021
 TAC COMMENTS: AMM
 REVISIONS: AMM

PETERSON

GRADING AND DRAINAGE PLAN
PROJECT JARASCO
5671 N 600 W
MCCORDSVILLE, IN

ORIGINAL ISSUE: 12/28/2020
 KHA PROJECT NO. 170024022
 SHEET NUMBER **C5.3**

Drawing name: K:\IND_DEV\170024022_Peterson\Project_Jarasco_McCordville\IND_2_Design\CADD\PlanSheets\C5.1_GRADING AND DRAINAGE PLAN.dwg C5.4 Feb 08, 2021 9:36am by AnthonyMagnifico
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GRAPHIC SCALE IN FEET
0 15' 30' 60'

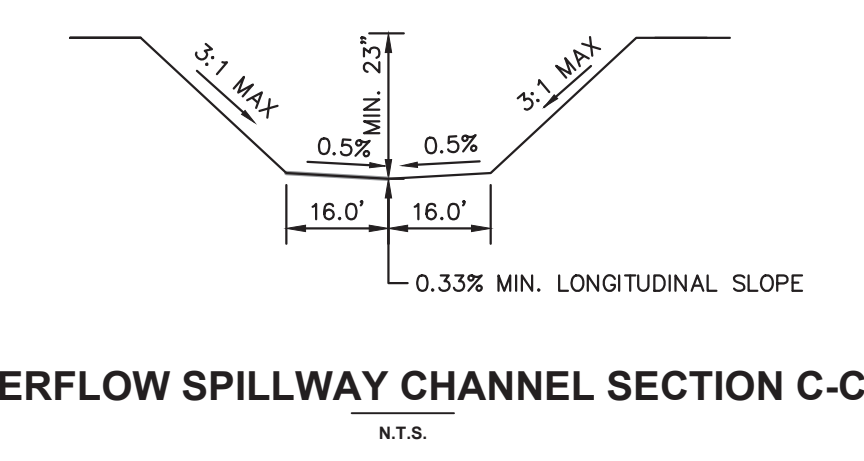
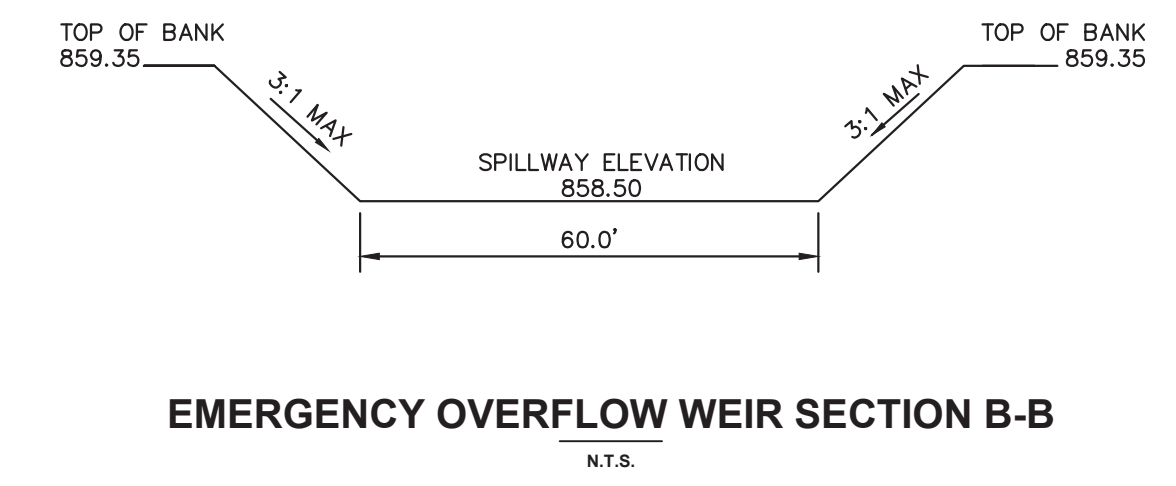
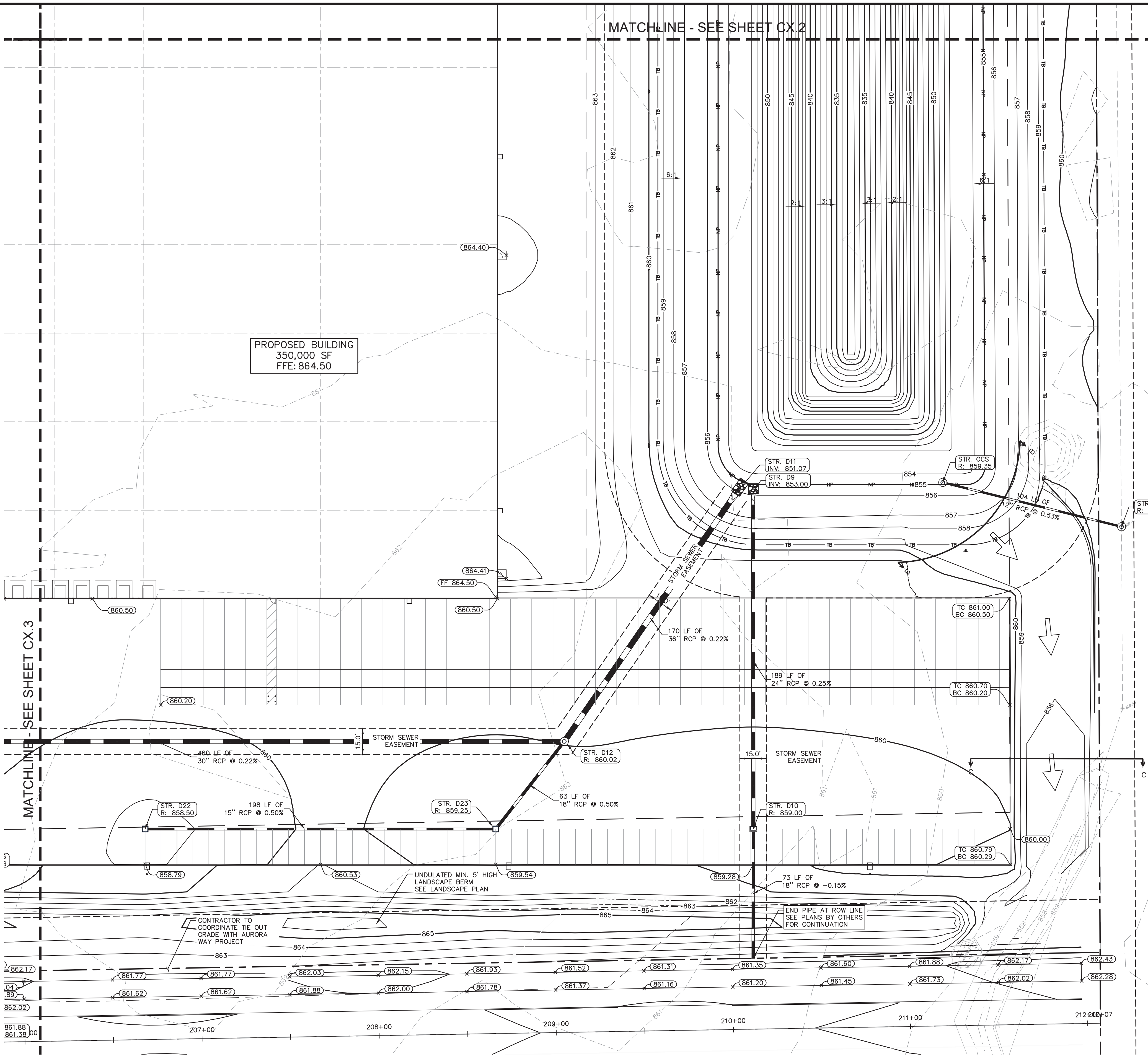
STORM STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS: NOTE: NEENAH CASTINGS
D12	TYPE "C" MH - NEENAH R-3472 RIM: 860.02 INV IN: 851.44 (30"W) INV OUT: 853.42 (18"SW) INV OUT: 851.44 (36"NE)
D22	TYPE "J" INLET - NEENAH R-3455-C RIM: 858.50 INV OUT: 854.98 (15"E)
D23	TYPE "J" INLET - NEENAH R-3455-C RIM: 859.25 INV IN: 853.99 (15"W) INV OUT: 853.74 (18"NE)
EX MH	EX MH (SITE DISCHARGE) RIM: 859.98 INV IN: 854.45 (12"W)
OCS	OUTLET CONTROL STRUCTURE (SEE DETAILS) RIM: 859.35 INV OUT: 855.00 (12"E)

END SECTION STRUCTURE TABLE	
STRUCTURE NAME:	DETAILS:
D9	24" FLARED END SECTION INV IN: 853.00 (24"S)
D10	TYPE "J" INLET - NEENAH R-3455-C INV OUT: 853.47 (24"N) INV OUT: 855.49 (18"S)
D11	24" FLARED END SECTION INV IN: 851.07 (36"SW)

GRADING LEGEND

	FINISHED GRADE SPOT ELEVATION
	TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
	FLOW LINE SPOT ELEVATION
	MATCH EXISTING SPOT ELEVATION
	FINISHED FLOOR SPOT ELEVATION
	FINISHED GRADE NEAR BUILDING SPOT ELEVATION
	TOP OF WALL SPOT ELEVATION
	BOTTOM OF WALL SPOT ELEVATION
	RIM ELEVATION
	STRUCTURE ID & RIM ELEVATION
	STRUCTURE ID & INVERT ELEVATION
	PROPOSED CONTOUR
	RIDGE LINE
	SLOPE AND FLOW DIRECTION
	100-YEAR OVERLAND OVERFLOW ROUTE
	DETENTION BASIN 100-YEAR EMERGENCY
	PROPOSED SWALE
	PROPOSED RETAINING WALL
	PROPOSED STORM SEWER
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY MANHOLE
	PROPOSED STORM/SANITARY CLEANOUT
	PROPOSED WATER STRUCTURES
	PROPOSED LIGHT POLES
	PROPOSED TRANSFORMER PAD

- ### GRADING NOTES
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SCALE:	AS NOTED
DESIGNED BY:	AMM
DRAWN BY:	CWB
CHECKED BY:	MJT
TAC COMMENTS:	
REVISIONS:	
DATE:	02/5/2021
BY:	AMM
DATE:	01/28/2021
BY:	AMM

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INDIANAPOLIS, IN 46240
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Kimley-Horn

WILLIAM A. BULL
REGISTERED PROFESSIONAL ENGINEER
NOTED FOR CONSTRUCTION
01/26/2021

PETERSON

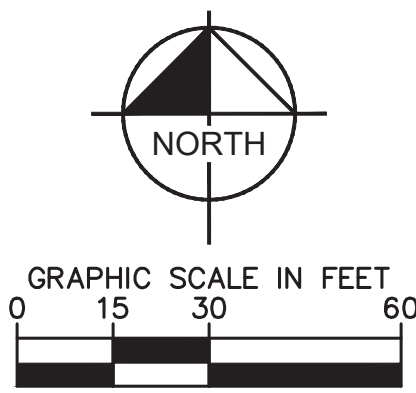
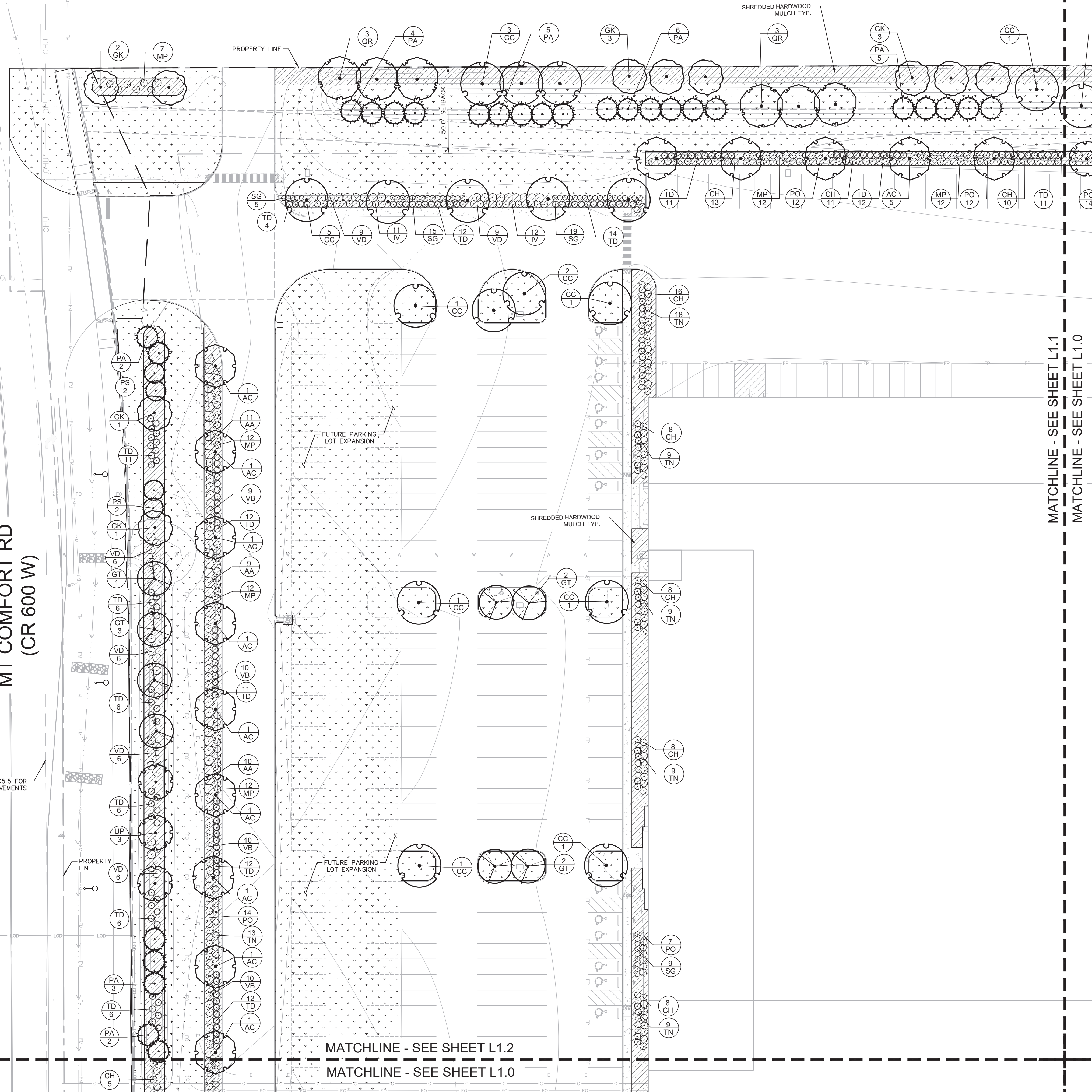
**PROJECT JARASCO
5671 N 600 W
MCCORDSVILLE, IN**

ORIGINAL ISSUE:
12/28/2020
KHA PROJECT NO.
170024022
SHEET NUMBER
C5.4

Drawing name: K:\IND_LDEV\170024022_Peterson_Peterson_McCordville\1.2 Design\CADD\PlanSheets\1.0-1.3 LANDSCAPE PLAN.dwg L1.0 Jan 28, 2021 3:53pm by: Casey Backer
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MT COMFORT RD
 (CR 600 W)

SEE SHEET C5.5 FOR
 ROADWAY IMPROVEMENTS

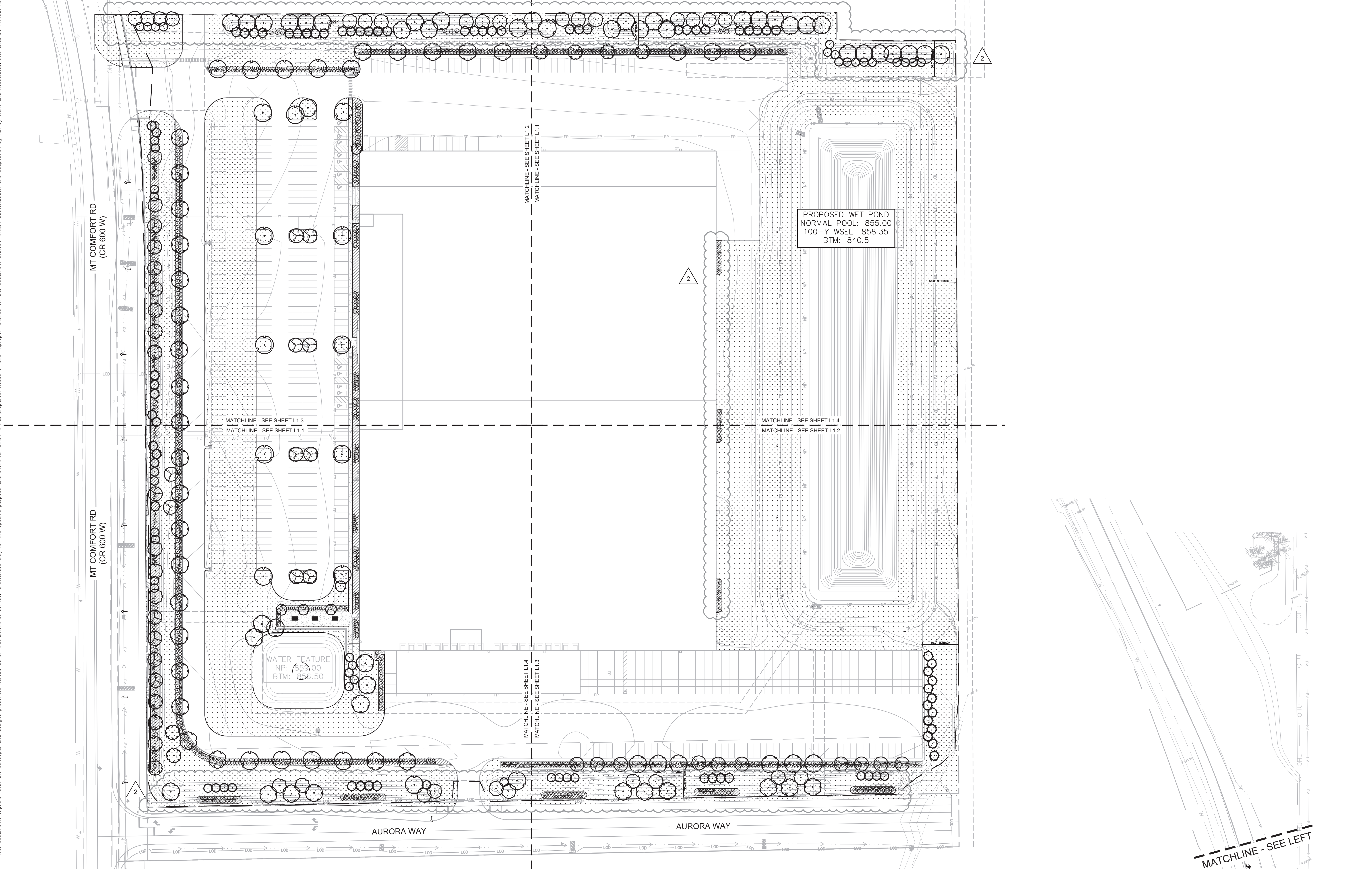
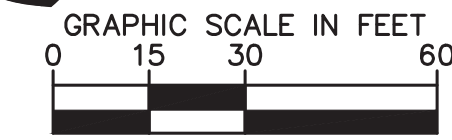


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LANDSCAPE PLAN			
PROJECT JARASCO 5671 N 600 W MCCORDSVILLE, IN			
ORIGINAL ISSUE: 12/28/2020 KHA PROJECT NO. 170024022			
SHEET NUMBER L1.0			

Drawing name: K:\IND_DEV\170024022_Peterson_Peterson_McCordville\1.2_Design\CADD\PlanSheets\1.0-1.3_LANDSCAPE_PLAN.dwg L1.0 OVERALL LANDSCAPE PLAN Feb 08, 2021 9:39am by: AnthonyMagnity
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MATCHLINE - SEE RIGHT

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PROPOSED WET POND
 NORMAL POOL: 855.00
 100-Y WSEL: 858.35
 BTM: 840.5

WATER FEATURE
 NP: 859.00
 BTM: 856.50

SCALE: AS NOTED DESIGNED BY: AMM DRAWN BY: CWB CHECKED BY: MJT	©2021 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 96TH STREET, SUITE 560, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM
OVERALL LANDSCAPE PLAN	
PROJECT JARASCO 5671 N 600 W MCCORDSVILLE, IN	
ORIGINAL ISSUE: 12/28/2020 KHA PROJECT NO. 170024022	TAC COMMENTS DATE BY
SHEET NUMBER L1.0	REVISIONS

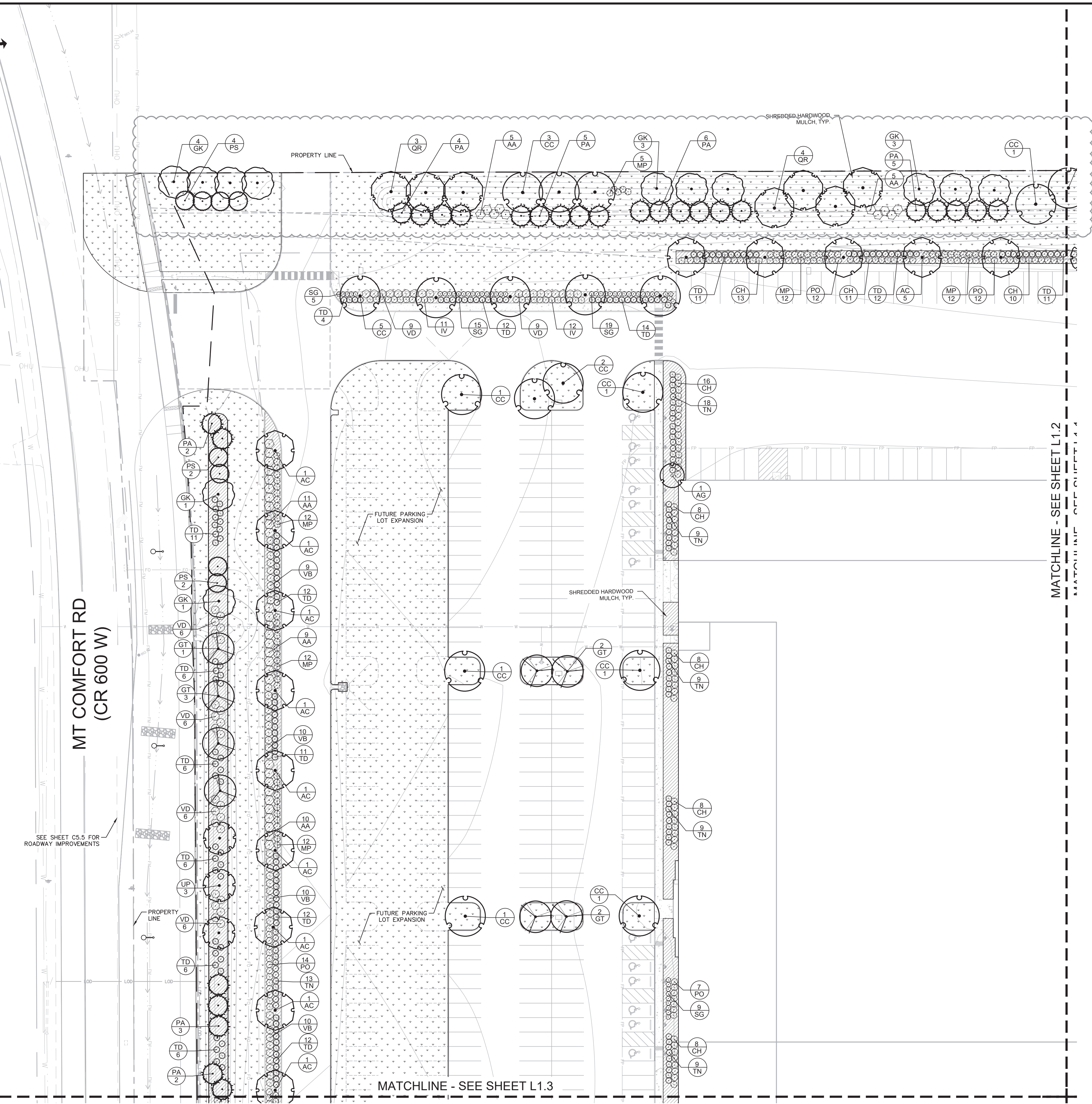
MATCHLINE - SEE LEFT

Drawing name: K:\IND_DEV\170024022_Peterson\Project_Jarasc\McCordville\IND2_Design\CADD\PlanSheets\L1.0-1.3_LANDSCAPE PLAN.dwg L1.1 LANDSCAPE PLAN Feb 08, 2021 9:38am By: Anthony Maglity
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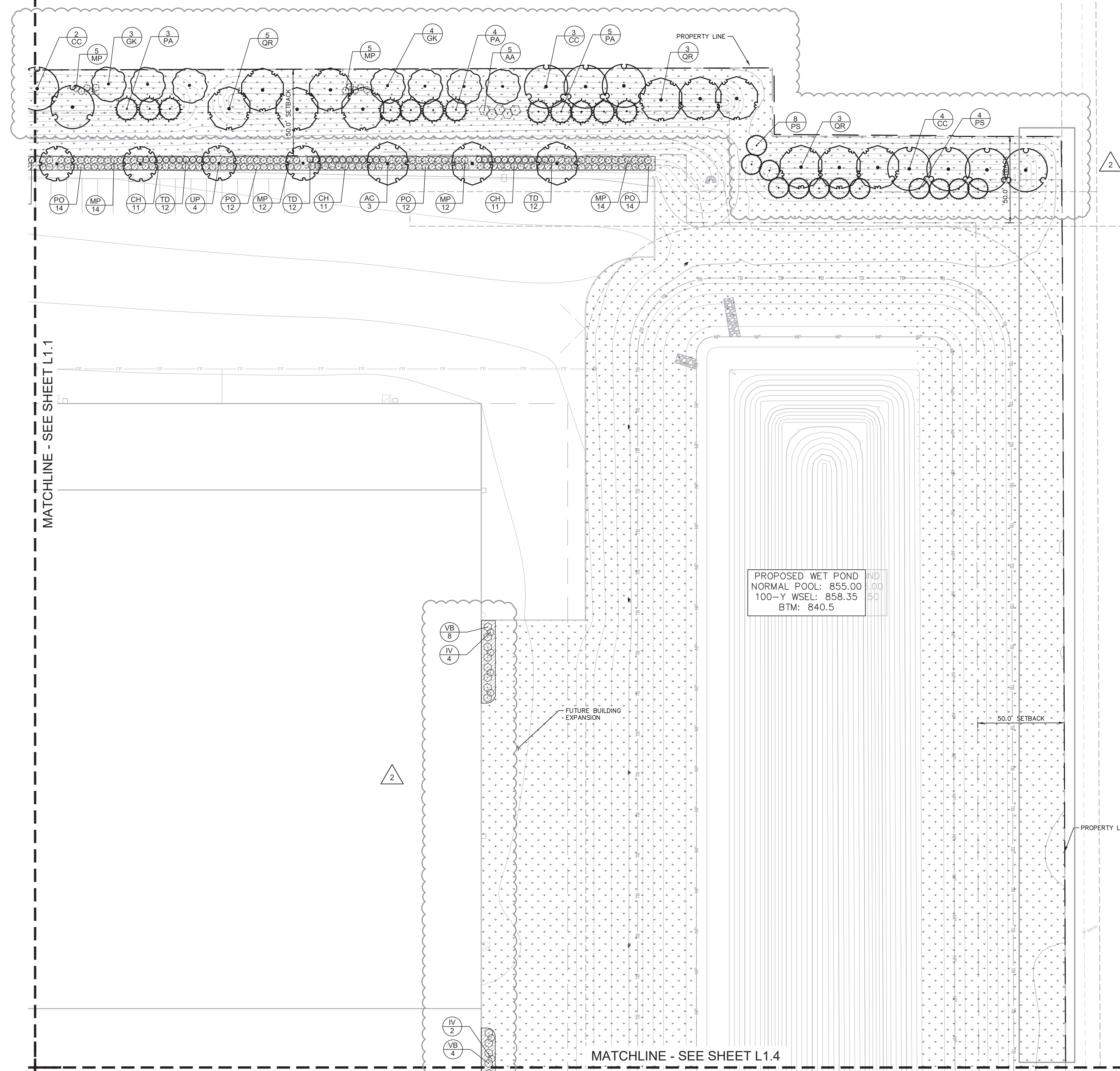
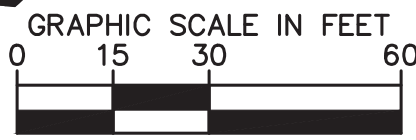
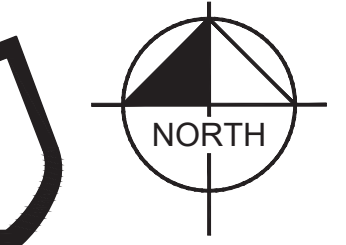
GRAPHIC SCALE IN FEET
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SCALE: AS NOTED DESIGNED BY: AMM DRAWN BY: CWB CHECKED BY: MJT	TAC COMMENTS REVISIONS
LANDSCAPE PLAN	
PROJECT JARASCO 5671 N 600 W MCCORDSVILLE, IN	
ORIGINAL ISSUE: 12/28/2020 KHA PROJECT NO. 170024022 SHEET NUMBER	
L1.1	

Drawing name: K:\IND_DEV\170024022_Peterson_Peterson_McCordville\IND2_Design\CADD\PlanSheets\L1.0-L1.3_LANDSCAPE PLAN.dwg L1.2 LANDSCAPE PLAN Feb 08, 2021 9:40am by: Anthony.Maginity
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Indiana Utilities Protection Service



PROPOSED WET POND
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 100-Y WSEL: 858.35
 BTM: 840.5

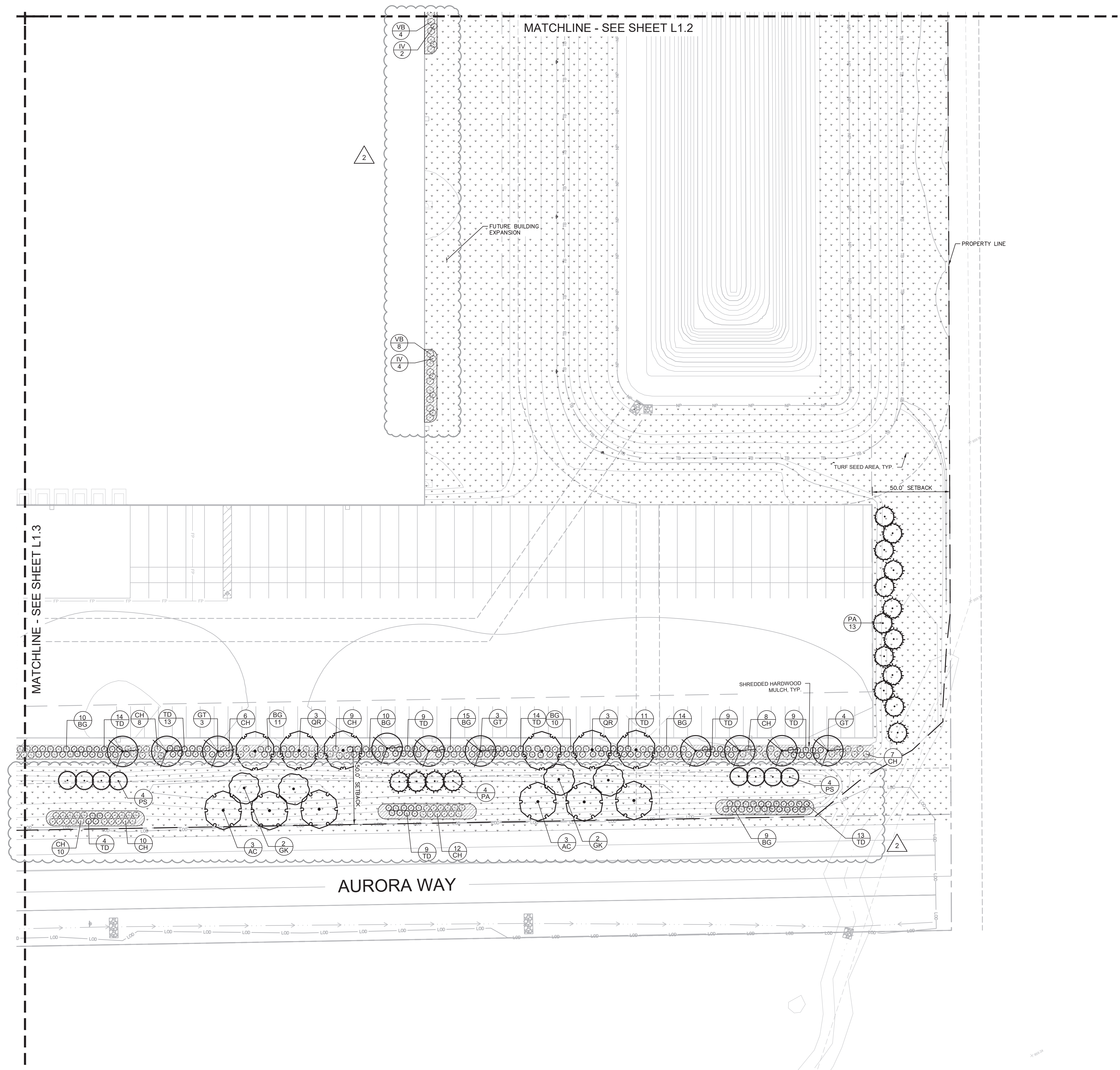
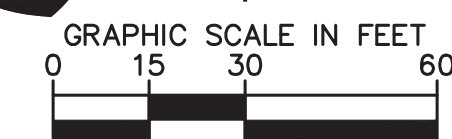
MATCHLINE - SEE SHEET L1.1

MATCHLINE - SEE SHEET L1.4

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	<p>MICHELLE C. ROY ARCHITECT 01/26/2021</p>		LANDSCAPE PLAN	PROJECT JARASCO 5671 N 600 W MCCORDSVILLE, IN	ORIGINAL ISSUE: 12/28/2020 KHA PROJECT NO. 170024022 SHEET NUMBER L1.2

Drawing name: K:\IND_LDEV\170024022_Peterson_Project_Jarasc_McCordsville\1.0-1.3_LANDSCAPE_PLAN.dwg L1.4 LANDSCAPE PLAN Feb 08, 2021 9:40am by Anthony.Magnity
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NO.	REVISIONS	DATE	BY
1	TAC COMMENTS	02/15/2021	AMM
2	TAC COMMENTS	01/28/2021	AMM

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 INDIANAPOLIS, IN 46240
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LANDSCAPE PLAN

PROJECT JARASCO
 5671 N 600 W
 MCCORDSVILLE, IN

ORIGINAL ISSUE:
 12/28/2020
 KHA PROJECT NO.
 170024022
 SHEET NUMBER

L1.4

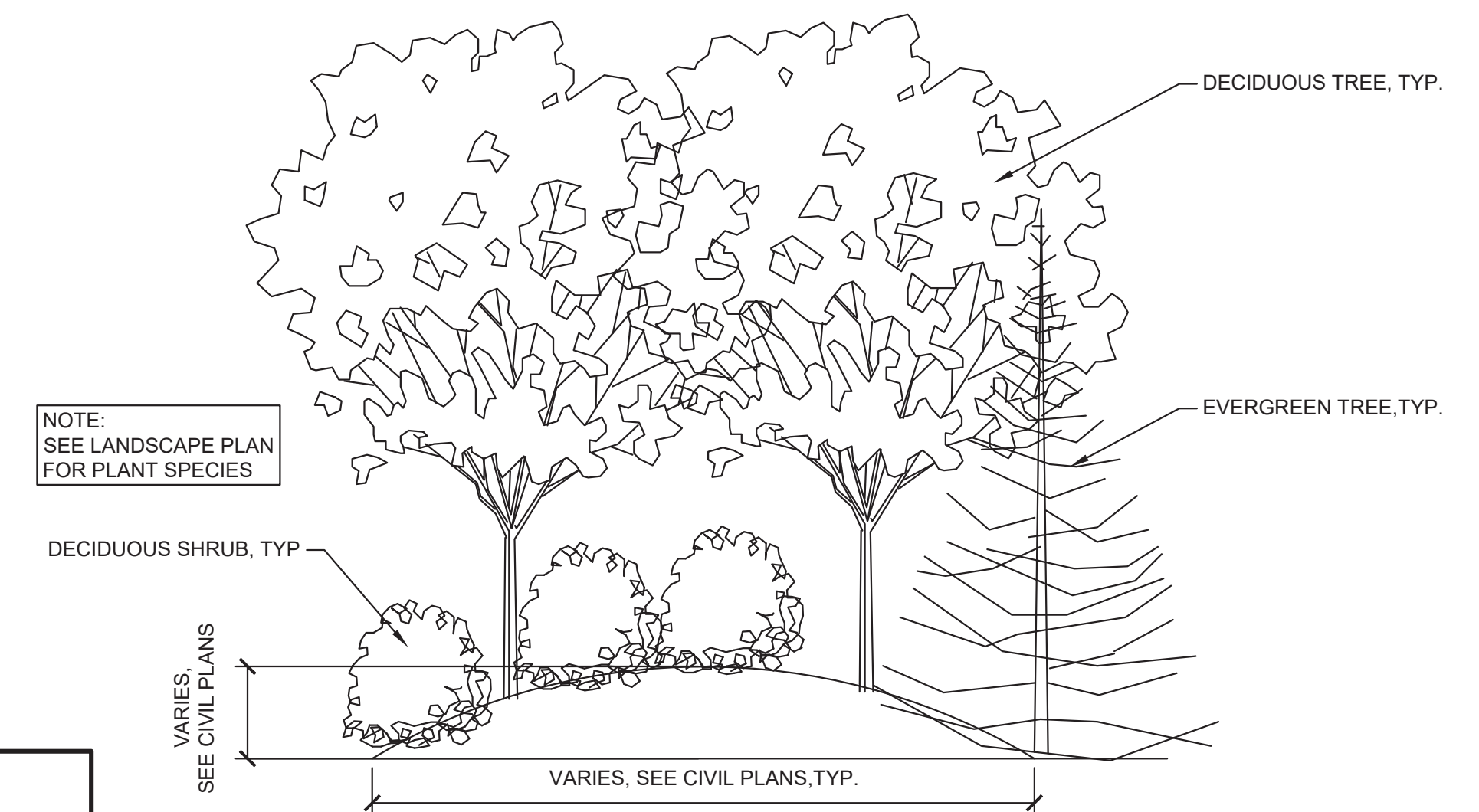


ORDINANCE CHART

ZONING: IBP		
REQUIREMENT	REQUIRED	PROVIDED
BUFFER YARD 3 <ul style="list-style-type: none"> 25' SETBACK IN ADDITION TO YARD SETBACK 2 SHADE TREES + 2 EVERGREEN TREES PER 50 LF SHRUBS ALONG 50% OF LENGTH OF YARD 	SOUTH YARD <ul style="list-style-type: none"> 1,092 LF / 50 = 22 SHADE TREES + 22 EVERGREEN TREES 546 LF OF SHRUBS (50%) WEST YARD <ul style="list-style-type: none"> 1,036 LF / 50 = 21 SHADE TREES + 21 EVERGREEN TREES 518 LF OF SHRUBS (50%) 	SOUTH YARD <ul style="list-style-type: none"> 22 SHADE TREES + 22 EVERGREEN TREES 546 LF OF SHRUBS WEST YARD <ul style="list-style-type: none"> 21 SHADE TREES + 21 EVERGREEN TREES 518 LF OF SHRUBS (50%)
BUFFER YARD - NORTH <ul style="list-style-type: none"> 8 TREES PER 100 LF 	NORTH YARD <ul style="list-style-type: none"> (1,200 LF / 100)*8 = 96 TREES 	NORTH YARD <ul style="list-style-type: none"> 96 TREES
PARKING LOT INTERIOR <ul style="list-style-type: none"> INTERIOR LANDSCAPE EQUAL TO 5% OF THE PAVED SURFACE 1 TREE PER 200 SF OF LANDSCAPE AREA 	<ul style="list-style-type: none"> 328,355 SF X 0.05 = 16,417 SF REQUIRED INTERIOR TREES = 22 ISLANDS LESS THAN 400 SF: 6 QTY 6 X 1 = 6 TREES ISLANDS BETWEEN 400 SF & 600 SF: 4 QTY 4 X 2 = 8 TREES ISLANDS GREATER THAN 600 SF: 5 QTY (1520 SF) 2 PER 200 SF = 8 TREES 	<ul style="list-style-type: none"> 31,512 SF > 29,722 SF 22 TREES
PARKING LOT PERIMETER <ul style="list-style-type: none"> 1 TREE PER 30 LF 1 SHRUB PER 5 LF A MINIMUM OF 50% OF SHRUBS SHALL BE EVERGREEN 	<ul style="list-style-type: none"> 489 LF / 30 = 16 TREES 489 LF / 5 SHRUBS = 98 SHRUBS 387 LF / 30 = 13 TREES 387 LF / 5 SHRUBS = 77 SHRUBS 	<ul style="list-style-type: none"> 16 TREES & 98 SHRUBS (50% EVERGREEN) 13 TREES & 77 SHRUBS (50% EVERGREEN)
SITE INTERIOR PLANTING <ul style="list-style-type: none"> 1 TREE PER 3,000 SF OF YARD AREA 	<ul style="list-style-type: none"> 209,626 SF / 3,000 SF = 70 TREES 	<ul style="list-style-type: none"> 46 PRESERVED TREES ON EAST BOUNDARY + 24 TREES = 70 TREES
BUILDING FOUNDATION PLANTING <ul style="list-style-type: none"> 3 SHRUBS, 2 ORNAMENTAL TREES OR A MIX THEREOF PER 12 LF OF BUILDING PERIMETER (EXCLUSIVE OF DOORS) 	<ul style="list-style-type: none"> WESTERN FACADE : 642 LF = 160 SHRUBS NORTHERN FACADE : NO DENSITY REQUIREMENT EASTERN FACADE : NO DENSITY REQUIREMENT 	<ul style="list-style-type: none"> WESTERN FACADE : 160 SHRUBS NORTHERN FACADE : NO DENSITY REQ EASTERN FACADE : NO DENSITY REQ

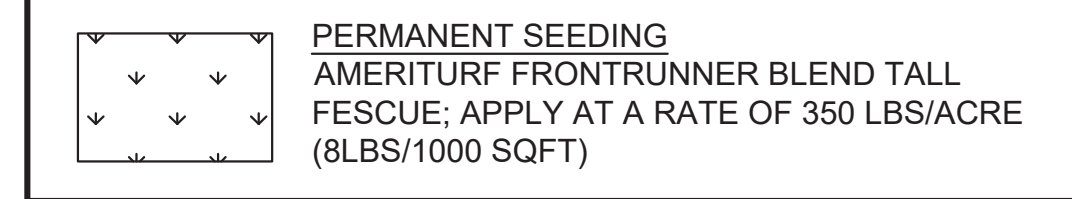
LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND PLANTING.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO A 6" DEPTH BELOW FINISHED GRADE IN TURF AREAS AND A 12" DEPTH IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
- SEED LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED MIXES.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED BY LANDSCAPE CONTRACTOR DURING WARRANTY PERIOD IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.



1 TYPICAL LANDSCAPED BERM SECTION NTS

SEEDING LEGEND



2 TREE PLANTING NTS

NOTES:

- INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
- REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
- TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
- BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
- WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
- FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

NOTES:

- APPLY CORRECTIVE PRUNING.
- SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

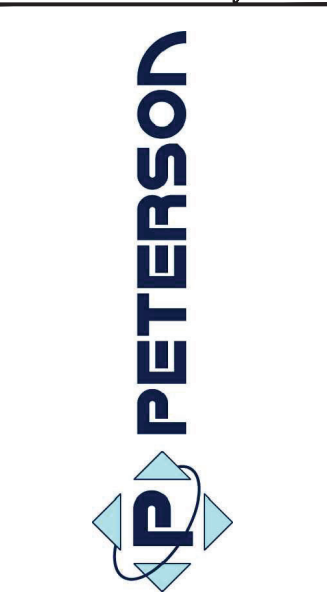
3 SHRUB PLANTING NTS

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
AC	35	ACER CAMPESTRE 'QUEEN ELIZABETH'	QUEEN ELIZABETH HEDGE MAPLE	B & B	2" CAL. MIN	---
CC	36	CELTIS OCCIDENTALIS 'CHICAGOLAND'	COMMON HACKBERRY	B & B	2" CAL. MIN	---
GK	32	GYMNOCLADUS DIOICA	KENTUCKY COFFEETREE	B & B	2" CAL. MIN	---
GT	29	GLEDITSIA TRIACANTHOS INERMIS 'SUNBURST'	SUNBURST HONEYLOCUST	B & B	2" CAL. MIN	---
QR	34	QUERCUS RUBRA	RED OAK	B & B	2" CAL. MIN	---
UP	13	ULMUS AMERICANA 'PRINCETON'	PRINCETON ELM	B & B	2" CAL. MIN	---
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
PA	63	PICEA ABIES	NORWAY SPRUCE	B & B	---	5' HT MIN
PS	46	PINUS STROBUS	WHITE PINE	B & B	---	5' HT MIN
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
AG	5	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	2" CAL. MIN	---
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
AA	85	ARONIA ARBUTIFOLIA 'BRILLIANTISSIMA'	BRILLIANT RED CHOKEBERRY/RED CHOKEBERRY	-	SEE PLAN	24" HT MIN
BG	79	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	-	SEE PLAN	24" HT MIN
CH	268	CORNUS ALBA 'BAILHALO' TM	IVORY HALO DOGWOOD	-	SEE PLAN	24" HT MIN
IV	65	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	2' HT.	-	-
MP	218	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	-	SEE PLAN	24" HT MIN
PO	196	PHYSOCARPUS OPULIFOLIUS 'SEWARD'	SEWARD NINEBARK	-	SEE PLAN	30" HT MIN
SG	166	SPIRAEA JAPONICA 'GOLDFLAME'	SPIREA	2' HT.	-	-
TD	383	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEWE	-	SEE PLAN	24" HT MIN
TN	142	TAXUS CUSPIDATA 'NANA AURESCENS'	DWARF GOLDEN JAPANESE YEWE	5 GAL	SEE PLAN	---
VB	63	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	-	SEE PLAN	24" HT MIN
VD	95	VIBURNUM DENTATUM 'BLUE MUFFIN'	BLUE MUFFIN VIBURNUM	-	SEE PLAN	24" HT MIN

DATE	BY
02/15/2021	AMM
01/28/2021	AMM
TAC COMMENTS	TAC COMMENTS
REVISIONS	NO.

AS NOTED
DESIGNED BY: AMM
DRAWN BY: CWB
CHECKED BY: MJT

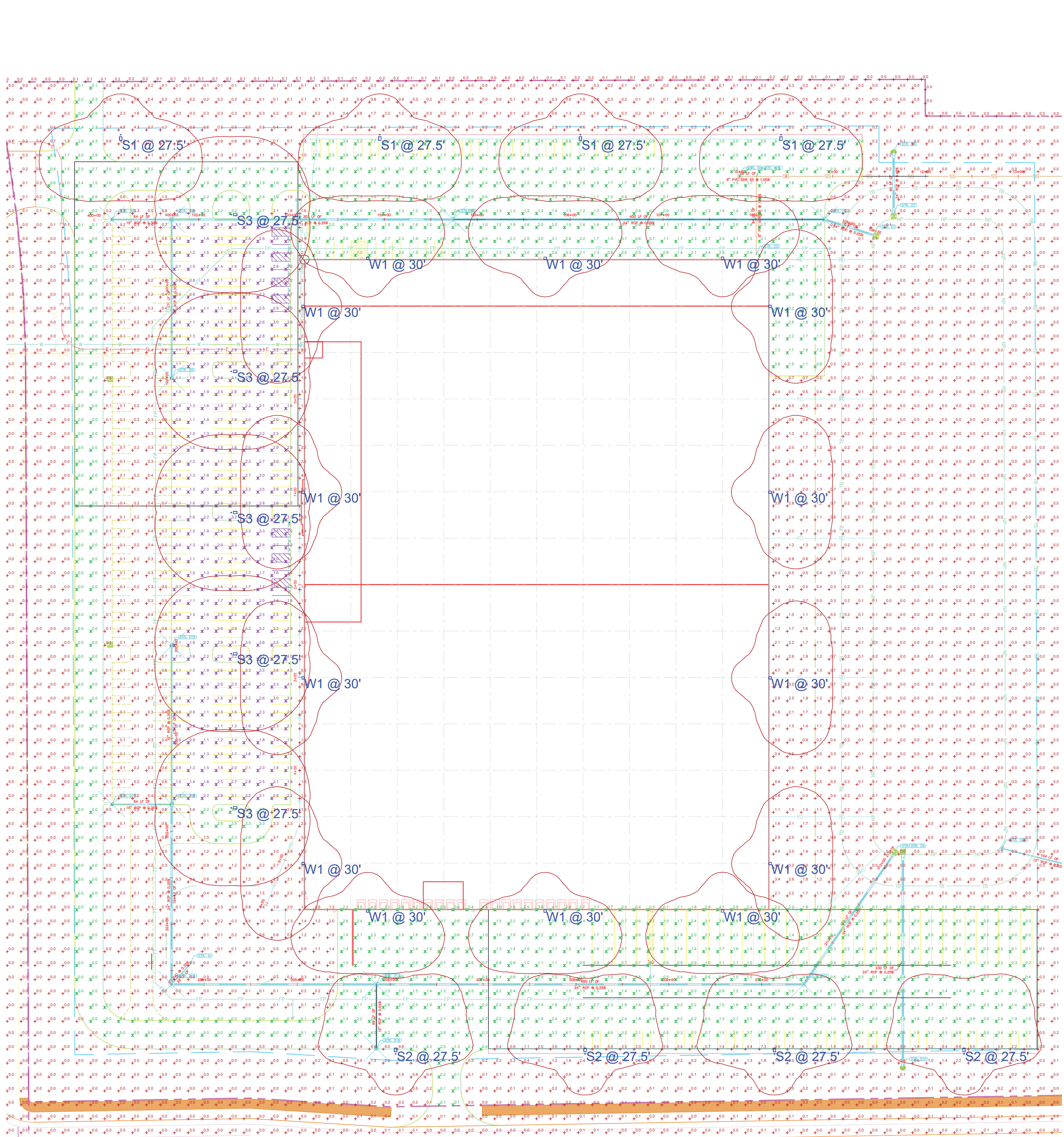


LANDSCAPE DETAILS

PROJECT JARASCO
5671 N 600 W
MCCORDSVILLE, IN

ORIGINAL ISSUE:
12/28/2020
KHA PROJECT NO.
170024022
SHEET NUMBER

L1.5



LIGHTING PHOTOMETRIC
SCALE: 1" = 16FT

GENERAL NOTES

- GENERAL PLAN NOTES:
- MH: AS NOTED
 - POINTS CALCULATED AT: GRADE
 - LIGHT LOSS FACTOR: AS NOTED
- FOR PRICING CONTACT
JANINE BURKHART 317-698-4175

Schedule

Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lumens per Lamp	LLF	Wattage
□	W1	14	Lithonia Lighting	RSX2 LED P4 50K R3 MVOLT WBA FINISH	RSX Area Fixture Size 2 P4 Lumen Package 5000K CCT Type R3 Distribution	25000	0.95	189.54
□	S1	4	Lithonia Lighting	RSX3 LED P4 50K R3 MVOLT SPA FINISH/ 25' SSS POLE	RSX Area Fixture Size 3 P4 Lumen Package 5000K CCT Type R3 Distribution	40446.44	0.95	311.92
□	S2	4	Lithonia Lighting	RSX3 LED P4 50K R4 MVOLT SPA FINISH/ 25' SSS POLE	RSX Area Fixture Size 3 P4 Lumen Package 5000K CCT Type R4 Distribution	40975.64	0.95	311.92
□	S3	5	Lithonia Lighting	RSX3 LED P4 50K R5 MVOLT SPA FINISH/ 25' SSS POLE	RSX Area Fixture Size 3 P4 Lumen Package 5000K CCT Type R5 Distribution	41525.16	0.95	311.92

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Boundary_Grade	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A
Car Parking_Grade	✕	2.1 fc	4.6 fc	0.5 fc	9.2:1	4.2:1
Paved Area_Grade	✕	1.6 fc	8.8 fc	0.0 fc	N/A	N/A
Site_Grade	+	0.7 fc	9.9 fc	0.0 fc	N/A	N/A

No.	Revision	Date

Firm Name and Address

LIGHTSOURCE
THE LIGHTING & CONTROL EXPERTS

8719 CASTLE PARK DRIVE
INDIANAPOLIS, IN 46256
WWW.LIGHTSOURCEINDIANA.COM
p:317-598-6900

Project Name and Address

JARASCO
SITE LIGHTING PHOTOMETRIC

Drawn By
MJC

Scale
As Noted

Date
1/5/21

Drawing #
LS-21-5002

Sheet No.
E101

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