



November 30, 2020

Architectural Review Committee &
Ryan Crum
Director of Planning & Building
Town of McCordsville
6280 W. 800 N.
McCordsville, IN 46055

RE: Architectural Review Approval for McCord Pointe

Lennar Homes is requesting architectural approval for the Spencer elevation to be built at McCord Pointe Area B. The plan and colored rendering is included with this package.

This letter shall serve as written confirmation that Lennar stipulates it will meet the Architectural Standards approved as part of Ordinance No. 101017B for McCord Pointe. Some of the architectural standards are not shown on our drawings. However, via this letter, Lennar commits to meet each of architectural standards identified in the ordinance. Lennar requests this letter be used in conjunction with the architectural drawings submitted to the Architectural Review Committee.

All homes shall have the following:

- Dimensional shingles;
- All siding shall be cement fiber board;
- Minimum roof overhang of eleven inches on all sides of a house as measured from the exterior wall material to the fascia board;
- All two-story homes shall contain a minimum of two (2) windows on all four sides with the exception of a façade facing a public street which shall contain a minimum of three (3) windows. The plans submitted at the time of building permit will identify the included windows meeting the above standard;
- Unless adjacent to brick or stone wrap, all side and rear windows shall have a minimum nominal one inch by six inch wood wrap;
- All homes shall contain a minimum of a two car garage with a minimum width or depth of twenty-two feet. If the base home garage shown on the prints does not meet this requirement, a side or front extension will be identified on the prints submitted at the time of building permit.
- Front-loading garages shall contain a decorative garage door;

The omission of any specific architectural requirements from the above list is not intended to waive any obligations by Lennar to meet the Architectural Standards approved as part of Ordinance No.

101017B. This letter is intended to be a supplement to the specific architectural drawings submitted by Lennar to the Architectural Review Committee as further clarification.

Sincerely,

A handwritten signature in black ink, appearing to read "Ty Rinehart". The signature is stylized with a large, bold "T" and "R".

Ty Rinehart
Land Acquisition Manager
Lennar Homes of Indiana

Cornerstone Collection | Spencer



Elevation C



Elevation B



Elevation D



Elevation E

Cornerstone Collection | Spencer



INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

REV. NO.	1	2	3	4	5
DATE	TBD				
REMARKS	FULL RELEASE				

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MODEL	SFT. NO.	DRAWN BY	COLLECTION	CORNERSTONE
SPENCER B	976950	DAR		
DRAWING TITLE	FRONT ELEVATION			
OPTION DESCRIPTION				

SHEET NO.

A1.1B

EXTERIOR TRIM KEY

V VINYL CORNER

1 1x4

2 1x6

3 1x8

4 1x10

5 1x12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

NOTE:

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

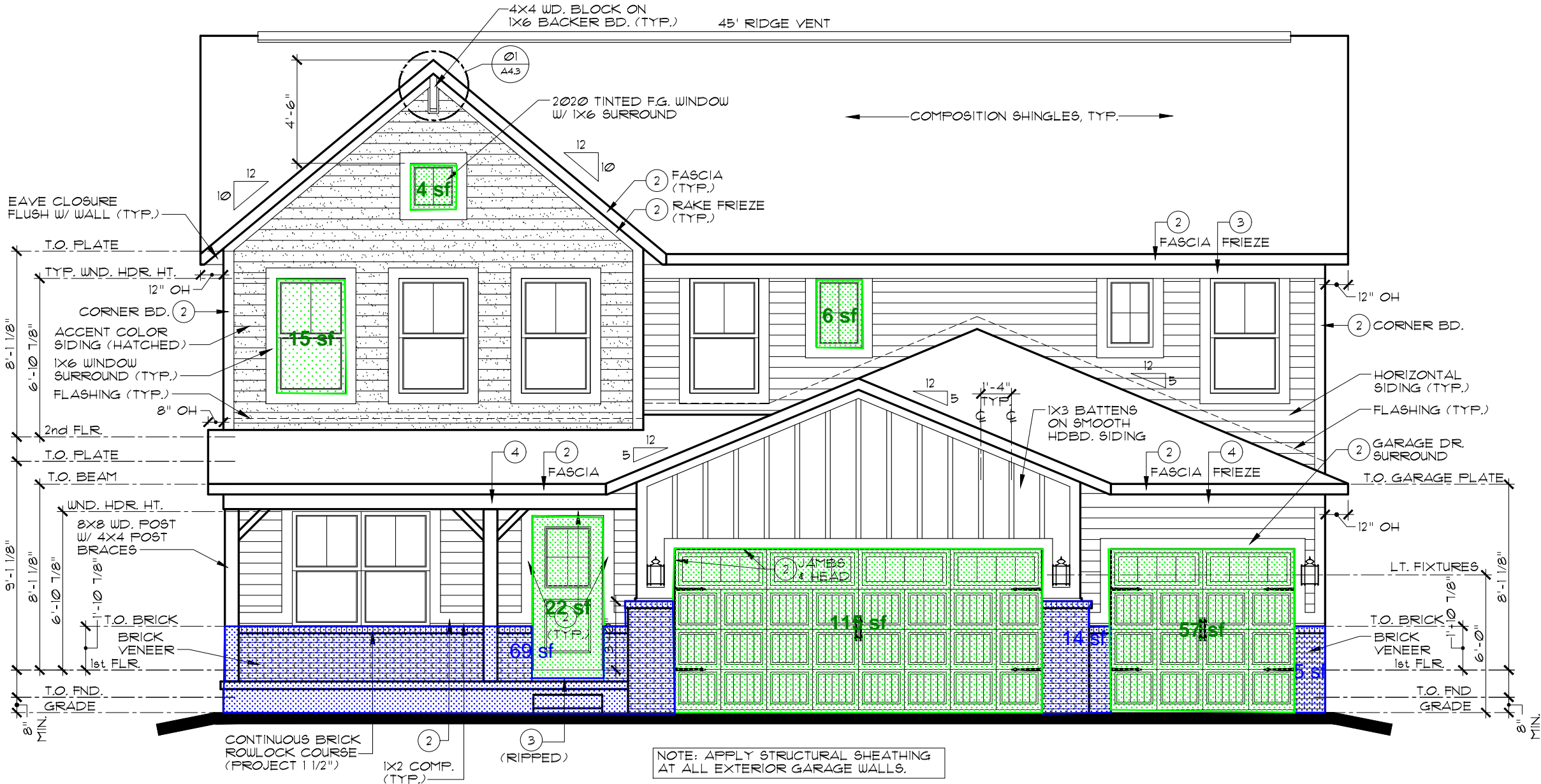
NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE:

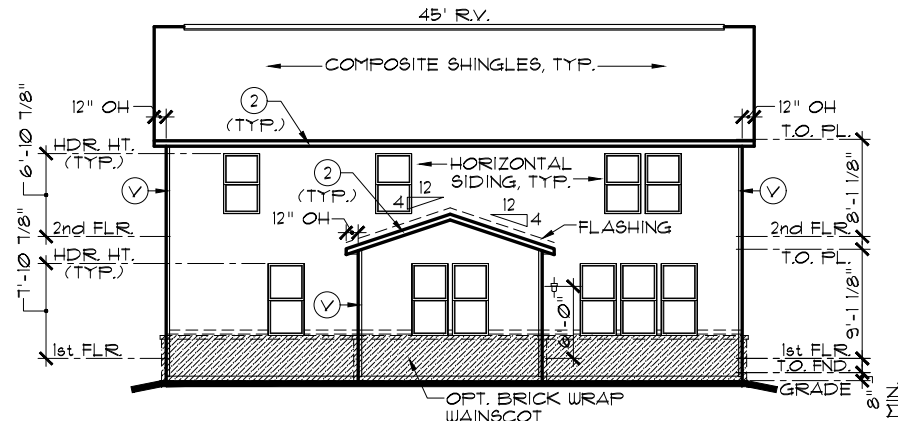
STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE GARAGE DOORS SHALL COMPLY WITH THE 2020 INDIANA RESIDENTIAL CODE, SECTION R 103.8.3

Masonry = 30" masonry wainscot



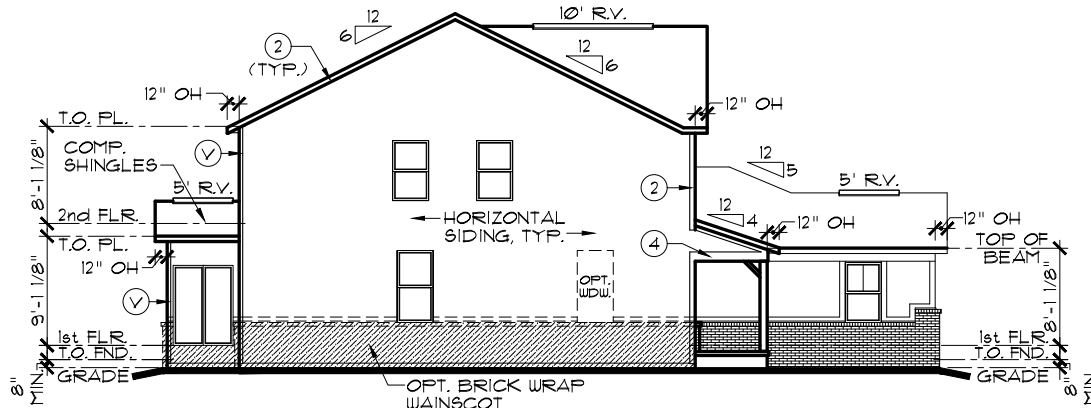
FRONT ELEVATION B

SCALE: 3/16" = 1'-0"



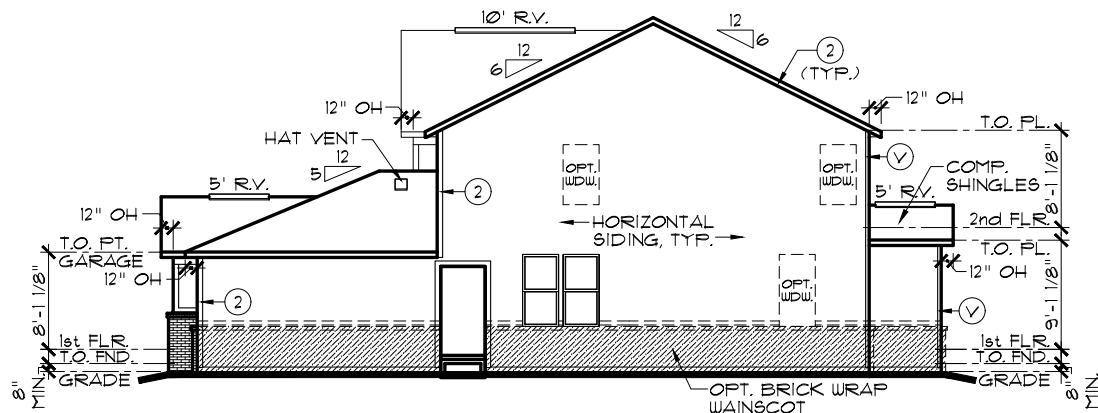
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- V VINYL CORNER
- 1 1 x 4
- 2 1 x 6
- 3 1 x 8
- 4 1 x 10
- 5 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

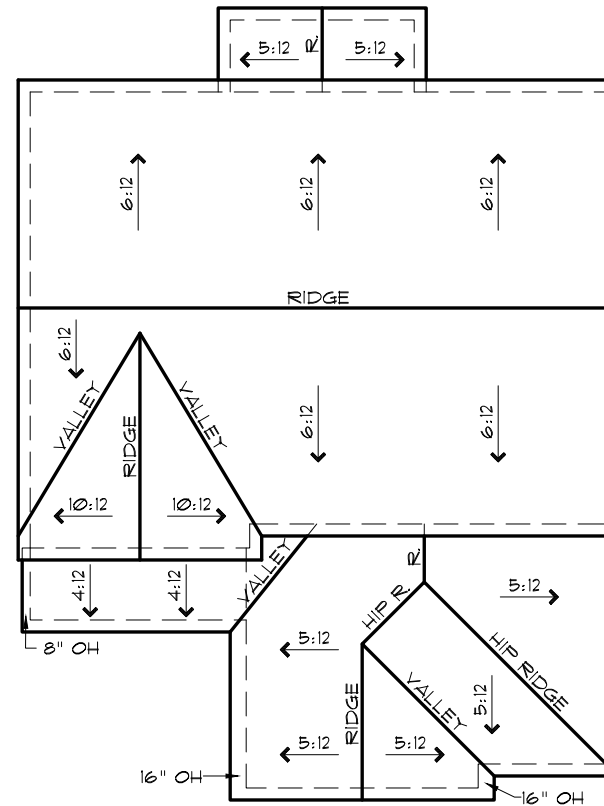
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NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN B

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

REV.NO.	DATE	REMARKS
1	10/20/20	FULL RELEASE
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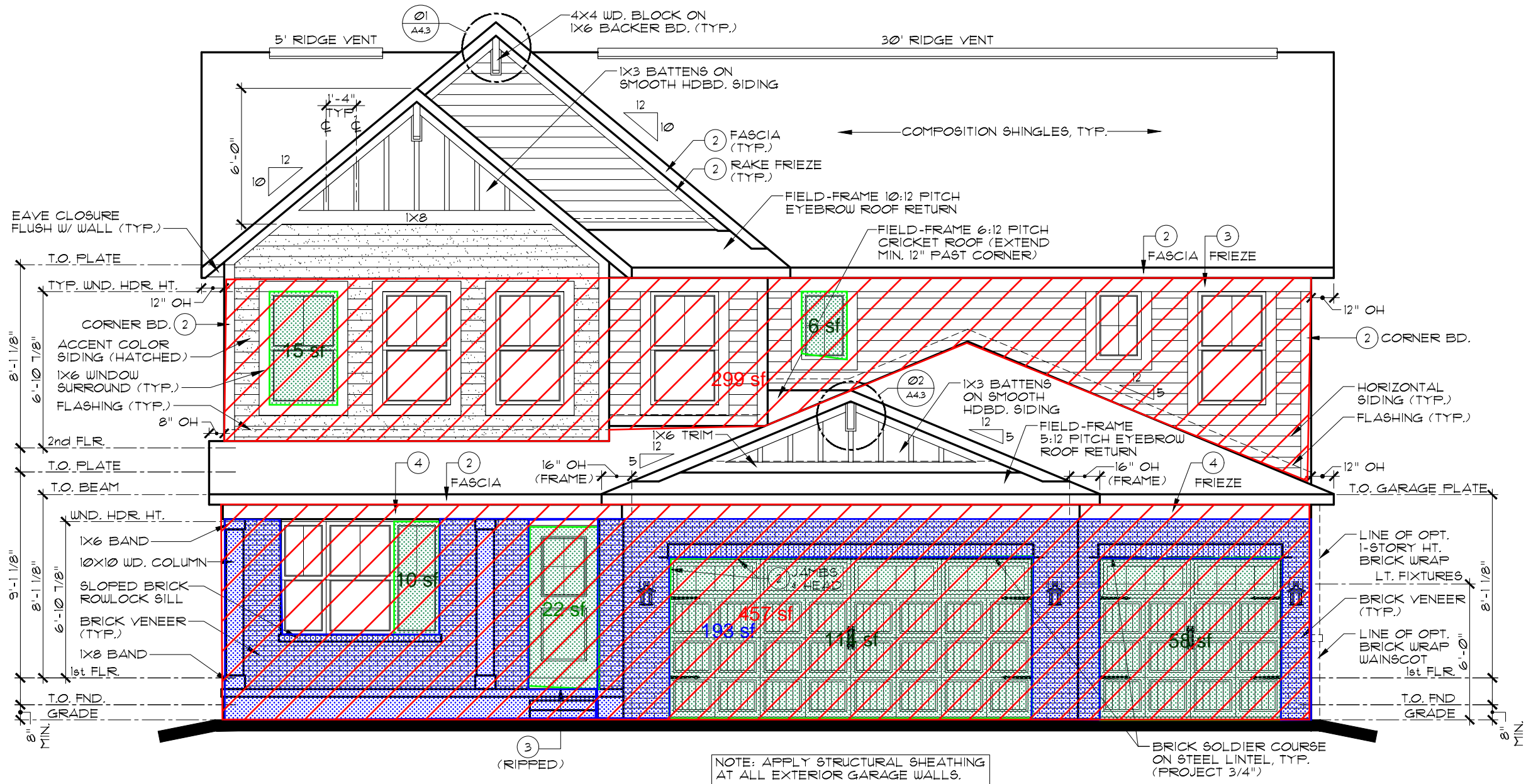
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

MODEL	SFT. NO.	DRAWN BY	COLLECTION	OPTION DESCRIPTION
SPENCER B	976950	DAR	CORNERSTONE	
DRAWING TITLE	SIDE, REAR ELEVATIONS			

SHEET NO.

A1.2B

Primary facade = 756 s.f.
Windows and doors = 316 s.f.
Masonry = 194 s.f.
Masonry Percentage 44%



EXTERIOR TRIM KEY	
 VINYL CORNER	 1 x 8
 1 x 4	 1 x 10
 1 x 6	 1 x 12
NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.	

NOTE:
SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION
NOTE:
ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.
NOTE:
STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE GARAGE DOORS SHALL COMPLY WITH THE 2020 INDIANA RESIDENTIAL CODE, SECTION R 103.8.3

INDIANAPOLIS DIVISION



REMARKS	DATE	REV. NO.	1	2	3	4	5
	10/20/20						

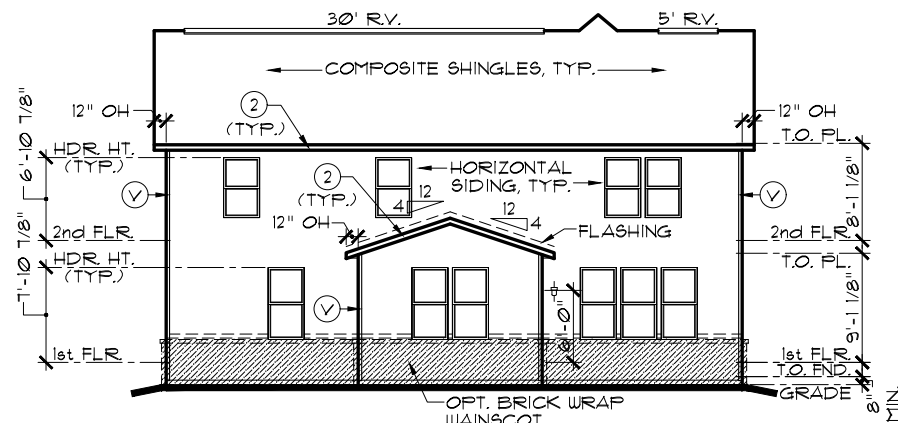
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MODEL	SFT. NO.	DRAWN BY	COLLECTION	CORNERSTONE
SPENCER C	9769CO	DAR		
FRONT ELEVATION				
OPTION DESCRIPTION				

FRONT ELEVATION C

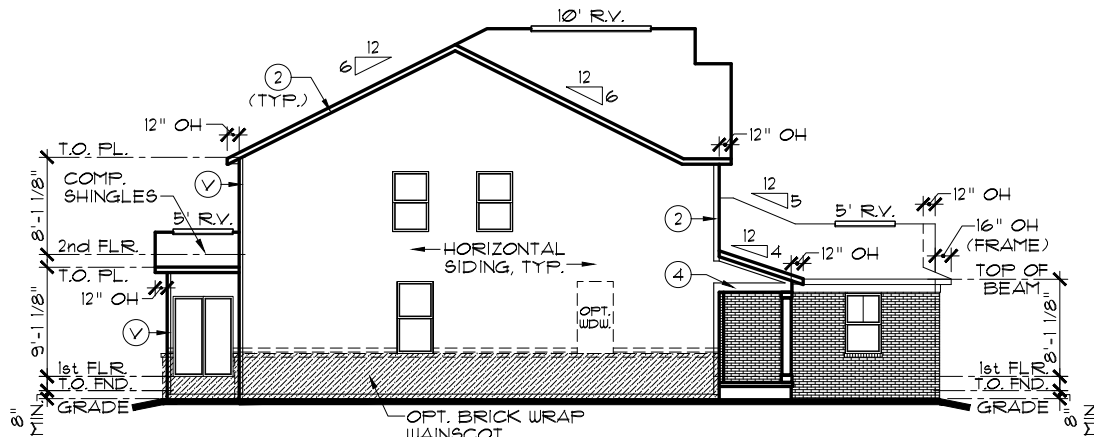
SCALE: 3/16" = 1'-0"

SHEET NO. A1.1C



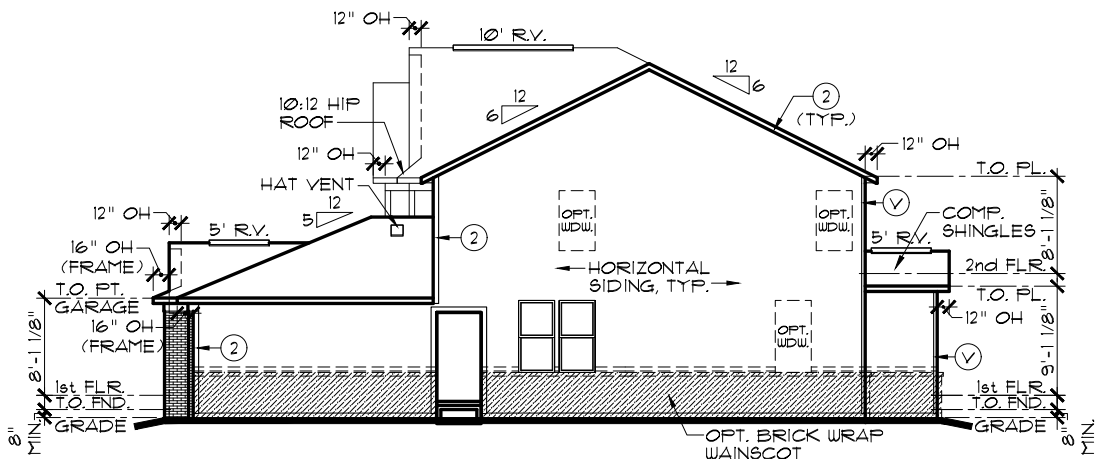
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- V VINYL CORNER
- 1 1 x 4
- 2 1 x 6
- 3 1 x 8
- 4 1 x 10
- 5 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

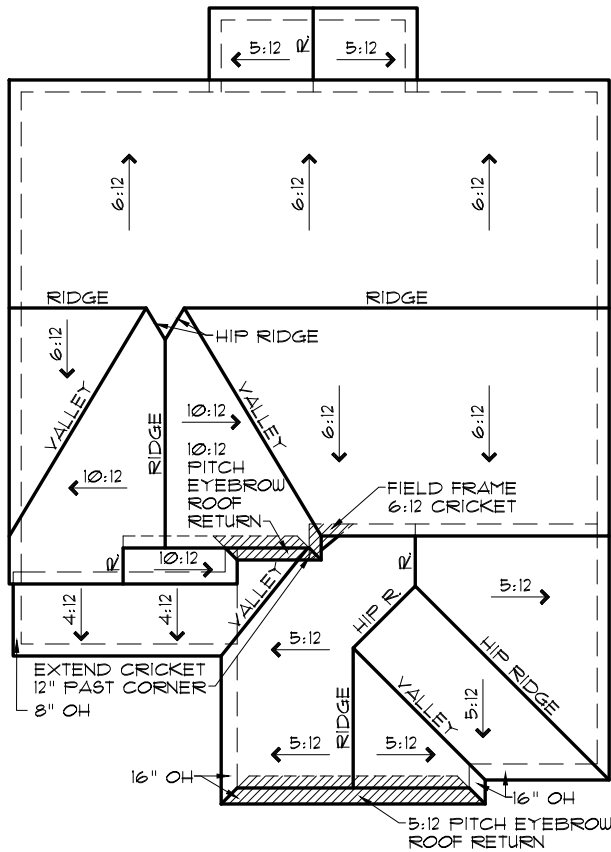
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NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN C

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

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MODEL	SFT. NO.	DRAWN BY	COLLECTION	CORNERSTONE
SPENCER C	9769CO	DAR		
DRAWING TITLE	SIDE, REAR ELEVATIONS			
OPTION DESCRIPTION				

SHEET NO.

A1.2C

Primary facade = 764 s.f.
Windows and doors = 308 s.f.
Masonry = 201 s.f.
Masonry Percentage 44%

EXTERIOR TRIM KEY

V

VINYL
CORNER

1

1 x 4

2

3

4

5

NOTE: EXTERIOR TRIM NOTATIONS
INDICATE TRIM PIECE SIZE ONLY.
ACTUAL TRIM MATERIAL / FINISH
PER DIVISION SPECIFICATIONS.

NOTE:

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NOTE:

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CONDITION. SLAB FOUNDATION SIMILAR.

NOTE:

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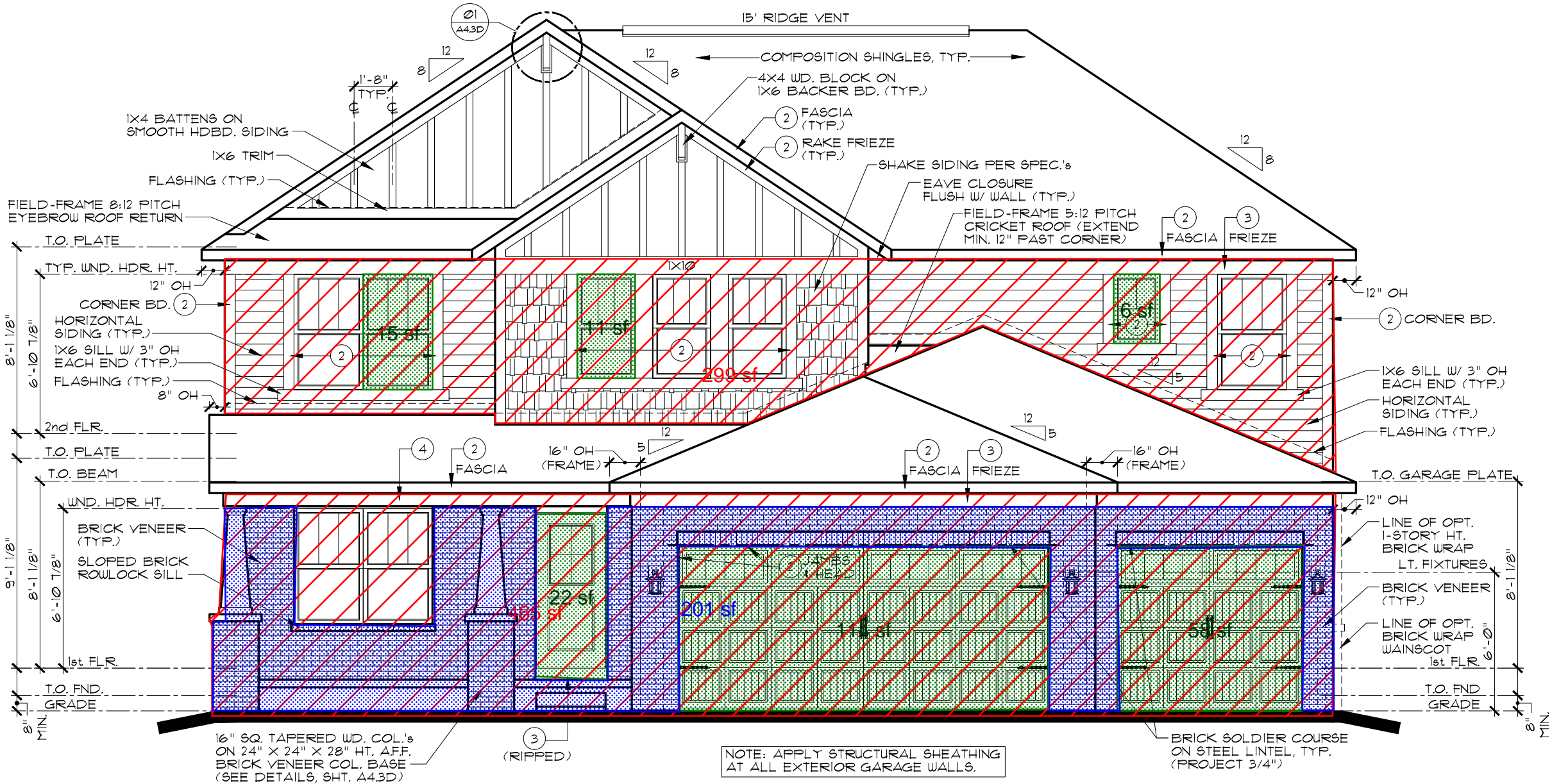
SFT. NO.	DRAWN BY	COLLECTION	CORNERSTONE
9769D0	DAR		

LENNAR®

MODEL	DRAWING TITLE	OPTION DESCRIPTION
SPENCER D	FRONT ELEVATION	

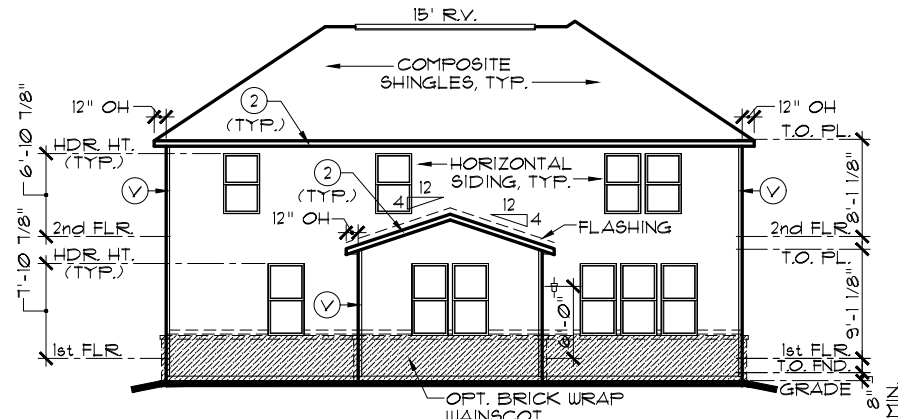
SHEET NO.

A1.1D



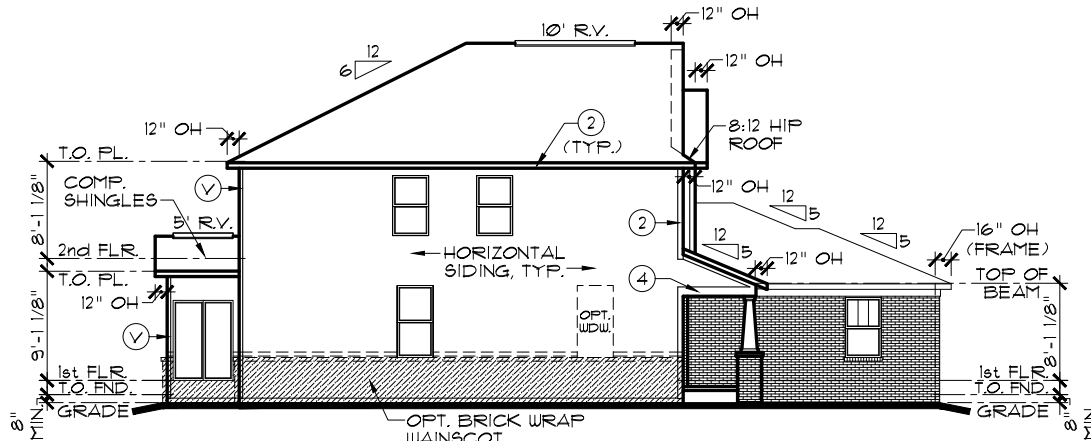
FRONT ELEVATION D

SCALE: 3/16" = 1'-0"



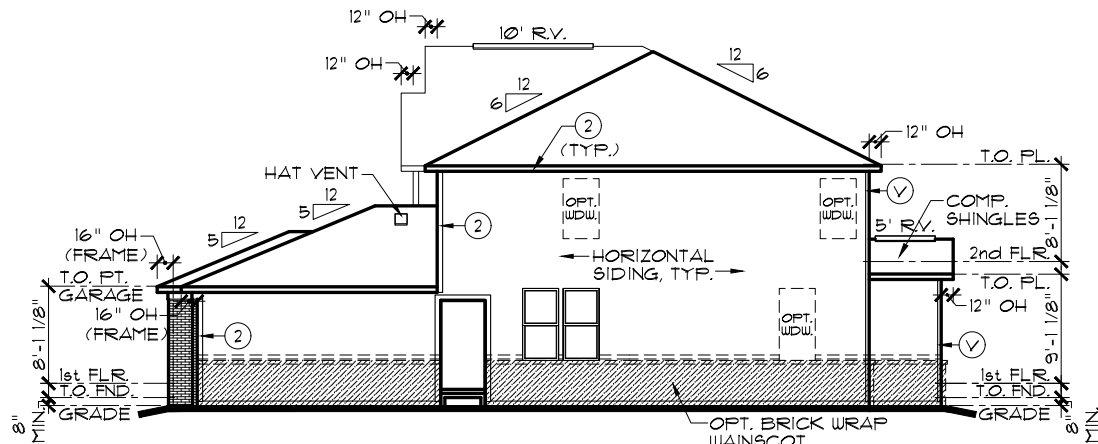
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- | | |
|------------------|------------|
| (V) VINYL CORNER | (3) 1 x 8 |
| (1) 1 x 4 | (4) 1 x 10 |
| (2) 1 x 6 | (5) 1 x 12 |

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

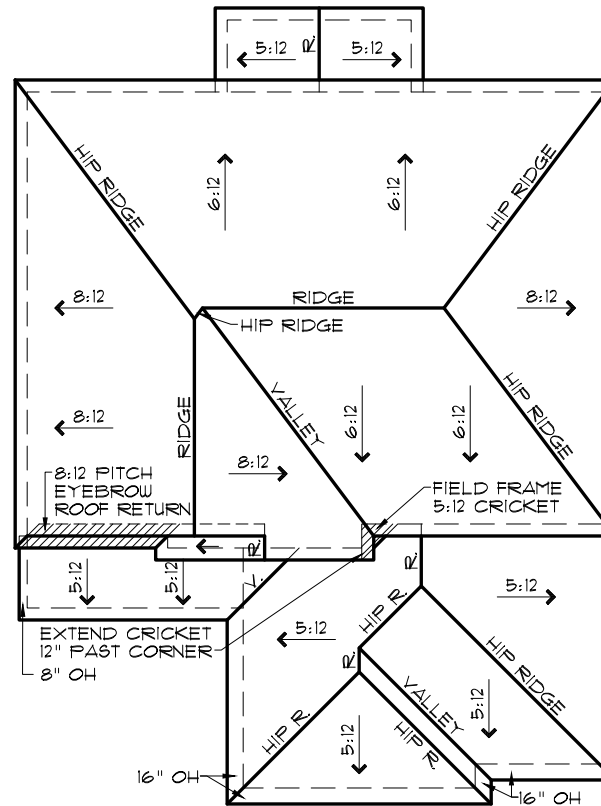
NOTE:

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NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN D

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

REV. NO.	DATE	REMARKS
1	10/20/20	FULL RELEASE
2		
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LENNAR®	
MODEL	SPENCER D
	SET NO.
	9769D0
DRAWING TITLE	
SIDE, REAR ELEVATIONS	
	DRAWN BY
	DAR
OPTION DESCRIPTION	COLLECTION
	CORNERSTONE

SHEET NO.

A1.2D

Primary facade = 811 s.f.
Windows and doors = 301 s.f.
Masonry = 251s.f.
Masonry Percentage 49%

EXTERIOR TRIM KEY

V

VINYL
CORNER

1

1 x 4

2

3

4

5

NOTE: EXTERIOR TRIM NOTATIONS
INDICATE TRIM PIECE SIZE ONLY.
ACTUAL TRIM MATERIAL / FINISH
PER DIVISION SPECIFICATIONS.

NOTE:

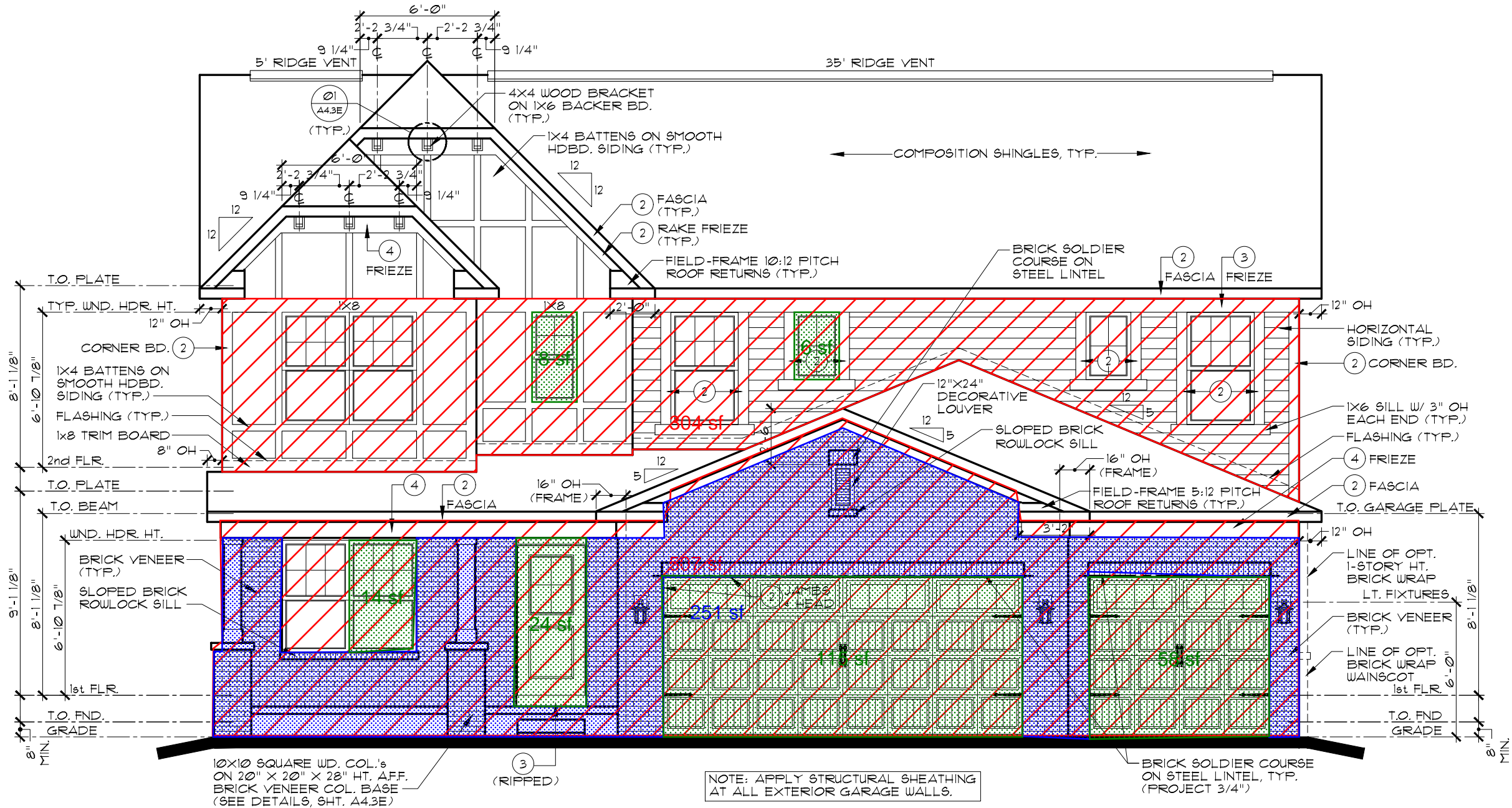
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NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION
CONDITION. SLAB FOUNDATION SIMILAR.

NOTE:

STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE
GARAGE DOORS SHALL COMPLY WITH THE 2020
INDIANA RESIDENTIAL CODE, SECTION R 103.8.3



FRONT ELEVATION E

SCALE: 3/16" = 1'-0"

INDIANAPOLIS DIVISION

EVERYTHING'S
INCLUDED*

REMARKS	DATE	REV. NO.
	10/20/20	1
		2
		3
		4
		5

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MODEL
SPENCER E

DRAWING TITLE
FRONT ELEVATION

OPTION DESCRIPTION

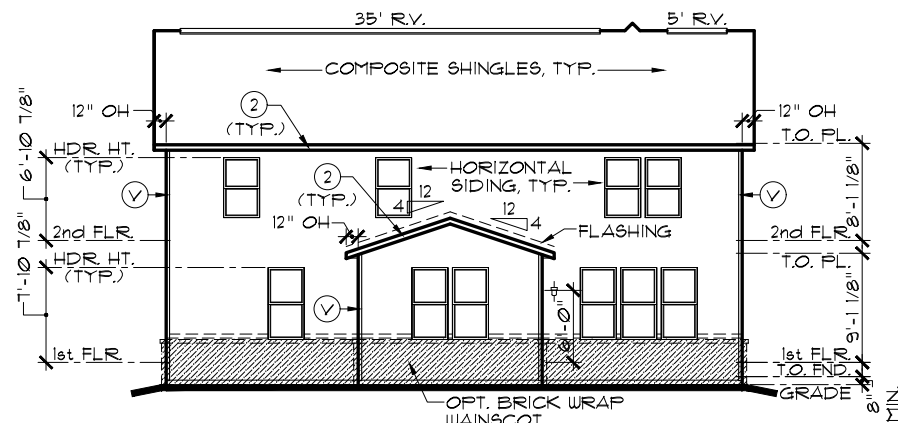
SFT. NO.
976950

DRAWN BY
DAR

COLLECTION
CORNERSTONE

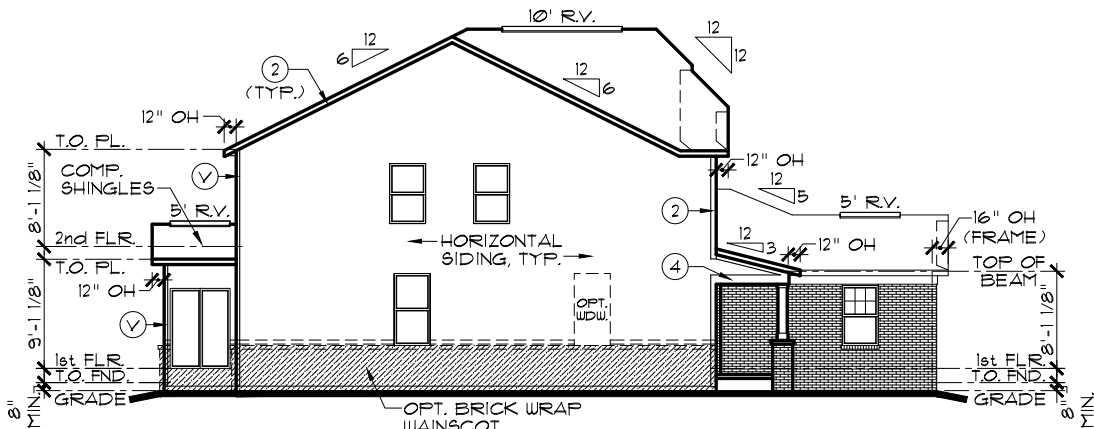
SHEET NO.

A1.1E



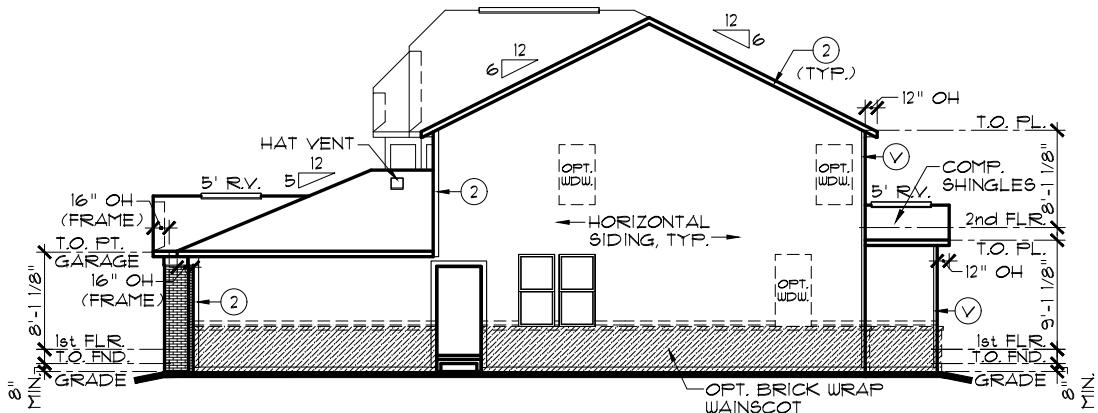
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- | | |
|----------------|----------|
| ⓧ VINYL CORNER | ③ 1 x 8 |
| ① 1 x 4 | ④ 1 x 10 |
| ② 1 x 6 | ⑤ 1 x 12 |

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

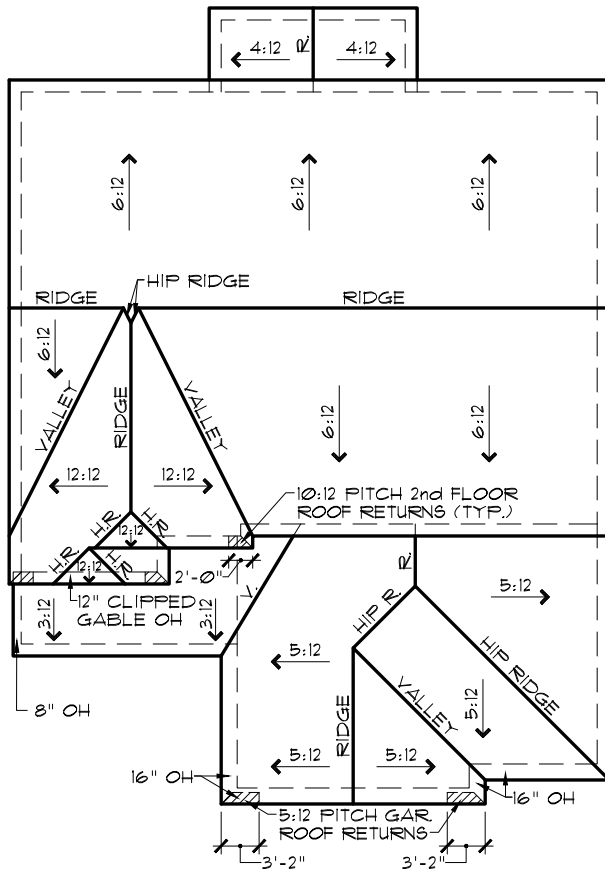
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NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN E

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED®

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LENNAR®

MODEL	SFT. NO.	DRAWN BY	COLLECTION	OPTION DESCRIPTION
SPENCER E	976950	DAR	CORNERSTONE	
DRAWING TITLE	SIDE, REAR ELEVATIONS			

SHEET NO.

A1.2E

NOTE:

HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.

ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X JACK STUDS EACH END, EXCEPT AS NOTED

DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

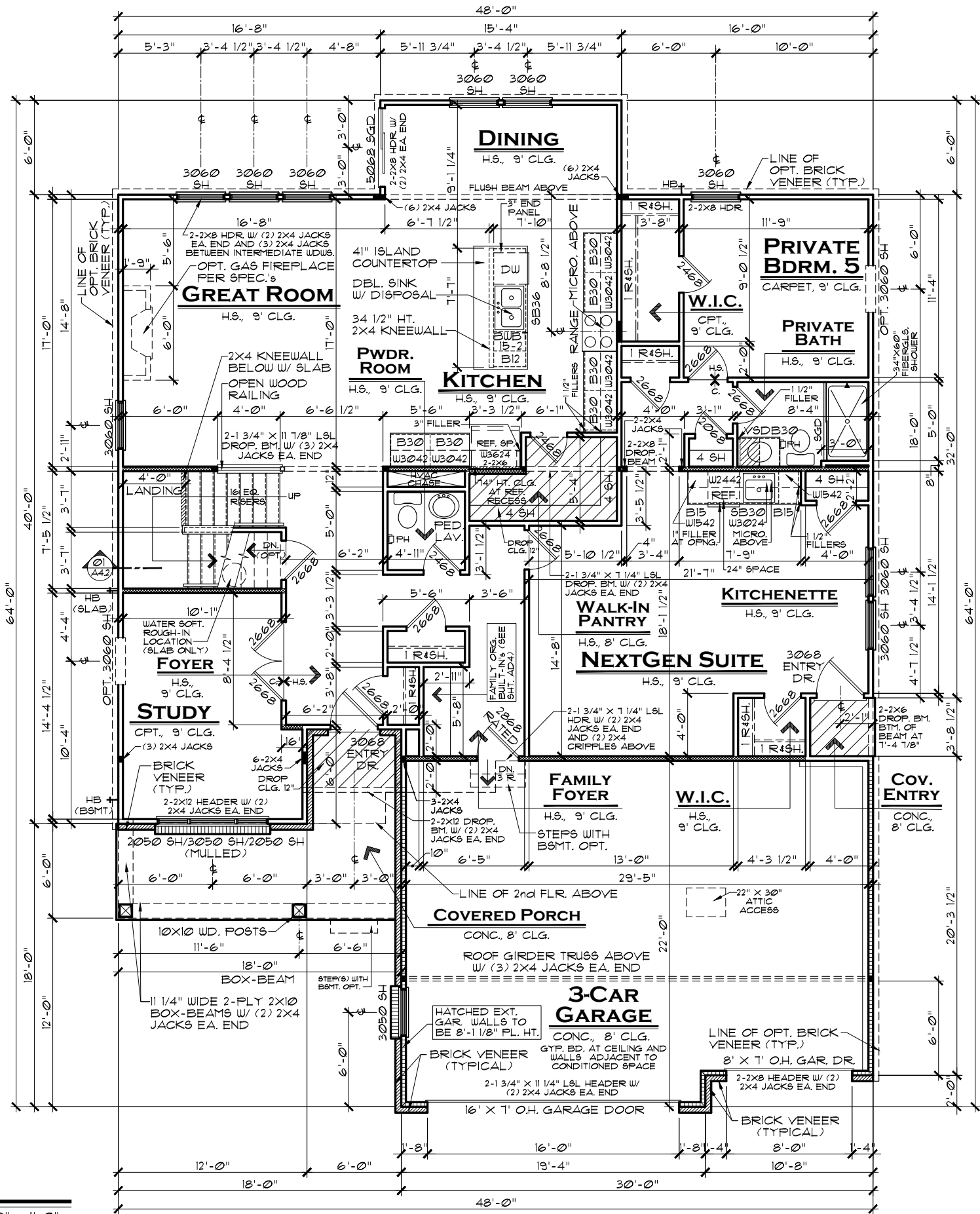
- GENERAL NOTES:**
1. ALL WINDOW HEADERS HEIGHTS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
 2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
 3. ALL INTERIOR ROUGH OPENINGS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
 4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

AREA TABULATION	
1st FLOOR LIVING AREA:	1,840 S.F.
2nd FLOOR LIVING AREA:	1,733 S.F.
TOTAL LIVING AREA:	3,573 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	144 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,312 S.F.

COVERED PATIO OPTION ADDS 169 SF
UNCONDITIONED LIVING SPACE.
CARRIAGE GARAGE ADDS 240 SF

FIRST FLOOR PLAN C

SCALE: 1/8" = 1'-0"



INDIANAPOLIS DIVISION



REV. NO.	DATE	REMARKS
1	10/20/20	FULL RELEASE
2		
3		
4		
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LENNAR®		SPENCER C		1ST FLOOR PLAN	
MODEL	SFT. NO.	DRAWN BY	COLLECTION	OPTION DESCRIPTION	
SPENCER C	9769C0	SAM	CORNERSTONE		

SHEET NO. A3.1C

NOTE:

HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.

ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X JACK STUDS EACH END, EXCEPT AS NOTED

DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

GENERAL NOTES:

1. ALL WINDOW HEADERS HEIGHTS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

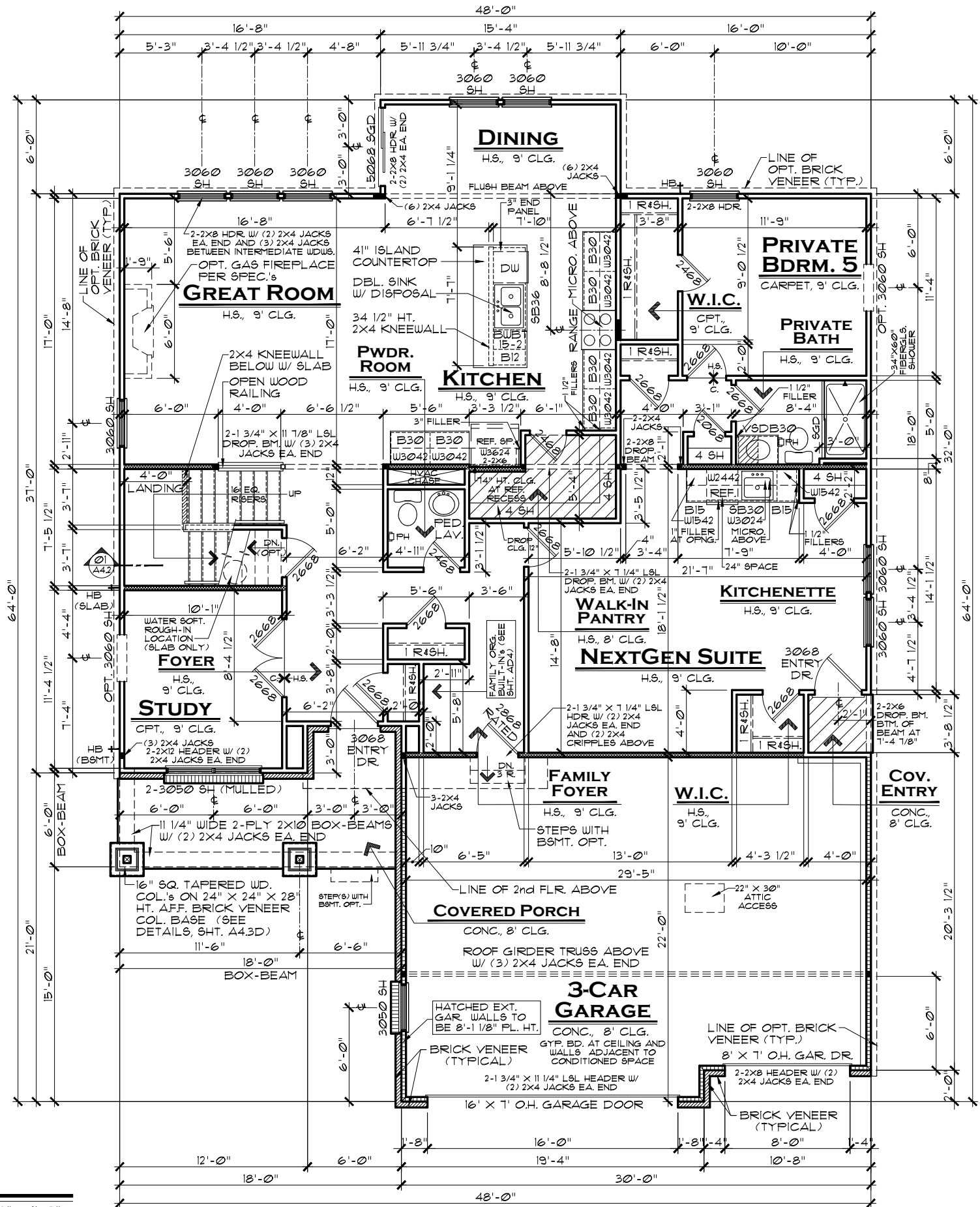
AREA TABULATION

1st FLOOR LIVING AREA:	1,804 S.F.
2nd FLOOR LIVING AREA:	1,695 S.F.
TOTAL LIVING AREA:	3,499 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	126 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,280 S.F.

COVERED PATIO OPTION ADDS 169 SF UNCONDITIONED LIVING SPACE.
CARRIAGE GARAGE ADDS 240 SF

FIRST FLOOR PLAN D

SCALE: 1/8" = 1'-0"



INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

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LENNAR®

SFT. NO.

9769D0

DRAWN BY

SAM

COLLECTION

CORNERSTONE

MODEL

SPENCER D

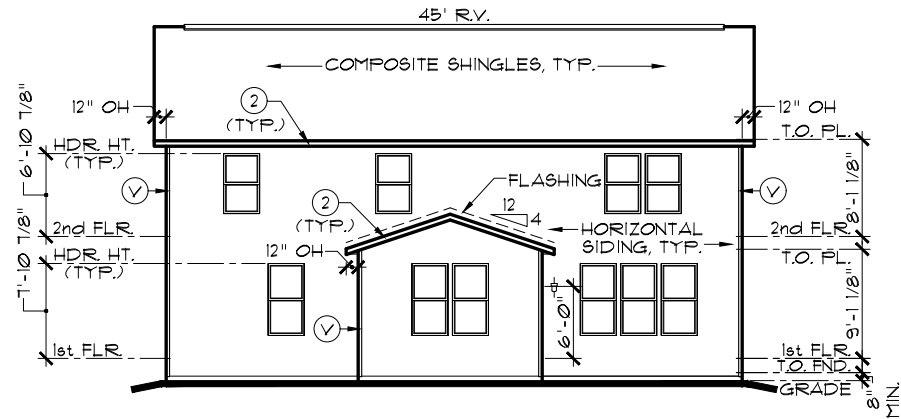
DRAWING TITLE

1ST FLOOR PLAN

OPTION DESCRIPTION

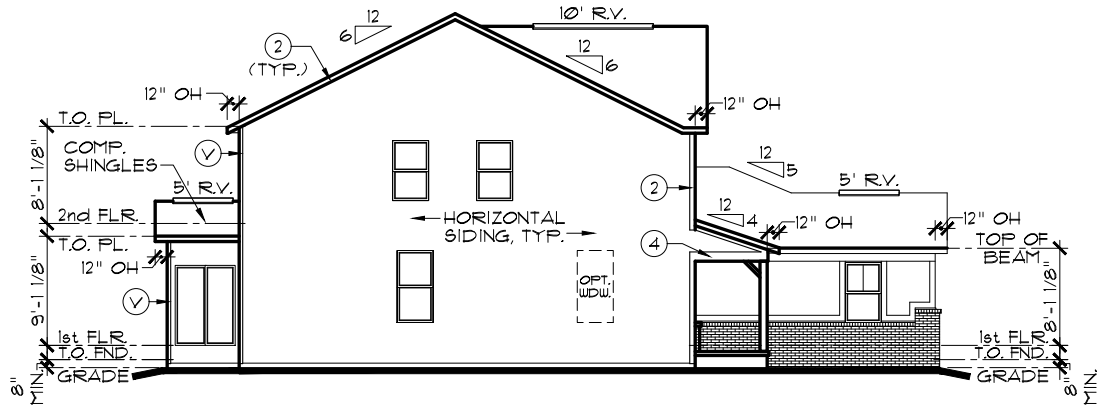
SHEET NO.

A3.1D



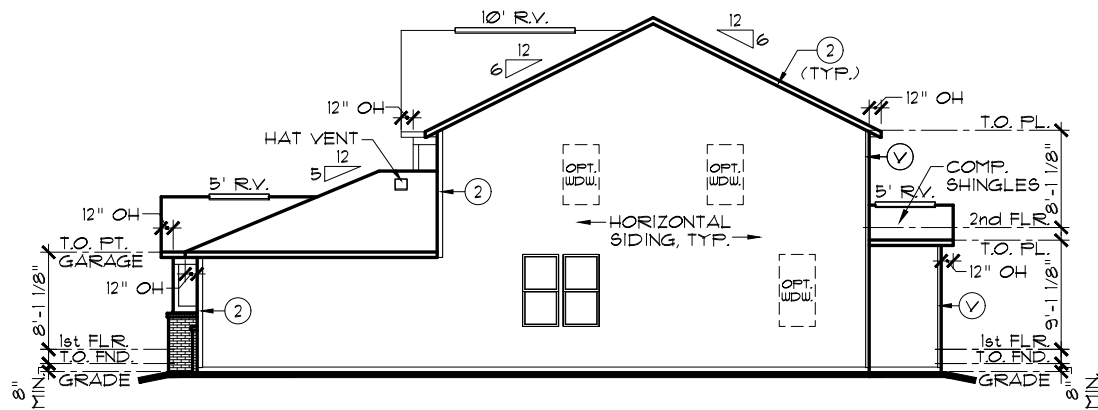
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- | | |
|------------------|------------|
| (V) VINYL CORNER | (3) 1 x 8 |
| (1) 1 x 4 | (4) 1 x 10 |
| (2) 1 x 6 | (5) 1 x 12 |

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

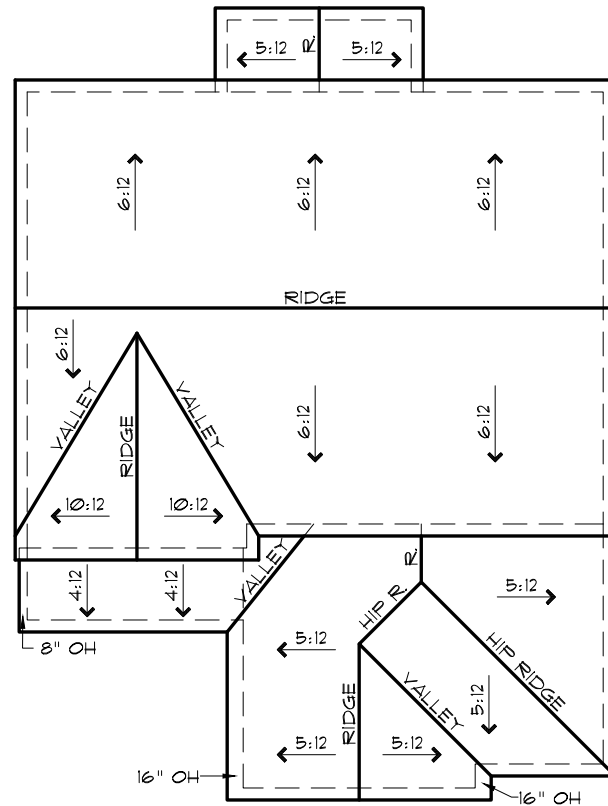
NOTE:

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN B

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

REV.NO.	DATE	REMARKS
1	TBD	FULL RELEASE
2		
3		
4		
5		

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LENNAR®

MODEL	SFT. NO.	DRAWING TITLE	OPTION DESCRIPTION
SPENCER B	976950	DRAWN BY DAR	CORNERSTONE
SIDE, REAR ELEVATIONS			

SHEET NO.

A1.2B

NOTE:

HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.

ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X JACK STUDS EACH END, EXCEPT AS NOTED

DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

GENERAL NOTES:

1. ALL WINDOW HEADERS HEIGHTS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

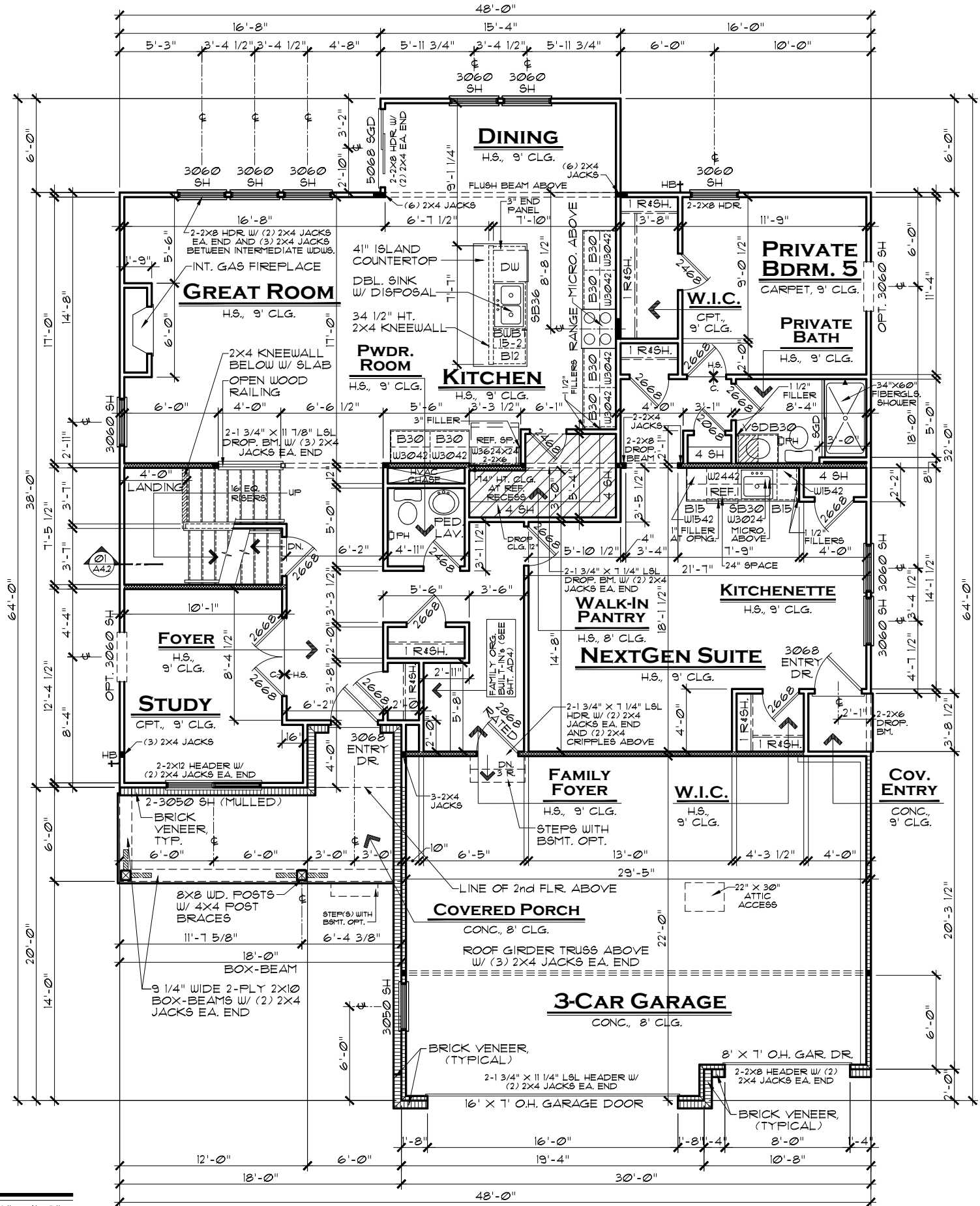
AREA TABULATION

1st FLOOR LIVING AREA:	1,816 S.F.
2nd FLOOR LIVING AREA:	1,687 S.F.
TOTAL LIVING AREA:	3,503 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	132 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,290 S.F.

COVERED PATIO OPTION ADDS 169 SF UNCONDITIONED LIVING SPACE.

FIRST FLOOR PLAN B

SCALE: 1/8" = 1'-0"



INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

REV. NO.	DATE	REMARKS
1	TBD	FULL RELEASE
2		
3		
4		
5		

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MODEL	SFT. NO.	DRAWN BY	COLLECTION
SPENCER B	976950	SAM	CORNERSTONE
DRAWING TITLE	1ST FLOOR PLAN		
OPTION DESCRIPTION			

SHEET NO.

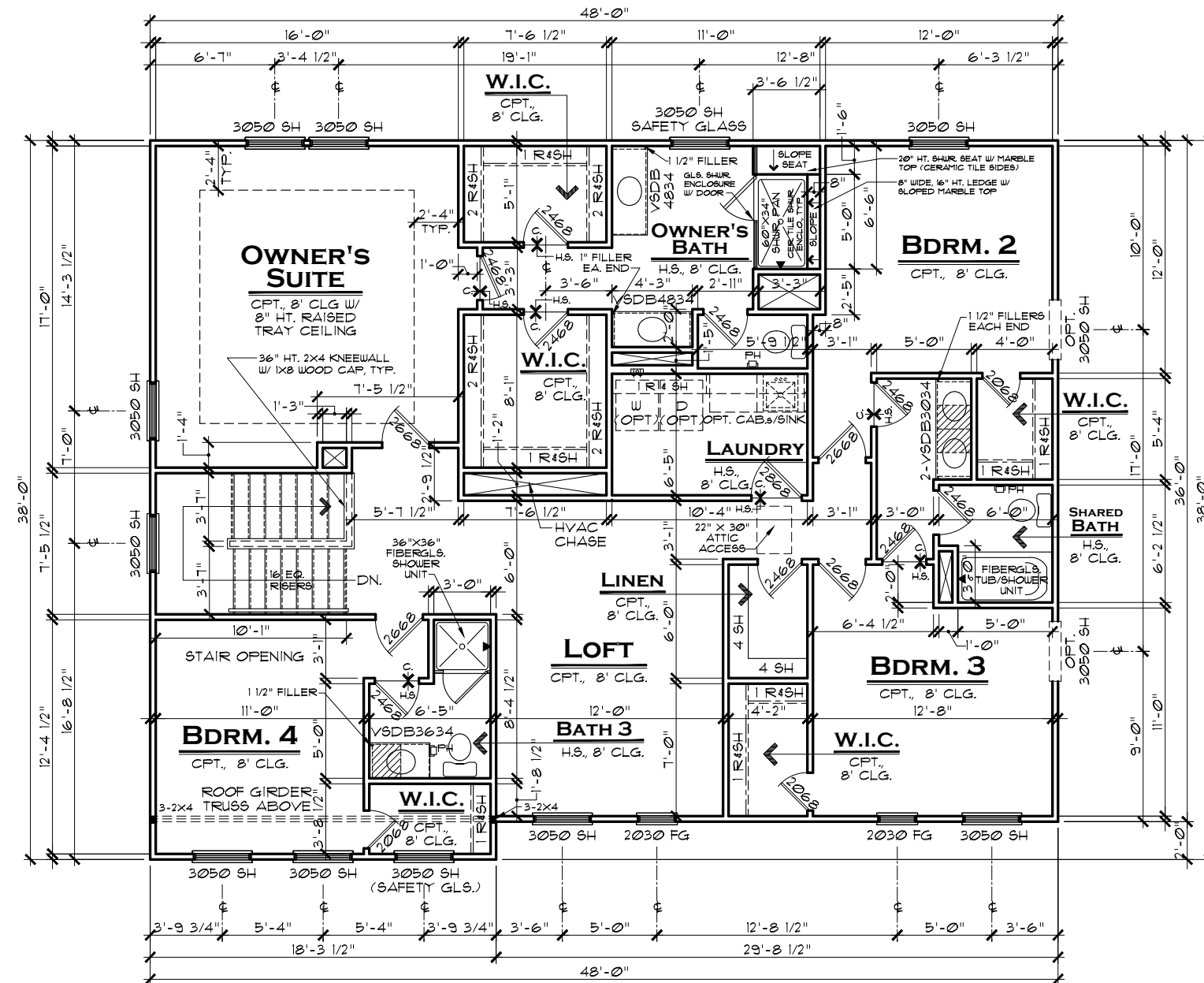
A3.1B

WINDOW HEADERS:
2-2X6 W/ (1) 2X4 JACK
EACH END TYP., UNLESS
NOTED OTHERWISE

DOUBLE AND TRIPLE
NON-MULLED WINDOWS TO
HAVE 2-2X6 HEADER W/
(2) 2X4 JACK EACH END
AND (3) 2X4 JACKS
BETWEEN INTERMEDIATE
WINDOWS

GENERAL NOTES:

1. ALL WINDOW HEADERS HEIGHTS TO BE 6'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 2ND FLOOR WALL HT. TO BE 8'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 6'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. ALL TRAY CEILINGS RAISE 8" UP INTO TRUSSES UNLESS NOTED OTHERWISE.
5. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.



SECOND FLOOR PLAN B

SCALE: 1/8" = 1'-0"



EVERYTHING'S INCLUDED*

REVNO.	DATE	REMARKS
1	TBD	FULL RELEASE
2		
3		
4		
5		

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LENNAR®

SET NO.
9769BC

MODEL
SPENCER B

DRAWING TITLE
2ND FLOOR PLAN

[illegible]

SHEET NO.

A3.2B