

CONSTRUCTION PLANS

FOR

THE MEADOWS AT SAGEBROOK SECTION 2 W COUNTY ROAD 600 N & N COUNTY ROAD 700 W MCCORDSVILLE, IN



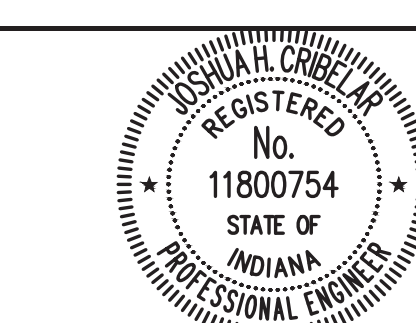
ARBOR HOMES
9225 HARRISON PARK COURT
INDIANAPOLIS, IN 46216
CONTACT: SEAN DOWNEY
PHONE: 317.429.9653
EMAIL: SeanDowney@YourArborHome.com



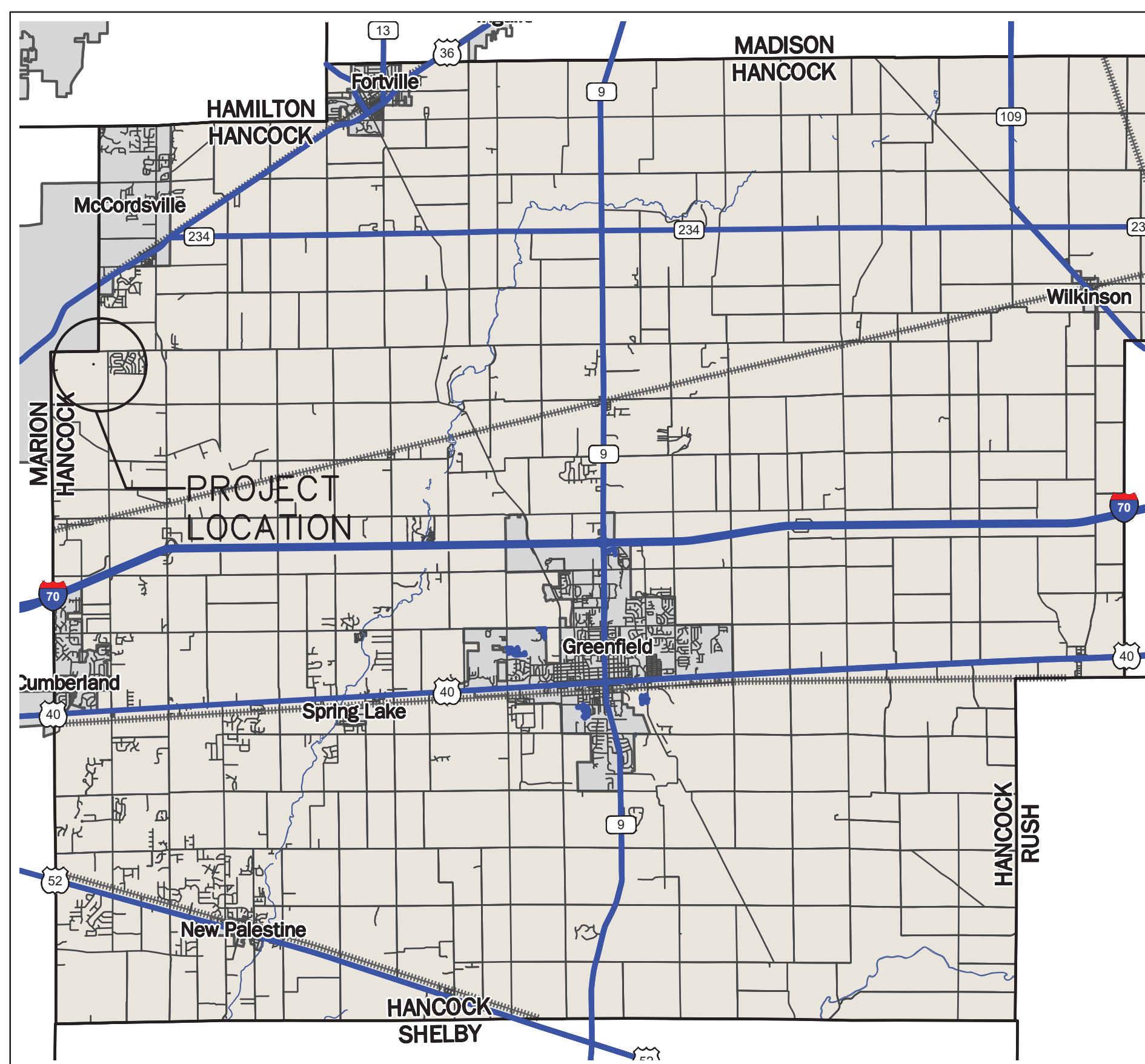
9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com
Contact: Joshua H. Cribelar, PE
E-mail: jcribelar@structurepoint.com

THE MEADOWS AT SAGEBROOK SECTION 2

W COUNTY ROAD 600 N & N COUNTY ROAD 700 W

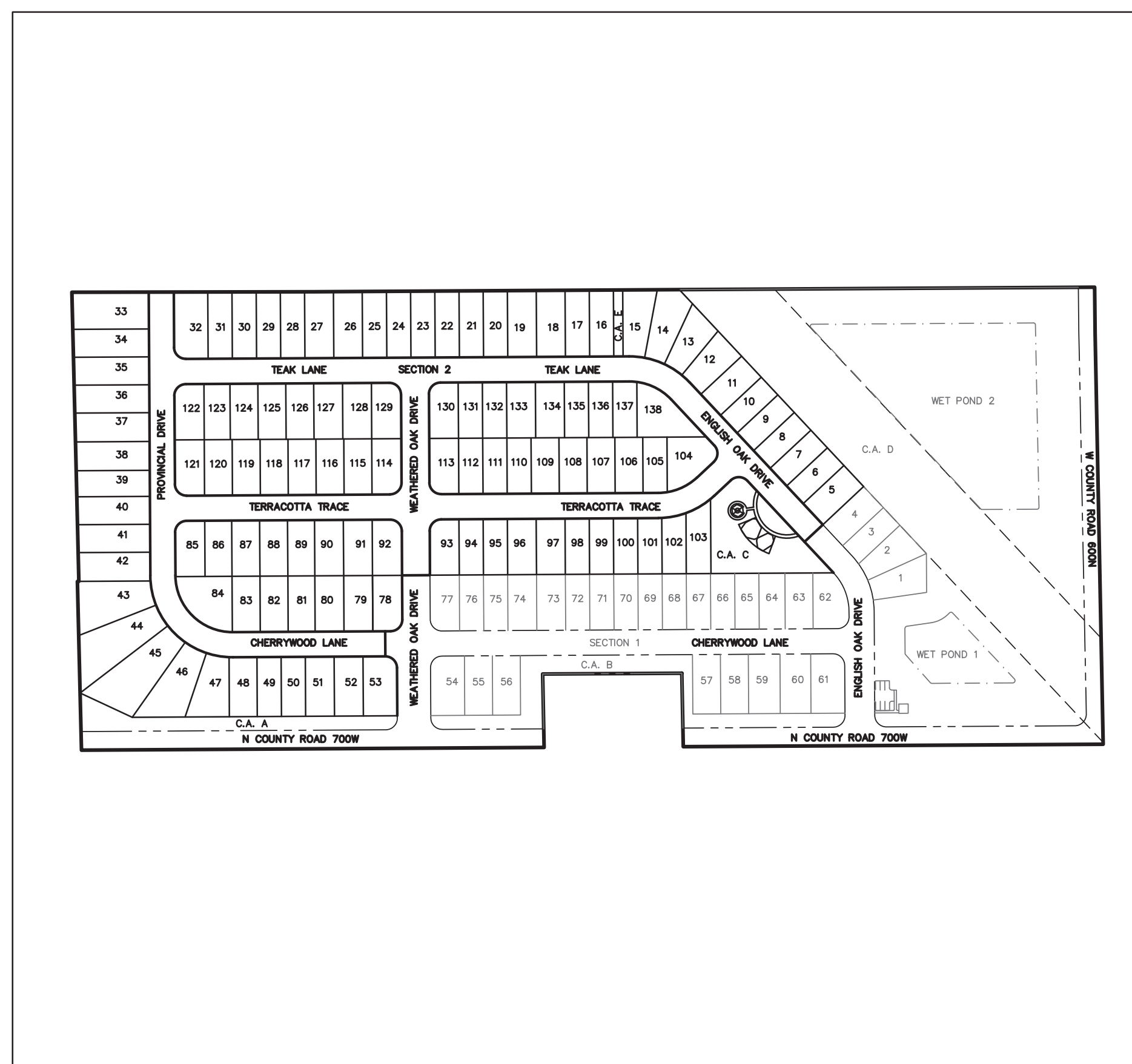
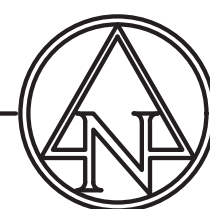


Joshua H. Cribelar
CERTIFIED BY



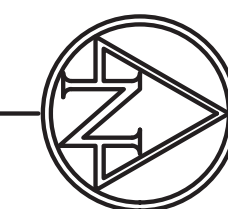
LOCATION MAP

NOT TO SCALE

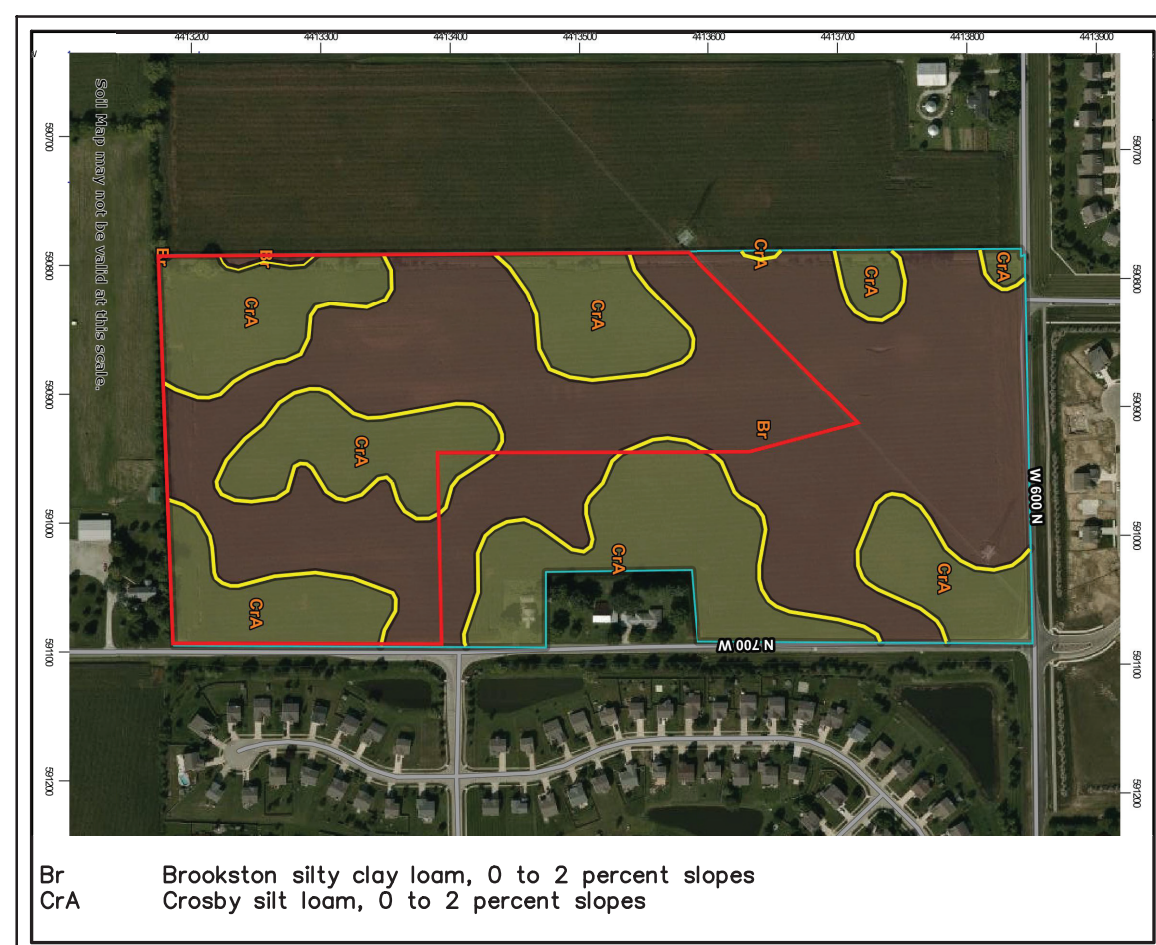


VICINITY MAP

SCALE: 1"=250'

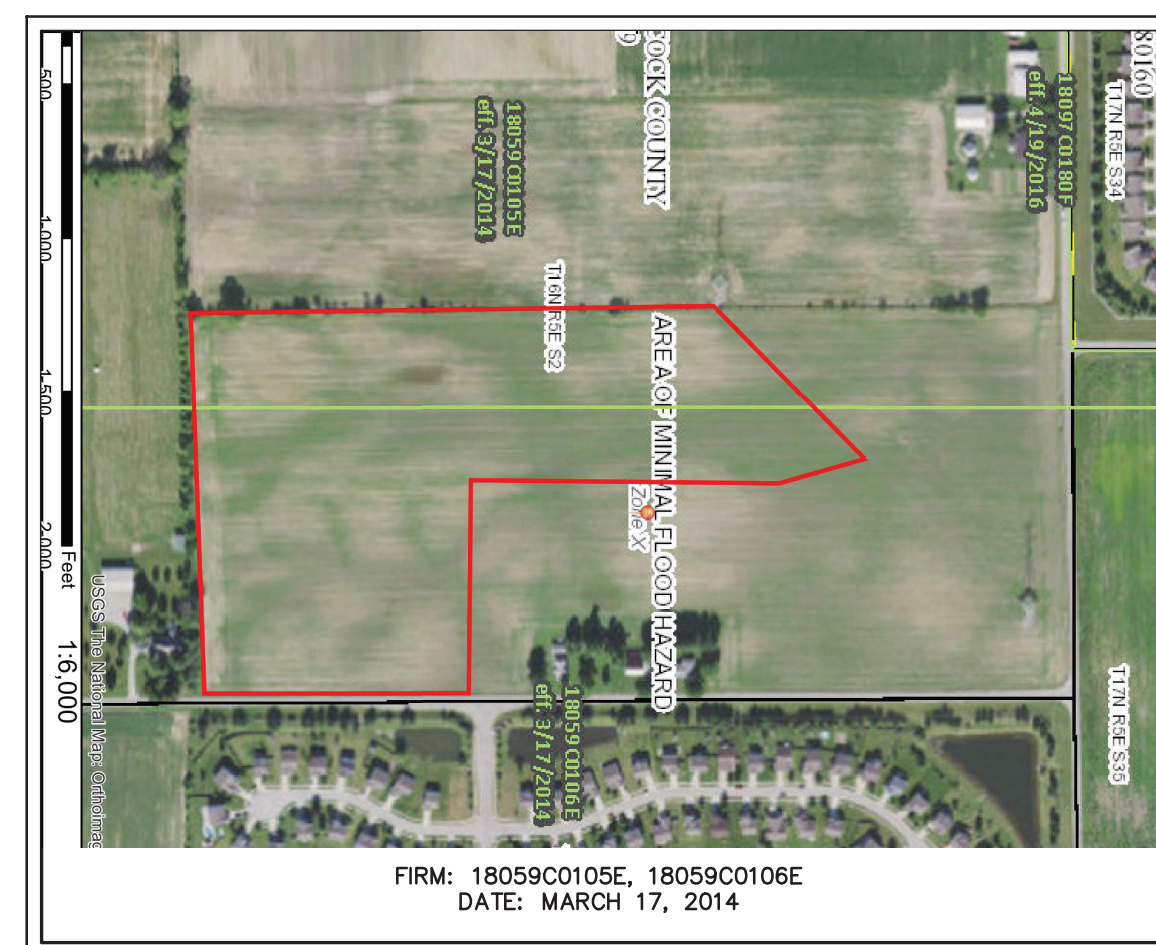
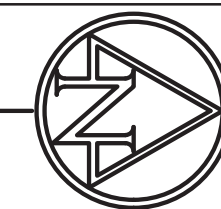


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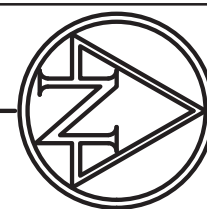
SOILS MAP

NOT TO SCALE



FEMA MAP

NOT TO SCALE



LEGAL DESCRIPTION

Part of the Northeast Quarter of Section 2, Township 16 North, Range 5 East of the Second Principal Meridian, Hancock County, Indiana, more particularly described as follows:

Commencing at a mag nail at the northeast corner of said Northeast Quarter; thence South 0 degrees 19 minutes 54 seconds East 2,196.23 feet along the east line of said Northeast Quarter (basis of bearings in the Indiana Geospatial Coordinate System, Hancock Zone) to a mag nail at the southeast corner of said Northeast Quarter; thence South 88 degrees 37 minutes 15 seconds East 40.03 feet along the south line of said Northeast Quarter to a 6-inch diameter iron with a cap stamped "AS ITEM #0004" set flush thereat and referred to as "set rebar"; on the west right-of-way line of County Road 700 West as defined on the Plat of Meadows at Sagebrook, Section 1, recorded as Instrument No. 103 in the Office of the Recorder of Hancock County, Indiana, being the POINT OF BEGINNING; thence continue South 88 degrees 37 minutes 15 seconds West 322.85 feet along said north line to a set rebar; thence North 00 degrees 19 minutes 54 seconds West 3.89 feet to a set rebar; thence South 88 degrees 37 minutes 15 seconds West 621.97 feet to a set rebar; thence North 00 degrees 14 minutes 38 seconds West 1,286.78 feet to a set rebar at the south corner of Common Area D as defined on said Plat; the following twelve (12) corners are along the south side west line of said Plat:

- 1) thence North 46 degrees 53 minutes 50 seconds East 579.87 feet to a set rebar;
- 2) thence South 83 degrees 06 minutes 08 seconds East 734.00 feet to a set rebar;
- 3) thence North 46 degrees 53 minutes 50 seconds East 91.32 feet to a set rebar;
- 4) thence North 00 degrees 19 minutes 54 seconds East 92.54 feet to a set rebar;
- 5) thence North 89 degrees 40 minutes 06 seconds East 95.00 feet to a set rebar;
- 6) thence Southwesterly 39.27 feet along a curve to the right having a radius of 25.00 feet and subtended by a long chord having a bearing of South 45 degrees 19 minutes 54 seconds East and a length of 35.36 feet to a set rebar;
- 7) thence South 00 degrees 19 minutes 54 seconds East 12.00 feet to a set rebar;
- 8) thence North 89 degrees 40 minutes 06 seconds East 54.00 feet to a set rebar;
- 9) thence Northwesterly 39.27 feet along a non-tangent curve to the right having a radius of 25.00 feet and subtended by a long chord having a bearing of North 44 degrees 40 minutes 06 seconds East and a length of 35.36 feet to a set rebar;
- 10) thence North 89 degrees 40 minutes 06 seconds East 107.80 feet to a set rebar;
- 11) thence Southwesterly 39.27 feet along a curve to the right having a radius of 25.00 feet and subtended by a long chord having a bearing of South 45 degrees 19 minutes 54 seconds East and a length of 35.36 feet to a set rebar;
- 12) thence South 00 degrees 19 minutes 54 seconds East 654.99 feet to the POINT OF BEGINNING.

Containing 26.753 acres, more or less.

OPEN SPACE TABLE

COMMON AREA A ±0.53 AC	COMMON AREA C ±0.77 AC
COMMON AREA E ±0.07 AC	TOTAL C.A. ±1.37 AC

BENCHMARK DATA

(NAD83 88 DATUM)

TBM #1
BENCH THE SET 1.0' UP NORTH SIDE POWER POLE #06718 EAST SIDE N700W AND STANBURY BLVD.
ELEV: 867.87

TBM #2
BENCH THE SET 1.0' UP WEST SIDE POWER POLE #06722 EAST SIDE N700W AND W STANBURY BLVD.
ELEV: 863.79

TBM #3
BENCH THE SET 1.0' UP WEST SIDE POWER POLE #06726 EAST SIDE N700W, 2ND POLE SOUTH OF CROSBY.
ELEV: 858.08

TBM #4
CUT "X" SOUTH BOLT ON FIRE HYDRANT 275' EAST OF INTERSECTION AT CROSBY AND N SAGEBROOK WAY, NORTH SIDE OF CROSBY.
ELEV: 863.68

TBM #5
BENCH THE SET 1.0' UP NORTH SIDE POWER POLE, NO. 8, 110' EAST AND 40' NORTH OF INTERSECTION AT CROSBY AND N700W (60ND & CARROLL RD).
ELEV: 858.10

TBM #10
RAILROAD SPIKE IN SOUTH SIDE OF COMBO POLE AT NE CORNER OF CROSBY AND LOOKING CLASS WAY.
ELEV: 856.094

SITE DATA TABLE

SITE ZONING:	PUD
SECTION 2 AREA:	±26.73 AC
RIGHT-OF-WAY:	±5.39 AC (20.2%)
COMMON AREA:	±1.37 AC (5.1%)
TOTAL LOT AREA:	±19.97 AC (74.7%)
TOTAL LOTS:	110
LOTS/SECTION 2 AREA:	4.1 LOTS/ACRE
MINIMUM LOT SIZE:	6,240 SF
MINIMUM LOT WIDTH*:	52 LF
MIN. FRONT YARD**:	30'
MIN. SIDE YARD**:	5'
MIN. REAR YARD**:	15'
ROAD LENGTHS:	ENGLISH OAK WAY- 476 LF CHERRYWOOD LANE- 420 LF WEATHERED OAK WAY- 441 LF TEAK LANE- 1071 LF PROVINCIAL DRIVE- 752 LF
TYPICAL R/W WIDTH:	60' (LOCAL ROAD) 54' (LOCAL SUBDIVISION)
* MEASURED AT THE FRONT SETBACK LINE. ** ALL SETBACKS TO BE ESTABLISHED FROM THE R/W OR PROPERTY LINE.	

UTILITY CONTACTS

UTILITY	COMPANY	CONTACT	PHONE NO.
CABLE TELEVISION	COMCAST CABLE	EARL SMALL	(317) 982-1161
ELECTRIC	MINESTAR	JENNIFER MC MILLAN	(317) 323-2090
ELECTRIC EASEMENT	IPL	RON POLLARD	(317) 261-8617
FIBER OPTIC	AT&T	MATT SPINDLER	(317) 265-3050
GAS	VECTREN	JON EASTHAM	(765) 287-2119
SANITARY SEWER	AQUA INDIANA	JIM SHIELDS	(317) 967-0503
TELEPHONE	BRIGHT HOUSE NETWORKS	JASON KIRKMAN	(317) 632-9077
WATER	CITIZENS ENERGY GROUP	BRAD HOSTETLER	(317) 927-4351

CITIZENS ENERGY GROUP PERMIT NUMBERS:

ONSITE WATER PERMIT J-20-092
DEVELOPMENT SCHEDULE:
BEGIN CONSTRUCTION: NOVEMBER 2020
END CONSTRUCTION: NOVEMBER 2025

GENERAL NOTES:

1. CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
3. SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -

ISSUANCE INDEX

DATE:	09/18/2020
PROJECT PHASE:	CONSTRUCTION DOCUMENTS

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2019.00066

TITLE SHEET

C001

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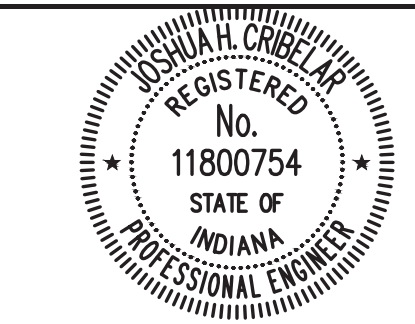
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THE MEADOWS AT SAGEBROOK SECTION 2

W COUNTY ROAD 600 N &
 N COUNTY ROAD 700 W



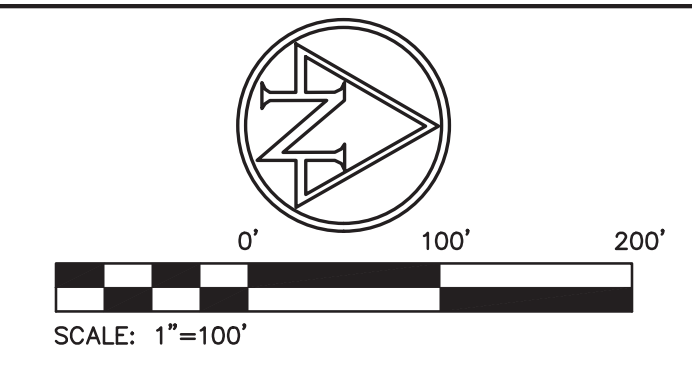
Joshua H. Cribelar
 CERTIFIED BY

ISSUANCE INDEX	
DATE:	09/18/2020
PROJECT PHASE:	CONSTRUCTION DOCUMENTS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2019.00066

OVERALL DEVELOPMENT PLAN
C200



EXISTING LEGEND

- Air Conditioner
- Beehive Inlet
- Bush
- Clean Out
- Curb Inlet
- Drainage Inlet
- Drainage MH
- Electric Meter Box
- Fire Hydrant
- Flag Pole
- Gas Marker
- Gas Meter
- Gas Valve
- Ground Light
- Guy Wire
- Hose Bib
- Light Pole
- Mail Box
- Pine Tree
- Pole
- Post
- Power Pole
- Sanitary MH
- Sign
- Sprinkler Control Valve
- Stump
- Telephone Box
- Telephone Marker
- Telephone Pedestal
- Temporary Bench Mark
- Tree
- Water Meter
- Water Valve Shut Off
- Well
- w- Buried Water Line
- t- Buried Telephone Line
- g- Buried Gas Line
- fo- Buried Fiber Optic Line
- oh- Overhead Electric Line
- e- Buried Electric Line
- ctv- Buried Cable Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- MET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- SWALE (1.00% MIN SLOPE)
- 8" DOUBLE-WALL PERFORATED SURFACE UNDERDRAIN
- SUBSURFACE DRAIN CLEANOUT
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
- SINGLE WATER METER PIT
- WATER CROSS
- WATER TEE & WATER BEND
- PROPOSED CONTOUR
- BUILDING SETBACK LINE BACK TO BACK
- COMMON AREA
- D.E.
- P.A.E.
- R/W
- S.S.E.
- U.D. & E.
- U.D. & S.E.
- SIGN

NOTE: REFER TO SHEET C600 FOR PAVEMENT SECTIONS

ARCHITECTURAL STANDARDS

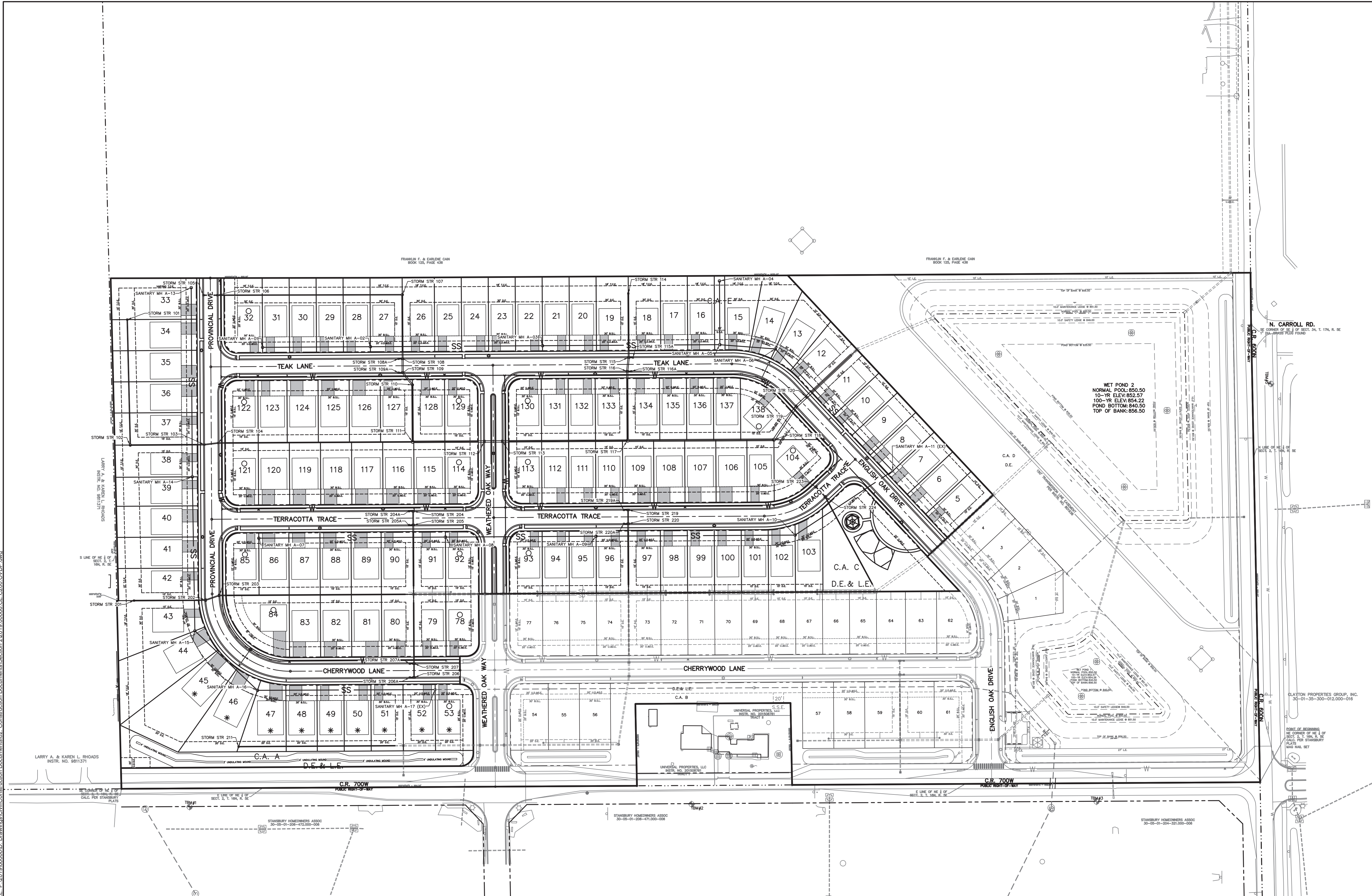
- * PERIMETER LOTS: ALL LOTS INDICATED WITH A (B) AND/OR ADJUTING COUNTRY ROAD 700 WEST SHALL HAVE A REAR GABLE IN THE FORM OF ONE OF THE FOLLOWING: ENCLOSED SUNROOM, SCREENED IN PORCH, A COVERED BACK PORCH WITH A MINIMUM OF 8"x8" COLUMNS, REAR BUMP OF AT LEAST TEN (10') FEET IN WIDTH BY FOUR (4') FEET IN DEPTH. IF A FIRST-FLOOR BRICK WRAP IS CHOSEN, A GABLE IS NOT REQUIRED ON THE REAR ELEVATION.
- CORNER LOTS: THOSE LOTS INDICATED WITH A (C) SHALL REQUIRE A MINIMUM OF THREE (3) DIFFERENT FINISH FACADE STYLES FROM THE LIST BELOW FOR EACH SIDE ELEVATION. THIS REQUIREMENT EXCLUDES DWELLINGS WITH A HIP ROOF WHEREAS THE REQUIREMENT MAY BE TWO (2) DIFFERENT FINISH FACADE STYLES. A THREE (3') FEET BRICK OR STONE WAINSCOT IS REQUIRED AS ONE OF THE FINISHED FACADE STYLES. SHOULD A FULL FIRST FLOOR BRICK WRAP BE SELECTED, SAID BRICK SHALL SATISFY THE INTENT OF THIS REQUIREMENT. FINISHED FACADE STYLES MAY INCLUDE BUT ARE NOT LIMITED TO BRICK, STONE, HORIZONTAL SIDING, BAT AND BOARD SIDING, TUDOR STYLE SIDING AND CEDAR SHAKE SIDING. DWELLINGS BUILT ON CORNER LOTS SHALL INCLUDE A MINIMUM OF ONE (1) WINDOW PER STORY OF A MINIMUM SIZE OF TWO (2') FEET BY FOUR (4') FEET ON THE SIDE OF THE DWELLING FACING THE STREET. THESE WINDOWS SHALL INCLUDE SHUTTERS WHERE THE BRICK WAINSCOT DOES NOT INTERFERE.

GENERAL NOTES:

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- CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
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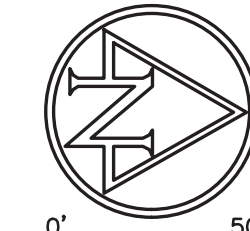
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 - INDIANA UNDERGROUND -



SITE DATA TABLE			
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TOTAL LOTS:	110		
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MINIMUM LOT SIZE:	6,240 SF		
MINIMUM LOT WIDTH**:	52 LF		
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MIN. SIDE YARD**:	5'		
MIN. REAR YARD**:	15'		
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 PLOT DATE: 9/18/2020 11:38 AM
 PLOT SCALE: 1"=100'
 LARRY A. & KAREN L. BRIGGS
 INSTR. NO. 881371
 STANBURY HOMEOWNERS ASSOC
 30-00-01-000-000-000
 STANBURY HOMEOWNERS ASSOC
 30-00-01-000-000-000
 STANBURY HOMEOWNERS ASSOC
 30-00-01-000-000-000
 CLAYTON PROPERTIES, GROUP, INC.
 30-01-01-000-010-000-010
 MET POND 2
 NORMAL POOL: 850.50
 100-YR ELEV: 855.57
 100-YR ELEV: 854.22
 POND BOTTOM: 840.50
 TOP OF BANK: 856.50
 C.A. D
 D.E.
 C.A. C
 D.E. & L.E.
 C.A. A
 D.E. & L.E.
 C.R. 700W
 PUBLIC RIGHT-OF-WAY
 C.R. 700W
 PUBLIC RIGHT-OF-WAY



SCALE: 1"=50'



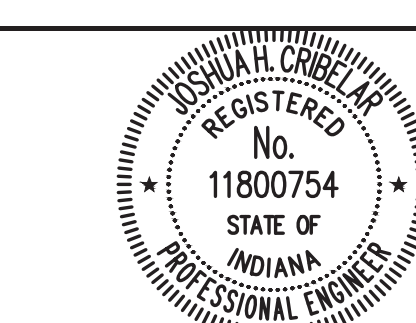
ARBOR HOMES
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**THE MEADOWS
AT SAGEBROOK
SECTION 2**

W COUNTY ROAD 600 N &
N COUNTY ROAD 700 W



Joshua H. Cribbler
CERTIFIED BY

ISSUANCE INDEX	
DATE:	09/18/2020
PROJECT PHASE:	CONSTRUCTION DOCUMENTS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2019.0006E

**DEVELOPMENT
PLAN**

C201

EXISTING LEGEND

- Air Conditioner
- Beehive Inlet
- Bush
- Clean Out
- Curb Inlet
- Drainage Inlet
- Drainage MH
- Electric Meter Box
- Fire Hydrant
- Flag Pole
- Gas Marker
- Gas Meter
- Gas Valve
- Ground Light
- Guy Wire
- Hose Bib
- Light Pole
- Mail Box
- Pine Tree
- Pole
- Post
- Power Pole
- Sanitary MH
- Sign
- Sprinkler Control Valve
- Stump
- Telephone Box
- Telephone Marker
- Telephone Pedestal
- Temporary Bench Mark
- Tree
- Water Meter
- Water Valve Shut Off
- Well
- w- Buried Water Line
- t- Buried Telephone Line
- g- Buried Gas Line
- fo- Buried Fiber Optic Line
- oe- Overhead Electric Line
- e- Buried Electric Line
- ctv- Buried Cable Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- MET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- SWALE (1.00% MIN SLOPE)
- 8" DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
- SUBSURFACE DRAIN CLEANOUT
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
- SINGLE WATER METER PIT
- WATER CROSS
- WATER TEE & WATER BEND
- PROPOSED CONTOUR
- SPOT ELEVATION
- PAVEMENT ELEVATION
- FLOW ARROW
- ADA SIDEWALK RAMP
- BUILDING SETBACK LINE
- BACK TO BACK
- COMMON AREA
- DRAINAGE EASEMENT
- FLOWLINE
- HIGH POINT
- INVERT ELEVATION
- LANDSCAPE EASEMENT
- MATCH EXISTING
- MINIMUM FINISHED FLOOR ELEVATION
- MINIMUM FLOOD PROTECTION GRADE
- PAD GRADE
- PUBLIC ACCESS EASEMENT
- POINT OF CURVATURE
- POINT OF TANGENCY
- POLYVINYL CHLORIDE PIPE
- POINT OF VERTICAL INTERSECTION
- REINFORCED CONCRETE PIPE
- RIGHT-OF-WAY
- SQUARE FEET
- SANITARY SEWER EASEMENT
- TOP OF RIM ELEVATION
- UTILITY & DRAINAGE EASEMENT
- UTILITY, DRAINAGE, & SANITARY ESMT.
- STREET LIGHT
- SIGN

ARCHITECTURAL STANDARDS

* PERIMETER LOTS: ALL LOTS INDICATED WITH A (P) AND/OR ADJUTING COUNTRY ROAD 700 WEST SHALL HAVE A REAR GABLE IN THE FORM OF ONE OF THE FOLLOWING: ENCLOSED SUNROOM, SCREENED IN PORCH, A COVERED BACK PORCH WITH A MINIMUM OF 8"x8" COLUMNS, REAR BUMP OF AT LEAST TEN (10) FEET IN WIDTH BY FOUR (4) FEET IN DEPTH. IF A FIRST-FLOOR FRONT WRAP IS CHOSEN, A GABLE IS NOT REQUIRED ON THE REAR ELEVATION.

○ CORNER LOTS: THOSE LOTS INDICATED WITH A (C) SHALL REQUIRE A MINIMUM OF THREE (3) DIFFERENT FINISH FACADE STYLES FROM THE LIST BELOW FOR EACH SIDE ELEVATION. THIS REQUIREMENT EXCLUDES DWELLING WITH A HIP ROOF WHEREAS THE REQUIREMENT MAY BE TWO (2) DIFFERENT FINISH FACADE STYLES. A THREE (3) FEET BRICK OR STONE WANSICOT IS REQUIRED AS ONE OF THE FINISH FACADE STYLES. SHOULD A FULL FIRST FLOOR BRICK WRAP BE SELECTED, SAID BRICK SHALL SATISFY THE INTENT OF THIS REQUIREMENT. FINISHED FACADE STYLES MAY INCLUDE BUT ARE NOT LIMITED TO BRICK, STONE, HORIZONTAL SIDING, BAT AND BOARD SIDING, TUDOR STYLE SIDING AND CEDAR SHAKE SIDING. DWELLINGS BUILT ON CORNER LOTS SHALL INCLUDE A MINIMUM OF ONE (1) WINDOW PER STORY OF A MINIMUM SIZE OF TWO (2) FEET BY FOUR (4) FEET ON THE SIDE OF THE DWELLING FACING THE STREET. THESE WINDOWS SHALL INCLUDE SHUTTERS WHERE THE BRICK WANSICOT DOES NOT INTERFERE.

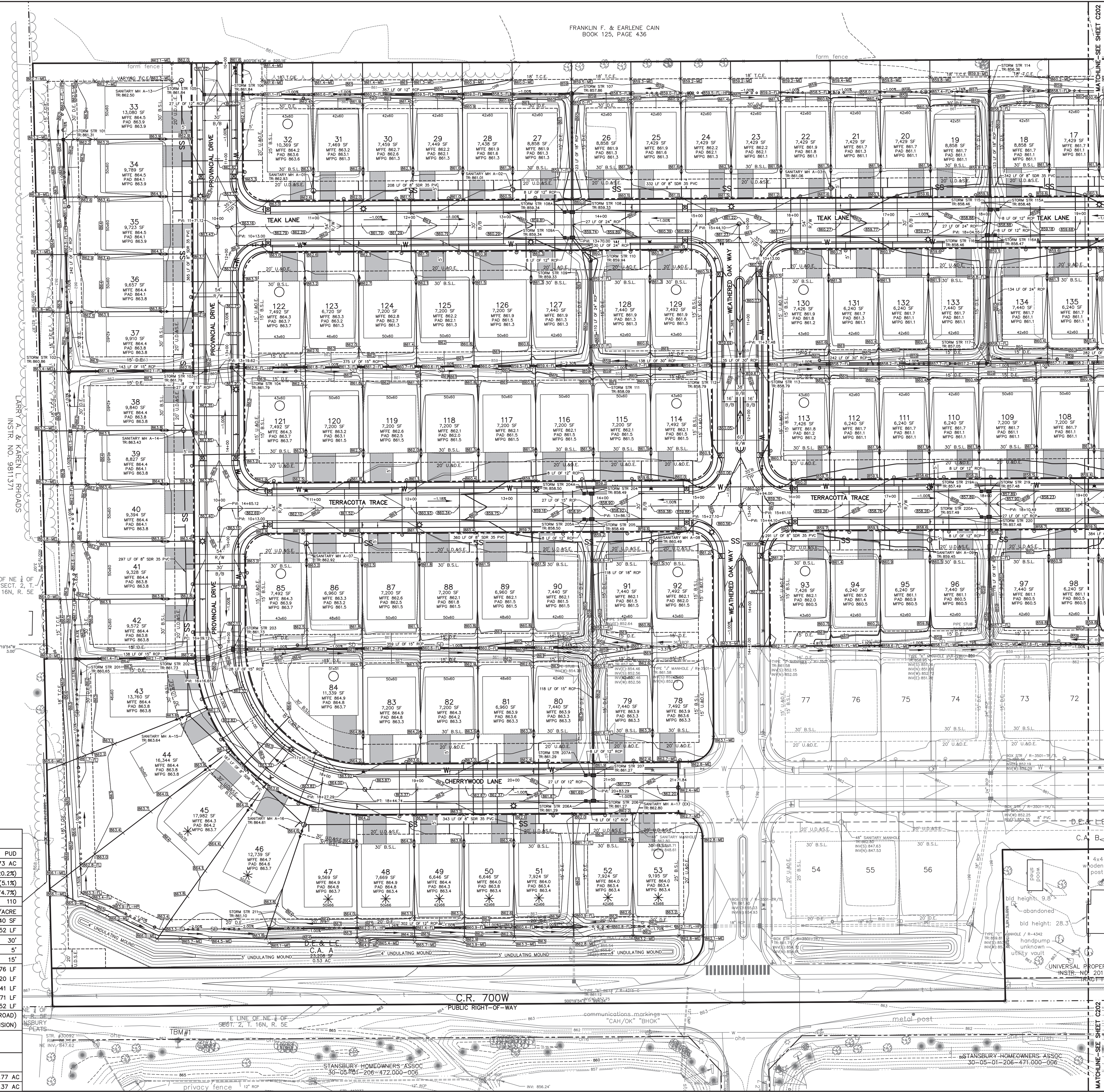
GENERAL NOTES:

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- SEE SHEET C202 GENERAL NOTES FOR MORE INFORMATION.

!! CAUTION !!

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CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -



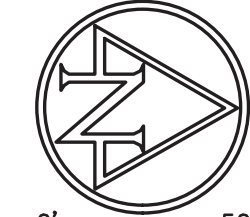
SITE DATA TABLE

SITE ZONING:	PUD
SECTION 2 AREA:	±26.73 AC
RIGHT-OF-WAY:	±5.39 AC (20.2%)
COMMON AREA:	±1.37 AC (5.1%)
TOTAL LOT AREA:	±19.97 AC (74.7%)
TOTAL LOTS:	110
LOTS/SECTION 2 AREA:	4.1 LOTS/ACRE
MINIMUM LOT SIZE:	6,240 SF
MINIMUM LOT WIDTH:	52 LF
MIN. FRONT YARD**:	30'
MIN. SIDE YARD**:	5'
MIN. REAR YARD**:	15'
ROAD LENGTHS:	ENGLISH OAK WAY- 476 LF CHERRYWOOD LANE- 420 LF WEATHERED OAK WAY- 441 LF TEAK LANE- 1071 LF PROVINCIAL DRIVE- 752 LF
TYPICAL R/W WIDTH:	60' (LOCAL ROAD) 54' (LOCAL SUBDIVISION)

OPEN SPACE TABLE

COMMON AREA A	±0.53 AC	COMMON AREA C	±0.77 AC
COMMON AREA E	±0.07 AC	TOTAL C.A.	±1.37 AC

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PLOT SCALE: 1"=50.00'
EDIT DATE: 09/18/2020
EDIT BY: JACORHEAD



0' 50' 100'
SCALE: 1"=50'



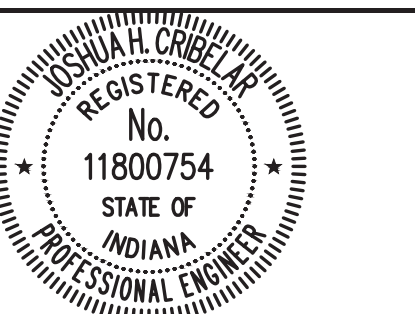
ARBOR HOMES
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TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com
Contact: Joshua H. Cribbeler, PE
E-mail: jcrib@structurepoint.com

THE MEADOWS AT SAGEBROOK SECTION 2

W COUNTY ROAD 600 N &
N COUNTY ROAD 700 W



Joshua H. Cribbeler
CERTIFIED BY

ISSUANCE INDEX	
DATE:	09/18/2020
PROJECT PHASE:	CONSTRUCTION DOCUMENTS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2019.00066

DEVELOPMENT PLAN

C202

SITE DATA TABLE

SITE ZONING:	PUD
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TYPICAL R/W WIDTH:	60' (LOCAL ROAD) 54' (LOCAL SUBDIVISION)

** MEASURED AT THE FRONT SETBACK LINE.
** ALL SETBACKS TO BE ESTABLISHED FROM THE R/W OR PROPERTY LINE.

OPEN SPACE TABLE

COMMON AREA A	±0.53 AC	COMMON AREA C	±0.77 AC
COMMON AREA E	±0.07 AC	TOTAL C.A.	±1.37 AC

EXISTING LEGEND

- Air Conditioner
- Sanitary MH
- Bush
- Clean Out
- Curb Inlet
- Drainage Inlet
- Drainage MH
- Electric Meter Box
- Fire Hydrant
- Flag Pole
- Gas Marker
- Gas Meter
- Gas Valve
- Ground Light
- Guy Wire
- Hose Bib
- Light Pole
- Mail Box
- Pine Tree
- Pole
- Post
- Power Pole
- Sanitary MH
- Sign
- Sprinkler Control Valve
- Stump
- Telephone Box
- Telephone Marker
- Telephone Pedestal
- Temporary Bench Mark
- Tree
- Water Meter
- Water Valve Shut Off
- Well
- Buried Water Line
- Buried Telephone Line
- Buried Gas Line
- Buried Fiber Optic Line
- Overhead Electric Line
- Buried Electric Line
- Buried Cable Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- SWALE (1.00% MIN SLOPE)
- 6" DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
- SUBSURFACE DRAIN CLEANOUT
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
- SINGLE WATER METER PIT
- WATER CROSS
- WATER TEE & WATER BEND
- PROPOSED CONTOUR
- SPOT ELEVATION
- PAVEMENT ELEVATION
- FLOW ARROW
- ADA SIDEWALK RAMP
- BUILDING SETBACK LINE
- BACK TO BACK
- COMMON AREA
- DRAINAGE EASEMENT
- FLOWLINE
- HIGH POINT
- INVERT ELEVATION
- LANDSCAPE EASEMENT
- MATCH EXISTING
- MINIMUM FINISHED FLOOR ELEVATION
- MINIMUM FLOOD PROTECTION GRADE
- PAD GRADE
- PUBLIC ACCESS EASEMENT
- POINT OF CURVATURE
- POINT OF TANGENCY
- POLYVINYL CHLORIDE PIPE
- POINT OF VERTICAL INTERSECTION
- REINFORCED CONCRETE PIPE
- RIGHT-OF-WAY
- SQUARE FEET
- SANITARY SEWER EASEMENT
- TOP OF RIM ELEVATION
- UTILITY & DRAINAGE EASEMENT
- UTILITY, DRAINAGE, & SANITARY ESMT.
- STREET LIGHT
- SIGN

ARCHITECTURAL STANDARDS

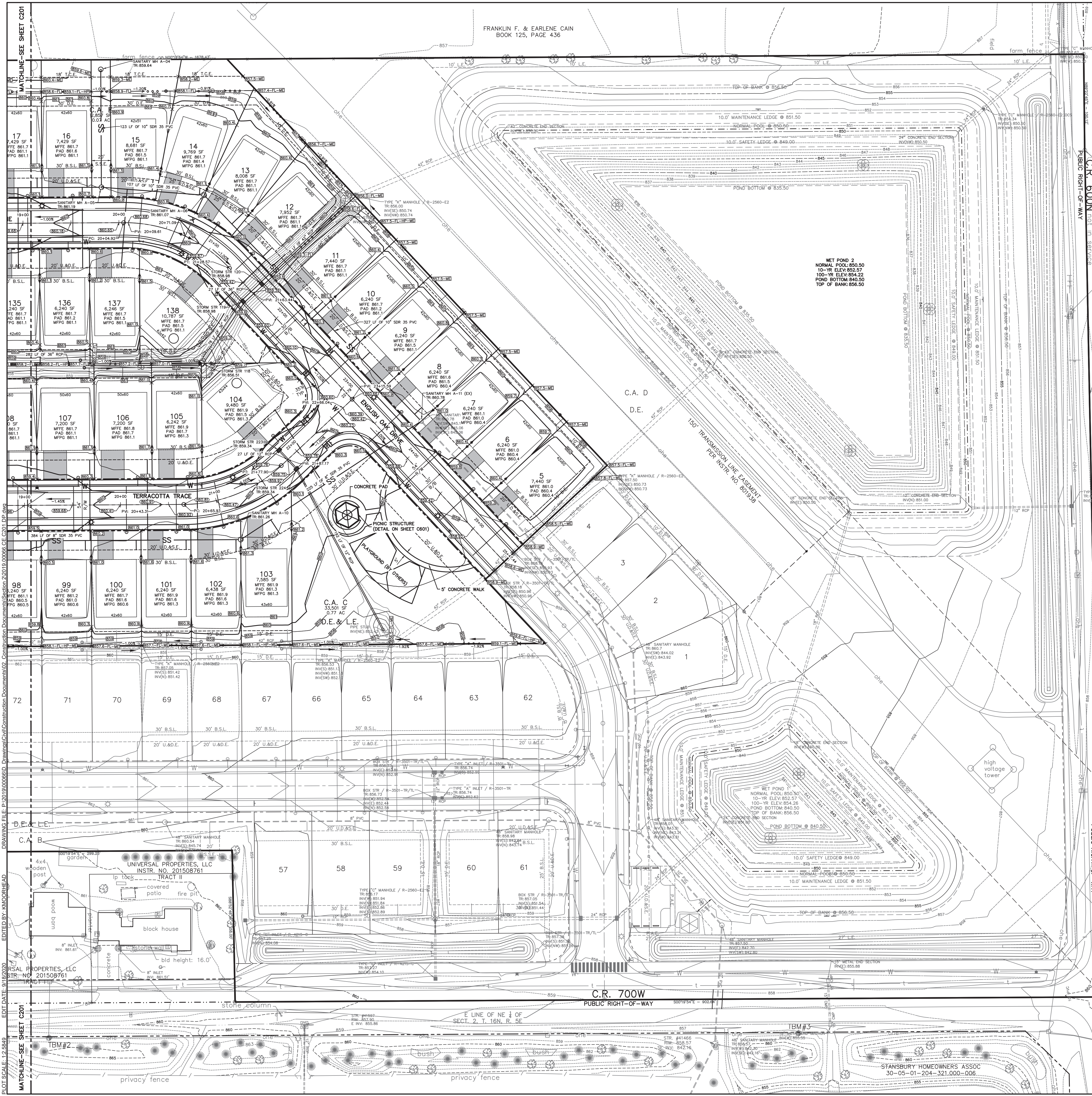
- * PERIMETER LOTS: ALL LOTS INDICATED WITH A (8) AND/OR ADJUTING COUNTRY ROAD 700 WEST SHALL HAVE A REAR GABLE IN THE FORM OF ONE OF THE FOLLOWING: ENCLOSED SUNROOM, SCREENED IN PORCH, A COVERED BACK PORCH WITH A MINIMUM OF 8"x8" COLUMNS, REAR BUMP OF AT LEAST TEN (10') FEET IN WIDTH BY FOUR (4') FEET IN DEPTH. IF A FIRST-FLOOR BRICK WRAP IS CHOSEN, A GABLE IS NOT REQUIRED ON THE REAR ELEVATION.
- CORNER LOTS: THOSE LOTS INDICATED WITH A (C) SHALL REQUIRE A MINIMUM OF THREE (3) DIFFERENT FINISH FACADE STYLES FROM THE LIST BELOW FOR EACH SIDE ELEVATION. THIS REQUIREMENT EXCLUDES DWELLINGS WITH A HIP ROOF WHEREAS THE REQUIREMENT MAY BE TWO (2) DIFFERENT FINISH FACADE STYLES. A THREE (3) FEET BRICK OR STONE WANSICOT IS REQUIRED AS ONE OF THE FINISH FACADE STYLES. SHOULD A FULL FIRST FLOOR BRICK WRAP BE SELECTED, SAID BRICK SHALL SATISFY THE INTENT OF THIS REQUIREMENT. FINISHED FACADE STYLES MAY INCLUDE BUT ARE NOT LIMITED TO BRICK, STONE, HORIZONTAL SIDING, BAT AND BOARD SIDING, TUDOR STYLE SIDING AND CEDAR SHAKE SIDING. DWELLINGS BUILT ON CORNER LOTS SHALL INCLUDE A MINIMUM OF ONE (1) WINDOW PER STORY OF A MINIMUM SIZE OF TWO (2) FEET BY FOUR (4) FEET ON THE SIDE OF THE DWELLING FACING THE STREET. THESE WINDOWS SHALL INCLUDE SHUTTERS WHERE THE BRICK WANSICOT DOES NOT INTERFERE.

GENERAL NOTES:

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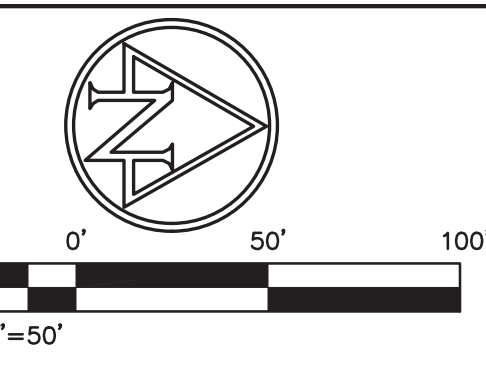
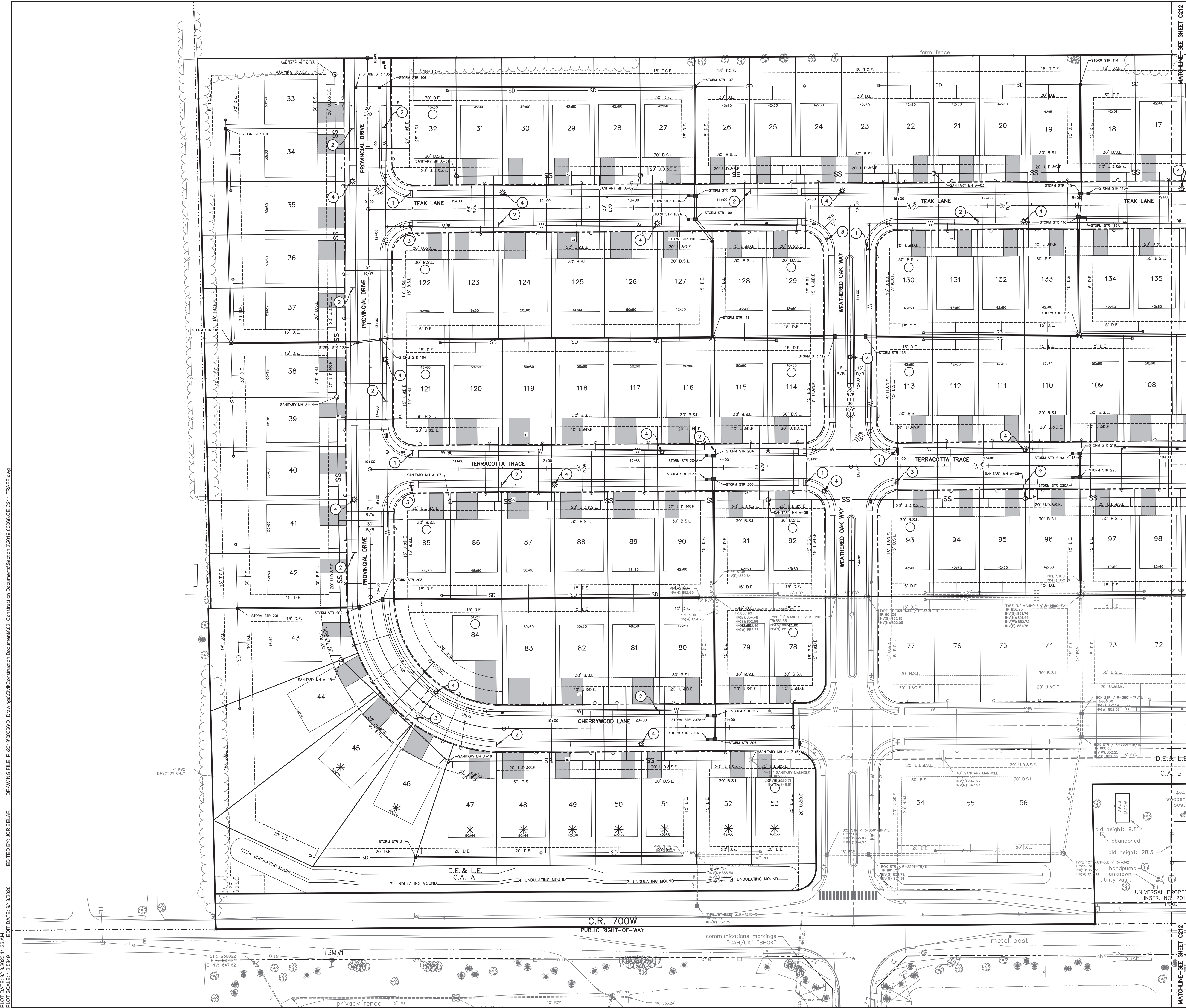
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INDIANA UNDERGROUND



FRANKLIN F. & EARLENE CAIN BOOK 125, PAGE 436
DRAWING FILE: P:\201900066.Dwg
CONSTRUCTION DOCUMENTS SECTION 2019.00066.CE.C201.DP.dwg
EDIT DATE: 9/18/2020 11:36 AM
PLOT DATE: 9/18/2020 11:36 AM
PLOT SCALE: 1"=50'
MATCHLINE-SEE SHEET C201

ARBOR HOMES logo and contact info.
AMERICAN STRUCTUREPOINT INC. logo and contact info.
THE MEADOWS AT SAGEBROOK SECTION 2
W COUNTY ROAD 600 N & N COUNTY ROAD 700 W
Professional Engineer Seal for Joshua H. Cribbeler.
ISSUANCE INDEX table.
REVISION SCHEDULE table.
DEVELOPMENT PLAN title.
C202 title.
ARBOR HOMES logo and contact info.



- EXISTING LEGEND**
- Air Conditioner
 - Beehive Inlet
 - Bush
 - Clean Out
 - Curb Inlet
 - Drainage Inlet
 - Drainage MH
 - Electric Meter Box
 - Fire Hydrant
 - Flag Pole
 - Gas Marker
 - Gas Meter
 - Gas Valve
 - Ground Light
 - Guy Wire
 - Hose Bib
 - Light Pole
 - Mail Box
 - Pine Tree
 - Pole
 - Post
 - Power Pole
 - Sanitary MH
 - Sign
 - Sprinkler Control Valve
 - Stump
 - Telephone Box
 - Telephone Marker
 - Telephone Pedestal
 - Temporary Bench Mark
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 - Water Meter
 - Water Valve Shut Off
 - Well
 - w- Buried Water Line
 - t- Buried Telephone Line
 - g- Buried Gas Line
 - fo- Buried Fiber Optic Line
 - oh- Overhead Electric Line
 - e- Buried Electric Line
 - ctv- Buried Cable Line

- PROPOSED LEGEND**
- RIGHT-OF-WAY (R/W) LINE
 - BUILDING SETBACK LINE
 - EASEMENT
 - WET DETENTION POND NORMAL POOL
 - LOT LINE
 - WATER MAIN
 - SANITARY MAIN
 - 6" DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
 - SUBSURFACE DRAIN CLEANOUT
 - STORM SEWER
 - FIRE HYDRANT & WATER VALVE
 - SINGLE WATER METER PIT
 - WATER CROSS
 - WATER TEE & WATER BEND
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 - COMMON AREA
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 - PUBLIC ACCESS EASEMENT
 - RIGHT-OF-WAY
 - SANITARY SEWER EASEMENT
 - UTILITY & DRAINAGE EASEMENT
 - UTILITY, DRAINAGE, & SANITARY ESMT.
 - STREET LIGHT
 - SIGN

- KEYNOTES**
1. "STOP" SIGN (R1-1)
 2. "SPEED LIMIT 25 MPH" SIGN (R2-1)
 3. STREET NAME SIGN
 4. STREET LIGHT

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 PHONE: 317.429.9653
 EMAIL: SeanDowney@YourArborHome.com



9025 River Road, Suite 200 | Indianapolis, Indiana 46240
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 Contact: Joshua H. Cribelar, PE
 E-mail: jcribelar@structurepoint.com

THE MEADOWS AT SAGEBROOK SECTION 2

W COUNTY ROAD 600 N & N COUNTY ROAD 700 W



Joshua H. Cribelar
 CERTIFIED BY

ISSUANCE INDEX	
DATE:	09/18/2020
PROJECT PHASE:	CONSTRUCTION DOCUMENTS

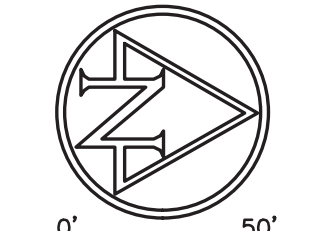
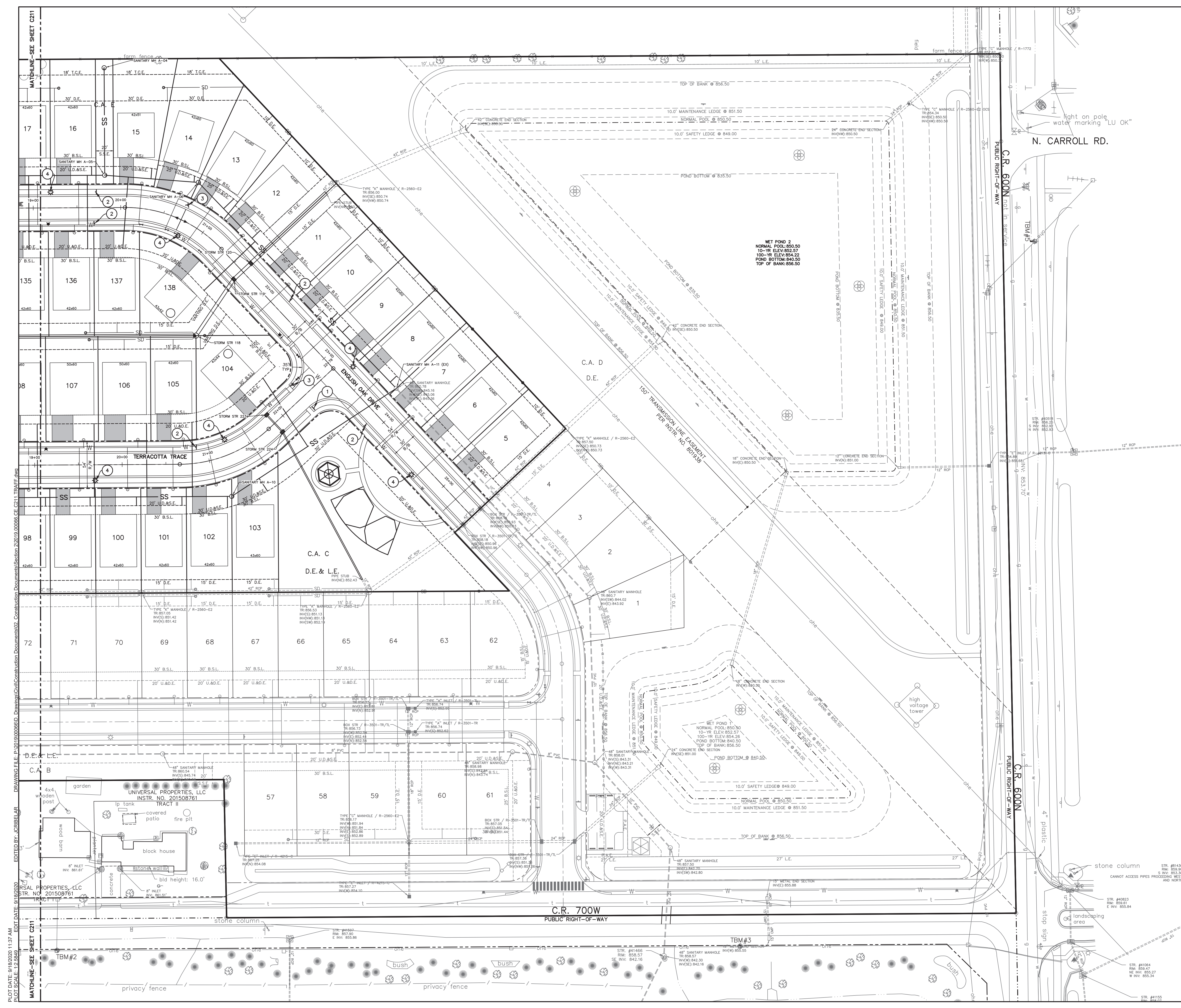
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2019.00066

TRAFFIC CONTROL & LIGHTING PLAN

C211

PLOT DATE: 9/18/2020 11:38 AM
 PLOT SCALE: 1"=50'
 DRAWING FILE: P:\2019\00066\Drawings\Civil\Construction Documents\Section 2\2019.00066.CE.C211.TRAFF.dwg
 EDIT DATE: 9/18/2020
 EDITED BY: JCRIBELAR



SCALE: 1"=50'

EXISTING LEGEND

- Air Conditioner
- Beehive Inlet
- Bush
- Clean Out
- Curb Inlet
- Drainage Inlet
- Drainage MH
- Electric Meter Box
- Fire Hydrant
- Flag Pole
- Gas Marker
- Gas Meter
- Gas Valve
- Ground Light
- Guy Wire
- Hose Bib
- Light Pole
- Mail Box
- Pine Tree
- Pole
- Post
- Power Pole
- Sanitary MH
- Sign
- Sprinkler Control Valve
- Stump
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- Well
- w- Buried Water Line
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- g- Buried Gas Line
- fo- Buried Fiber Optic Line
- oh- Overhead Electric Line
- e- Buried Electric Line
- ctv- Buried Cable Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- 6" DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
- SUBSURFACE DRAIN CLEANOUT
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
- SINGLE WATER METER PIT
- WATER CROSS
- WATER TEE & WATER BEND
- B.S.L. BUILDING SETBACK LINE
- C.A. COMMON AREA
- D.E. DRAINAGE EASEMENT
- L.E. LANDSCAPE EASEMENT
- P.A.E. PUBLIC ACCESS EASEMENT
- R/W RIGHT-OF-WAY
- S.S.E. SANITARY SEWER EASEMENT
- U.&D.E. UTILITY & DRAINAGE EASEMENT
- U.D.&S.E. UTILITY, DRAINAGE, & SANITARY ESMT.
- STREET LIGHT
- SIGN

KEYNOTES

1. "STOP" SIGN (R1-1)
2. "SPEED LIMIT 25 MPH" SIGN (R2-1)
3. STREET NAME SIGN
4. STREET LIGHT

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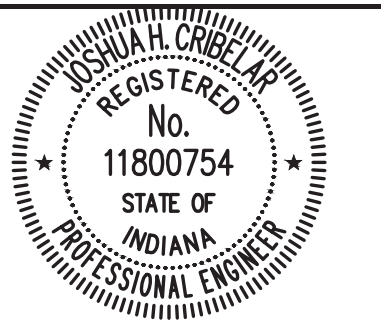
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THE MEADOWS AT SAGEBROOK SECTION 2

W COUNTY ROAD 600 N &
 N COUNTY ROAD 700 W



Joshua H. Cribelar
 CERTIFIED BY

ISSUANCE INDEX	
DATE:	09/18/2020
PROJECT PHASE:	CONSTRUCTION DOCUMENTS

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2019.00066

TRAFFIC CONTROL & LIGHTING PLAN

C212

PLOT DATE: 9/18/2020 11:37 AM
 EDIT DATE: 9/18/2020
 DRAWING FILE: P:\2019\00066\Drawings\Civil\Construction Documents\Section 2\2019.00066.C211.TRAFF.dwg
 EDITOR: JCRIBELAR

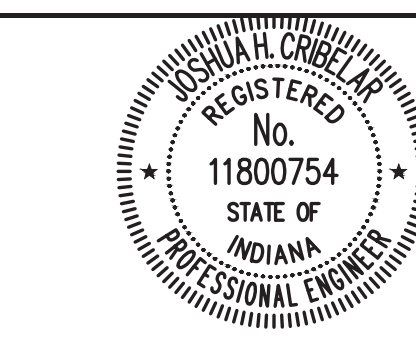


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AMERICAN STRUCTUREPOINT INC.
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THE MEADOWS AT SAGEBROOK SECTION 2

W COUNTY ROAD 600 N &
N COUNTY ROAD 700 W



Joshua H. Cibrelar
CERTIFIED BY

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REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2019.00066

**WATER DISTRIBUTION PLAN
J-20-092**

C421

EXISTING LEGEND

- Air Conditioner
- Beehive Inlet
- Bush
- Clean Out
- Curb Inlet
- Drainage Inlet
- Drainage MH
- Electric Meter Box
- Fire Hydrant
- Flag Pole
- Gas Marker
- Gas Meter
- Gas Valve
- Ground Light
- Guy Wire
- Hose Bib
- Light Pole
- Mail Box
- Pine Tree
- Pole
- Post
- Power Pole
- Sanitary MH
- Sign
- Sprinkler Control Valve
- Stump
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- Telephone Marker
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- Water Valve Shut Off
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- g- Buried Gas Line
- fo- Buried Fiber Optic Line
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- ctv- Buried Cable Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- WATER LINE
- SANITARY MAIN
- SWALE (1.00% MIN SLOPE)
- 8" DOUBLE-WALL PERFORATED SUBSURFACE DRAIN
- SUBSURFACE DRAIN CLEANOUT
- STORM SEWER
- FIRE HYDRANT W/VALVE & WATER VALVE
- CAP END & THRUST BLOCK
- SINGLE WATER METER PIT
- VERTICAL & HORIZONTAL BEND & TEE
- CROSS BUILDING SETBACK LINE
- C.A.
- COMMON AREA
- DRAINAGE EASEMENT
- PUBLIC ACCESS EASEMENT
- RIGHT-OF-WAY
- SANITARY SEWER EASEMENT
- UTILITY & DRAINAGE EASEMENT
- UTILITY, DRAINAGE, & SANITARY ESMT.
- STREET LIGHT
- SIGN

WATER LINE NOTES

- CONTRACTOR MUST HAVE AND FOLLOW CITIZENS ENERGY GROUP WATER STANDARDS LATEST VERSION.
- MINIMUM COVER OVER TOP OF ALL WATER MAINS TO BE 54 INCHES FROM FINISHED GRADE.
- THERE IS TO BE A MINIMUM OF 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION BETWEEN THE SEWER AND WATER LINE.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER MAIN PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
- WATER LINE EXTENSION SHALL BE CONSTRUCTED ACCORDING TO THE MOST CURRENT STANDARDS OF CITIZENS WATER HAD ADOPTED AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE ALL WORK WITH THE CITIZENS COMPANY INSPECTOR.
- ALL HYDRANTS TO HAVE STORZ CONNECTION.
- STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. CONSULT WITH CEG INSPECTOR WITH ANY QUESTIONS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND PROVIDE THE REQUIRED MINIMUM DEPTHS OF COVER. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL BENDS WITH THRUST BLOCKS REQUIRED TO ASSURE PROPER INSTALLATION OF WATER MAINS AND LATERALS.
- VALVES ARE TO BE PLACED IN GRASS.
- FULL DEPTH GRANULAR BACKFILL IS REQUIRED ON ALL ROAD CROSSINGS.

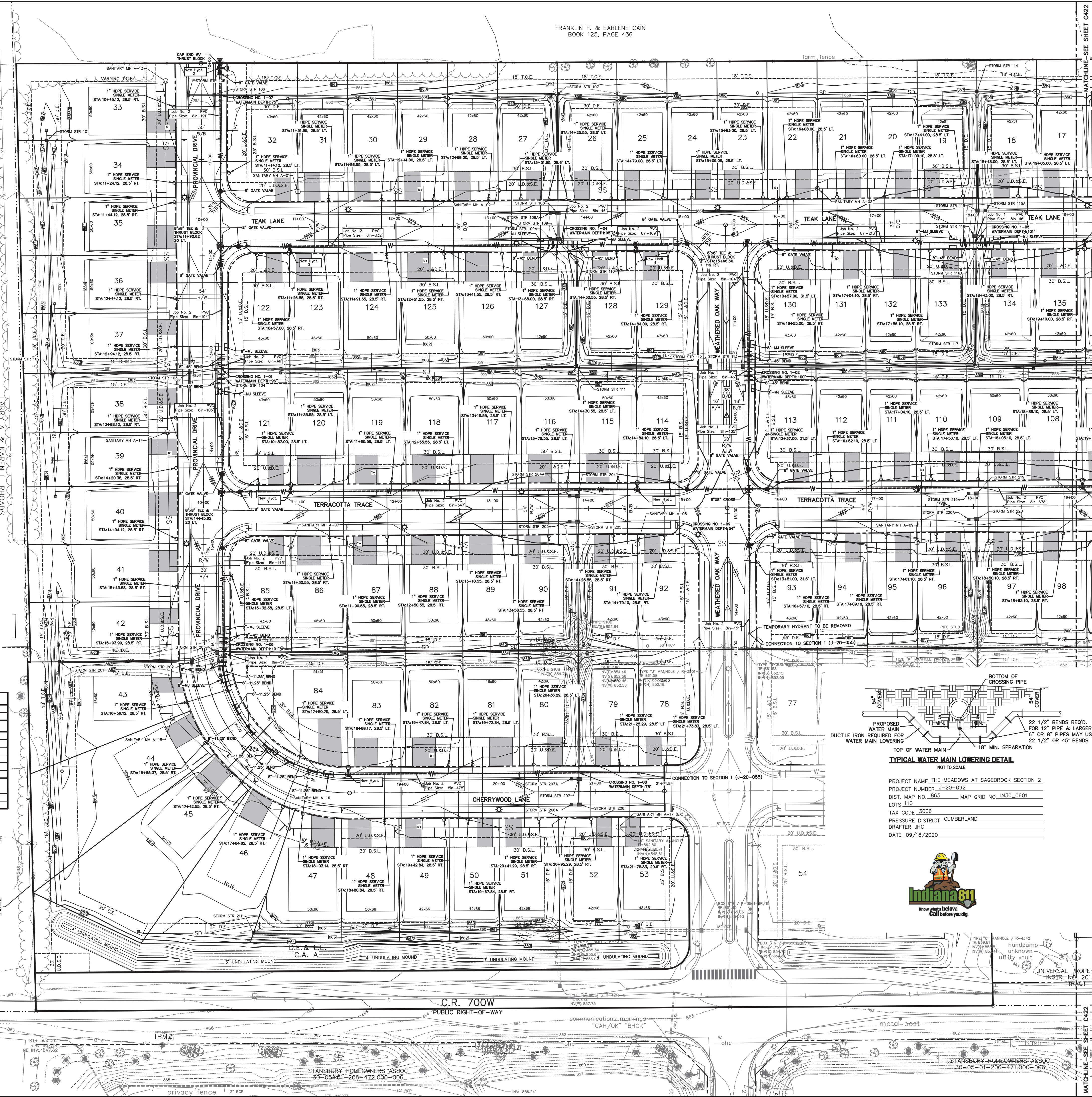
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- INDIANA UNDERGROUND -



CROSSING DATA TABLE

Job No.	Lower Main Crossing No.	Bottom of Crossing (V.T.N)	Top of Crossing	Surface Elevation	Size of Crossing Pipe
1-01	Y	855.80	854.28	852.31	15"
1-02	Y	852.37	850.86	850.19	30"
1-03	Y	850.75	849.24	850.50	36"
1-04	Y	853.45	851.94	853.98	24"
1-05	Y	850.07	850.57	852.99	24"
1-06	Y	855.32	853.82	862.25	15"
1-07	Y	857.53	856.02	862.27	12"
1-08	Y	856.62	855.11	861.80	15"
1-09	N	849.80	858.17	861.68	8"
1-10	N	848.34	856.81	861.31	8"

CITIZENS WATER PROJECT LEGEND

Project Name: THE MEADOWS AT SAGEBROOK SECTION 2
Project Number: J-20-092

Job No.	Street Name	Pipe Size	Pipe Type	Pipe Length
1	TEAK LANE	8in	C900	1044'
1	PROVINCIAL DRIVE	8in	C900	735'
1	CHERRYWOOD LANE	8in	C900	383'
1	WEATHERED OAK WAY	8in	C900	406'
1	ENGLISH OAK DRIVE	8in	C900	407'
TOTAL PIPE				2972'

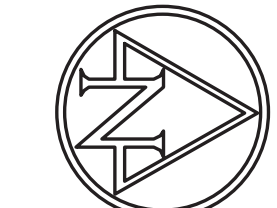
# OF SERVICE LINES	Pipe Size	Pipe Type	Pipe Length
110	1in	PE	3515'
TOTAL PIPE			3515'

LARRY A. & KAREN L. RHoadS
INSTR. NO. 9811371

STANSBURY HOMEOWNERS ASSOC
30-05-001-206-472.000-006

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EDIT BY: AKOORHEAD

FRANKLIN F. & EARLENE CAIN
BOOK 125, PAGE 436



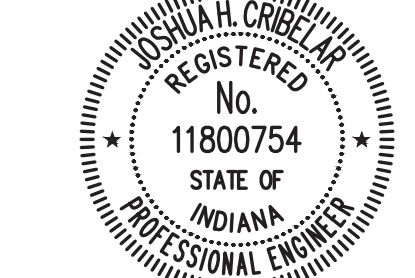
ARBOR HOMES
9225 HARRISON PARK
COURT
INDIANAPOLIS, IN 46216
CONTACT: SEAN DOWNEY
PHONE: 317.429.9653
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9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com
Contact: Joshua H. Cribbeler, PE
E-mail: jcrib@structurepoint.com

THE MEADOWS
AT SAGEBROOK
SECTION 2

W COUNTY ROAD 600 N &
N COUNTY ROAD 700 W



Joshua H. Cribbeler
CERTIFIED BY

ISSUANCE INDEX

DATE:
09/18/2020
PROJECT PHASE:
CONSTRUCTION DOCUMENTS

REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2019.00066

WATER
DISTRIBUTION PLAN
J-20-092

C422

EXISTING LEGEND

- Air Conditioner
- Beehive Inlet
- Bush
- Clean Out
- Curb Inlet
- Drainage Inlet
- Drainage MH
- Electric Meter Box
- Fire Hydrant
- Flag Pole
- Gas Marker
- Gas Meter
- Gas Valve
- Ground Light
- Guy Wire
- Hose Bib
- Light Pole
- Mail Box
- Pine Tree
- Pole
- Post
- Power Pole
- Sanitary MH
- Sign
- Sprinkler Control Valve
- Stump
- Telephone Box
- Telephone Marker
- Telephone Pedestal
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- Water Valve Shut Off
- Well
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- t- Buried Telephone Line
- g- Buried Gas Line
- fo- Buried Fiber Optic Line
- oh- Overhead Electric Line
- e- Buried Electric Line
- ctv- Buried Cable Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- SWALE (1.00% MIN SLOPE)
- DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
- SUBSURFACE DRAIN CLEANOUT
- STORM SEWER
- FIRE HYDRANT W/VALVE & WATER VALVE
- CAP END & THRUST BLOCK
- SINGLE WATER METER PIT
- VERTICAL & HORIZONTAL BEND & TEE
- CROSS
- B.S.L. BUILDING SETBACK LINE
- C.A. COMMON AREA
- D.E. DRAINAGE EASEMENT
- P.A.E. PUBLIC ACCESS EASEMENT
- R/W RIGHT-OF-WAY
- S.S.E. SANITARY SEWER EASEMENT
- U.&D.E. UTILITY & DRAINAGE EASEMENT
- U.D.&S.E. UTILITY, DRAINAGE, & SANITARY ESMT.
- STREET LIGHT
- SIGN

WATER LINE NOTES

- CONTRACTOR MUST HAVE AND FOLLOW CITIZENS ENERGY GROUP WATER STANDARDS LATEST VERSION.
- MINIMUM COVER OVER TOP OF ALL WATER MAINS TO BE 54 INCHES FROM FINISHED GRADE.
- THERE IS TO BE A MINIMUM OF 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION BETWEEN THE SEWER AND WATER LINE.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER MAIN PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY ALL LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
- WATER LINE EXTENSION SHALL BE CONSTRUCTED ACCORDING TO THE MOST CURRENT STANDARDS OF CITIZENS WATER HAD ADOPTED AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE ALL WORK WITH THE CITIZENS COMPANY INSPECTOR.
- ALL HYDRANTS TO HAVE STORZ CONNECTION.
- STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. CONSULT WITH CEG INSPECTOR WITH ANY QUESTIONS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND PROVIDE REQUIRED MINIMUM DEPTHS OF COVER. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL BENDS WITH THRUST BLOCKS REQUIRED TO ASSURE PROPER INSTALLATION OF WATER MAINS AND LATERALS.
- VALVES ARE TO BE PLACED IN GRASS.
- FULL DEPTH GRANULAR BACKFILL IS REQUIRED ON ALL ROAD CROSSINGS.

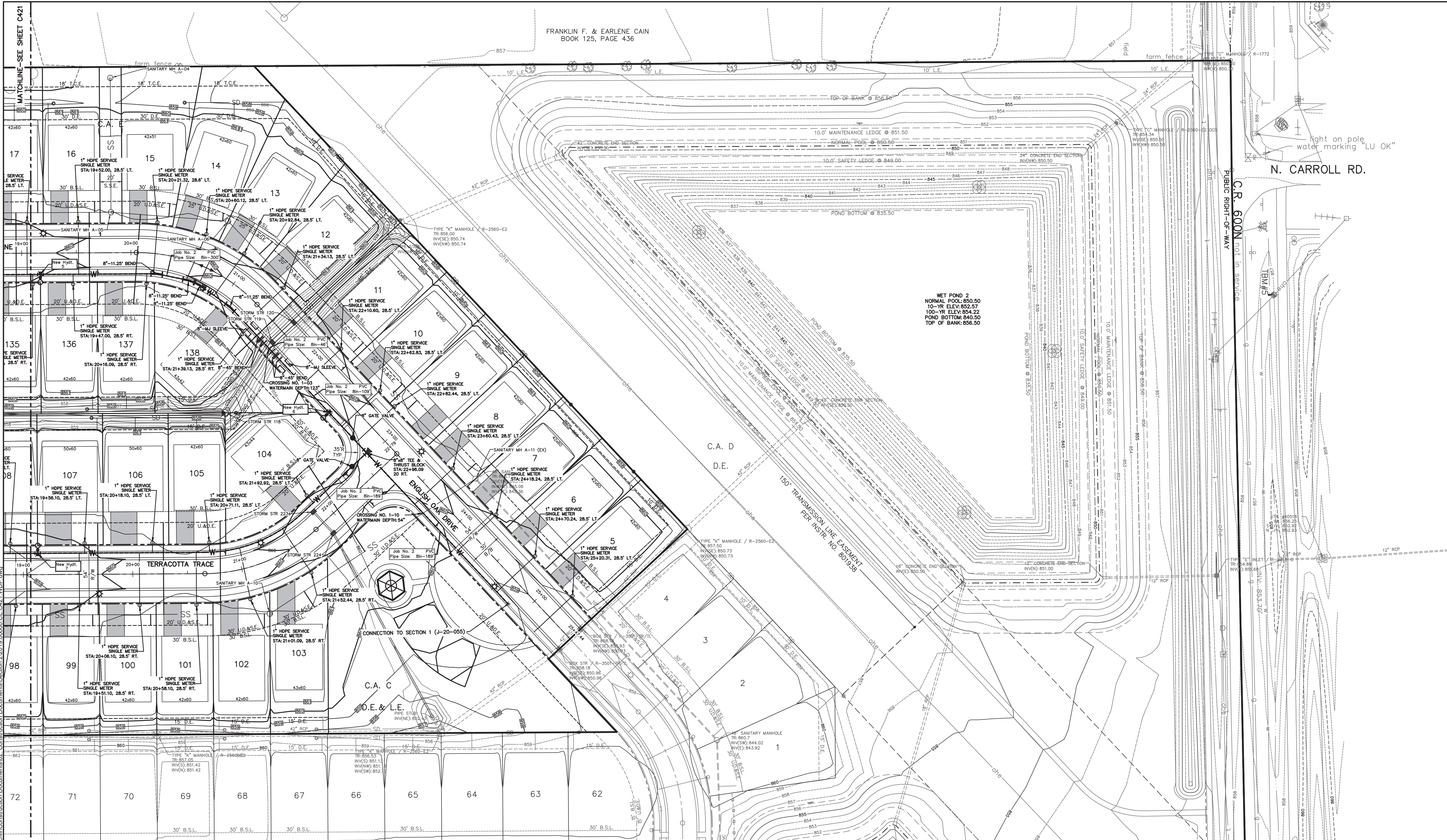
GENERAL NOTES:

- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
- SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

!! CAUTION !!

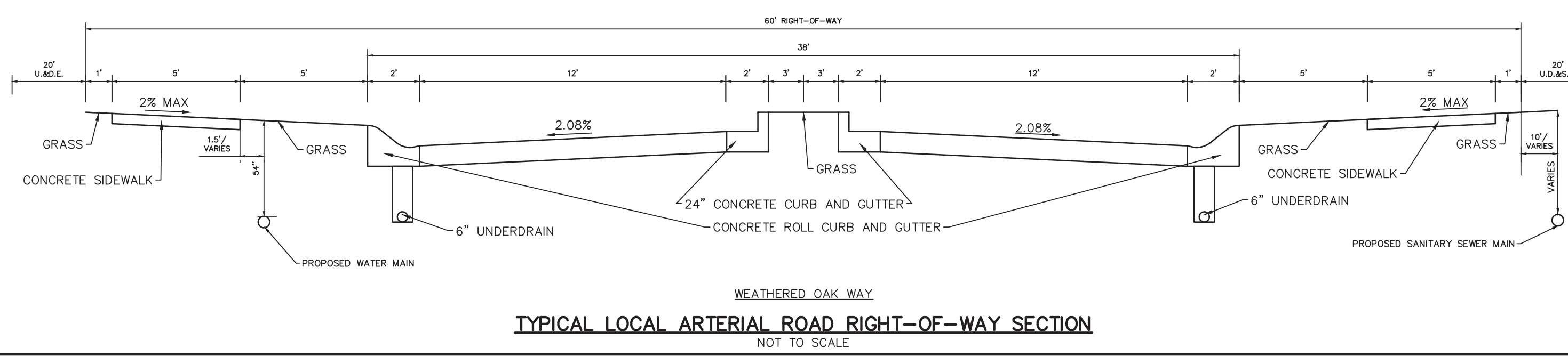
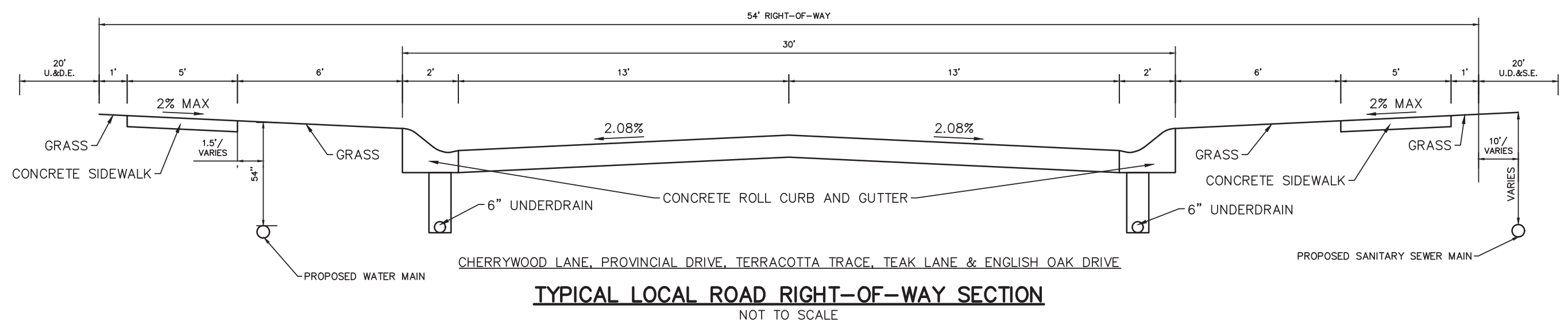
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CALL TOLL FREE
811 OR 1-800-382-5544
INDIANA UNDERGROUND

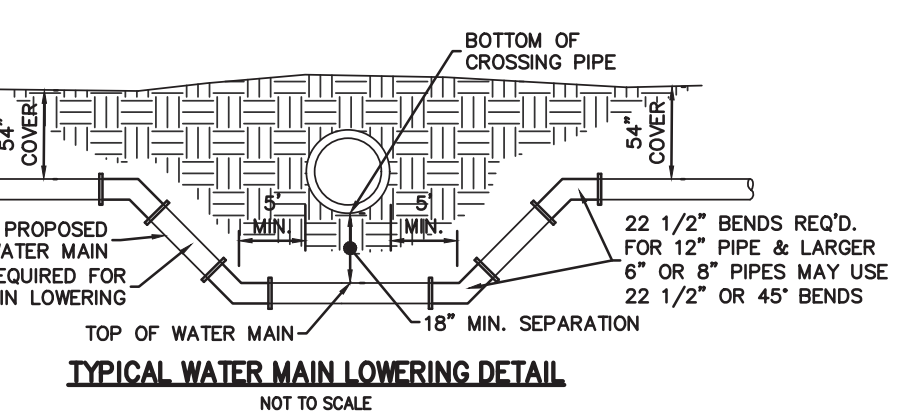


Job No	Lower Main (Y/N)	Bottom of Lower Main	Top of Water Main	Surface Elevation	Size of Crossing Pipes
1-01	Y	855.80	854.29	862.31	15"
1-02	Y	852.37	850.86	858.10	30"
1-03	Y	850.75	849.24	855.59	36"
1-04	Y	853.45	851.94	859.86	24"
1-05	Y	852.07	850.57	858.90	24"
1-06	Y	855.32	853.82	862.75	15"
1-07	Y	857.53	856.02	862.27	12"
1-08	Y	856.82	855.31	861.80	15"
1-09	N	849.80	858.17	861.65	8"
1-10	N	846.34	855.81	861.31	8"

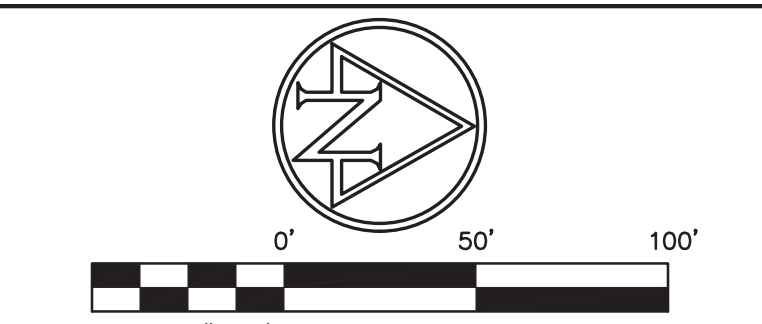
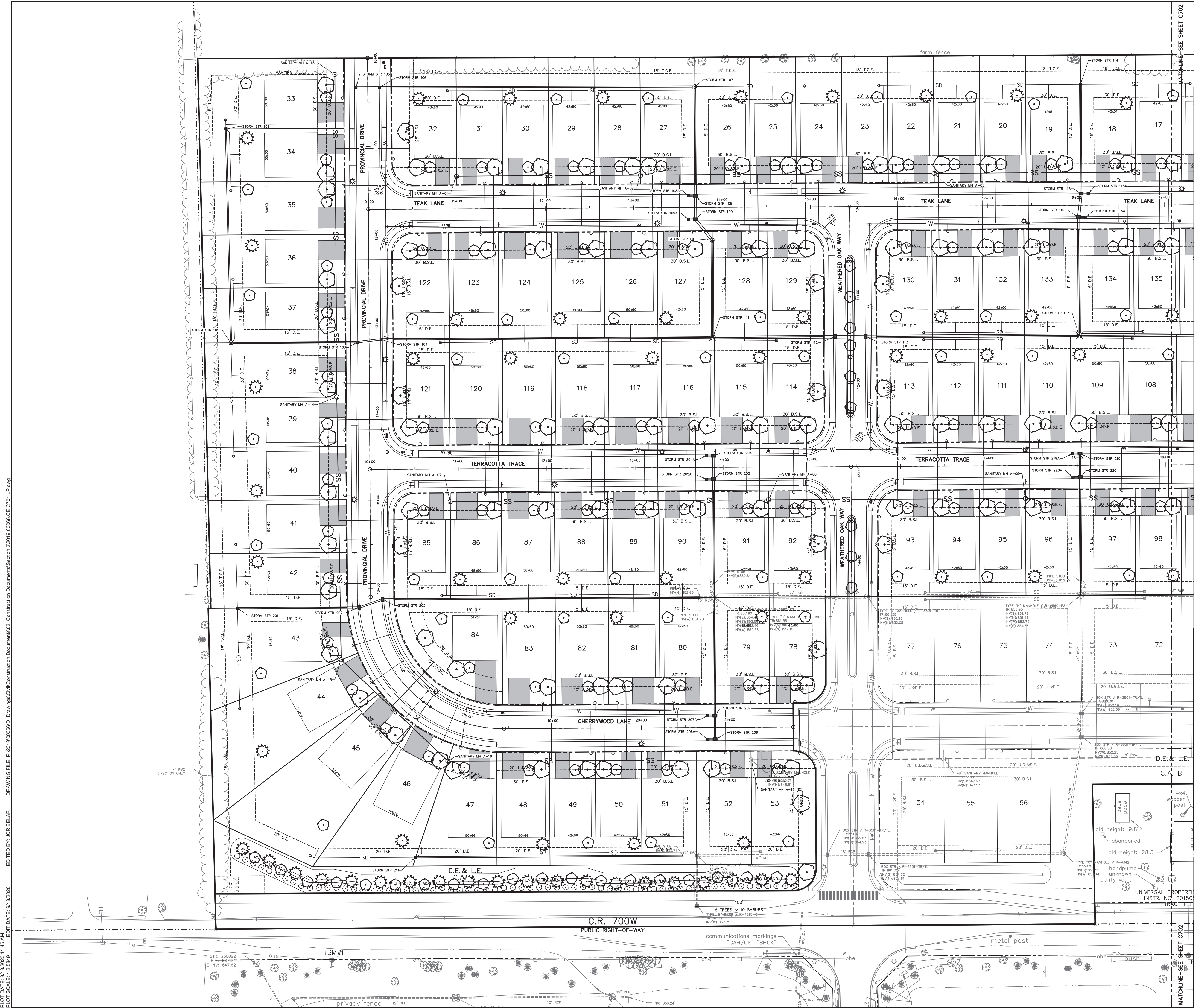
Job No	Street Name	Pipe Size	Pipe Type	Pipe Length
1	PROVINCIAL DRIVE	8in	C900	1044'
1	CERRYWOOD LANE	8in	C900	383'
1	WEATHERED OAK WAY	8in	C900	406'
1	ENGLISH OAK DRIVE	8in	C900	407'
TOTAL PIPE 2879'				
# OF SERVICE LINES	Pipe Size	Pipe Type	Pipe Length	
110	SINGLE SERVICE	1in	PE	3515'
TOTAL PIPE				3515'



PROJECT NAME THE MEADOWS AT SAGEBROOK SECTION 2
PROJECT NUMBER J-20-092
DIST. MAP NO. 865 MAP GRID NO. IN30_0601
LOTS 110
TAX CODE 3006
PRESSURE DISTRICT CUMBERLAND
DRAFTER JHC
DATE 09/18/2020



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PLOT DATE: 9/18/2020 11:43 AM
PLOT SCALE: 1"=50'
MATCHLINE-SEE SHEET C421
MATCHLINE-SEE SHEET C421



EXISTING LEGEND

- | | |
|--|---|
| <ul style="list-style-type: none"> Air Conditioner Beehive Inlet Bush Clean Out Curb Inlet Drainage Inlet Drainage MH Electric Meter Box Fire Hydrant Flag Pole Gas Marker Gas Meter Gas Valve Ground Light Guy Wire Hose Bib Light Pole Mail Box Pine Tree Pole Post | <ul style="list-style-type: none"> Power Pole Sanitary MH Sign Sprinkler Control Valve Stump Telephone Box Telephone Marker Telephone Pedestal Temporary Bench Mark Tree Water Meter Water Valve Shut Off Well -w- Buried Water Line -t- Buried Telephone Line -g- Buried Gas Line -fo- Buried Fiber Optic Line -e- Buried Electric Line -ctv- Buried Cable Line |
|--|---|

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- 6" DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
- SUBSURFACE DRAIN CLEANOUT
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
- SINGLE WATER METER PIT
- WATER CROSS
- WATER TEE & WATER BEND
- BUILDING SETBACK LINE
- COMMON AREA
- DRAINAGE EASEMENT
- LANDSCAPE EASEMENT
- PUBLIC ACCESS EASEMENT
- RIGHT-OF-WAY
- SANITARY SEWER EASEMENT
- UTILITY & DRAINAGE EASEMENT
- UTILITY, DRAINAGE, & SANITARY ESMT.
- STREET LIGHT
- SIGN
- SHRUB
- EVERGREEN TREE
- ORNAMENTAL TREE
- SHADE TREE
- PERENNIAL BEDS

LANDSCAPE NOTES:

- ALL DWELLINGS IN THE DISTRICT SHALL INCLUDE A MINIMUM OF ONE (1) ORNAMENTAL TREE AND ONE (1) SHADE TREE IN THE FRONT YARD, WITH CORNER LOTS TO INCLUDE AN ADDITIONAL ONE (1) TREE IN THE STREET SIDE YARD, WITH ALL BEING A MINIMUM TWO (2") INCH CALIPER AT TIME OF PLANTING. DWELLINGS SHALL FEATURE ONE (1) ORNAMENTAL TREE AND/OR EVERGREEN TREE IN THE REAR YARD. ALL DWELLINGS IN THE DISTRICT SHALL INCLUDE A MINIMUM OF TWELVE (12) SHRUBS OR BUSHES IN THE FRONT FOUNDATION PLANTING BED. IF THE GARAGE PROTRUSIVE MORE THAN EIGHT (8) FEET FORWARD OF THE FRONT FACADE AN ADDITIONAL FOUR (4) SHRUBS SHALL BE PLANTED. ALL SHRUBS OR BUSHES WILL BE AT LEAST EIGHTEEN (18") INCHES IN HEIGHT AT THE TIME OF PLANTING.
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- ALL COMMON AREA AND MEDIANS WITHIN WEATHERED OAK WAY TO BE MAINTAINED BY THE HOME OWNER'S ASSOCIATION.

GENERAL NOTES:

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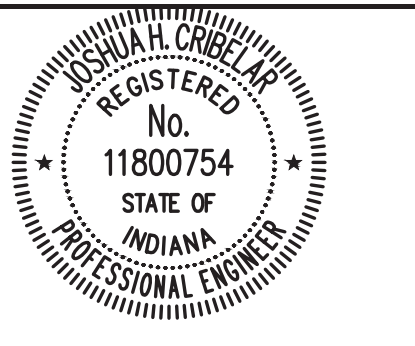
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THE MEADOWS AT SAGEBROOK SECTION 2

W COUNTY ROAD 600 N &
 N COUNTY ROAD 700 W



Joshua H. Cribbeler
 CERTIFIED BY

ISSUANCE INDEX

DATE:	09/18/2020
PROJECT PHASE:	CONSTRUCTION DOCUMENTS

REVISION SCHEDULE

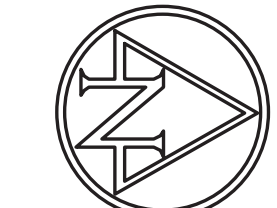
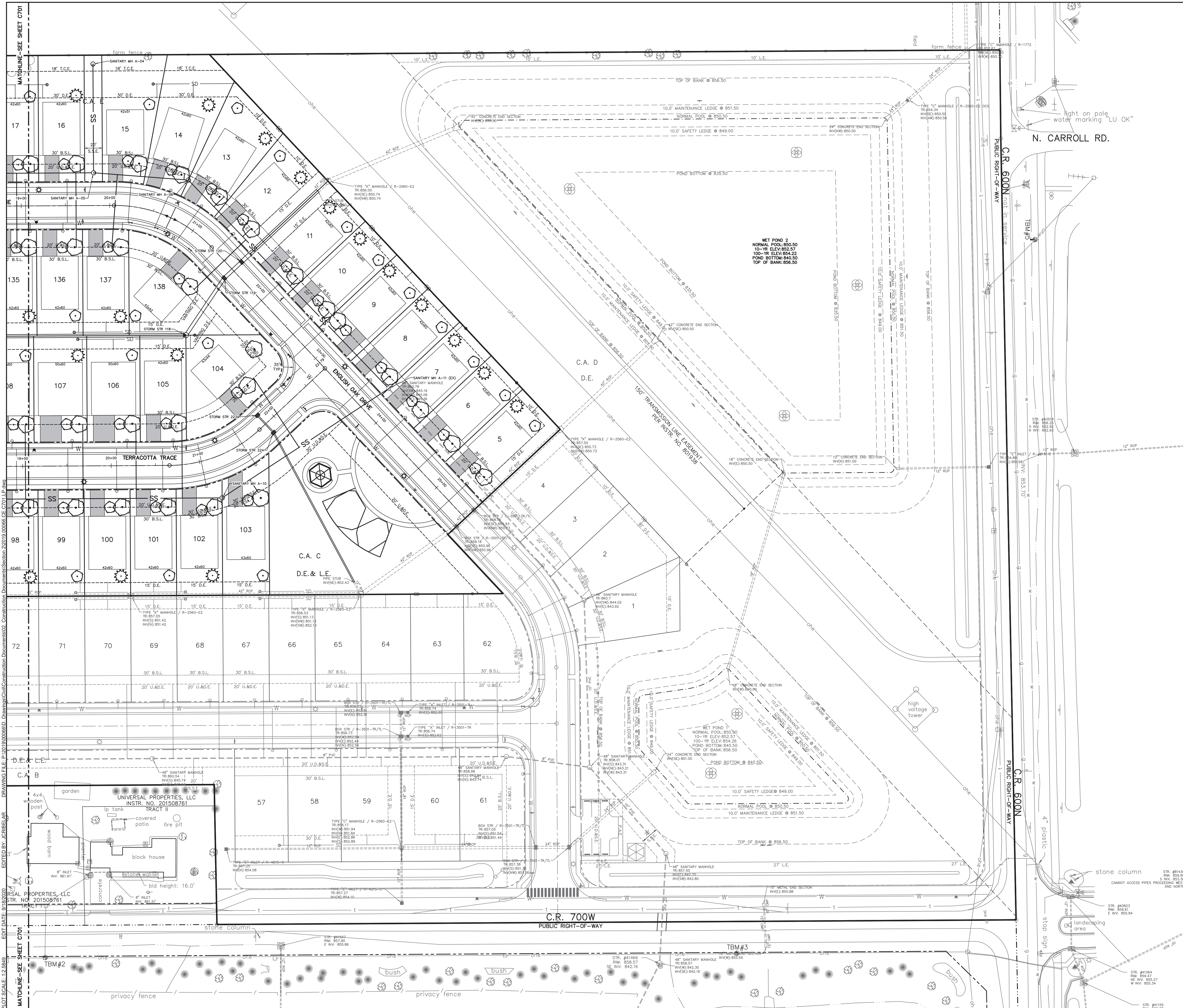
NO.	DESCRIPTION	DATE

Project Number 2019.00066

LANDSCAPE PLAN

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 PLOT DATE: 9/18/2020 11:45 AM
 PLOT SCALE: 1/2"=5'-0"

EDITED BY: JCRIBBELAR
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SCALE: 1"=50'

- EXISTING LEGEND**
- Air Conditioner
 - Beehive Inlet
 - Bush
 - Clean Out
 - Curb Inlet
 - Drainage Inlet
 - Drainage MH
 - Electric Meter Box
 - Fire Hydrant
 - Flag Pole
 - Gas Meter
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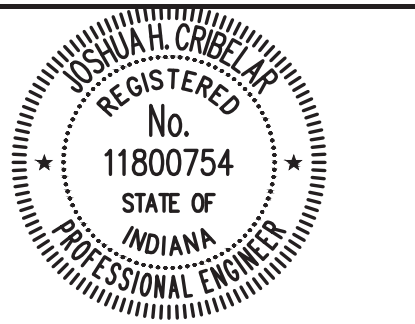
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THE MEADOWS AT SAGEBROOK SECTION 2

W COUNTY ROAD 600 N & N COUNTY ROAD 700 W



Joshua H. Cribelar
CERTIFIED BY

ISSUANCE INDEX	
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REVISION SCHEDULE		
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LANDSCAPE PLAN

C702