



Planning & Building Department
6280 W 800N
McCordsville, IN 46055
Phone: 317.335.3604
Email: building@mccordsville.org

PUBLIC HEARING INFORMATION

Case #: PC-20-002

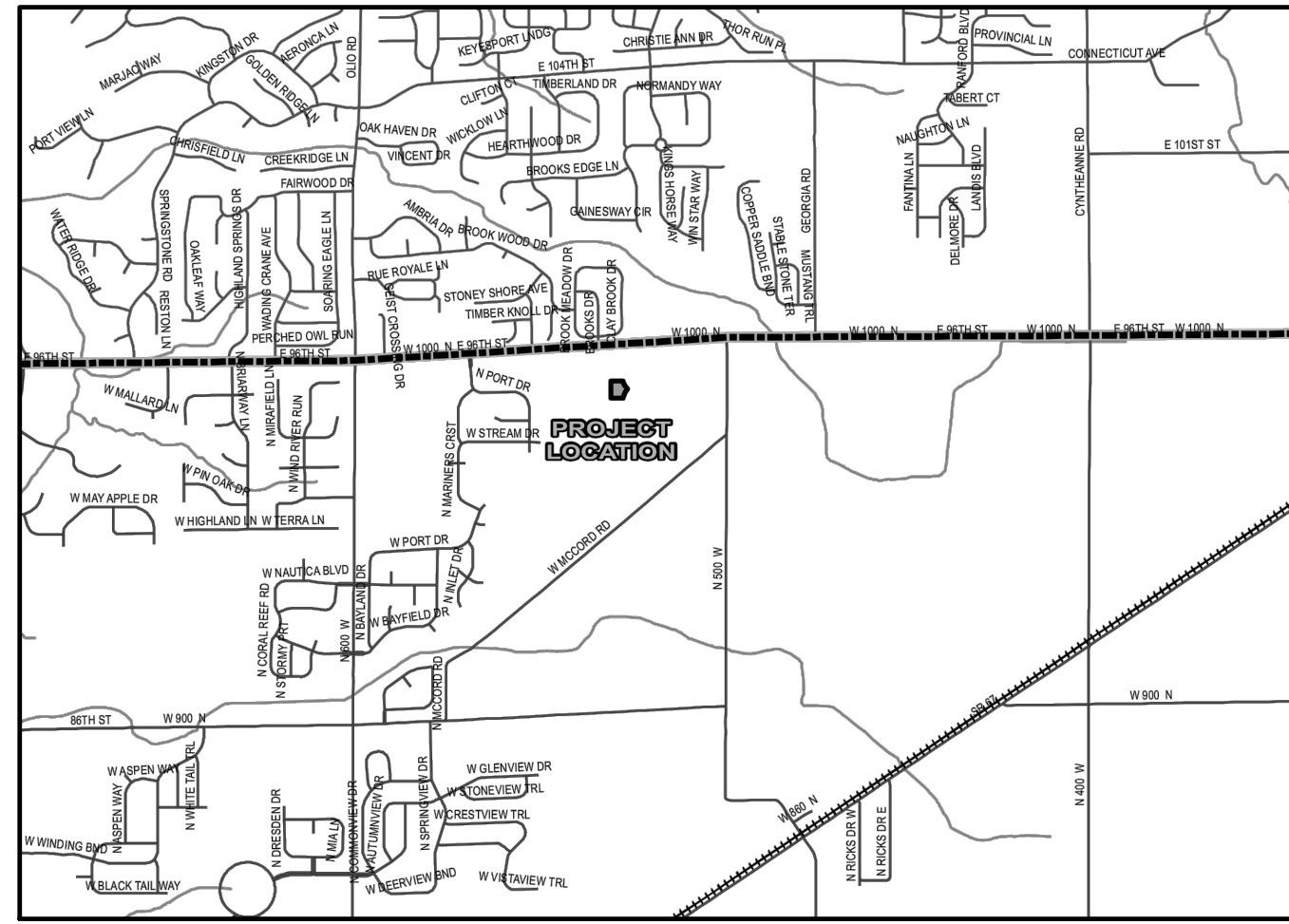
Title: McCord Pointe Amenity Center Development Plan

Meeting Date: this zoning petition is currently scheduled to be heard at the March 31st Plan Commission (PC) meeting.

¹Please note, due to COVID-19 virus spread, Town meetings may be cancelled or postponed. Any agenda items on agenda which is cancelled or postponed is automatically continued to the next available meeting. Please continue to check the Town's website for updates.

²Meeting agenda and staff report will be available on the website by end of business day on the Friday preceding the applicable meeting. Go to www.mccordsville.org and click on "Agendas & Minutes".

File Name: W:\cobotantonic_homes\2019-263-a_lennar-mccord_pointe_amenity\CAD\19263-A-Cover_Sheet.dwg, Layout: C1.0
 Plot Date: Mar 17, 2020
 Plot Time: 11:59am
 Plot Name: W:\cobotantonic_homes\2019-263-a_lennar-mccord_pointe_amenity\CAD\19263-A-Cover_Sheet.dwg, Layout: C1.0
 By: tamth



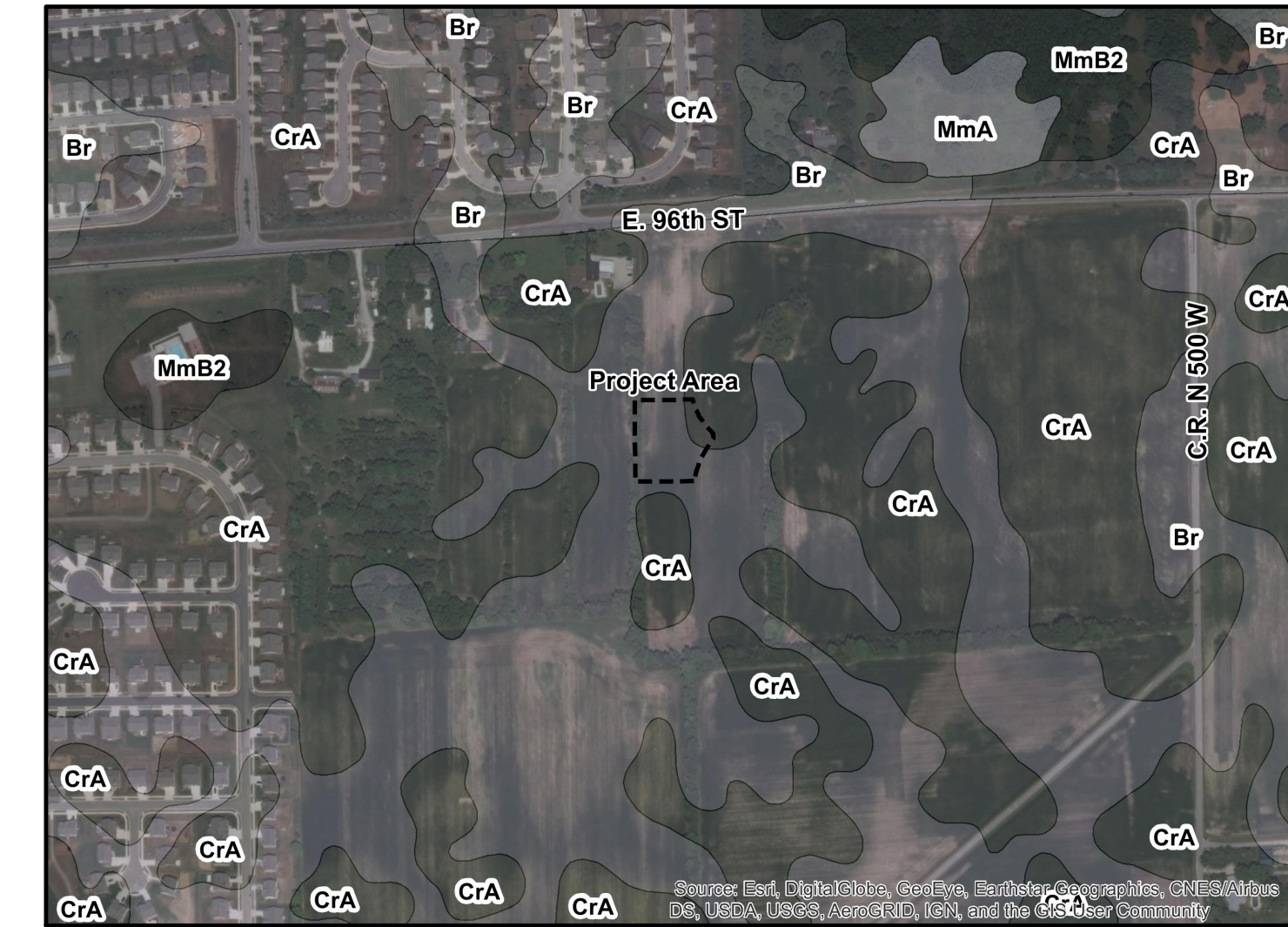
LOCATION MAP
SCALE 1" = 1,000 FEET

McCORD POINTE AMENITY AREA

Lennar Homes of Indiana, Inc.

DEVELOPER:
 LENNAR HOMES OF INDIANA, INC.
 BILL BRYANT
 9025 NORTH RIVER ROAD, SUITE 100
 INDIANAPOLIS, INDIANA 46240
 (317) 450-4634

CIVIL ENGINEER and SURVEYOR:
 HWC ENGINEERING
 135 N. PENNSYLVANIA ST., SUITE 2800
 INDIANAPOLIS, IN 46204
 (317) 347-3663
 keichhorn@hwcengineering.com



SOILS MAP
NOT TO SCALE

SOIL DESCRIPTIONS/LIMITATIONS

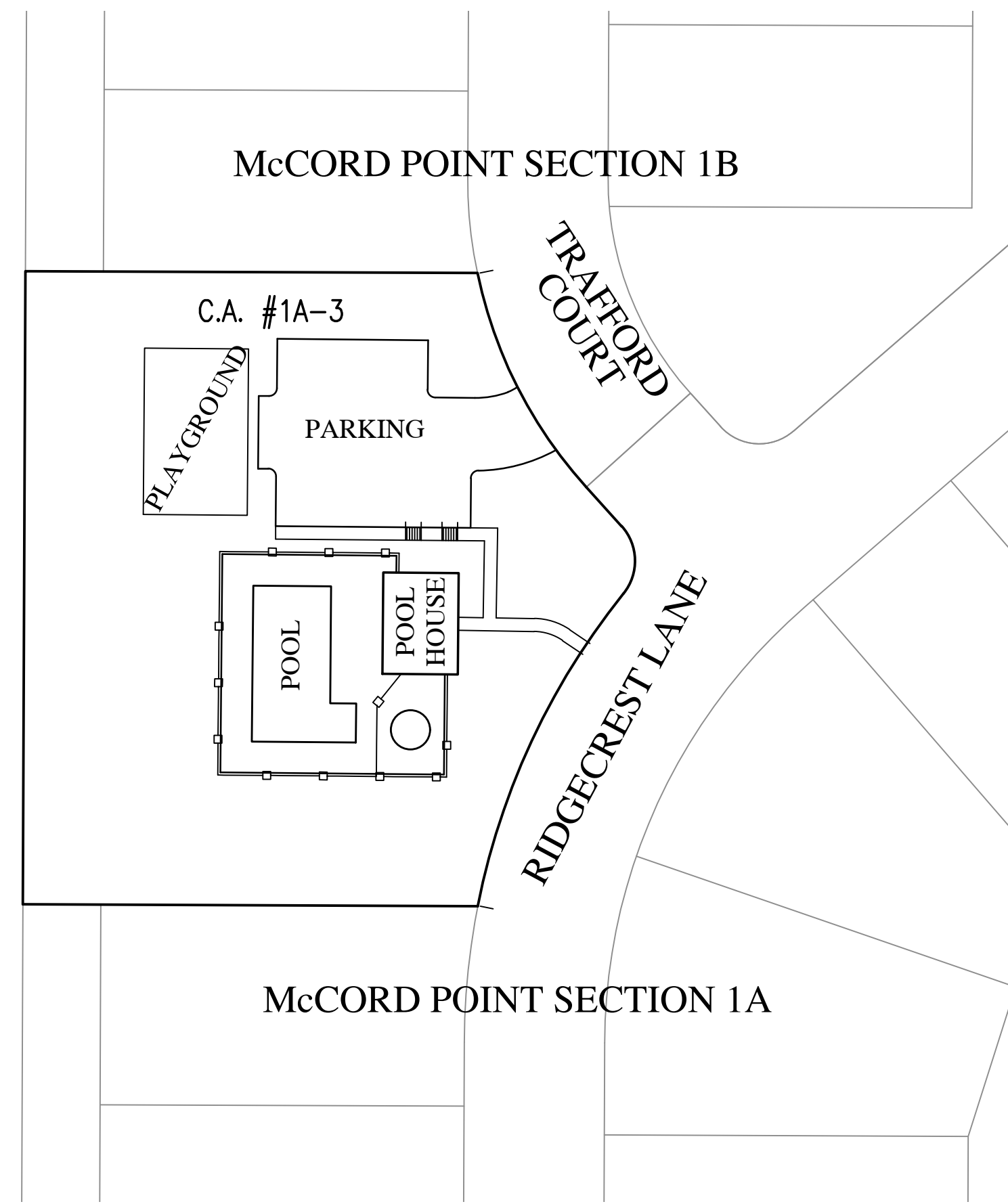
- Br - Brookston silty clay loam, 0 to 2 percent slopes.**
 For the construction of local roads and streets, this soil is rated very limited due to a high potential for ponding, limited depth to a saturated zone (water table), high potential for frost action, moderate potential for shrink/swell action, and low strength. For the construction of homes, this soil is rated very limited due to a limited depth to a saturated zone (water table) and high potential for ponding. The potential for shrink/swell action is low however.
- CrA - Crosby silty loam, fine-loamy subsoil, 0 to 2 percent slopes.**
 For the construction of local roads and streets, this soil is rated very limited due to a high potential for frost action, limited depth to a saturated zone (water table), and low strength. For the construction of homes, this soil is rated very limited due to a limited depth to a saturated zone (water table).

SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1	SITE IMPROVEMENTS PLAN
C1.2	GRADING PLAN
C1.3	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION & DEMOLITION PLAN
C1.4	ACTIVE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.5	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.6	UTILITY PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS
C8.0	STORMWATER POLLUTION PREVENTION NOTES
C8.1-C8.4	STORMWATER POLLUTION PREVENTION DETAILS
C8.5	CONSTRUCTION DETAILS

McCORDSVILLE TOWN STANDARDS SHEET LIST TABLE

Sheet Title	Sheet Description
1	DIRECTIONS FOR USE & GENERAL NOTES
2	RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS
3	RIGHT-OF-WAY DETAILS
4	UTILITY LOCATION GUIDELINES
5	DRIVE WAY & HANDICAP RAMP DETAILS
6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES
8	SANITARY SEWER SPECIFICATIONS
9	SANITARY SEWER DETAILS
10	SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES



SITE MAP
SCALE: 1" = 50'

BENCHMARK INFORMATION:

CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST. SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION 3' WEST OF A FIRE HYDRANT. ELEVATION = 847.28 (NGVD 29)

CONTACT INFORMATION:

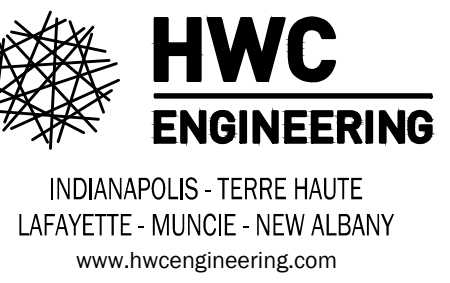
CITIZENS ENERGY GROUP/ CWA AUTHORITY, INC. (WATER) BRAD HOSTETLER 2150 DR. MARTIN LUTHER KING JR. STREET INDIANAPOLIS, INDIANA 46202 P: (317) 927-4351 BHOSTETLER@CITIZENSENERGYGROUP.COM	NINESTAR CONNECT (Electric & Telecom) ERIC MEYER (317) 323-2074 2243 East Main Street Greenfield, Indiana 46140 EMEYER@NINESTARCONNECT.COM	COMCAST MATT STRINGER 5330 E. 65th Street Indianapolis, IN 46220 P: (317) 774-3384 F: (317) 219-5090 matthew_stringer@cable.comcast.com	VECTREN SANDRA CASEY 16000 Allisonville Road Noblesville, Indiana 46061 P: (317) 776-5532 F: (317) 776-5553 Mailing Address: P.O. Box 1700 Noblesville, Indiana 46061 sandra.casey@centerpointenergy.com
McCORDSVILLE FIRE DEPARTMENT 7580 N Form Street McCordsville, Indiana 46055 P: (317) 335-9236	TOWN OF McCORDSVILLE PLANNING AND BUILDING DEPT RYAN CRUM 6280 W 800 N McCordsville, Indiana 46055 P: (317) 335-3604 rcrum@mccordsville.org	TOWN OF McCORDSVILLE ENGINEERING DEPARTMENT MARK WITSMAN 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3604 mwitsman@mccordsville.org	TOWN OF McCORDSVILLE PUBLIC WORKS RON CRIDER 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3493 rcrider@mccordsville.org

SITE DATA

LOTS: 0
 DISTURBED AREA: 1.0 AC
 START CONSTRUCTION: SEPTEMBER 2020
 END CONSTRUCTION: APRIL 2021
 ZONED McCORD POINTE AMENDED PUD ORDINANCE NO. 101017B, AN ORDINANCE AMENDING THE TOWN OF McCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

PLAN COMMISSION APPROVAL	_____
DRAINAGE APPROVAL	_____
ADDRESS APPROVAL	_____
EROSION CONTROL APPROVAL	_____
COUNTY ENGINEER APPROVAL	_____
COUNTY SANITARIAN APPROVAL	_____
COUNTY COMMISSIONERS APPROVAL	_____

REVISIONS		
DATE	DESCRIPTION	BY

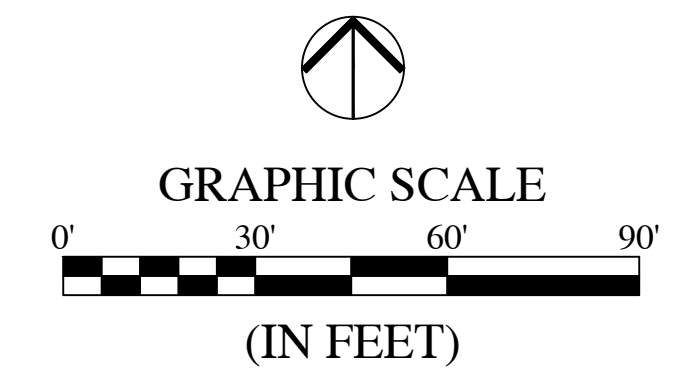


MCCORD POINTE
 MCCORDSVILLE, INDIANA
 COVER



DRAWN BY DC	JOB NUMBER 2019-003-A
CHECKED BY KE	
DATE JANUARY 17, 2020	
SCALE AS SHOWN	
SHEET	
C1.0	
COVER	

- NOTES:
1. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED.
 2. THERE SHALL BE NO DIRT, DEBRIS OR STORAGE OF MATERIALS IN THE STREET.
 3. THIS SHEET TO BE USED FOR STORMWATER POLLUTION PREVENTION PURPOSES ONLY.
 4. GEOTEXTILE FABRIC SHALL BE PLACED UNDER STONE LAYER OF THE CONSTRUCTION ENTRANCE.
 5. ALL PORTABLE TOILETS MUST BE ANCHORED TO PREVENT SPILLS.
 6. WHERE EXISTING DRAIN TILES OR FIELD TILES ARE ENCOUNTERED WHERE APPLICABLE, INTERCEPT EXISTING TILES AND TIE THEM INTO THE STORM SYSTEM.
 7. SHOULD THE CONTRACTOR CHOOSE TO UTILIZE LIME STABILIZATION FOR SOIL SUBGRADE UNDER PAVED AREAS, PLEASE REFERENCE NOTES ON CONSTRUCTION PLAN SHEET C8.0. WHILE THE NOTES ON SHEET C8.0 SHALL SERVE AS GENERAL GUIDELINES FOR USE OF LIME STABILIZATION, THE CONTRACTOR SHALL ADHERE TO SPECIFIC GUIDELINES AND SPECIFICATIONS FOR TRANSPORTATION, HANDLING, APPLICATION, CONTAINMENT AND SAFETY OF THE STABILIZATION MATERIAL AS OUTLINED BY THE MANUFACTURER AND/ OR SUPPLIER.



Call 811 or 800-382-5544 Before you Dig!

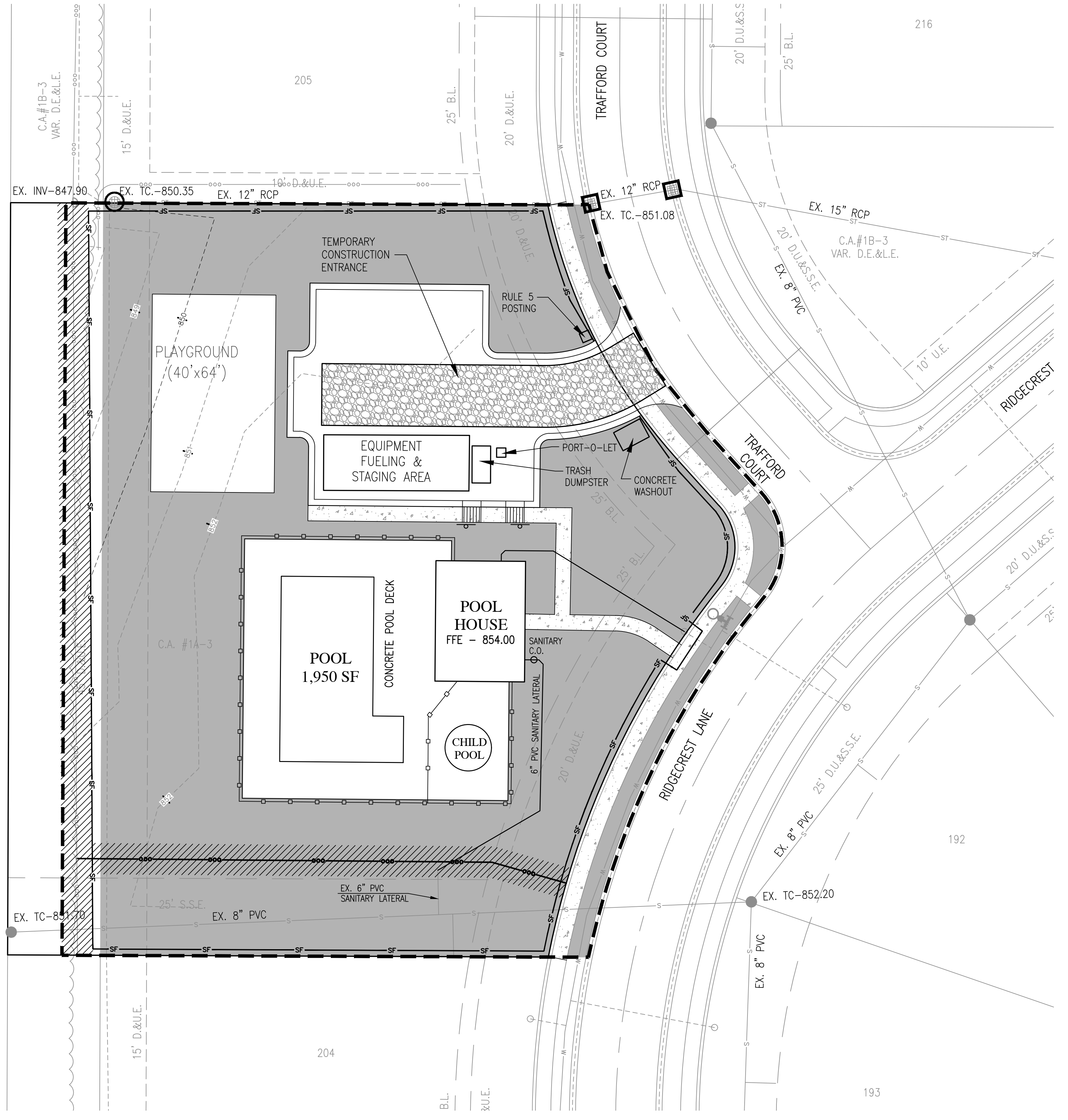
LEGEND:

EXISTING	PROPOSED
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)
(Symbol)	(Symbol)

REVISIONS		
DATE	DESCRIPTION	BY
04/12/19	REVISED LAYOUT PER CLIENT REQUEST	DC

HWC ENGINEERING
 INDIANAPOLIS - TERRE HAUTE
 LAFAYETTE - MUNCIE - NEW ALBANY
 www.hwceengineering.com

MCCORD POINTE AMENITY AREA
 ACTIVE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN



PERSON ONSITE RESPONSIBLE FOR EROSION CONTROL:
 BILL BRYANT
 LENNAR HOMES OF INDIANA, INC.
 PHONE: 317-450-4634
 EMAIL: WILLIAM.BRYANT@LENNAR.COM

NOTE:
 SEE SHEET C8.0 FOR A LIST IN SEQUENCE OF CONSTRUCTION ACTIVITIES.

THIS SHEET TO BE USED FOR EROSION CONTROL ONLY.

PREPARED BY:
 HWC ENGINEERING
 135 N. PENNSYLVANIA ST., SUITE 2800
 INDIANAPOLIS, IN 46204
 P: 317-347-3663

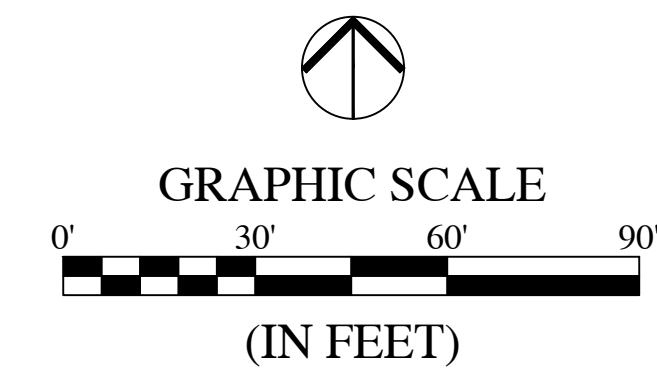
PROFESSIONAL ENGINEER
 BRANDON T. BURK
 No. 10000075
 STATE OF INDIANA

DRAWN BY DC	JOB NUMBER 2019-005-A
CHECKED BY BB	
DATE JANUARY 17, 2020	SHEET
SCALE AS SHOWN	

C1.4
 ACTIVE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN

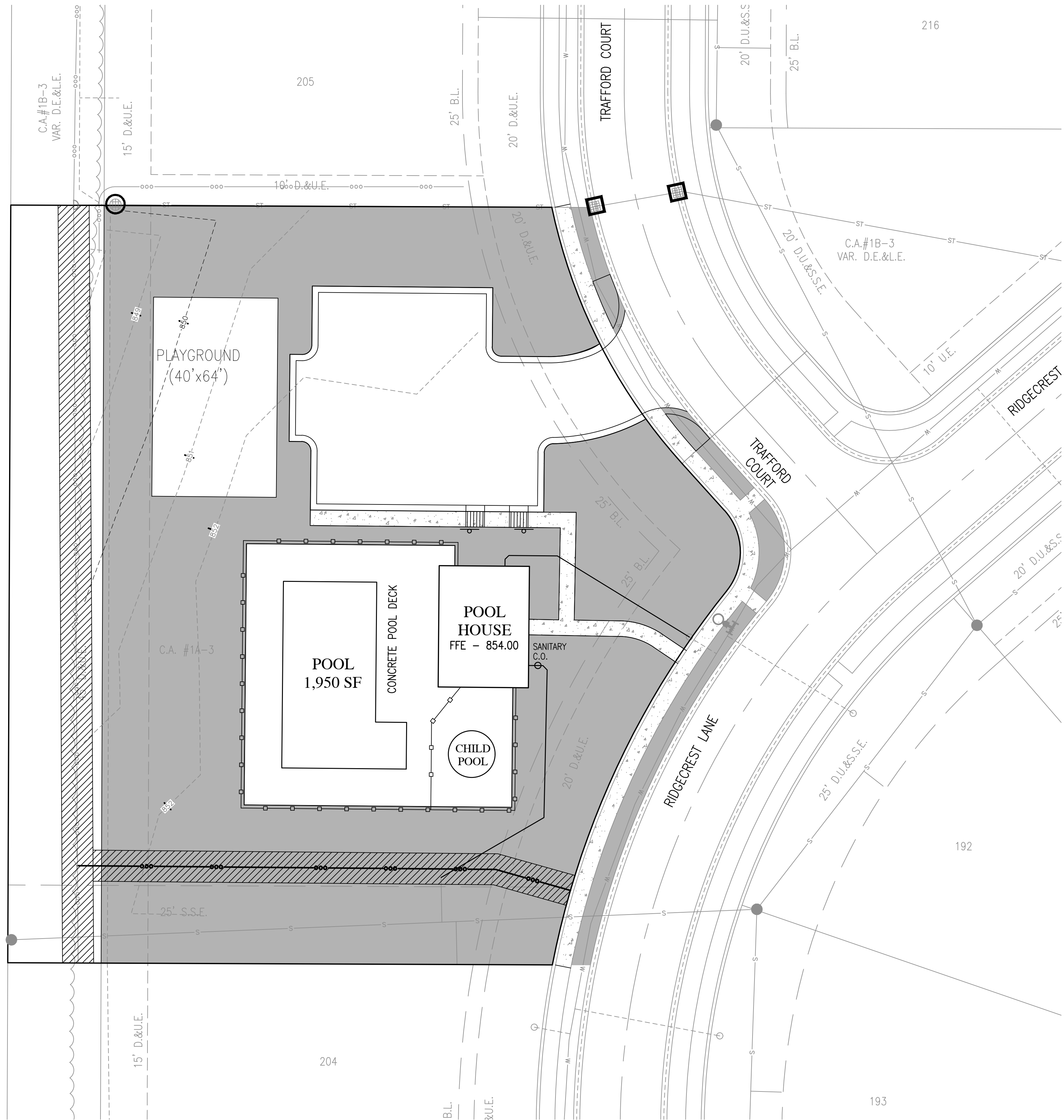
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 Plot Time: 12:03pm
 Date: Mar 17, 2020
 By: Lemith

- NOTES:
1. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED.
 2. THERE SHALL BE NO DIRT, DEBRIS OR STORAGE OF MATERIALS IN THE STREET.
 3. THIS SHEET TO BE USED FOR STORMWATER POLLUTION PREVENTION PURPOSES ONLY.
 4. GEOTEXTILE FABRIC SHALL BE PLACED UNDER STONE LAYER OF THE CONSTRUCTION ENTRANCE.
 5. ALL PORTABLE TOILETS MUST BE ANCHORED TO PREVENT SPILLS.
 6. WHERE EXISTING DRAIN TILES OR FIELD TILES ARE ENCOUNTERED WHERE APPLICABLE, INTERCEPT EXISTING TILES AND TIE THEM INTO THE STORM SYSTEM.
 7. SHOULD THE CONTRACTOR CHOOSE TO UTILIZE LIME STABILIZATION FOR SOIL SUBGRADE UNDER PAVED AREAS, PLEASE REFERENCE NOTES ON CONSTRUCTION PLAN SHEET C8.0. WHILE THE NOTES ON SHEET C8.0 SHALL SERVE AS GENERAL GUIDELINES FOR USE OF LIME STABILIZATION, THE CONTRACTOR SHALL ADHERE TO SPECIFIC GUIDELINES AND SPECIFICATIONS FOR TRANSPORTATION, HANDLING, APPLICATION, CONTAINMENT AND SAFETY OF THE STABILIZATION MATERIAL AS OUTLINED BY THE MANUFACTURER AND/OR SUPPLIER.



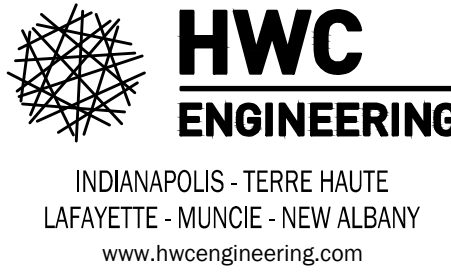
LEGEND:

EXISTING	PROPOSED
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	EASEMENT LINE
	SETBACK LINE
	CENTERLINE
	SWALE / FLOWLINE
	FENCE
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER MAIN
	EXISTING GAS LINE
	EXISTING TELEPHONE LINE
	EXISTING ELECTRIC LINE
	PERMANENT SEEDING / SOODING
	EXISTING "DROP INLET PROTECTION BASKET"
	EXISTING CURB INLET PROTECTION SEE SHEET C8.1 FOR DETAIL
	EROSION CONTROL BLANKET



REVISIONS

DATE	DESCRIPTION	BY
04/12/19	REVISED LAYOUT PER CLIENT REQUEST	DC



MCCORD POINTE
 AMENITY AREA
 POST CONSTRUCTION STORMWATER
 POLLUTION PREVENTION PLAN

PERSON ONSITE RESPONSIBLE FOR EROSION CONTROL:
 BILL BRYANT
 LENNAR HOMES OF INDIANA, INC.
 PHONE: 317-450-4634
 EMAIL: WILLIAM.BRYANT@LENNAR.COM

NOTE:
 SEE SHEET C8.0 FOR A LIST IN SEQUENCE
 OF CONSTRUCTION ACTIVITIES.

**THIS SHEET TO BE USED FOR
 EROSION CONTROL ONLY.**

PREPARED BY:
 HWC ENGINEERING
 135 N. PENNSYLVANIA ST., SUITE 2800
 INDIANAPOLIS, IN 46204
 P: 317-347-3663



BRANDON T. BRYANT

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DATE JANUARY 17, 2020	
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C1.5
 POST CONSTRUCTION
 STORMWATER POLLUTION
 PREVENTION PLAN

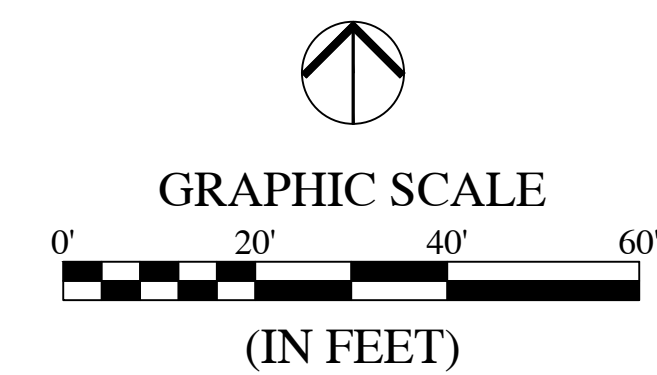
File Name: W:\calatlantic_homes\2019-263-a lenar- mccord pointe amenity\Design\CAD\19263-A.Graing & Utility Plan.dwg, Layout: C1.6 By: tomth
 Plot Time: 12:05pm
 Plot Date: Mar 17, 2020

WATER SYSTEM NOTES:

1. ALL WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITIZENS ENERGY GROUP TYPICAL CONSTRUCTION SPECIFICATIONS AND DETAILS, AND SHALL MEET THE MINIMUM REQUIREMENTS OF THE INDIANA STATE BOARD OF HEALTH.
2. WATER MAINS AND SERVICE LINES SHALL HAVE A MINIMUM OF 4'-5" OF COVER OVER THE TOP OF THE PIPE. A MINIMUM OF 18-INCHES VERTICAL SEPARATION AND 10'-0" HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND SEWERS (SANITARY AND STORM). PIPE DEPTHS SHOWN ON THESE PLANS ARE REFERENCED TO THE INVERT OF PIPE.
3. THE PROPOSED WATER SERVICE LINE WILL BE CONNECTED TO AN EXISTING WATER METER PIT. THE CONTRACTOR SHALL PERFORM ALL THE WORK ASSOCIATED WITH CONNECTIONS TO THE EXISTING FACILITIES. THE CONTRACTOR SHALL COORDINATE THE CLOSURE OF VALVES, INSPECTION, AND ALL SERVICE SHUT-OFFS WITH CITIZENS ENERGY GROUP.
4. TRENCHES UNDER PAVED AREAS SHALL BE BACKFILLED AND COMPACTED IN LIFTS WITH "B-BORROW" OR APPROVED GRANULAR MATERIAL PER INDOT STANDARD SPECIFICATION SECTION 211. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE LIMITS OF THE PAVED AREA WITH A 1:1 SLOPE OUTWARD TO THE BOTTOM OF THE TRENCH.
5. THE COMPLETED WATER SERVICE LINE SHALL BE TESTED AND DISINFECTED IN ACCORDANCE WITH CITIZENS ENERGY GROUP REQUIREMENTS.

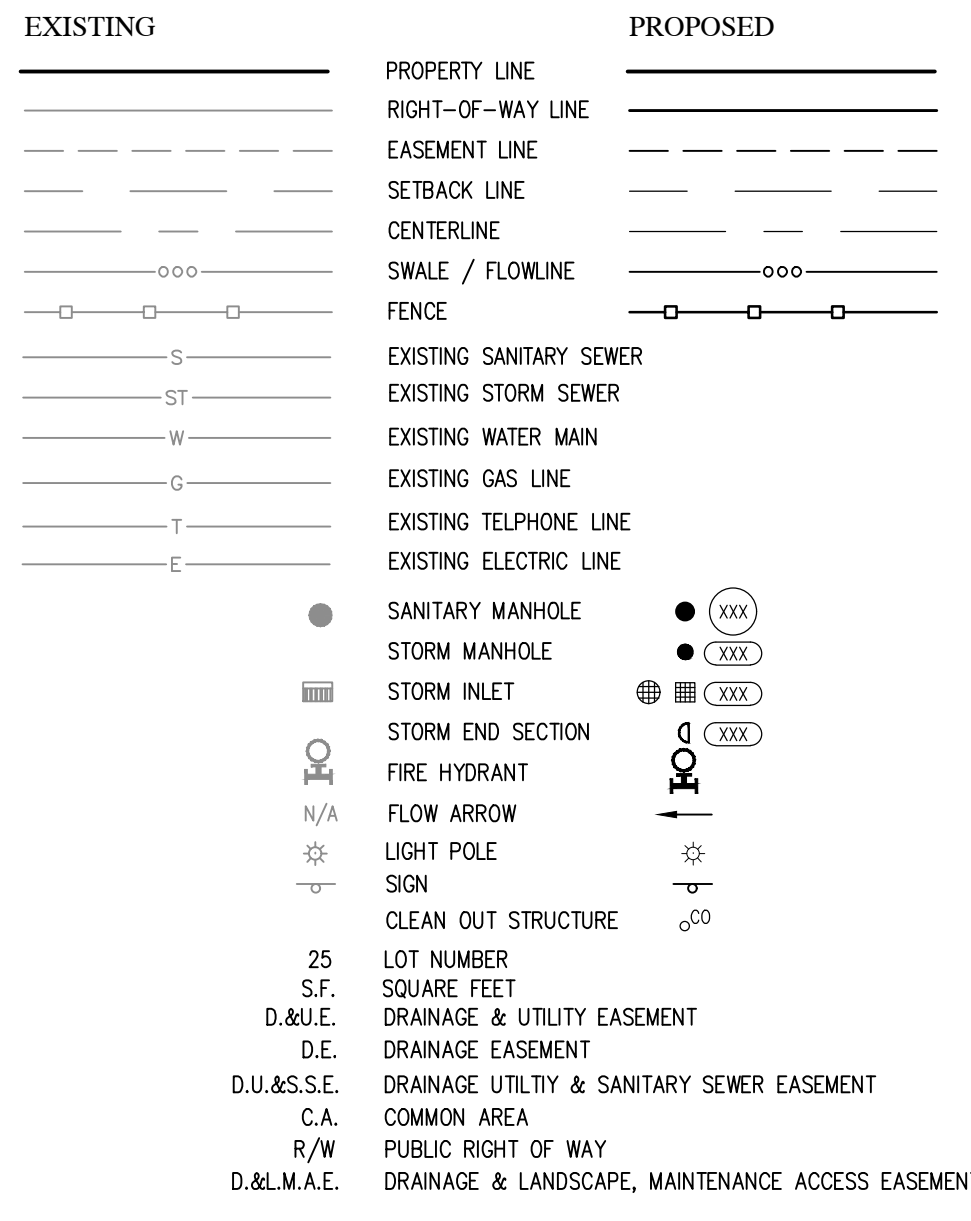
UTILITY NOTES:

1. THE PROPOSED BUILDINGS SHALL BE CONSTRUCTED ACCORDING TO ARCHITECTURAL CONSTRUCTION PLANS.
REFER TO ARCHITECTURAL PLANS FOR ALL INFORMATION REGARDING UTILITY LAYOUT AND DETAILS WITHIN THE BUILDING AND EXTENDING OUT 5' FROM EXTERIOR FACE OF BUILDING. ALL MEP DESIGN AND COORDINATION IS THE RESPONSIBILITY OF ARCHITECT/CONTRACTOR. SITE WORK CONTRACTOR TO COORDINATE WITH ALL TRADES PRIOR TO START OF WORK.
2. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR INFORMATION.
3. ALL EXCAVATED TRENCHES UNDER PROPOSED PAVED AREAS INCLUDING SIDEWALKS SHALL BE BACKFILLED WITH GRANULAR MATERIAL PER INDOT STANDARD SPECIFICATIONS, SECTION 211, AND COMPACTED IN LIFTS. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE LIMITS OF THE PAVED AREA AT THE SURFACE WITH A 1:1 SLOPE OUTWARD TO THE BOTTOM OF THE TRENCH.
4. ALL WATER SERVICE AND SANITARY LINES SHALL BE IN CONFORMANCE WITH APPLICABLE INDIANA STATE DEPARTMENT OF HEALTH REGULATIONS AND GUIDELINES.



Call 811 or 800-382-5544 Before you Dig!

LEGEND:

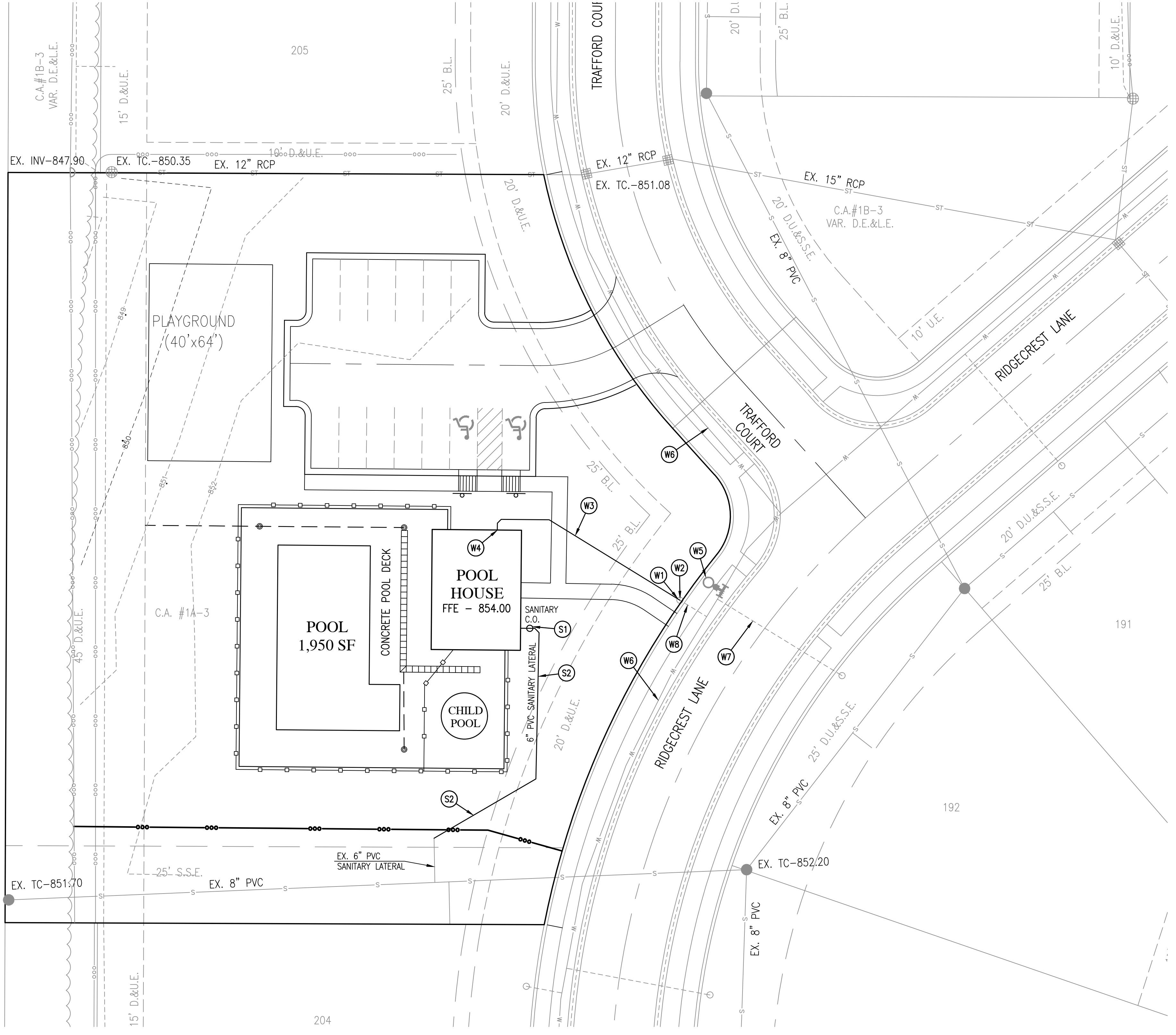


SITE UTILITY PLAN KEYNOTES:

- ① (NOT ALL KEY NOTES APPLY TO THIS SHEET)
- SANITARY SEWER**
 - S1. 6" SDR35 SANITARY LATERAL AT 1.0% MIN SLOPE (2% PREFERRED). LATERAL SEWER CLEANOUT WITHIN 3' OF BUILDING. CONTRACTOR TO NOTIFY ENGINEER IF FIELD CONDITIONS DIFFER PRIOR TO CONSTRUCTION. COORDINATE LOCATION WITH ARCHITECTURAL PLANS.
 - S2. SANITARY LATERAL CLEANOUT.
- WATER SERVICE**
 - W1. CONNECT TO EXISTING 1" WATER METER PIT.
 - W2. 1" SERVICE WATER METER PIT.
 - W3. 1" DOMESTIC WATER SERVICE LINE. 70 LF
 - W4. COORDINATE CONNECTION TO POOL HOUSE PER ARCHITECTURAL PLANS.
 - W5. EXISTING FIRE HYDRANT.
 - W6. EXISTING 8" WATERMAIN.
 - W7. EXISTING 3/4" WATER LATERAL.
 - W8. EXISTING 1" WATER LATERAL.
- ELECTRIC SERVICE** (TO BE DETERMINED. ITEMS NOT SHOWN)
- TELECOMMUNICATIONS** (TO BE DETERMINED. IF REQUIRED: ITEMS NOT SHOWN)
- GAS SERVICE** (TO BE DETERMINED. IF REQUIRED: ITEMS NOT SHOWN)

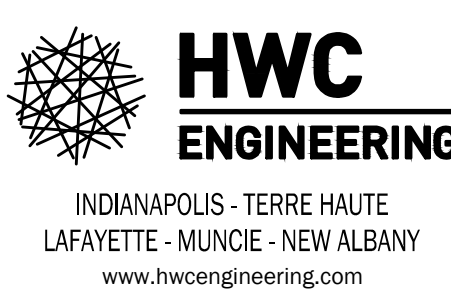
SANITARY SEWER NOTES:

1. THE SANITARY SEWER SHALL MEET THE REQUIREMENTS OF HCRSD AND INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (IDEM) AND INDIANA STATE DEPARTMENT OF HEALTH FOR SANITARY SEWER COLLECTION SYSTEMS. SANITARY SEWER LATERAL TO BE CONSTRUCTED OF POLYVINYL CHLORIDE (PVC) SDR-35 PIPE. JOINTS SHALL BE GASKETED BELL AND SPOUT TYPE WITH THE BELL MADE INTEGRAL WITH THE PIPE. SANITARY SEWERS SHALL BE SDR-26 PIPE FOR DEPTHS OF 15 FT OR GREATER.
2. SANITARY SEWER LATERALS FOR BUILDING CONNECTIONS SHALL BE 6" DIAMETER PVC SDR-35, LAID AT A MINIMUM SLOPE OF 1.00%.
3. THE COMPLETED SANITARY SEWER SHALL BE HIGH PRESSURE WATER JET CLEANED AND TESTED IN ACCORDANCE WITH HCRSD REQUIREMENTS. ALL COSTS OF CLEANING AND TESTING ARE TO BE BORNE BY THE CONTRACTOR.
4. A MINIMUM OF 18" VERTICAL SEPARATION AND 10'-0" HORIZONTAL SEPARATION TO BE MAINTAINED BETWEEN THE WATER MAINS, HYDRANTS AND SEWERS (SANITARY AND STORM).
5. TRENCHES UNDER PAVED AREAS (EXCLUDING SIDEWALKS) SHALL BE BACKFILLED WITH GRANULAR MATERIAL PER INDIANA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", CURRENT EDITION, SECTION 211, AND COMPACTED IN LIFTS. GRANULAR MATERIAL SHALL EXTEND 5 FT BEYOND THE LIMITS OF THE PAVED AREA WITH A 1:1 OUTWARD SLOPE TO THE BOTTOM OF THE TRENCH.
6. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND THE PIPE INVERT DEPTH WHERE THE PROPOSED CONNECTION IS MADE TO THE EXISTING SANITARY SEWER. VERTICAL DEVIATIONS GREATER THAN 0.1 FT. AND HORIZONTAL DEVIATIONS GREATER THAN 1.0 FT. SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION AT THAT LOCATION.
7. MANHOLE OR CLEAN-OUT CASTINGS MAY NEED TO BE ELEVATED AFTER FINAL GRADING TO INSURE DRAINAGE AWAY FROM STRUCTURES.

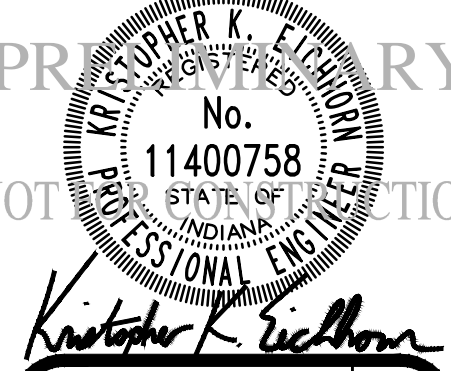


PREPARED BY:
HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
P: 317-347-3663

REVISIONS		
DATE	DESCRIPTION	BY



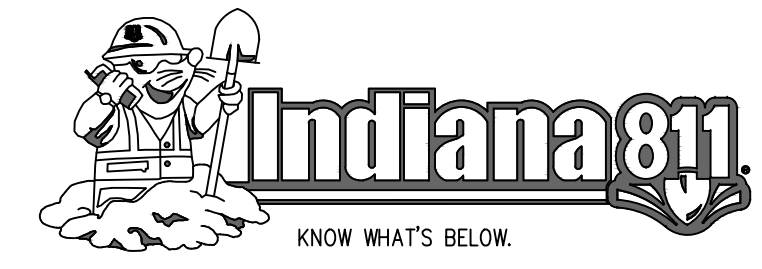
MCCORD POINTE
 AMENITY AREA
 UTILITY PLAN



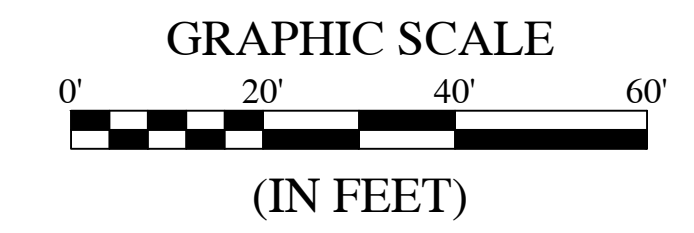
DRAWN BY TS	JOB NUMBER 2019-003-A SHEET
CHECKED BY KE	
DATE JANUARY 17, 2020	
SCALE AS SHOWN	
PREPARED BY: C1.6	

PLANT SCHEDULE:

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	CALIPER	HGT	ROOT	SPACING	REMARKS
SHADE TREES								
ACE-S	ACER SACCHARUM	SUGAR MAPLE	2	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
TIL-T	TILIA TOMENTOSA	SILVER LINDEN	2	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
ORNAMENTAL TREES								
CER-C	CERCIS CANADENSIS	REDBUD	1	1.5"	8'	B&B	SEE PLAN	CENTRAL LEADER
DECIDUOUS SHRUBS								
HYD-Q	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN HYDRANGEA	10	-	24"	#5 CONT	36" O.C.	FULL IN POT
FOT-G	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	14	-	24"	#5 CONT	36" O.C.	FULL IN POT
EVERGREEN SHRUBS								
BUX-G	BUXUS X 'GREEN MOUNTAIN'	GREEN GREEN MOUNTAIN BOXWOOD	17	-	24"	#5 CONT	36" O.C.	FULL IN POT
ILE-G	ILEX GLABRA 'DENSA'	DENSA COMPACT INKBERRY	6	-	24"	#5 CONT	48" O.C.	FULL IN POT
PIC-O	PICEA OMORIKA 'NANA'	DWARF SERBIAN SPRUCE	15	-	24"	#10 CONT	48" O.C.	FULL IN POT
GROUNDCOVERS								
CAR-P	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	115	-	-	CLUMP #2 CONT	24" O.C.	FULL IN POT



Call 811 or 800-382-5544 Before you Dig!



LEGEND:

- [XXXX] QUANTITY / KEY
- SHADE TREE - 2 1/2" CALIPER
- SHADE TREE - MULTI TRUNK
- ⊗ EVERGREEN TREE
- ⊙ ORNAMENTAL TREE - 1 1/2" CALIPER
- ⊘ DECIDUOUS SHRUB
- ⊙ EVERGREEN SHRUB
- ▨ GROUNDCOVER
- SPADE EDGE BED LINE
- SEE PLANTING BED PERIMETER DETAIL FOR INFORMATION

NOTES:

- LANDSCAPING AS SHOWN SUBJECT TO UTILITIES, GRADING AND DRAINAGE IMPROVEMENTS AND EASEMENTS.
- ALL LANDSCAPING WITHIN THE ENTRANCE MEDIAN WILL BE MAINTAINED BY THE HOA.
- STREET TREES SHALL BE INSTALLED IN THE LOCATION SHOWN ON THE PLANS.
- ALL PLANTING BEDS WITH ADJOINING LAWN AREAS SHALL BE EDGED WITH A SPADE, UNLESS NOTED OTHERWISE.
- MULCH: FINELY SHREDDED HARDWOOD BARK, AGED TO BE APPLIED AT A THREE (3) INCH DEPTH FOR ALL PLANTING BEDS AND TREE SAUCERS.

PARKING REQ. (5309 SFT):

- ONE SHADE TREE PER 2,400 SQUARE FEET OF SURFACE AREA
- ONE SHRUB PER 500 SQUARE FEET OF SURFACE AREA

	TREES	SHRUBS
REQUIRED:	2	10
PROVIDED:	4	33

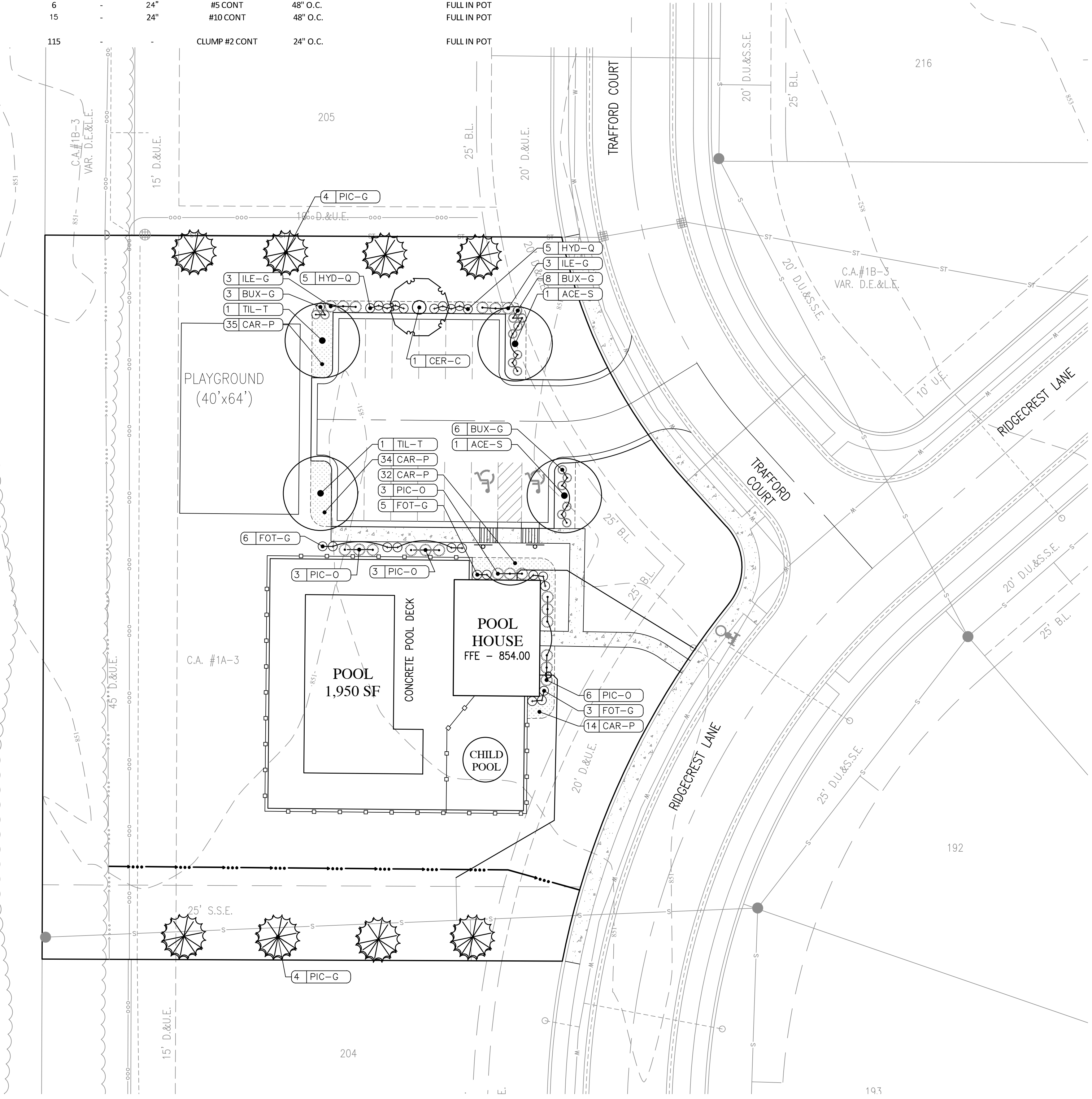
PARKING PERIMETER REQ. (65 LFT):

- A PERIPHERAL LANDSCAPING STRIP FOUR FEET WIDE SHALL BE INSTALLED ALONG THE SIDE OF ANY PARKING AREA THAT ABUTS ANY SIDE OR REAR PROPERTY LINE. AT LEAST ONE TREE FOR EACH 50 LINEAL FEET

REQUIRED:	1
PROVIDED:	1

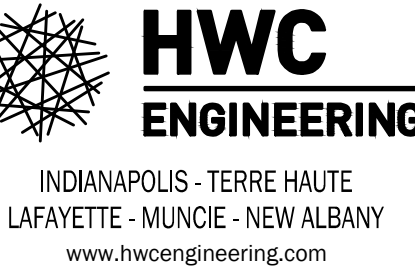
BUILDING PERIMETER REQ.:

- A PLANTING AREA FIVE FEET WIDE SHALL BE INSTALLED ALONG ALL SIDES OF BUILDINGS

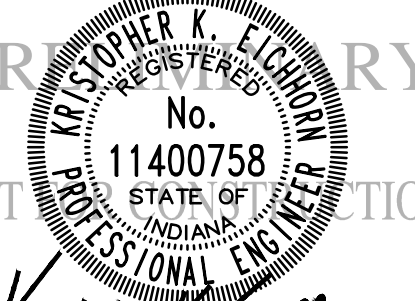


PREPARED BY:
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INDIANAPOLIS, IN 46204
P: 317-347-3663

REVISIONS		
DATE	DESCRIPTION	BY



MCCORD POINTE AMENITY AREA LANDSCAPE PLAN

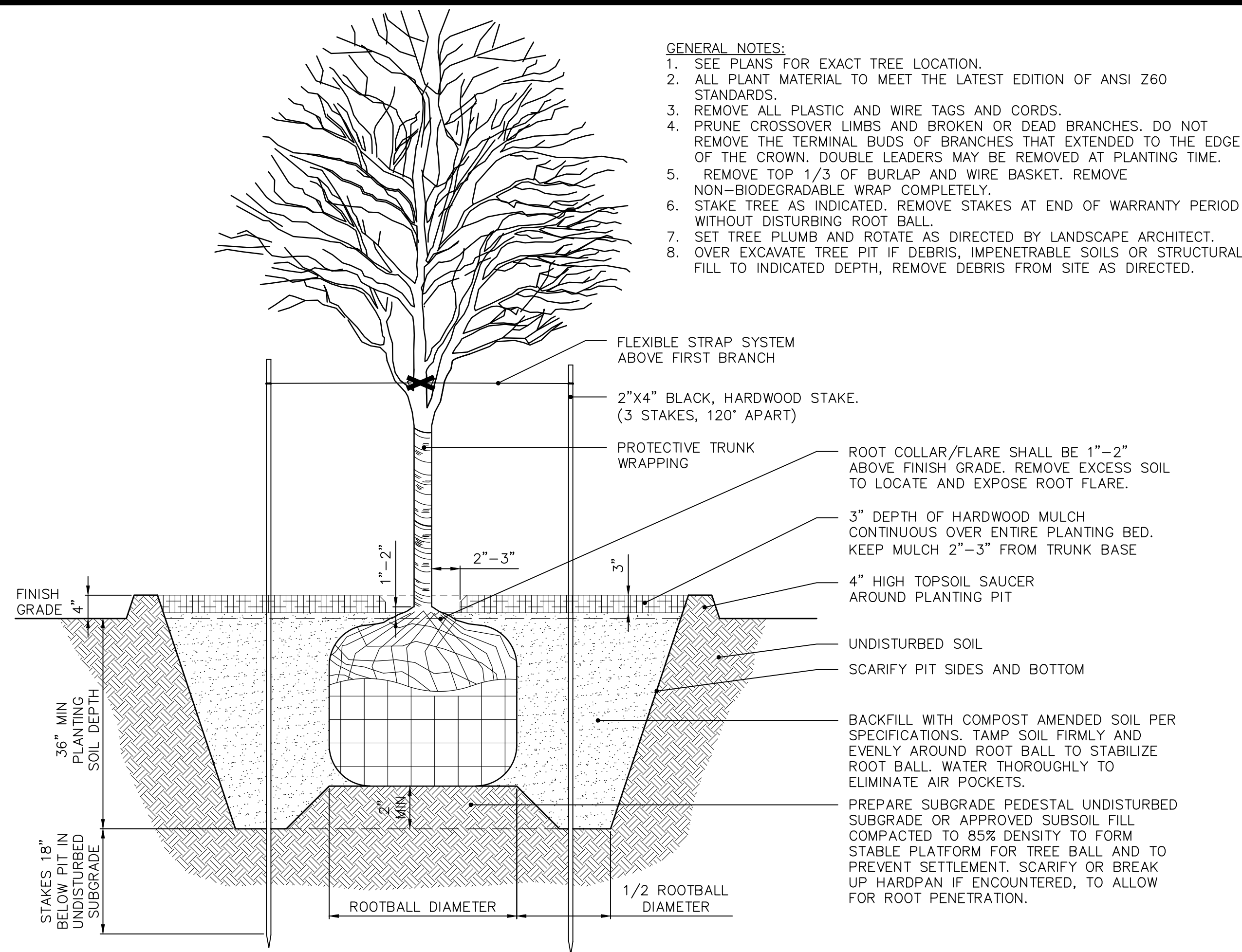


DRAWN BY	---
CHECKED BY	KE
DATE	JANUARY 17, 2020
SCALE	AS SHOWN
SHEET	---

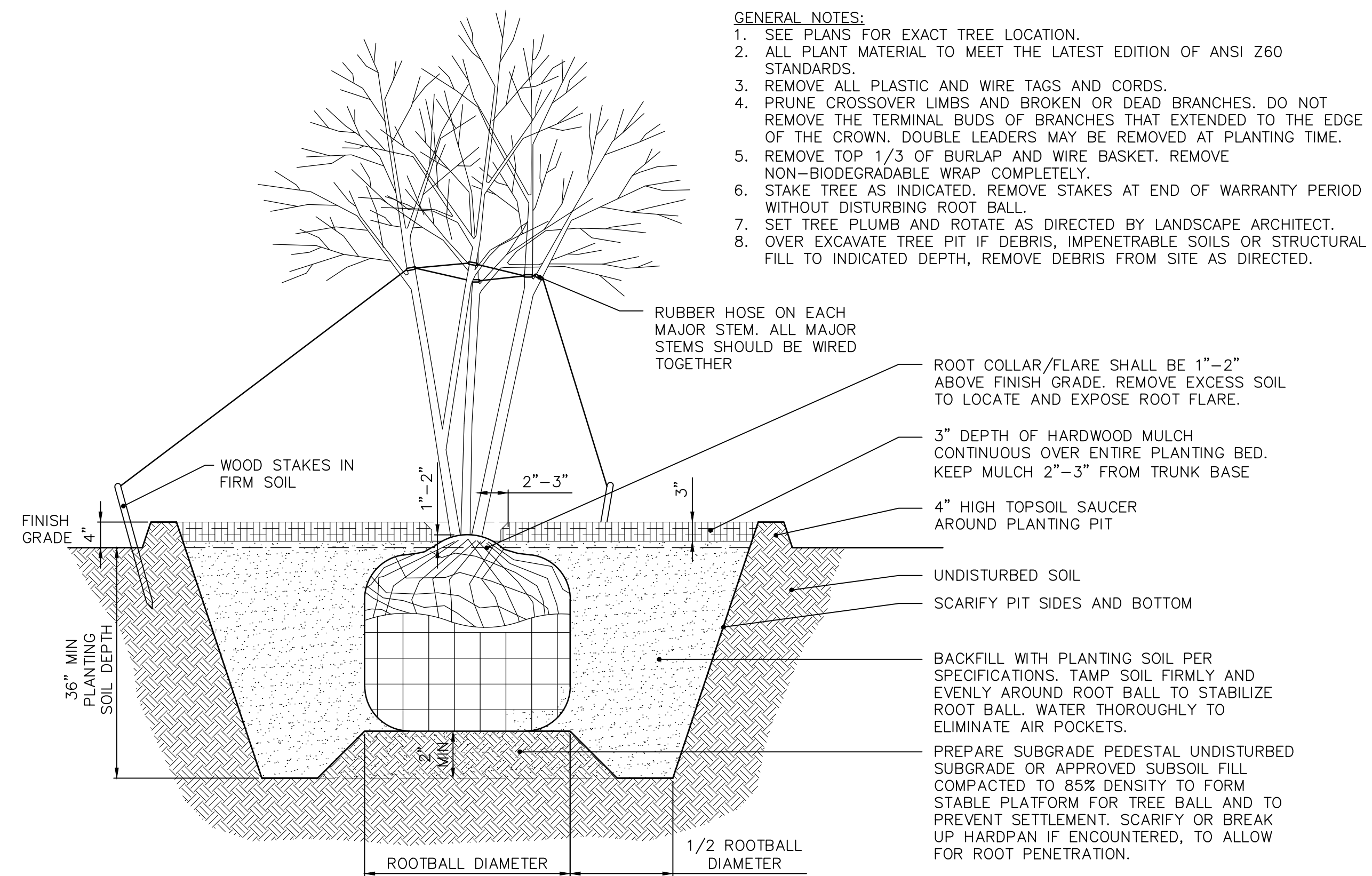
L1.0
LANDSCAPE PLAN

File Name: W:\calatlantic_homes\2019-263-a_lennar-mccord_pointe_amenity\Design\CAD\19263-A_Landscape_Plan.dwg, Layout: L1.0
 Plot Time: 12:06pm
 Date: Mar 17, 2020

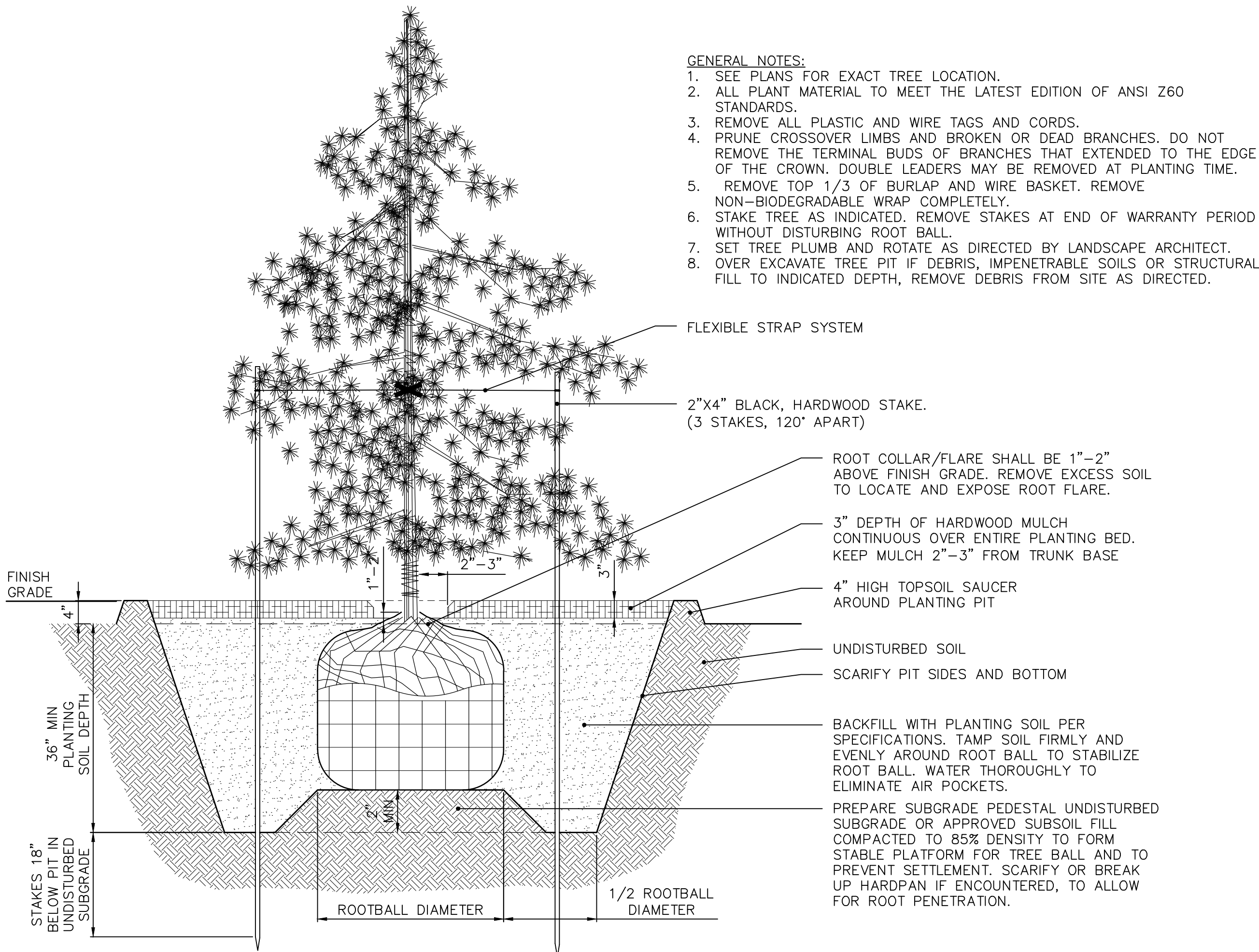
File Name: W:\calatlantic_homes\2019-263-e lennar- mccord pointe amenity\Design\CAD\19263-A Landscape Plan.dwg, Layout: L1.1
 Plot Time: 12:07pm
 Mar 17, 2020



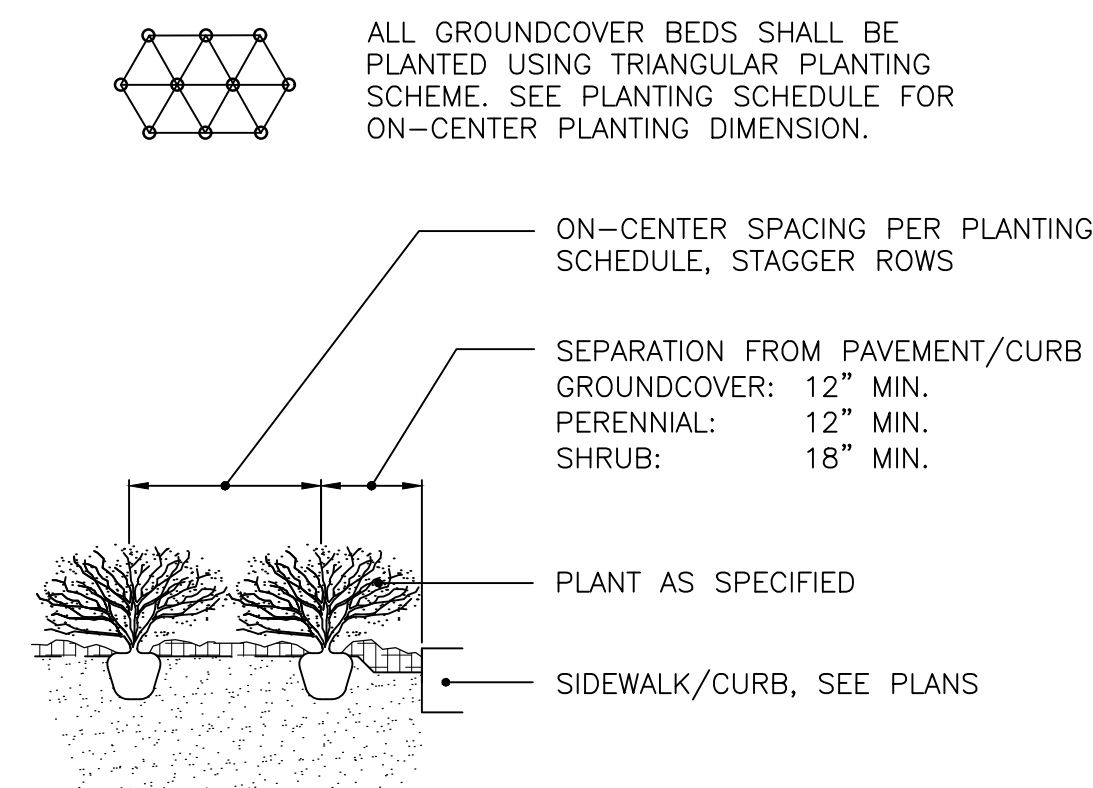
1 SINGLE STEM TREE PLANTING
NOT TO SCALE



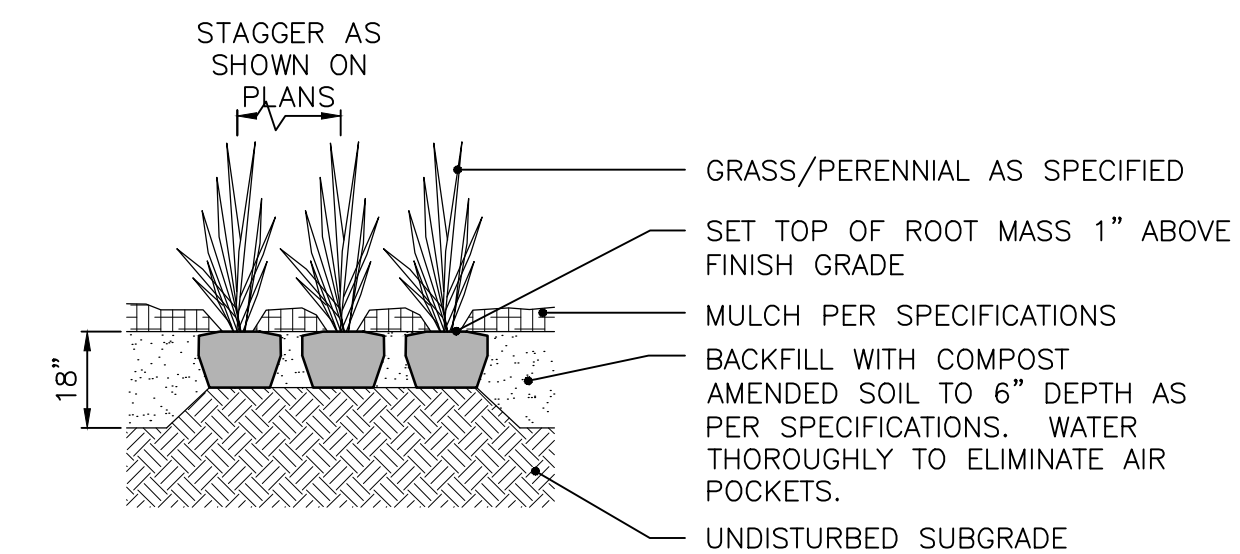
3 MULTI-STEM TREE PLANTING
NOT TO SCALE



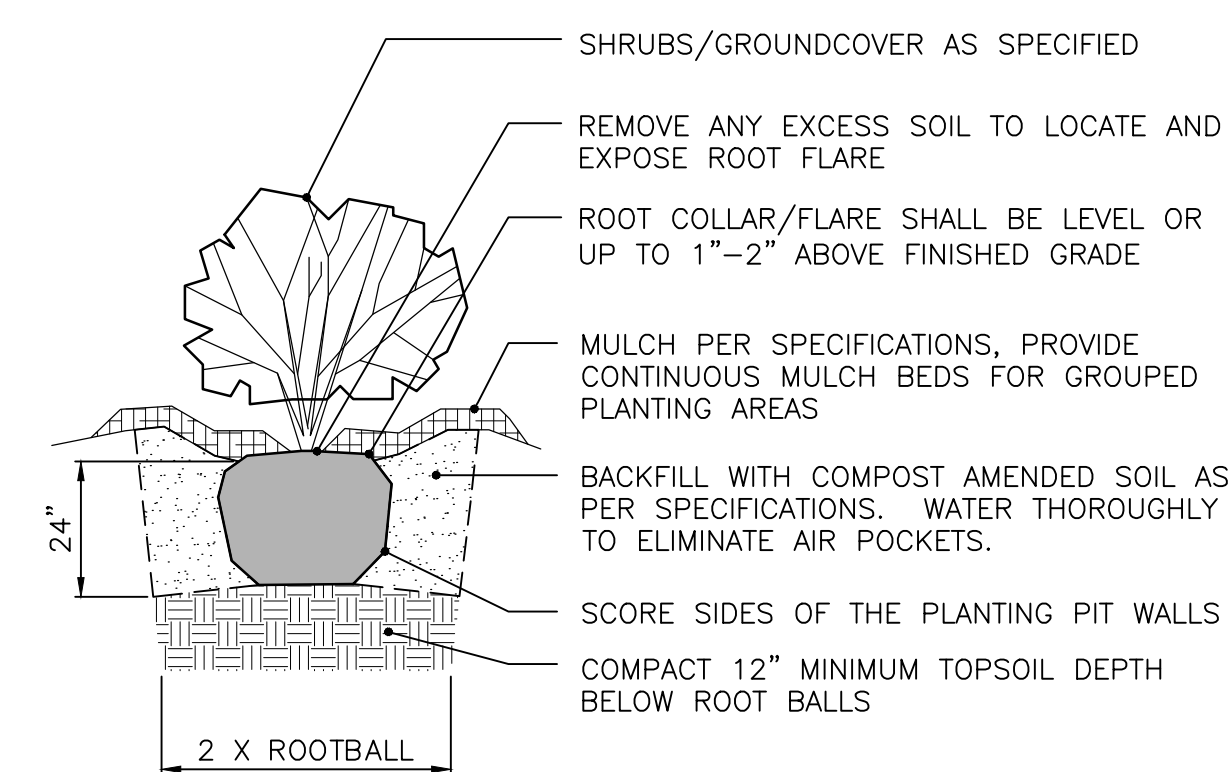
2 EVERGREEN TREE PLANTING
NOT TO SCALE



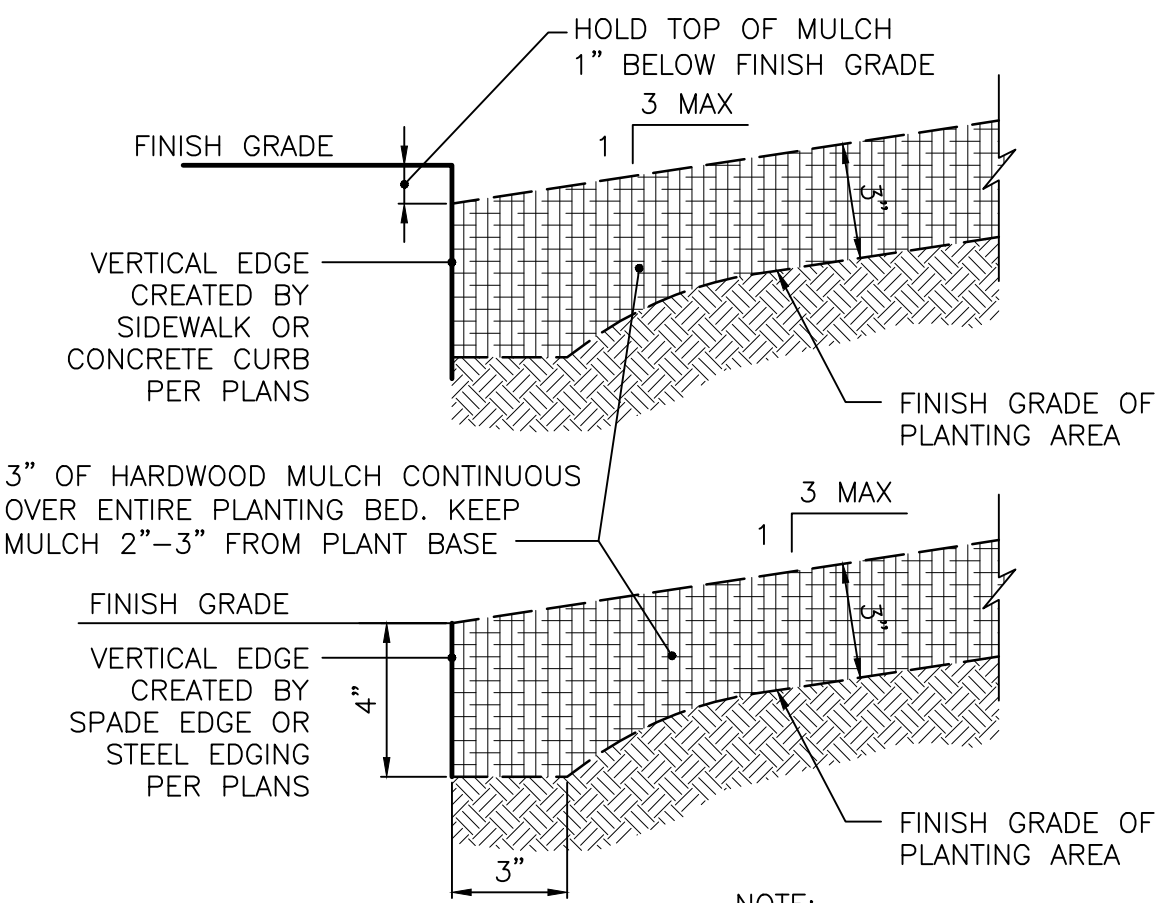
4 PLANT SPACING
NOT TO SCALE



6 PERENNIALS AND GRASSES
NOT TO SCALE



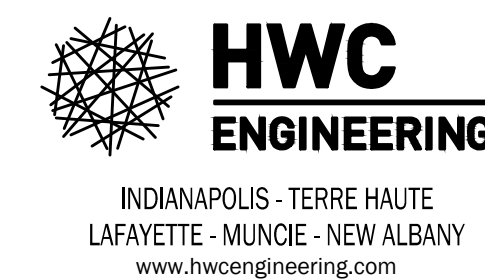
5 SHRUBS AND GROUNDCOVER
NOT TO SCALE



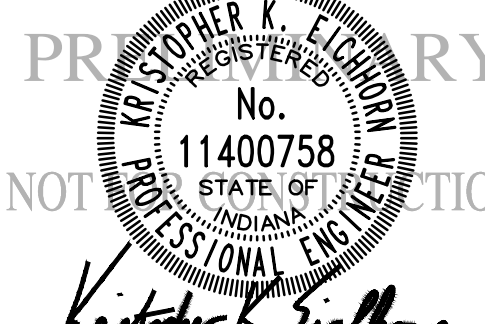
7 PLANTING BED PERIMETER
NOT TO SCALE

NOTE: EDGING SHALL BE INSTALLED AT ALL JUNCTIONS OF PLANTING/ MULCH AREAS FOR CONTAINMENT OF MULCH.

REVISIONS		
DATE	DESCRIPTION	BY



MCCORD POINTE AMENITY AREA
LANDSCAPE DETAILS



DRAWN BY: KE
 CHECKED BY: KE
 DATE: JANUARY 17, 2020
 SCALE: AS SHOWN
 SHEET: L1.1
 LANDSCAPE DETAILS