

Planning & Building Department 6280 W 800N McCordsville, IN 46055 Phone: 317.335.3604

Email: <u>building@mccordsville.org</u>

#### **PUBLIC HEARING INFORMATION**

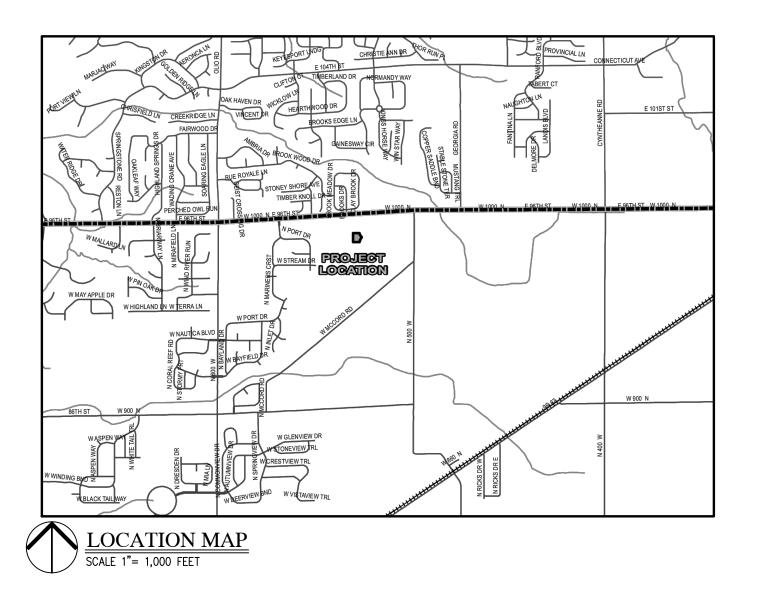
Case #: PC-20-002

Title: McCord Pointe Amenity Center Development Plan

<u>Meeting Date</u>: this zoning petition is currently scheduled to be heard at the March 31<sup>st</sup> Plan Commission (PC) meeting.

<sup>1</sup>Please note, due to COVID-19 virus spread, Town meetings may be cancelled or postponed. Any agenda items on agenda which is cancelled or postponed is automatically continued to the next available meeting. Please continue to check the Town's website for updates.

<sup>2</sup>Meeting agenda and staff report will be available on the website by end of business day on the Friday preceding the applicable meeting. Go to <a href="https://www.mcccordsville.org">www.mcccordsville.org</a> and click on "Agendas & Minutes".



## McCORD POINTE AMENITY AREA

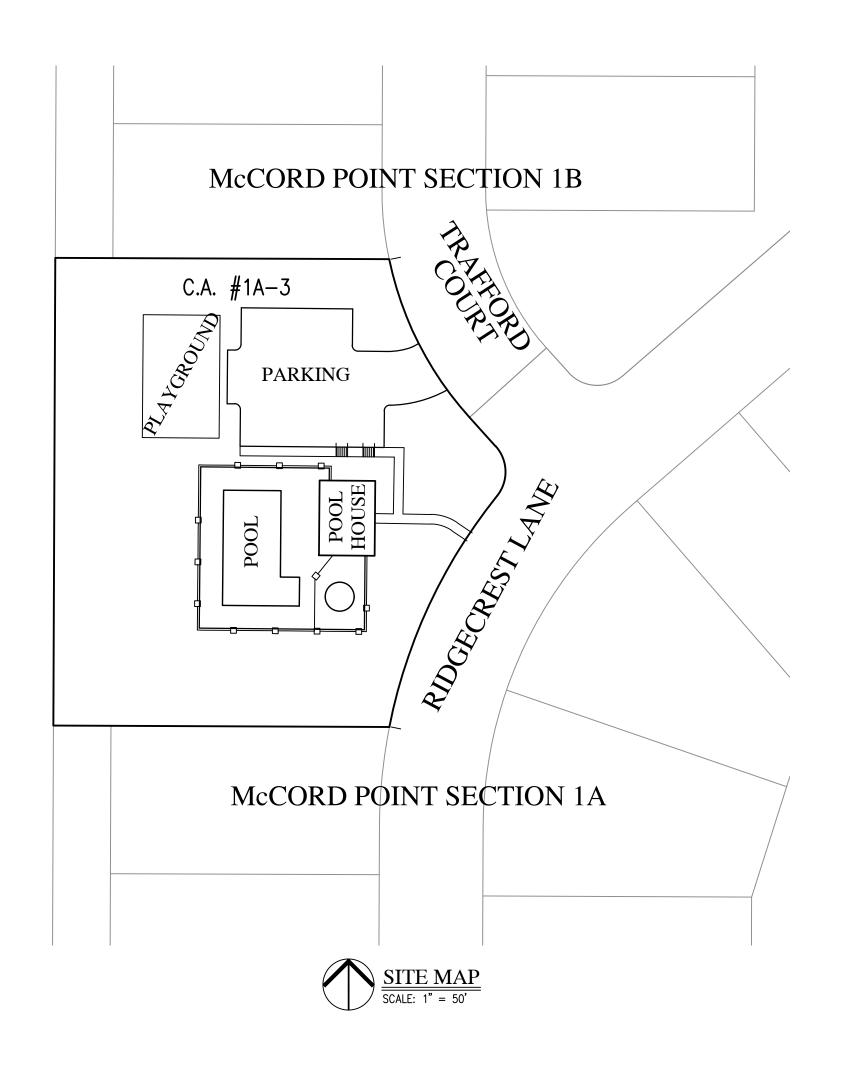
## Lennar Homes of Indiana, Inc.

#### DEVELOPER:

LENNAR HOMES OF INDIANA, INC. BILL BRYANT 9025 NORTH RIVER ROAD, SUITE 100 INDIANAPOLIS, INDIANA 46240 (317) 450-4634

## CIVIL ENGINEER and SURVEYOR:

**HWC ENGINEERING** 135 N. PENNSYLVANIA ST., SUITE 2800 INDIANAPOLIS, IN 46204 (317) 347-3663 keichhorn@hwcengineering.com



BENCHMARK INFORMATION:

CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST. SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION 3' WEST OF A FIRE HYDRANT. ELEVATION = 847.28 (NGVD 29)

PLAN COMMISSION APPROVAL \_\_\_\_\_ DRAINAGE APPROVAL \_\_\_\_\_ ADDRESS APPROVAL EROSION CONTROL APPROVAL COUNTY ENGINEER APPROVAL COUNTY SANITARIAN APPROVAL COUNTY COMMISSIONERS APPROVAL \_\_\_\_\_\_

SITE DATA DISTURBED AREA: 1.0 AC START CONSTRUCTION: SEPTEMBER 2020 END CONSTRUCTION: APRIL 2021

ZONED McCORD POINTE AMENDED PUD ORDINANCE NO. 101017B, AN ORDINANCE AMENDING THE TOWN OF McCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

#### CITIZENS ENERGY GROUP/ CWA AUTHORITY, INC. (WATER) BRAD HOSTETLER 2150 DR. MARTIN LUTHER KING JR. STREET INDIANAPOLIS, INDIANA 46202 P: (317) 927-4351 BHOSTETLER@CITIZENSENERGYGROUP.COM

MCCORDSVILLE FIRE DEPARTMENT

McCordsville, Indiana 46055

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PLANNING AND BUILDING DEPT RYAN CRUM

McCordsville, Indiana 46055

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<u>VECTREN</u> SANDRA CASEY 16000 Allisonville Road Noblesville, Indiana 46061 P: (317) 776-5532, F: (317) 776-5553 Mailing Address: P.O. Box 1700 Noblesville, Indiana 46061 sandra.casey@centerpointenergy.com

CrA



#### SOIL DESCRIPTIONS/LIMITATIONS

1. <u>Br - Brookston silty clay loam, 0 to 2 percent slopes</u> For the construction of local roads and streets, this soil is rated very limited due to a high potential for ponding, limited depth to a saturated zone (water table), high potential for frost action, moderate potential for shrink/swell action, and low strength. For the construction of homes, this soil is rated very limited due to a limited depth to a saturated zone (water table) and high potential for ponding. The potential for shrink/swell

2. <u>CrA - Crosby silty loam, fine-loamy subsoil, 0 to 2 percent slopes</u> For the construction of local roads and streets, this soil is rated very limited due to a high potential for frost action, limited depth to a saturated zone (water table), and low strength. For the construction of homes, this soil is rated very limited due to a limited depth to a saturated zone (water table).

### SHEET LIST TABLE

**Sheet Description Sheet Title** COVER SITE IMPROVEMENTS PLAN **GRADING PLAN** PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION & DEMOLITION PLAN ACTIVE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN C1.6 UTILITY PLAN LANDSCAPE PLAN LANDSCAPE DETAILS STORMWATER POLLUTION PREVENTION NOTES STORMWATER POLLUTION PREVENTION DETAILS

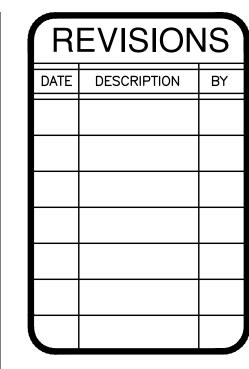
CONSTRUCTION DETAILS

Sheet Title

## McCORDSVILLE TOWN STANDARDS SHEET LIST TABLE

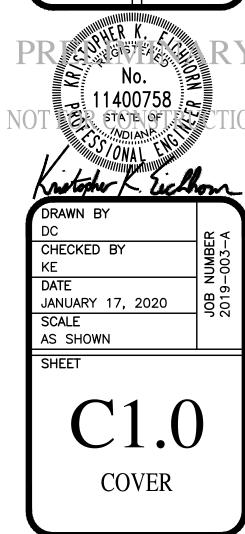
Sheet Description

|    | 1   |
|----|---|
| 1  | DIRECTIONS FOR USE & GENERAL NOTES                    |
| 2  | RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS       |
| 3  | RIGHT-OF-WAY DETAILS                                  |
| 4  | UTILITY LOCATION GUIDELINES                           |
| 5  | DRIVE WAY & HANDICAP RAMP DETAILS                     |
| 6  | STORM SEWER STRUCTURE DETAILS                         |
| 7  | STORM SEWER BEDDING DETAILS<br>AND GENERAL NOTES      |
| 8  | SANITARY SEWER SPECIFICATIONS                         |
| 9  | SANITARY SEWER DETAILS                                |
| 10 | SANITARY SEWER LIFT STATION<br>STANDARDS & GUIDELINES |
|    |   |





INDIANAPOLIS - TERRE HAUTE LAFAYETTE - MUNCIE - NEW ALBANY www.hwcengineering.com



#### SITE IMPROVEMENT GENERAL NOTES:

- 1. ALL EXCAVATED TRENCHES UNDER PROPOSED PAVED AREAS INCLUDING SIDEWALKS SHALL BE BACKFILLED WITH GRANULAR MATERIAL PER INDOT STANDARD SPECIFICATIONS, SECTION 211, AND COMPACTED IN LIFTS. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE LIMITS OF THE PAVEMENT AT THE SURFACE WITH A 1:1 SLOPE OUTWARD TO THE BOTTOM OF THE TRENCH.
- 2. WHERE NECESSARY, UTILITY SERVICE CONDUITS SHALL BE INSTALLED UNDER PAVED AREAS AND BACKFILLED AS SPECIFIED ABOVE BEFORE PAVEMENT IS CONSTRUCTED. COORDINATE CONDUIT REQUIREMENTS WITH UTILITY COMPANIES AND MECHANICAL CONTRACTORS.
- 3. FOLLOWING THE COMPLETION OF ALL UNDERGROUND WORK IN PAVED AREAS. AGGREGATE BASE SHALL BE APPLIED AND COMPACTED TO THE THICKNESS INDICATED ON THE APPROPRIATE PAVEMENT DESIGN DETAIL COMPACT BASE COURSE AT OPTIMUM MOISTURE CONTENT TO NOT LESS THAN 95% OF MAXIMUM DRY DENSITY ACCORDING TO ASTM D-1557. WHEN THICKNESS OF COMPACTED BASE EXCEEDS 6 INCHES, PLACE MATERIALS IN EQUAL LAYERS, WITH NO LAYER MORE THAN 6 INCHES OR LESS THAN 3 INCHES THICK WHEN COMPACTED. COMPACT WITH A MEDIUM WEIGHT SMOOTH WHEELED ROLLER OR EQUIVALENT. ALONG CURBS, WALLS AND ALL LOCATIONS NOT ACCESSIBLE TO THE ROLLER, COMPACT AGGREGATE BASE WITH HAND OPERATED TAMPERS.
- 4. BITUMINOUS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH INDOT STANDARD SPECIFICATIONS, SECTION 400. PORTLAND CEMENT CONCRETE PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH INDOT STANDARD SPECIFICATIONS, SECTION 500. SEE CONSTRUCTION DETAILS FOR PAVEMENT DESIGN INFORMATION.
- 5. THE CONNECTION OF NEW PAVEMENT TO EXISTING PAVEMENT IN THE PARKING LOTS AND DRIVEWAYS SHALL MATCH EXISTING GRADES AND PROFILES. A LAP JOINT IS REQUIRED FOR CONNECTIONS BETWEEN EXISTING AND PROPOSED BITUMINOUS PAVEMENTS.
- 6. UNLESS NOTED OTHERWISE, ALL PAVEMENT STRIPING WITHIN THE PROJECT SITE SHALL BE PAINTED WITH WHITE LATEX, WATERBORNE EMULSION, LEAD AND CHROMATE FREE, READY MIXED, COMPLYING WITH FS TT-P-1952. APPLY PAINT WITH MECHANICAL EQUIPMENT AND/OR STENCILS TO PRODUCE CLEAN, STRAIGHT AND UNIFORM EDGES. APPLY AT MANUFACTURER'S RECOMMENDED RATES TO PRODUCE A MINIMUM 12 TO 15 MILS DRY THICKNESS.

- 7. PORTLAND CEMENT SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-150. ONLY ONE BRAND AND MANUFACTURER OF APPROVED CEMENT SHALL BE USED FOR ANY ONE STRUCTURE. REGULAR FINE AND COARSE AGGREGATES SHALL CONFORM TO THE REQUIREMENTS OF ASTM C-33. ALL WATER USED SHALL BE POTABLE, CLEAN AND FREE FROM OILS, ACIDS, ALKALIS, ORGANIC MATERIAL OR OTHER SUBSTANCES THAT MAY BE DELETERIOUS TO CONCRETE OR STEEL.
- 8. REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-615, GRADE 60. WELDED WIRE FABRIC OR WIRE MESH SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-185. REINFORCEMENT SHALL BE CUT AND BENT IN ACCORDANCE WITH ACI 315. COMPLY WITH ARSI RECOMMENDED PRACTICE "PLACING REINFORCING BARS" FOR PLACING AND SUPPORTING REINFORCEMENT.
- ALL CONCRETE USED ON THIS PROJECT SHALL BE CLASS A STRUCTURAL CONCRETE WITH A 28-DAY COMPRESSIVE STRENGTH OF 4,000 PSI, 6-1/2 BAGS, 2 TO 4 INCH SLUMP RANGE, 5% TO 8% AIR CONTENT. CLASS A CONCRETE SHALL BE PROPORTIONED IN ACCORDANCE WITH ACI 211.1. ALL READY MIXED CONCRETE SHALL BE MIXED, DELIVERED, AND PLACED IN ACCORDANCE WITH ASTM C-94.
- 10. FORMS SHALL BE CONSTRUCTED OF WOOD, PLYWOOD, STEEL, OR OTHER APPROVED MATERIALS AND SHALL BE MORTAR TIGHT. THE FORMS AND ASSOCIATED FALSEWORK SHALL BE SUBSTANTIAL AND UNYIELDING AND SHALL BE CONSTRUCTED SO THAT THE FINISHED CONCRETE WILL CONFORM TO THE DIMENSIONS AND CONTOURS SHOWN ON THE DRAWINGS. FORM SURFACES SHALL BE SMOOTH AND FREE FROM HOLES, DENTS, SAGS, AND OTHER IRREGULARITIES. THE FORMS SHALL BE COATED WITH A NON-STAINING OIL BEFORE CONCRETE IS POURED. REMOVE FORMS A MINIMUM OF 24 HOURS AFTER PLACING CONCRETE.
- 11. ALL CONCRETE SHALL BE PLACED IN ACCORDANCE WITH ACI 304. FORMED CONCRETE SHALL BE UNIFORMLY CONSOLIDATED USING A MECHANICAL VIBRATOR. COMPLY WITH THE RECOMMENDATIONS OF ACI 306R FOR COLD WEATHER PLACEMENT AND ACI 305R FOR HOT WEATHER PLACEMENT. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND TO ENSURE PROPER MOISTURE CONTROL DURING CURING.

#### GEOMETRIC LAYOUT NOTES:

- 1. ALL DIMENSIONS ARE REFERENCED TO THE EDGE OF PAVEMENT, EDGE OF SIDEWALK, FRONT OF CURB, OR OUTSIDE SURFACE OF BUILDING WALL UNLESS OTHERWISE NOTED.
- 2. REFER TO BUILDING PLANS FOR ALL BUILDING DIMENSIONS AND LAYOUT
- 3. THE TYPICAL PARKING SPACE IS 9' WIDE BY 18' DEEP FOR PARKING SPACES.
- 4. THE HANDICAP ACCESSIBLE PARKING SPACES (9'X18' MIN.) ARE TO BE IN ACCORDANCE WITH ADA SPECIFICATIONS.
- 5. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL REQUIRED CONSTRUCTION LINE AND GRADE TO ENSURE ACCURATE LAYOUT OF SITE IMPROVEMENTS. DIGITAL FILES OF CONSTRUCTION PLANS ARE AVAILABLE UPON
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING PROPERTY CORNER MONUMENTS. ANY PROPERTY CORNER MONUMENT DISTURBED OR DESTROYED DURING CONSTRUCTION ACTIVITY SHALL BE REPLACED BY AN INDIANA LICENSED SURVEYOR AT CONTRACTOR'S EXPENSE.
  - 7. CONTRACTOR IS RESPONSIBLE FOR PROTECTING BENCHMARKS. IF BENCHMARKS ARE TO BE DISTURBED OR REMOVED AS PART OF THE DEMOLITION PLAN ACTIVITY, CONTRACTOR SHALL HAVE A INDIANA LICENSED SURVEYOR ESTABLISH ANOTHER BENCHMARK AT A LOCATION OUT OF HARM'S
  - 8. ANY DISCREPANCIES IN LAYOUT DIMENSIONS SHALL BE REPORTED TO THE PROJECT ENGINEER PRIOR TO PROCEEDING WITH WORK AT THAT LOCATION.

- SITE IMPROVEMENT KEYNOTES: # . INSTALL 2' CONCRETE ROLL CURB PER SHEET C8.5, DETAIL# 4.
- 2. EXISTING 2' CONCRETE ROLL CURB.
- INSTALL CONCRETE WALK SHEET C8.5, DETAILS #1, 2 & 3. CONTRACTOR TO ENSURE ALL WALKS INSTALLED MEET A.D.A. GUIDELINES.
- 4. ADA PARKING STALLS PER SHEET C8.5, DETAIL #9.
- 5. ADA RAMP PER SHEET C8.5, DETAILS #6, 7 & 8
- 6. INSTALL ACCESSIBLE PARKING SIGN PER SHEET C8.5 DETAIL #10.
- 7. INSTALL PAVEMENT STRIPING PER SHEET C8.5 DETAIL #9.
- 8. INSTALL ASPHALT PAVEMENT PER SHEET C8.5 DETAIL #5
- 9. EXISTING STORM SEWER STRUCTURE, SEE GRADING & UTILITY PLAN SHEET C1.2.
- 10. EXISTING FIRE HYDRANT, SEE GRADING & UTILITY PLAN SHEET C1.2.
- 11. EXISTING SANITARY SEWER STRUCTURE, SEE GRADING & UTILITY PLAN SHEET C1.2
- 12. POOL DECK: 4" CONCRETE FURNISHED BY THE POOL CONTRACTOR.
- 13. 6' BLACK ORNAMENTAL FENCE AT POOL DECK EDGE. FENCE TO BE ALONG PERIMETER EDGE OF POOL DECK, CORNERS OR COVERED PATIO TO CONNECT TO BUILDING PROVIDING FULL ENCLOSURE. - BY OTHERS
- 14. LANDSCAPING/GRASS.

15' <u>D.&</u>U.E.

- 15. SANITARY CLEAN OUT.
- 16. 4' BACK ORNAMENTAL FENCE SEPARATING CHILD POOL AND POOL. BY OTHERS

#### LAND DESCRIPTION

216

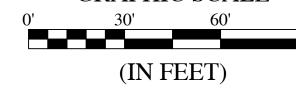
Common Area 1A-3 in McCord Pointe Section 1A, an addition in Hancock County, Indiana as set forth in the plat recorded JANUARY 9, 2019 in Plat Cabinet D, Slide 45, as Instrument No. 201900250, in the Office of the Recorder of Hancock County, Indiana.



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GRAPHIC SCALE



LEGEND:

**EXISTING** PROPOSED PROPERTY LINE RIGHT-OF-WAY LINE EASEMENT LINE SETBACK LINE CENTERLINE <del>\_\_x\_\_x\_\_x\_\_x\_\_</del> SANITARY MANHOLE STORM MANHOLE STORM INLET STORM END SECTION EXISTING WATER VALVE FIRE HYDRANT LIGHT POLE SIGN CLEAN OUT STRUCTURE CO 25 LOT NUMBER S.F. SQUARE FEET D.&U.E. DRAINAGE & UTILITY EASEMENT DRAINAGE EASEMENT DRAINAGE UTILTIY & SANITARY SEWER EASEMENT D.U.&S.S.E. COMMON AREA C.A. R/W PUBLIC RIGHT OF WAY DRAINAGE & LANDSCAPE, MAINTENANCE ACCESS EASEMENT D.&L.M.A.E. PROPOSED ASPHALT PAVEMENT

> PROVIDED IN PLAN - 9'x20' PARKING SPACES

> > 2 - 9'x20' ACCESSIBLE SPACES

PARKING TABLE

PROPOSED CONCRETE PAVEMENT

ME, IN MCCORD POIN MCCORDS

DATE DESCRIPTION BY

INDIANAPOLIS - TERRE HAUTE

LAFAYETTE - MUNCIE - NEW ALBANY

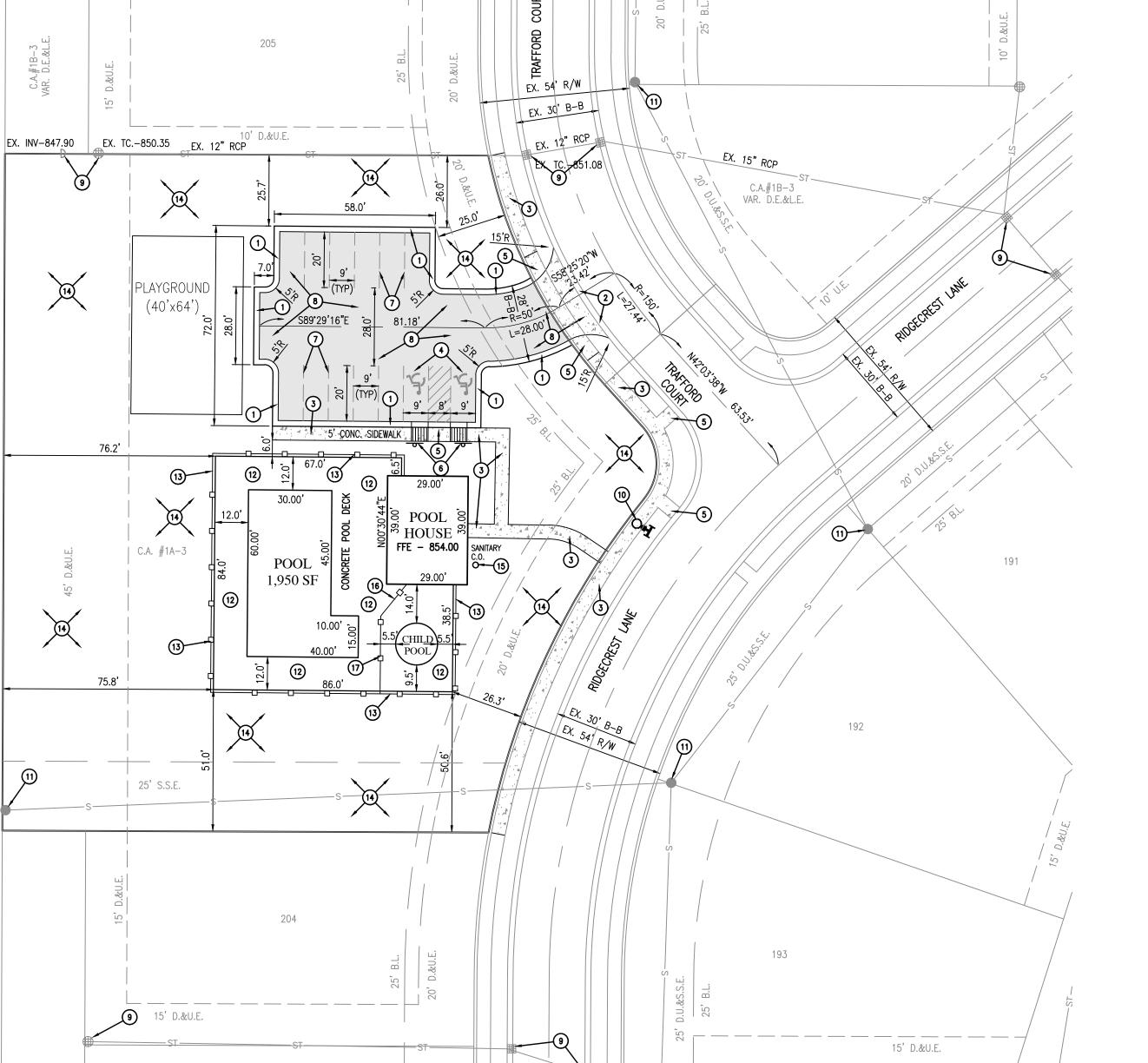
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CHECKED BY

JANUARY 17, 2020 AS SHOWN

SITE IMPROVEMENTS PLAI

PREPARED BY: HWC ENGINEERING 135 N. PENNSYLVANIA ST., SUITE 2800 INDIANAPOLIS, IN 46204 P: 317-347-3663

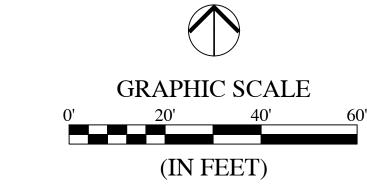


### EARTHWORK NOTES:

- 1. EARTHWORK SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 200 OF THE INDOT STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER'S OFFICE AND THE OWNER AT LEAST 48 HOURS BEFORE BEGINNING EXCAVATION
- 2. THE CONTRACTOR SHALL EMPLOY A QUALIFIED GEOTECHNICAL ENGINEER FOR THIS PROJECT PER PROJECT SPECIFICATIONS. THE GEOTECHNICAL ENGINEER WILL INSPECT SOIL CONDITIONS, PROOF—ROLLING, AND FIELD DENSITY OF COMPACTED FILLS. ALL SUBGRADES AND FILLS SHALL MEET OR EXCEED THE SPECIFIED DENSITIES, AS DISCUSSED BELOW. BASED UPON REPORTS FROM THE GEOTECHNICAL ENGINEER, SUBGRADES OR FILLS WHICH ARE BELOW SPECIFIED DENSITIES WILL REQUIRE ADDITIONAL COMPACTION WORK AND TESTING AT NO ADDITIONAL EXPENSE TO THE OWNER. COMPACTION TESTS SHALL BE TAKEN AT RANDOM INTERVALS AND ELEVATIONS THROUGHOUT THE FILL EMBANKMENTS.
- 3. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE DURING FINISH GRADING AND LANDSCAPE WORK. STRIPPED TOPSOILS SHALL BE STOCKPILED AS SHOWN IN STORMWATER POLLUTION PREVENTION PLAN. TOPSOIL IS DEFINED AS FERTILE, FRIABLE NATURAL LOAM SURFACE SOILS, REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, AND OTHER LITTER OR STONES LARGER THAN 1/2 INCH. LOOSE DEBRIS, TOPSOILS AND UNSUITABLE SUBSOILS SHALL BE STRIPPED FROM AREAS OF THE SITE THAT ARE TO BE DEVELOPED. THE CONTRACTOR SHOULD REVIEW THE GEOTECHNICAL REPORT, AS THE DEPTH OF STRIPPING OF SURFACE SOILS MAY VARY BY LOCATION WITHIN THE SITE. THE ENGINEER SHALL DESIGNATE ON—SITE LOCATIONS TO STORE OR DEPOSIT STRIPPED SOILS. CONTRACTOR SHALL REMOVE TOPSOILS AND UNSUITABLE SUBSOILS FROM ALL AREAS TO OCCUPIED BY BUILDINGS AND PAVEMENTS. IN ADDITION, ANY AREAS TO BE UTILIZED AS BORROW AREAS FOR FILL MATERIAL MUST ALSO BE STRIPPED OF TOPSOILS. A MINIMUM OF 6 INCHES OF TOPSOIL SHALL BE REPLACED IN LAWN AND LANDSCAPED AREAS. IF THE AMOUNT OF STOCKPILED TOPSOIL EXCEEDS QUANTITY REQUIRED, THE EXCESS SHALL

BE SPREAD ON THE SITE WHERE DIRECTED BY THE ENGINEER OR DISPOSED OF OFFSITE.

- ALL COMPACTED FILL MATERIAL SHALL BE SATISFACTORY BORROW SOILS APPROVED BY THE GEOTECHNICAL ENGINEER. ALL FILL MATERIAL SHALL BE FREE OF ORGANIC MATTER, LARGE ROCK GREATER THAN 3 INCHES, RUBBISH, OR OTHER UNSUITABLE MATERIAL. SAMPLES OF THE FILL MATERIALS SHALL BE SUBMITTED TO THE GEOTECHNICAL ENGINEER FOR APPROVAL PRIOR TO PLACEMENT. ALL FILL EMBANKMENTS UNDER PAVED AREAS, SIDEWALKS, AND PADS SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS AND COMPACTED TO 95% OF MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM DENSITY TEST D698. THE TOP 12 INCHES OF BUILDING SUBGRADE AND EACH 8 INCH LAYER OF BUILDING FILL EMBANKMENTS SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY. THE AREA OF COMPACTED FILL FOR THE BUILDING SHALL EXTEND AT LEAST 5 FEET BEYOND THE EXTERIOR WALLS. ALL OTHER FILLS SHALL BE COMPACTED TO 90% MAXIMUM DRY DENSITY. FILL MATERIALS SHALL BE PLACED IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS AND SHOULD BE SPRINKLED WITH WATER AS REQUIRED TO ENSURE COMPACTION SPECIFICATIONS ARE MET. EXCESSIVELY WET MATERIAL SHALL BE SPREAD AND DRIED SUFFICIENTLY SO THAT THE MOISTURE CONTENT WILL PERMIT PROPER COMPACTION. EACH LAYER SHALL BE UNIFORMLY COMPACTED USING A VIBRATORY COMPACTOR OR OTHER APPROVED EQUIPMENT SUITED TO THE LOCATION AND MATERIAL BEING PLACED. LIFTS SHALL NOT EXCEED 4 INCHES IN LOOSE THICKNESS FOR MATERIAL COMPACTED BY HAND OPERATED TAMPERS.
- 5. IN-PLACE DENSITY TESTS SHALL BE PERFORMED THROUGHOUT THE BUILDING FILL EMBANKMENTS. AT EACH COMPACTED FILL AND BACKFILL LAYER, AT LEAST ONE DENSITY TEST SHALL BE PERFORMED FOR EVERY 2000 SQ. FT OF BUILDING FILL OR SUBGRADE, BUT IN NO CASE FEWER THAN 3 TESTS. WHERE THE RESULTS OF THE IN-PLACE DENSITY TESTS INDICATE COMPACTION SPECIFICATIONS ARE NOT OBTAINED, OR WHERE APPROVED COMPACTED FILLS ARE DISTURBED BY THE CONTRACTOR'S SUBSEQUENT ACTIVITY OR ADVERSE WEATHER, THOSE AREAS SHALL BE REWORKED UNTIL COMPACTION CRITERIA ARE ACHIEVED. THE GEOTECHNICAL ENGINEER SHALL ISSUE A REPORT DOCUMENTING THE SUFFICIENCY OF THE FINAL COMPACTED FILL TO THE OWNER AND THE
- 6. AFTER THE PAVEMENT SUBGRADE SOILS HAVE BEEN FILLED AND COMPACTED, AND IN AREAS WHERE THE PAVEMENT SUBGRADE ELEVATIONS ARE ACHIEVED WITHOUT FILL OPERATIONS, THESE AREAS SHALL BE PROOF—ROLLED WITH A FULLY LOADED TRI—AXLE DUMP TRUCK, MEDIUM WEIGHT ROLLER OR OTHER APPROVED EQUIPMENT TO DETERMINE IF ANY POCKETS OF SOFT, UNSUITABLE MATERIALS ARE PRESENT. IF POCKETS OF UNSUITABLE MATERIALS ARE ENCOUNTERED, THEY SHALL BE REMOVED AND REPLACED WITH SPOT SUBGRADE REINFORCEMENT OR COMPACTED GRANULAR FILL. THE GEOTECHNICAL ENGINEER SHALL BE PRESENT DURING PROOF—ROLLING OPERATIONS AND SHALL SUBMIT A REPORT OF ACCEPTANCE TO THE ENGINEER AND OWNER.
- 7. WHERE THE APPROVED COMPACTED SUBGRADES ARE DISTURBED BY CONTRACTOR'S SUBSEQUENT ACTIVITY OR ADVERSE WEATHER, THE SUBGRADES SHALL BE SCARIFIED AND RECOMPACTED AS SPECIFIED ABOVE PRIOR TO THE CONTINUATION OF CONSTRUCTION.
- 8. FOLLOWING THE COMPLETION OF SITE GRADING AND SUBSURFACE UTILITY INSTALLATION, TOPSOIL SHALL BE REPLACED IN AREAS DESIGNATED FOR SEEDING, SODDING, OR LANDSCAPING TO A MINIMUM DEPTH OF 6 INCHES. THE FINISHED SURFACE SHALL BE UNIFORMLY AND SMOOTHLY GRADED AND SHALL BE FREE OF DEPRESSED AREAS WHERE WATER WILL POND. LIGHTLY COMPACT TOPSOIL AFTER PLACEMENT. THE FINISHED SURFACE GRADES SHALL NOT BE MORE THAN 0.1 FOOT ABOVE OR BELOW THE GRADES INDICATED ON THE PLANS. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES AND ADJACENT FILL EMBANKMENTS.
- 9. EXCAVATE FOR STRUCTURES TO WITHIN 0.1 FOOT OF THE DESIGN ELEVATIONS AND DIMENSIONS. EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK. DO NOT DISTURB THE BOTTOM OF THE EXCAVATION INTENDED FOR BEARING SURFACE. EXCAVATE BY HAND TO FINAL GRADE BEFORE PLACING CONCRETE FORMWORK AND REINFORCEMENT SO FOOTINGS AND FOUNDATIONS BEAR ON UNDISTURBED COMPACTED SOILS.
- 10. BACKFILL MATERIAL SHALL BE FREE OF ROCKS, SLAG, RUBBLE AND DEBRIS. BACKFILL SHALL BE PLACED IN LAYERS NOT TO EXCEED 6 INCHES LOOSE THICKNESS AND THOROUGHLY COMPACTED BY TAMPING OR ROLLING. WHERE BACKFILLING IS REQUIRED ON BOTH SIDES OF A FOUNDATION WALL, THE BACKFILL MATERIAL SHALL BE PLACED EQUALLY ON BOTH SIDES TO AVOID UNBALANCED SOIL PRESSURE ON ONE SIDE OF THE
- 11. TRENCHES UNDER PAVED AREAS SHALL BE BACKFILLED AND COMPACTED WITH "B" BORROW OR APPROVED GRANULAR MATERIAL PER INDOT STANDARD SPECIFICATIONS. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE PAVEMENT WITH A 1:1 SLOPE OUTWARD TO THE BOTTOM OF THE TRENCH.



EX. 15" RCP

C.A.#1B-3

VAR. D.E.&L.E.



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#### LEGEND:

|            | EXISTING          | PROPOSED  |
|------------|-------------------|---|
|            |                   | PROPERTY LINE   |
|            |                   | RIGHT-OF-WAY LINE   |
|            |                   | EASEMENT LINE — — — — — —   |
|            |                   | SETBACK LINE  |
|            |                   | CENTERLINE — — — —  |
|            |                   | SWALE / FLOWLINE ————————   |
|            |                   | FENCE — — — — —   |
|            | s                 | EXISTING SANITARY SEWER   |
|            | ST                | EXISTING STORM SEWER  |
|            | W                 | EXISTING WATER MAIN   |
|            |                   | EXISTING GAS LINE   |
| /          |                   | EXISTING GAS LINE  EXISTING TELPHONE LINE                           |
|            |                   |   |
| /_         | E                 | EXISTING ELECTRIC LINE  |
|            |                   | SANITARY MANHOLE  |
|            |                   | STORM MANHOLE • XXX   |
|            |                   | STORM INLET ## XXX  |
| /m ///     | 0                 | STORM END SECTION   |
|            | ¥                 | FIRE HYDRANT  |
|            | N/A               | FLOW ARROW  |
| STANK      | <del>\</del>      | LIGHT POLE 🌣  |
| AMIL       | 0                 | SIGN  |
| << \ /     |                   | CLEAN OUT STRUCTURE o <sup>CO</sup>                                 |
|            | 25<br>S.F.        | LOT NUMBER  |
|            | 5.F.<br>D.&U.E.   | SQUARE FEET DRAINAGE & UTILITY EASEMENT                             |
|            | D.E.              | DRAINAGE EASEMENT   |
| /:         | D.U.&S.S.E.       | DRAINAGE UTILTIY & SANITARY SEWER EASEMENT                          |
| ///        | C.A.              | COMMON AREA   |
|            | R/W               | PUBLIC RIGHT OF WAY   |
|            | D.&L.M.A.E.<br>TB | DRAINAGE & LANDSCAPE, MAINTENANCE ACCESS EASEMENT TOP OF BANK GRADE |
|            | TC                | TOP OF CASTING GRADE  |
| X //       | ME                | MATCH EXISTING GRADE  |
|            | MC<br>FFE         | FINISHED FLOOR ELEVATION  |
| //         | · · <del>-</del>  |   |
| /          | MFPG              | MINIMUM FLOOD PROTECTION GRADE                                      |
| S.K. /S    | MLAG              | MINIMUM LOWEST ADJACENT GRADE                                       |
| 55.tr. /s/ | -                 | EMERGENCY OVERFLOW ROUTE  |
|            | * ***             | SPOT ELEVATION XXX.X  |
|            | N/A               | PAVEMENT ELEVATION (XXX.XX)   |
|            |                   | TOP OF CURB  GUTTER  XXX.XX TC  XXX.XX GUT                          |
| 8.V.       |                   | TOP OF WALL ELEVATION XXX.X TW                                      |
| `V         |                   | BOTTOM OF WALL XXX.X BW   |
|            |                   |   |

#### STORM SEWER NOTES:

- 1. CONSTRUCTION OF STORM DRAINS SHALL BE IN ACCORDANCE WITH TOWN OF MCCORDSVILLE AND SECTION 715 OF THE INDOT STANDARD SPECIFICATIONS AND SUPPLEMENTAL SPECIFICATIONS. ALL MAIN LINE STORM SEWER PIPE SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PIPE (RCP). UNLESS SPECIFICALLY NOTED OTHERWISE STORM DRAIN PIPE FOR ROOF DOWNSPOUT AND OTHER MISCELLANEOUS CONNECTIONS SHALL BE CONSTRUCTED OF POLYVINYL CHLORIDE PIPE (PVC SDR—35), IF APPLICABLE.
- 2. TRENCHES UNDER PAVED STREET AREAS SHALL BE BACKFILLED AND COMPACTED WITH "B" BORROW OR APPROVED GRANULAR MATERIAL PER INDOT STANDARD SPECIFICATIONS. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE PAVEMENT WITH A 1:1 SLOPE OUTWARD TO THE BOTTOM OF THE TRENCH.
- 3. THE CONTRACTOR SHALL NOTIFY THE TOWN OF MCCORDSVILLE AT LEAST 48 HOURS PRIOR TO ANY STORM SEWER EXCAVATION OR CONSTRUCTION. TOWN OF AVON PUBLIC WORKS DEPARTMENT APPROVAL IS REQUIRED BEFORE ANY MODIFICATIONS OR IMPROVEMENTS TO THE SITE DRAINAGE
- 4. ALL STORM DRAINS CROSSING WITHIN 18" VERTICALLY OF A SANITARY SEWER OR WATER MAIN SHALL HAVE A CONCRETE SPACER BLOCK POURED BETWEEN THE PIPES. WHERE WATER LINES AND SEWER LINES RUN PARALLEL WITH EACH OTHER, A MINIMUM OF 10 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED.
- 5. PRIMARY DRAINAGE SYSTEM SHALL BE CONSTRUCTED OF REINFORCED CONCRETE PIPE (ASTM A-76) UNLESS SPECIFICALLY NOTED OTHERWISE. PIPE FOR ROOF DRAINAGE CONNECTIONS AND SECONDARY SURFACE INLETS SHALL BE CONSTRUCTED OF PVC SDR-35 OR APPROVED EQUAL. JOINTS SHALL BE GASKETED BELL AND SPIGOT TYPE WITH THE BELL END MADE INTEGRAL WITH THE PIPE. ROOF DRAIN PIPES BETWEEN THE BUILDING AND THE STORM STRUCTURES MAY HAVE VARIABLE SLOPES BASED ON UPSTREAM AND DOWNSTREAM INVERTS SHOWN ON THE PLANS AND POINT OF CONNECTION TO THE ROOF DOWNSPOUTS. SEE ARCHITECTURAL PLANS FOR INFORMATION REGARDING THE BUILDING ROOF DRAINS AND DOWNSPOUTS. PIPE MATERIAL SUBSTITUTIONS SHALL BE REQUESTED IN WRITING TO THE ENGINEER. INLETS, JUNCTION BOXES, AND MANHOLES MUST BE SIZED PROPERLY TO ACCOMMODATE THE PIPES CALLED FOR.
- 6. PIPE LENGTHS SHOWN ON THE DRAWINGS ARE FOR HYDRAULIC CALCULATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING EXACT PIPE LENGTHS REQUIRED FOR INSTALLATION.

#### OVERALL GENERAL PROJECT NOTES

1. NOT ALL GAS, POWER, OR TELEPHONE LINES, WHETHER ABOVE OR BELOW GROUND, HAVE BEEN SHOWN ON THE DRAWINGS. ANY UNDERGROUND INFORMATION SHOWN ON THE DRAWINGS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONTRACTORS BENEFIT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR PROTECTING ALL UTILITIES IN HIS WORK AREA WHETHER SHOWN OR NOT, AND MUST REALIZE THAT THE ACTUAL LOCATION OF THE UTILITIES MAY BE DIFFERENT FROM THAT SHOWN ON THE DRAWINGS. ALL EXISTING UTILITIES ENCOUNTERED IN THE WORK, WHETHER IN PUBLIC RIGHTS OF WAY OR ON PRIVATE PROPERTY, SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN IN SERVICE ANY UTILITIES WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION TO SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE UTILITY, IF MINOR CONFLICTS ARISE, THE CONTRACTOR MAY SHIFT THE PROPOSED LOCATION OF THE INSTALLATION OF THE WORK. BEFORE WORKING WITH OR AROUND UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR.

EX. TC.-850.35

850.4 ME

\_\_\_\_

C.A. #1A-3

852.40 GUT

852.50 GUT

**854.00**√

853.1 ME

852.49 TC 852.20 GUT

(852.45 GUT)

1,950 SF

204

**854.00** 

4 4 4 4 4 4 4 4 4 4

EX. INV-847.90

850.0 ME

??? ME √

??? ME

850.6 ME

850.8 ME

851.0 ME

EX. TC-851.70

- 2. SAFETY PROVISIONS FOR THE WORK SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE INDIANA OSHA AND ANY OTHER LOCAL STATE OR FEDERAL AGENCY HAVING JURISDICTION. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR SHALL AT MINIMUM, PROVIDE TRAFFIC CONTROL AS REQUIRED TO SAFELY PROTECT THE GENERAL PUBLIC, THE CONTRACTOR'S WORK FORCES AND THE WORK. TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE INDIANA MANUAL ON UNIFORM
- TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, SPECIAL PROVISIONS, STANDARD DETAILS AND GENERAL INSTRUCTIONS TO FIELD EMPLOYEES. THE REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS. THE OPTION OF THE OWNER AND/OR ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, FENCES, WARNING SIGNS, FLASHING LIGHTS, TEMPORARY WALKWAYS, AND TRAFFIC CONTROL DURING CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL OSHA REGULATIONS, REQUIREMENTS, SAFETY MEETING REQUIREMENTS AND AGENCY REQUIREMENTS FOR TRAFFIC CONTROL AND SAFETY PRECAUTIONS, THERE WILL BE NO SEPARATE OR ADDITIONAL PAYMENT FOR THIS WORK.

EX. 12" RCP

EX. TC.-851.08

(851.04 ME)

852.90

(851.39 ME)

852.2 ME

851.4 ME

<u>851.58</u>

851.7 ME

852.24 TC 851.95 GUT

851.65 GUT

852.63

HOUSE

(853.90)

POOL,

FFE - 854.00 | SANITARY

<sub>/</sub>853.9

851.9 ME

- 3. WHERE PROPERTY MARKERS, SECTION CORNERS, SURVEY MARKS OR BENCHMARKS, SUCH AS STONES, PIPES, OR OTHER SUCH MONUMENTS ARE ENCOUNTERED AND CONFLICT WITH THE WORK, THE ENGINEER SHALL BE NOTIFIED BEFORE THEY ARE DISTURBED, THE MARKERS SHALL BE PROTECTED AFTER THE OWNER, ENGINEER, AND AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR REFERENCED THEIR LOCATIONS.
- 4. ALL MATERIALS DENOTED "SALVAGED" SHALL BE STORED AND PROTECTED AT THE SITE FOR THE OWNER TO COLLECT OR FOR THE CONTRACTOR TO RE-USE AS INDICATED.
- 5. THERE SHALL BE NO CHANGES WITHOUT WRITTEN APPROVAL OF ENGINEER.
- 6. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.

EX. TC-852/20

- 7. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- 8. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS.
- 9. STRUCTURAL FILL: SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698). SHALL BE FREE OF ORGANIC MATERIAL, DEBRIS, DELETERIOUS MATERIALS AND
- 10. SEE ARCHITECTURAL PLANS FOR BUILDING SPECIFICS.

PREPARED BY:

HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
P: 317-347-3663

DATE DESCRIPTION BY

HWC ENGINEERING

INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

MCCORD POINTE AMENITY AREA

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TS
CHECKED BY
KE
DATE
JANUARY 17, 2020
SCALE

C1.2

AS SHOWN

© 2020

GRADING PLAN

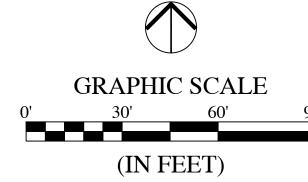
NOTES:
1. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED. 2. THERE SHALL BE NO DIRT, DEBRIS OR STORAGE OF MATERIALS IN THE STREET. 3. THIS SHEET TO BE USED FOR STORMWATER POLLUTION PREVENTION PURPOSES

4. GEOTEXTILE FABRIC SHALL BE PLACED UNDER STONE LAYER OF THE CONSTRUCTION ENTRANCE.

5. ALL PORTABLE TOILETS MUST BE ANCHORED TO PREVENT SPILLS.

6. WHERE EXISTING DRAIN TILES OR FIELD TILES ARE ENCOUNTERED WHERE APPLICABLE, INTERCEPT EXISTING TILES AND TIE THEM INTO THE STORM SYSTEM.

7. SHOULD THE CONTRACTOR CHOOSE TO UTILIZE LIME STABILIZATION FOR SOIL SUBGRADE UNDER PAVED AREAS, PLEASE REFERENCE NOTES ON CONSTRUCTION PLAN SHEET C8.0. WHILE THE NOTES ON SHEET C8.0 SHALL SERVE AS GENERAL GUIDELINES FOR USE OF LIME STABILIZATION, THE CONTRACTOR SHALL ADHERE TO SPECIFIC GUIDELINES AND SPECIFICATIONS FOR TRANSPORTATION, HANDLING,





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#### LEGEND:

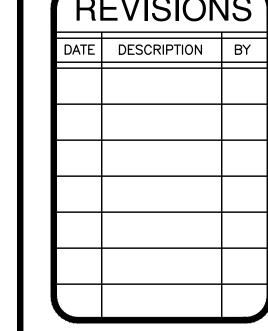
| EXISTING | PROPOSED                                    |     |
|----------|---|-----|
|          | PROPERTY LINE                               |     |
|          | RIGHT-OF-WAY LINE                           |     |
|          | — EASEMENT LINE —— ——                       |     |
|          | — SETBACK LINE —— ——                        |     |
|          | — CENTERLINE ——— —                          |     |
|          | SWALE / FLOWLINE ———————                    | o   |
|          | FENCE ——————                                |     |
| s        | <ul> <li>EXISTING SANITARY SEWER</li> </ul> |     |
| ST       | EXISTING STORM SEWER                        |     |
|          | - EXISTING WATER MAIN                       |     |
| G        | EXISTING GAS LINE                           |     |
| т        | EXISTING TELPHONE LINE                      |     |
| —Е——     | — EXISTING ELECTRIC LINE                    |     |
|          | EXISTING "DROP INLET PROTECTION BASK        | ET" |
| NLET     | EXISTING CURB INLET PROTECTION              |     |

SILT FENCE

CONSTRUCTION LIMITS

SEE SHEET C8.1 FOR DETAIL

TEMPORARY SITE CONSTRUCTION ENTRANCE





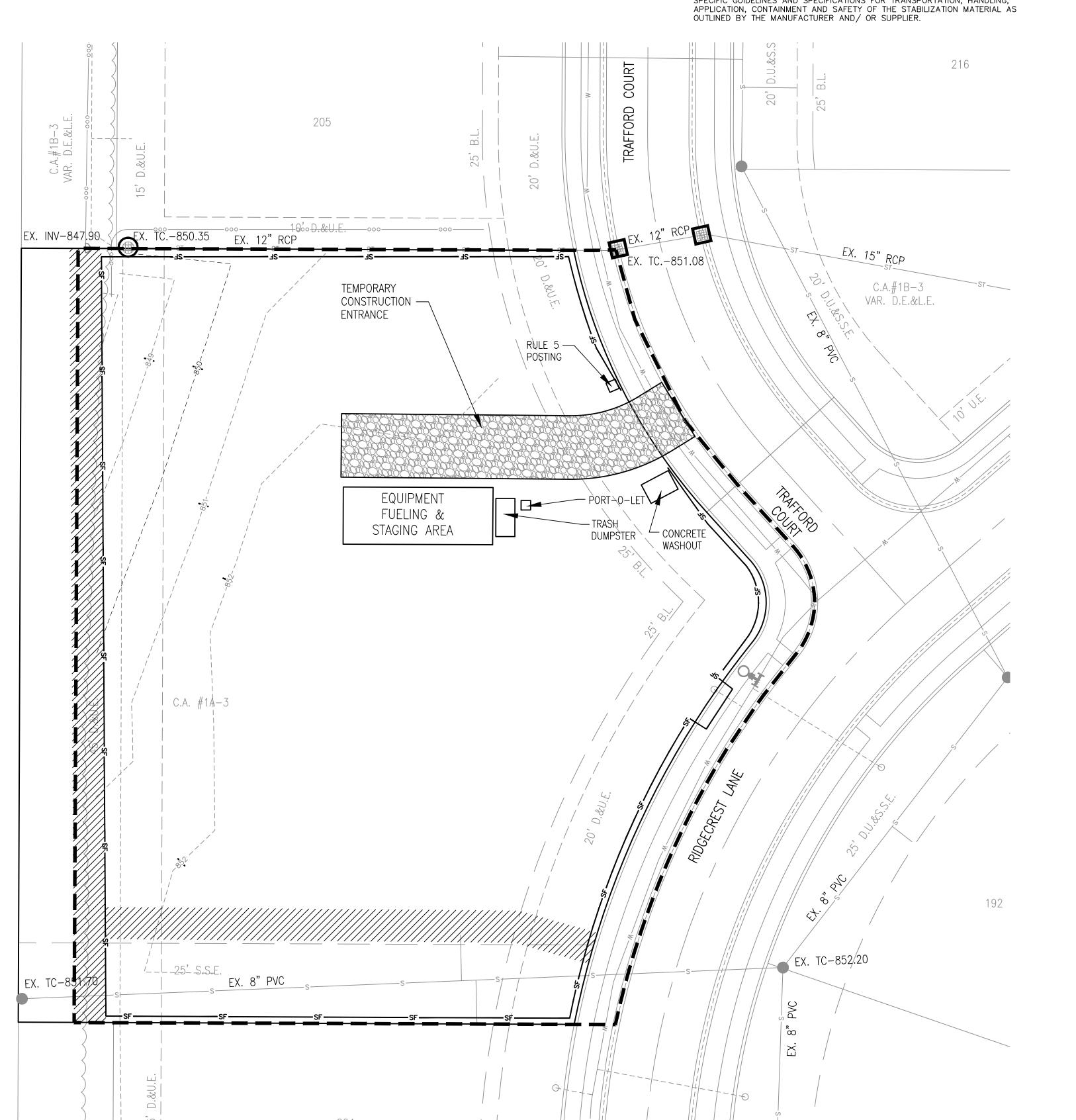
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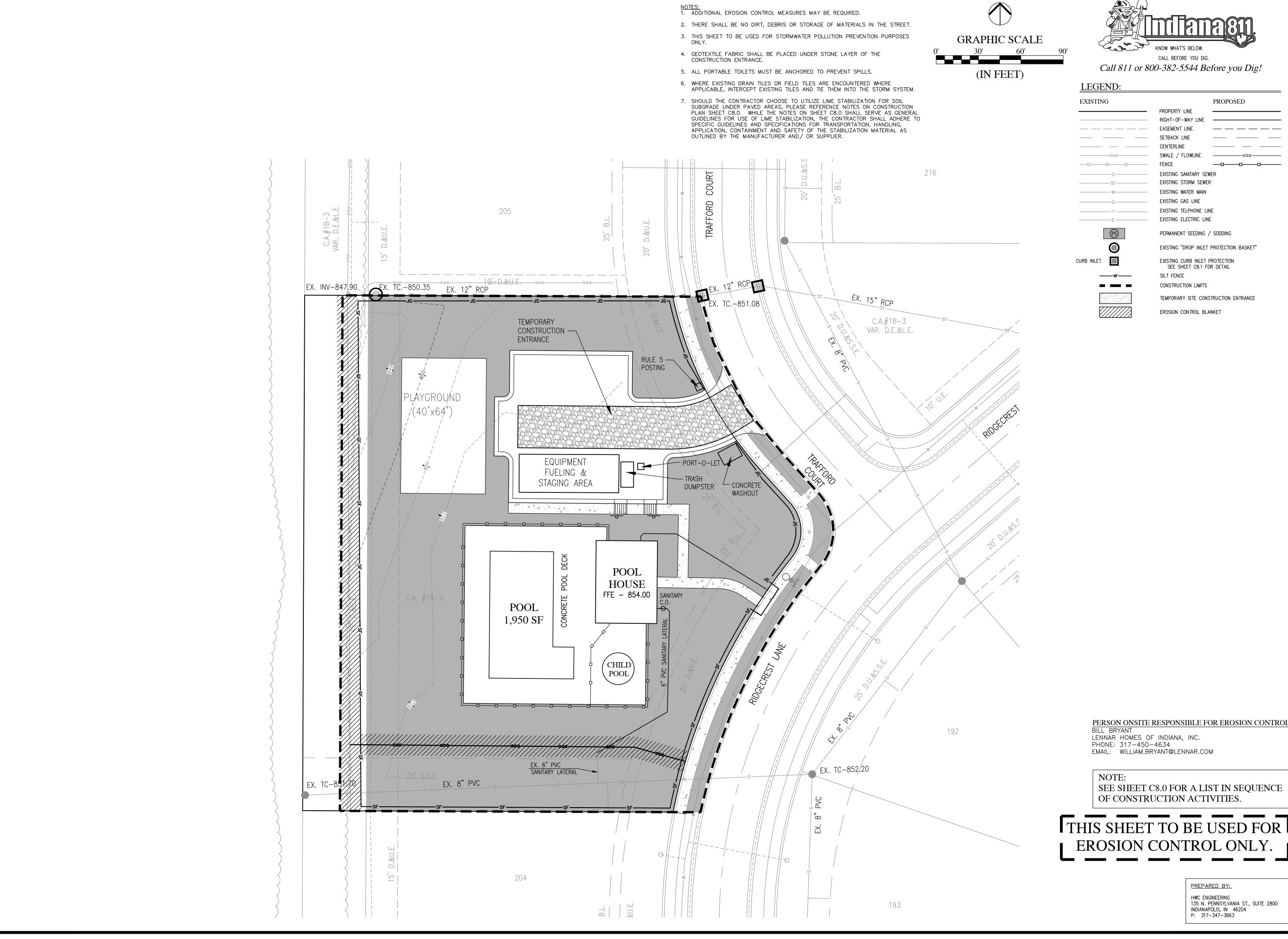
CHECKED BY

DATE
JANUARY 17, 2020
SCALE
AS SHOWN

PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN

PERSON ONSITE RESPONSIBLE FOR EROSION CONTROL:
BILL BRYANT
LENNAR HOMES OF INDIANA, INC.
PHONE: 317-450-4634
EMAIL: WILLIAM.BRYANT@LENNAR.COM SEE SHEET C8.0 FOR A LIST IN SEQUENCE OF CONSTRUCTION ACTIVITIES. THIS SHEET TO BE USED FOR EROSION CONTROL ONLY. PREPARED BY: HWC ENGINEERING 135 N. PENNSYLVANIA ST., SUITE 2800 INDIANAPOLIS, IN 46204 P: 317–347–3663







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#### LEGEND:

| XISTING | PROPOSED                                    |
|---------|---|
|         | PROPERTY LINE                               |
|         | RIGHT-OF-WAY LINE -                         |
|         | EASEMENT LINE — — — —                       |
|         | — SETBACK LINE —— ———                       |
|         | — CENTERLINE —————                          |
|         | SWALE / FLOWLINE ——————                     |
|         | — FENCE ——————————————————————————————————— |
| s       | <ul> <li>EXISTING SANITARY SEWER</li> </ul> |
| st      | EXISTING STORM SEWER                        |
|         | — EXISTING WATER MAIN                       |
| G       | EXISTING GAS LINE                           |
| т       | EXISTING TELPHONE LINE                      |
| Е       | <ul> <li>EXISTING ELECTRIC LINE</li> </ul>  |

CURB INLET

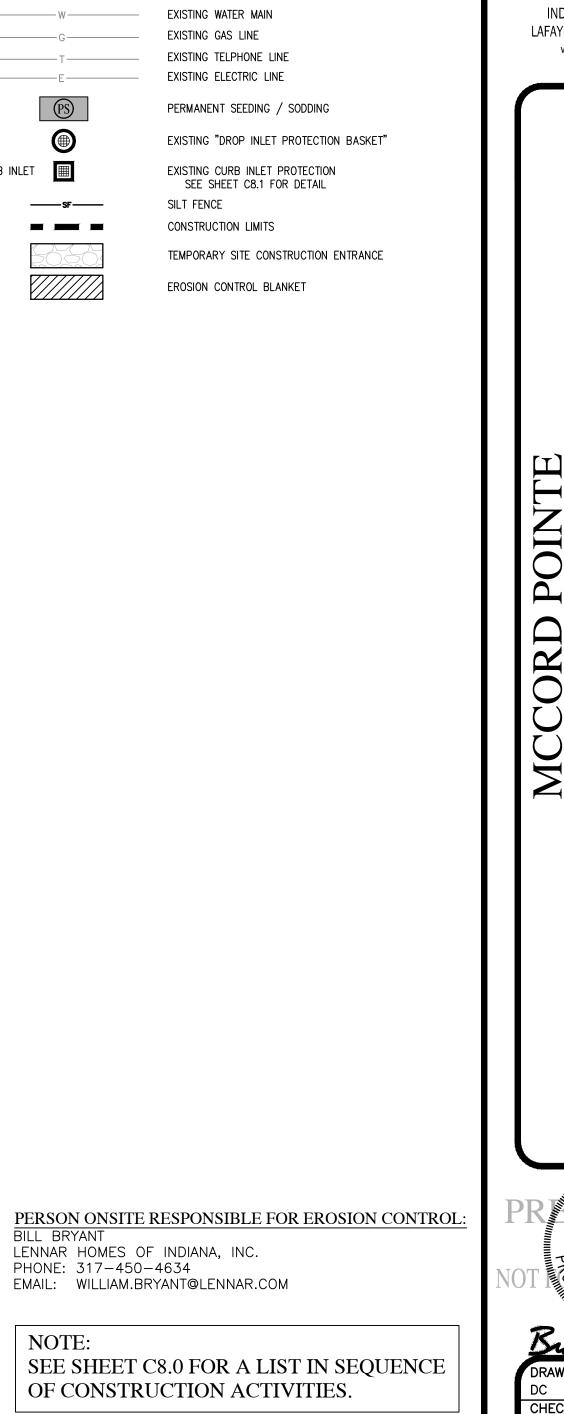
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DATE DESCRIPTION BY

04/12/19 REVISED LAYOUT PER CLIENT REQUEST

CHECKED BY JANUARY 17, 2020 SCALE AS SHOWN

ACTIVE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN



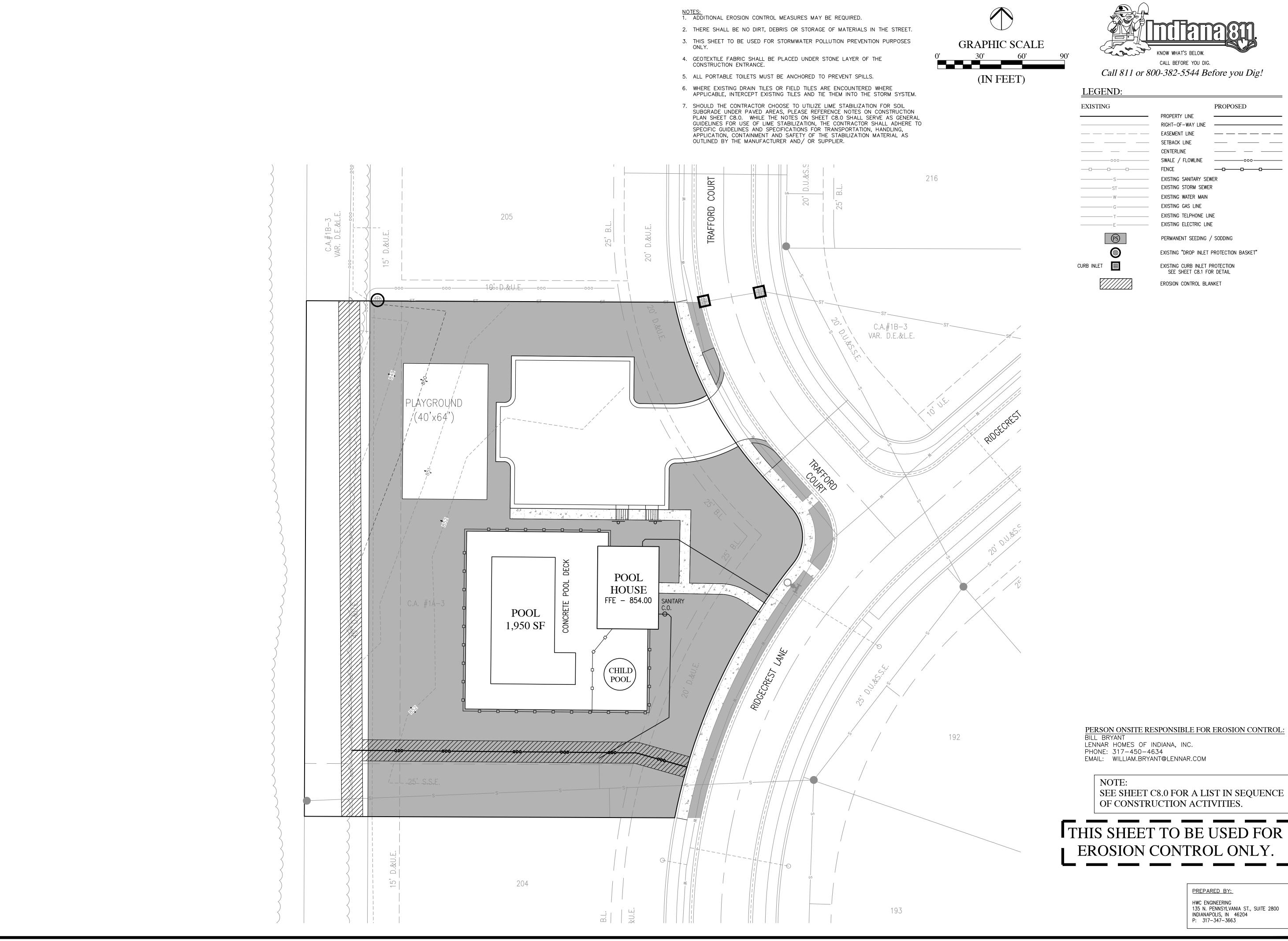
EROSION CONTROL ONLY.

PREPARED BY: HWC ENGINEERING

INDIANAPOLIS, IN 46204

P: 317-347-3663

135 N. PENNSYLVANIA ST., SUITE 2800





LEGEND: **EXISTING** PROPOSED PROPERTY LINE RIGHT-OF-WAY LINE — — — EASEMENT LINE SETBACK LINE CENTERLINE FENCE EXISTING SANITARY SEWER EXISTING STORM SEWER EXISTING WATER MAIN EXISTING GAS LINE EXISTING TELPHONE LINE EXISTING ELECTRIC LINE

> EXISTING "DROP INLET PROTECTION BASKET" EXISTING CURB INLET PROTECTION SEE SHEET C8.1 FOR DETAIL

EROSION CONTROL BLANKET

SEE SHEET C8.0 FOR A LIST IN SEQUENCE

PREPARED BY: HWC ENGINEERING

INDIANAPOLIS, IN 46204

P: 317-347-3663

135 N. PENNSYLVANIA ST., SUITE 2800

OF CONSTRUCTION ACTIVITIES.

PERMANENT SEEDING / SODDING

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MCCO AMEN

CHECKED BY JANUARY 17, 2020 SCALE AS SHOWN

POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN

# WATER SYSTEM NOTES: STATE BOARD OF HEALTH. OUTWARD TO THE BOTTOM OF THE TRENCH. DISINFECTED IN ACCORDANCE WITH CITIZENS ENERGY GROUP REQUIREMENTS. EX. INV-847.90 EX. TC.-850.35 EX. 12" RCP ---+----/(40'x64''

1. ALL WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITIZENS ENERGY GROUP TYPICAL CONSTRUCTION SPECIFICATIONS AND DETAILS, AND SHALL MEET THE MINIMUM REQUIREMENTS OF THE INDIANA

WATER MAINS AND SERVICE LINES SHALL HAVE A MINIMUM OF 4'-5" OF COVER OVER THE TOP OF THE PIPE. A MINIMUM OF 18-INCHES VERTICAL SEPARATION AND 10-0" HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER MAINS AND SEWERS (SANITARY AND STORM). PIPE DEPTHS SHOWN ON THESE PLANS ARE REFERENCED TO THE INVERT OF PIPE.

3. THE PROPOSED WATER SERVICE LINE WILL BE CONNECTED TO AN EXISTING WATER METER PIT. THE CONTRACTOR SHALL PERFORM ALL THE WORK ASSOCIATED WITH CONNECTIONS TO THE EXISTING FACILITIES. THE CONTRACTOR SHALL COORDINATE THE CLOSURE OF VALVES, INSPECTION, AND ALL SERVICE SHUT-OFFS WITH CITIZENS ENERGY GROUP.

4. TRENCHES UNDER PAVED AREAS SHALL BE BACKFILLED AND COMPACTED IN LIFTS WITH "B-BORROW" OR APPROVED GRANULAR MATERIAL PER INDOT STANDARD SPECIFICATION SECTION 211. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE LIMITS OF THE PAVED AREA WITH A 1:1 SLOPE

5. THE COMPLETED WATER SERVICE LINE SHALL BE TESTED AND

**POOL** 

1,950 SF

204

EX. 6" PVC
SANITARY LATERAL

| C.A. #1A-3 |

EX. 8" PVC

EX. TC-851.70

POOL

HOUSE

CHILD

POOL

FFE - 854.00 SANITARY

#### UTILITY NOTES:

1. THE PROPOSED BUILDINGS SHALL BE CONSTRUCTED ACCORDING TO ARCHITECTURAL CONSTRUCTION PLANS.

REFER TO ARCHITECTURAL PLANS FOR ALL INFORMATION REGARDING UTILITY LAYOUT AND DETAILS WITHIN THE BUILDING AND EXTENDING OUT 5' FROM EXTERIOR FACE OF BUILDING. ALL MEP DESIGN AND COORDINATION IS THE RESPONSIBILITY OF ARCHITECT/CONTRACTOR. SITE WORK CONTRACTOR TO COORDINATE WITH ALL TRADES PRIOR TO START OF WORK.

2. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR INFORMATION..

3. ALL EXCAVATED TRENCHES UNDER PROPOSED PAVED AREAS INCLUDING SIDEWALKS SHALL BE BACKFILLED WITH GRANULAR MATERIAL PER INDOT STANDARD SPECIFICATIONS, SECTION 211, AND COMPACTED IN LIFTS. GRANULAR MATERIAL SHALL EXTEND 5 FEET BEYOND THE LIMITS OF THE PAVED AREAS AT THE SURFACE WITH A 1:1 SLOPE OUTWARD TO THE BOTTOM OF THE TRENCH.

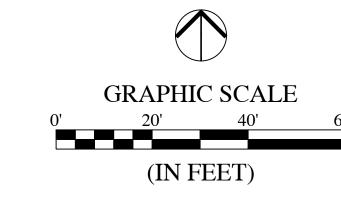
4. ALL WATER SERVICE AND SANITARY LINES SHALL BE IN CONFORMANCE WITH APPLICABLE INDIANA STATE DEPARTMENT OF HEALTH REGULATIONS AND GUIDELINES.

EX. 12" RCP

EX. TC.-851.08

EX. 15" RCP

C.A.#1B-3 VAR. D.E.&L.E.



191

192

EX. TC-852/20



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#### LEGEND:

| EXISTING            | PROPOSED   |
|---------------------|--|
|                     | PROPERTY LINE -  |
|                     | RIGHT-OF-WAY LINE -                                    |
|                     | EASEMENT LINE — — — — — —                              |
|                     | SETBACK LINE   |
|                     | CENTERLINE — — — —                                     |
|                     | SWALE / FLOWLINE —————————                             |
|                     | FENCE — — — —  |
| s                   | EXISTING SANITARY SEWER                                |
| ST                  | EXISTING STORM SEWER                                   |
| W                   | EXISTING WATER MAIN                                    |
|                     | EXISTING GAS LINE                                      |
| T                   | EXISTING TELPHONE LINE                                 |
| Е                   | EXISTING ELECTRIC LINE                                 |
|                     | SANITARY MANHOLE $lacktriangle$ $(xxx)$                |
|                     | STORM MANHOLE • XXX                                    |
|                     | STORM INLET ## (XXX)                                   |
|                     | STORM END SECTION Q XXX                                |
| ¥                   | FIRE HYDRANT $\mathbf{Q}$                              |
| N/A                 | FLOW ARROW   |
| <b>荣</b>            | LIGHT POLE ☆   |
|                     | SIGN   |
| ٥٢                  | CLEAN OUT STRUCTURE o <sup>CO</sup>                    |
| 25<br>S.F.          | LOT NUMBER<br>SQUARE FEET                              |
| D.&U.E.             | DRAINAGE & UTILITY EASEMENT                            |
| D.E.                | DRAINAGE EASEMENT                                      |
| D.U.&S.S.E.<br>C.A. | DRAINAGE UTILTIY & SANITARY SEWER EASEMENT COMMON AREA |
| R/W                 | PUBLIC RIGHT OF WAY                                    |
| ,                   | ** =: *****  |

#### SITE UTILITY PLAN KEYNOTES:

(#) (NOT ALL KEY NOTES APPLY TO THIS SHEET)

SANITARY SEWER
S1. 6" SDR35 SANITARY LATERAL AT 1.0% MIN SLOPE (2% PREFERRED). LATERAL SEWER CLEANOUT WITHIN 3' OF BUILDING. CONTRACTOR TO NOTIFY ENGINEER IF FIELD CONDITIONS DIFFER PRIOR TO CONSTRUCTION. COORDINATE LOCATION WITH ARCHITECTURAL PLANS

D.&L.M.A.E. DRAINAGE & LANDSCAPE, MAINTENANCE ACCESS EASEMENT

S2. SANITARY LATERAL CLEANOUT.

WATER SERVICE
W1. CONNECT TO EXISTING 1" WATER METER PIT.

W2. 1" SERVICE WATER METER PIT.

W3. 1" DOMESTIC WATER SERVICE LINE. 70 LF W4. COORDINATE CONNECTION TO POOL HOUSE PER ARCHITECTURAL PLANS.

W5. EXISTING FIRE HYDRANT.

W7. EXISTING 3/4" WATER LATERAL. W8. EXISTING 1" WATER LATERAL.

<u>ELECTRIC SERVICE</u> (TO BE DETERMINED, ITEMS NOT SHOWN)

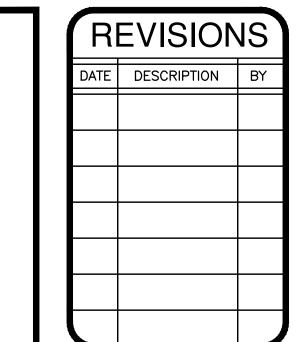
TELECOMMUNICATIONS (TO BE DETERMINED, IF REQUIRED: ITEMS NOT SHOWN)

GAS SERVICE (TO BE DETERMINED, IF REQUIRED: ITEMS NOT SHOWN)

#### **SANITARY SEWER NOTES:**

- 1. THE SANITARY SEWER SHALL MEET THE REQUIREMENTS OF HCRSD AND INDIANA DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (IDEM) AND INDIANA STATE DEPARTMENT OF HEALTH FOR SANITARY SEWER COLLECTION SYSTEMS. SANITARY SEWER LATERAL TO BE CONSTRUCTED OF POLYVINYL CHLORIDE (PVC) SDR-35 PIPE. JOINTS SHALL BE GASKETED BELL AND SPIGOT TYPE WITH THE BELL MADE INTEGRAL WITH THE PIPE. SANITARY SEWERS SHALL BE SDR-26 PIPE FOR DEPTHS OF 15 FT OR GREATER.
- 2. SANITARY SEWER LATERALS FOR BUILDING CONNECTIONS SHALL BE 6" DIAMETER PVC SDR-35, LAID AT A MINIMUM SLOPE OF 1.00%.
- 3. THE COMPLETED SANITARY SEWER SHALL BE HIGH PRESSURE WATER JET CLEANED AND TESTED IN ACCORDANCE WITH HCRSD REQUIREMENTS. ALL COSTS OF CLEANING AND TESTING ARE TO BE BORNE BY THE CONTRACTOR.
- 4. A MINIMUM OF 18" VERTICAL SEPARATION AND 10'-0" HORIZONTAL SEPARATION TO BE MAINTAINED BETWEEN THE WATER MAINS, HYDRANTS AND SEWERS (SANITARY AND
- 5. TRENCHES UNDER PAVED AREAS (EXCLUDING SIDEWALKS) SHALL BE BACKFILLED WITH GRANULAR MATERIAL PER INDIANA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS", CURRENT EDITION, SECTION 211, AND COMPACTED IN LIFTS. GRANULAR MATERIAL SHALL EXTEND 5 FT BEYOND THE LIMITS OF THE PAVED AREA WITH A 1:1 OUTWARD SLOPE TO THE BOTTOM OF THE TRENCH.
- 6. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND THE PIPE INVERT DEPTH WHERE THE PROPOSED CONNECTION IS MADE TO THE EXISTING SANITARY SEWER. VERTICAL DEVIATIONS GREATER THAN 0.1 FT. AND HORIZONTAL DEVIATIONS GREATER THAN 1.0 FT. SHALL BE REPORTED TO THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION AT THAT LOCATION.
- 7. MANHOLE OR CLEAN-OUT CASTINGS MAY NEED TO BE ELEVATED AFTER FINAL GRADING TO INSURE DRAINAGE AWAY FROM STRUCTURES.

PREPARED BY: HWC ENGINEERING 135 N. PENNSYLVANIA ST., SUITE 2800 INDIANAPOLIS, IN 46204 P: 317-347-3663



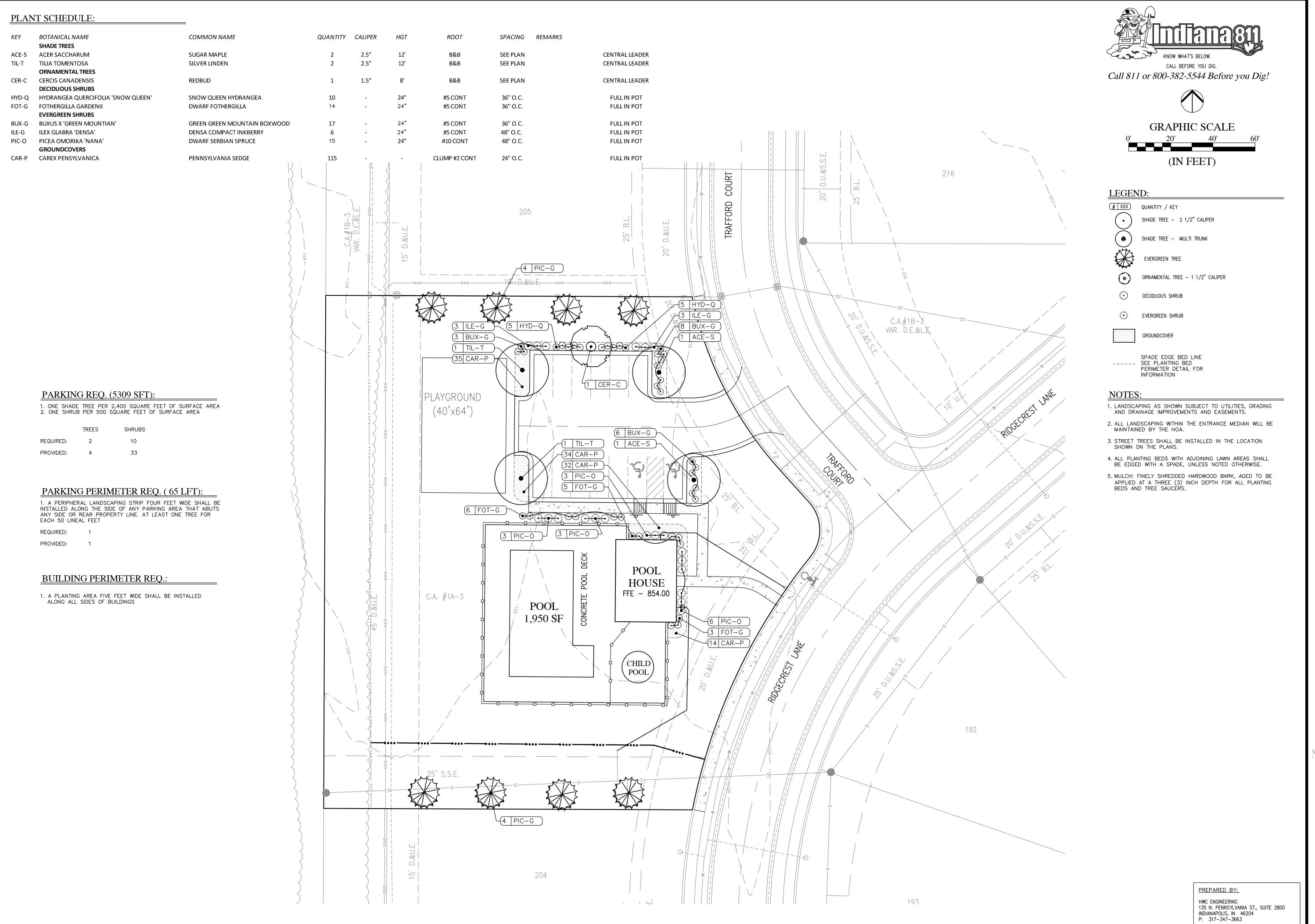


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POINTE Y AREA RD VIT MCCO AMEN

11400758 STATE OF STA CHECKED BY JANUARY 17, 2020 SCALE AS SHOWN

UTILITY PLAN



DATE DESCRIPTION BY



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MCCORD POINTE AMENITY AREA

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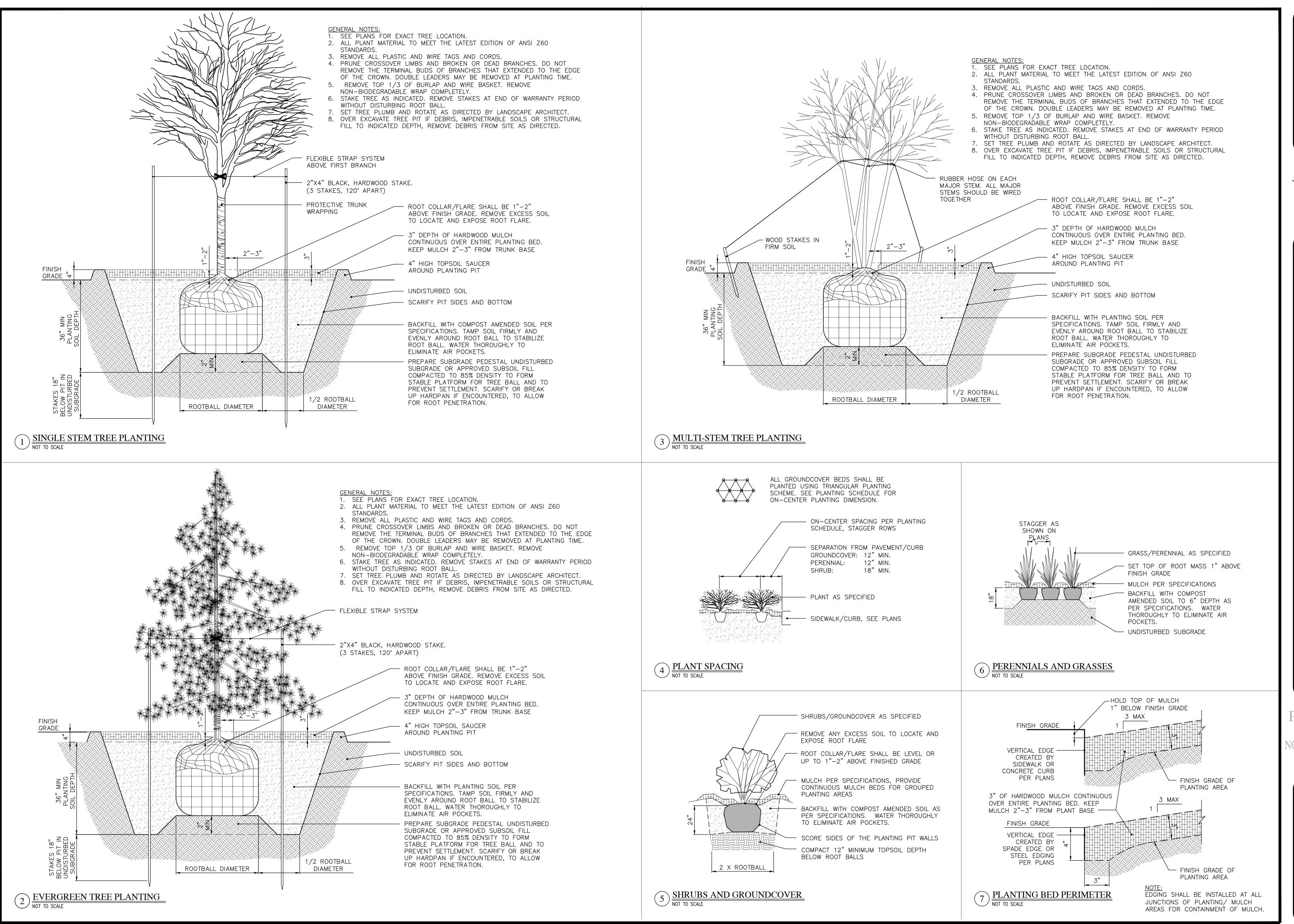
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SCALE
AS SHOWN
SHEET

JANUARY 17, 2020

L I . U
LANDSCAPE PLAN

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MCCORD POINTE AMENITY AREA

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LANDSCAPE DETAILS

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