June 4, 2019

Ryan Crum
Town of McCordsville
6280 W 800
McCordsville, IN 46055

Dear Ryan:

Accompanying this letter please find the ARC packages in advance of the June 18, 2019 meeting. In total there are 5 floor plans and 21 total elevations. Below is the breakdown of the submittal with each elevation's masonry percentage:

Amberwood	HR1W 86%	HR2S 76%	HR2T 88%	HR2W 100%	NC2S 66%	
Greenfield	HR1S 68%	HR1T 58%	HR2N 65%	HR3S 66%		
Hilltop	EC2S 74%	HR3S 54%				
Riverton	HR1S 62%	HR3W 90%	HR3X 90%	HR3Y 66%		
Westchester	HR2S 67%	HR3S 68%	HR3T 68%	HR3U 62%	HR3V 69%	NC2S 65%

Floor plans include one ranch (Amberwood) which starts at 2,323+ square feet, and four two-story plans (Greenfield, Hilltop, Riverton, and Westchester) ranging from 2,609+ to 3,300+ square feet. These floor plans are from The Crossings Series and offers open floorplans perfect for entertaining, lofts for added living spaces and Life Tested® features like the Pulte Planning Center® and Everyday Entry®. The elevations are in keeping with the Oakcrest PUD architectural standards. Masonry is heavily featured, and architectural styles include Heartland, Northern Craftsman, Euro Country.

Elevations will comply with the architectural standards as approved in the Oakcrest PUD. These include, but are not limited to:

- All homes will feature dimension shingles
- No homes will feature vinyl
- All homes will meet the window requirements
- All corner, door, and window trim will be a minimum of 1"x6" unless adjacent to masonry wrap
- All garages will feature decorative garage doors similar to those depicted in Exhibit E
- Roof overhangs will be a minimum of 11" measured from exterior wall framing to fascia board

The Indianapolis Division is in the process of updating elevations for its sixth floor plan (Baldwin) along with additional elevations for the floor plans that are being submitted for this review. Pulte will return to the ARC when those elevations are available.

If you have any questions or need additional information, please feel free to contact me. Thank you for your time and assistance with this project.

Sincerely,

Caitlin Dopher
Manager of Land Planning and Entitlements

CC: David Compton

Westchester
Zone Base Plan

MIDWEST ZONE
1900 E. GOLF RD. - SUITE 300 - SCHAUMBURG, IL 60173

MUNICIPALITY	ARCHITECT
. . . . .	PulteGroup
STRUCT. ENGINEER	**MECH. ENGINEER**
Mulhern & Kulp Engineers 20 S. Maple Street Suite 150 Ambler, PA 19002 215.646.8001 www.mulhernkulp.com	. . . . .
BUILDING CODE ANALYSIS	**APPLICABLE CODES**
USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS: Unprotected Frame HEIGHT & AREA: . EMERGENCY ESCAPE: 5.7 SF from Sleeping Areas not exiting at grade 5.0 SF from Sleeping Areas that exit within 6 ft of grade	BUILDING CODE: FIRE CODE: ELECTRICAL CODE: ENERGY CODE: PLUMBING CODE: MECHANICAL CODE: MUNICIPAL CODE:

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CZ 0.11	Sheet Index (Continued)
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DESIGN LOADS and CRITERIA

SEE STRUCTURAL PLANS FOR DESIGN CRITERIA

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Cover Sheet
Project Information / Sheet Index
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS
2	.
3	.
4	.
5	.
6	.
7	.

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NPC CHILD NUMBER
1852.302.00.CPM

SHEET
CZ
0.10

PLOTTED: January 30, 2019 / Sean Leheney / CZ 0.10.DWG

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Pulte Homes

Cover Sheet
Sheet Index cont.
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS
2	
3	
4	
5	
6	
7	

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NPC CHILD NUMBER
1852.302.00.CPM

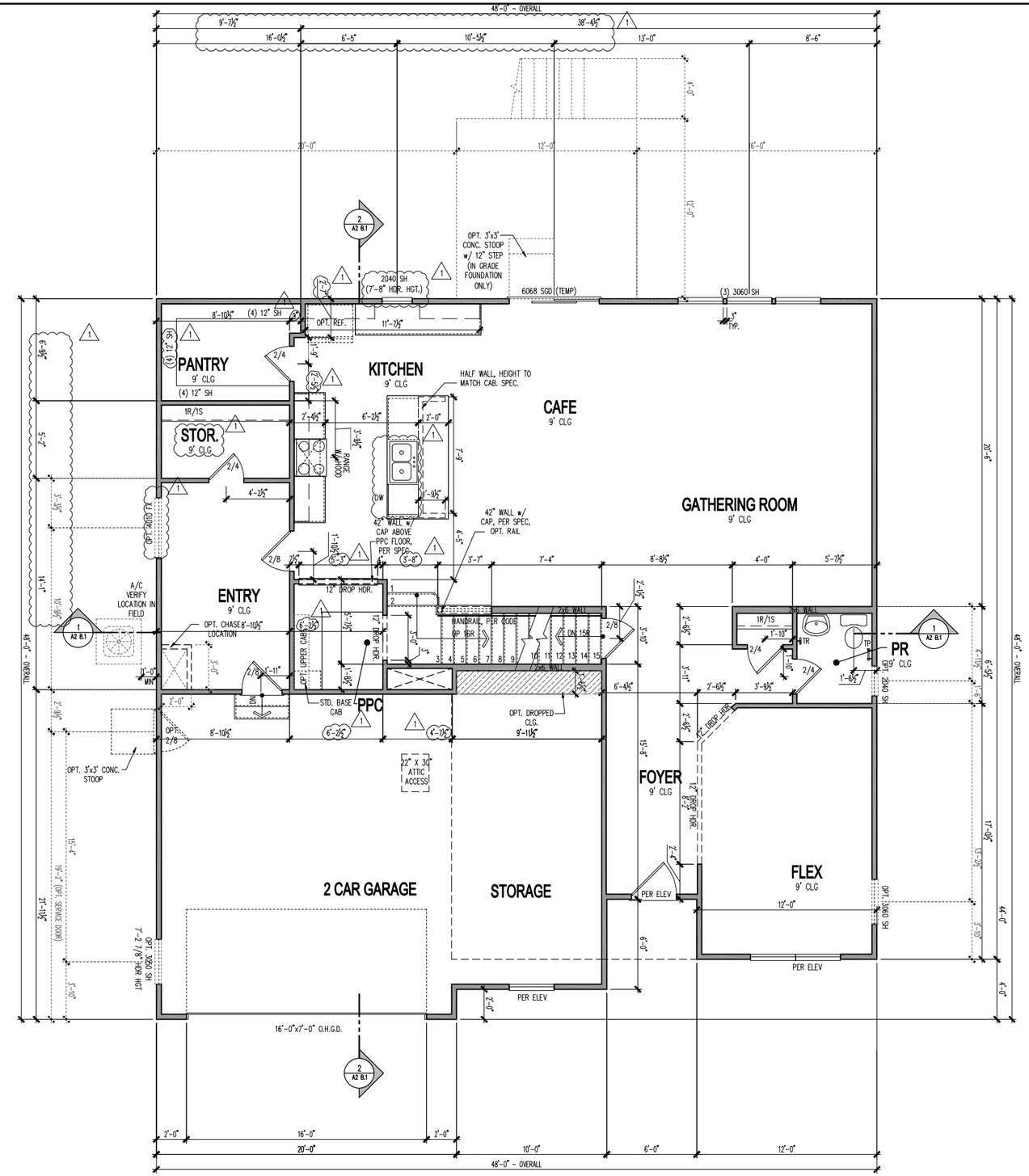
SHEET
CZ
0.11

PLOTTED: January 30, 2019 / Sean Leteney / CZ 0.11.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS:

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE ½" DRYWALL AT WALLS, CEILING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
11. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

First Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NPC CHILD NUMBER
1852.302.00.CPM

SHEET
A1
4-1.1

PLOTTED: February 25, 2019 / Rudolph Sanchez / A1 4-1.1.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS:

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
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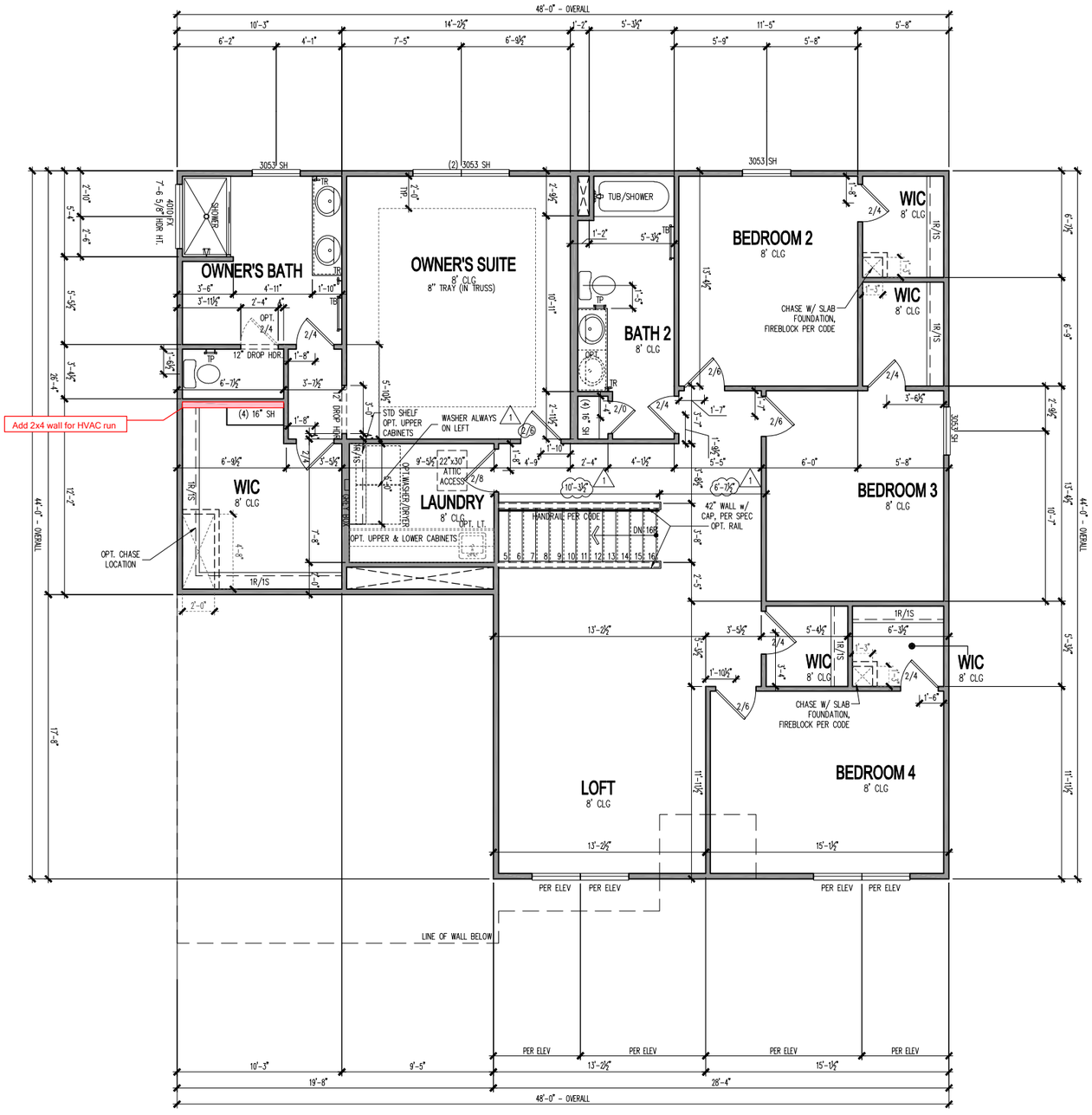
12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

PLOTTED: January 30, 2019 / Sean Lehenny / A1 4-2.1.DWG

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Second Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

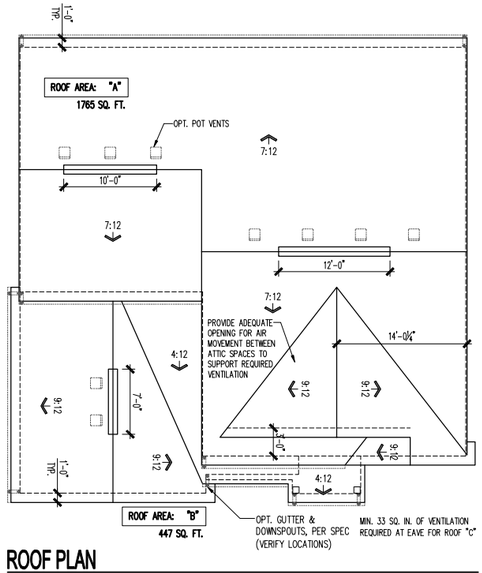
REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NPC CHILD NUMBER
1852.302.00.CPM

SHEET
A1
4-2.1



ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION SHOWING AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING SOFFIT VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

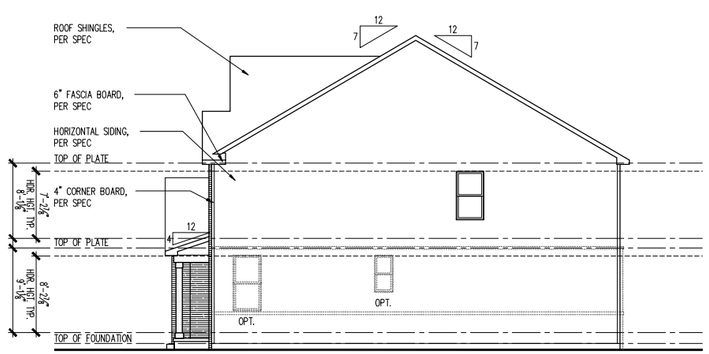
ELEVATION HR2S

ROOF AREA "A"		SQ FTG	1765	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./FOOT)	EAVE VENT (SQ.IN./FOOT)	CONT. VENT (SQ.IN./FOOT)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	2.35	2.94	2.77	48.69	7	0		
AT EAVE	3.23	2.94	3.13	51.31			0	45.00
TOTAL (sq)	5.58	5.88	6.09	100.00				
HIGH - RIDGE VENT	2.35	2.94	2.73	44.81	0	0	22.00	
AT EAVE	3.23	2.94	3.13	55.19			0	45.00
TOTAL (sq)	5.58	5.88	5.88	100.00	ADDIRIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

ROOF AREA "B"		SQ FTG	447	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./FOOT)	EAVE VENT (SQ.IN./FOOT)	CONT. VENT (SQ.IN./FOOT)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	0.40	0.75	0.69	48.41	2	0		
AT EAVE	0.89	0.75	0.90	51.59			0	13.00
TOTAL (sq)	1.49	1.49	1.75	100.00				
HIGH - RIDGE VENT	0.40	0.75	0.69	49.23	0	0	7.00	
AT EAVE	0.89	0.75	0.90	50.76			0	13.00
TOTAL (sq)	1.49	1.49	1.78	100.00	ADDIRIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

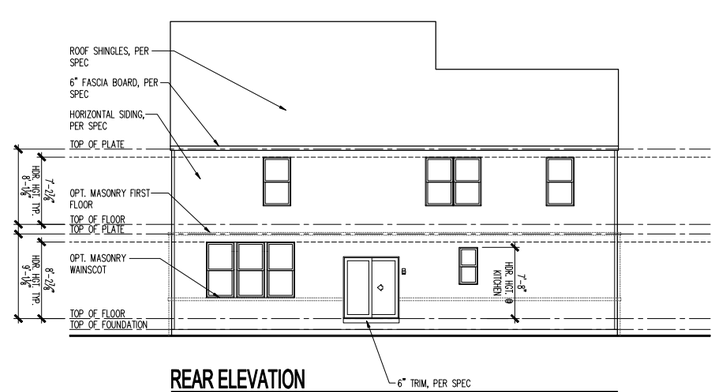
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



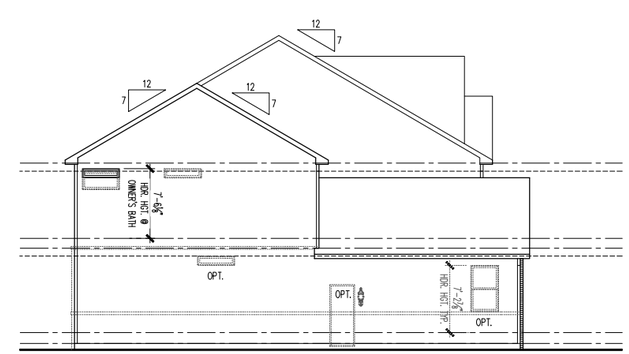
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 30, 2019 / Sean Leheney / A3-HR2S 2FB.1.DWG

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1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 2S

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

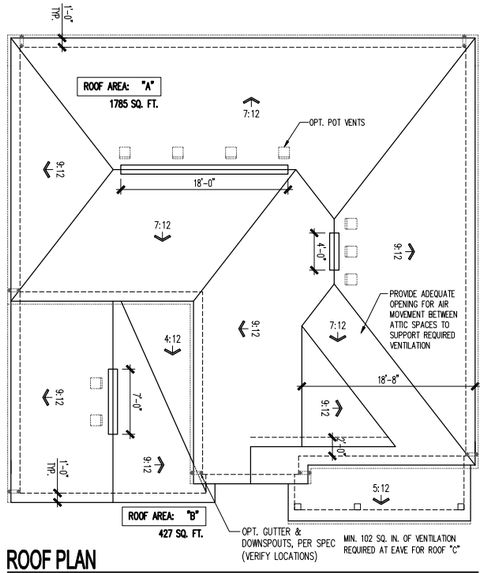
REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS
2	
3	
4	
5	
6	
7	

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NRC CHILD NUMBER
1852.302.00.CPM

SHEET
A3-HR2S
2FB.1



ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION SHOWING AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING SAME VENTILATION AT EA-ABS OF TOTAL AND RIDGE AT 40-ABS OF TOTAL REQUIRED VENTILATION

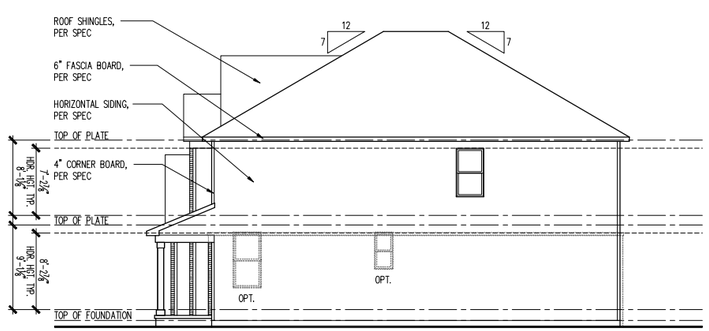
ELEVATION HR3S

ROOF AREA "A"		SQ FTG	1785	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./RUN)	EAVE VENT (SQ.IN./RUN)	CONT. VENT (SQ.IN./RUN)
				61.00	40.00	18.00	28.00	10.00
NON - POT VENTS ONLY	2.38	2.98	2.97	48.69	7	0		
AT EAVE	3.27	2.98	3.13	51.31			0	45.00
TOTAL (min)	5.95	5.95	6.09	100.00				
NON - RIDGE VENT	2.38	2.98	3.79	44.81	0	0	22.00	
AT EAVE	3.27	2.98	3.13	55.19			0	45.00
TOTAL (min)	5.95	5.95	6.88	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

ROOF AREA "B"		SQ FTG	427	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./RUN)	EAVE VENT (SQ.IN./RUN)	CONT. VENT (SQ.IN./RUN)
				61.00	40.00	18.00	28.00	10.00
NON - POT VENTS ONLY	0.87	0.71	0.89	48.41	2	0		
AT EAVE	0.88	0.71	0.90	51.59			0	13.00
TOTAL (min)	1.42	1.42	1.79	100.00				
NON - RIDGE VENT	0.87	0.71	0.89	49.33	0	0	7.00	
AT EAVE	0.88	0.71	0.90	50.76			0	13.00
TOTAL (min)	1.42	1.42	1.78	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

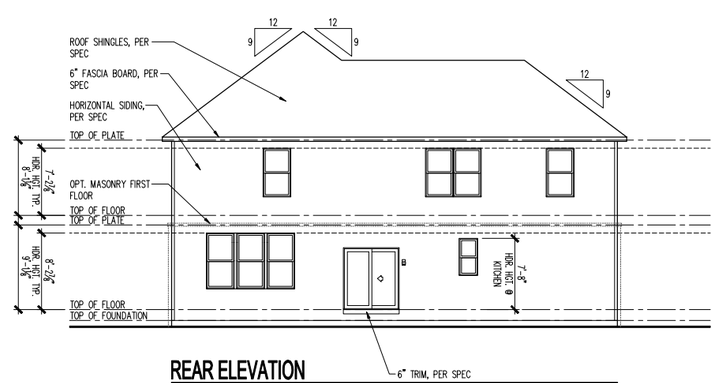
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



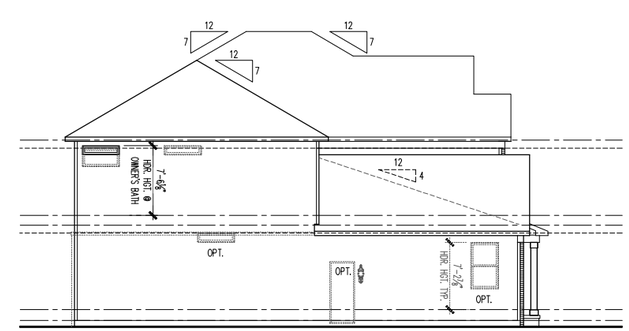
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 30, 2019 / Sean Leheney / A3-HR3S 2FB.1DWG

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Midwest Zone Office

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Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3S

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE DATE: 01/18/2019

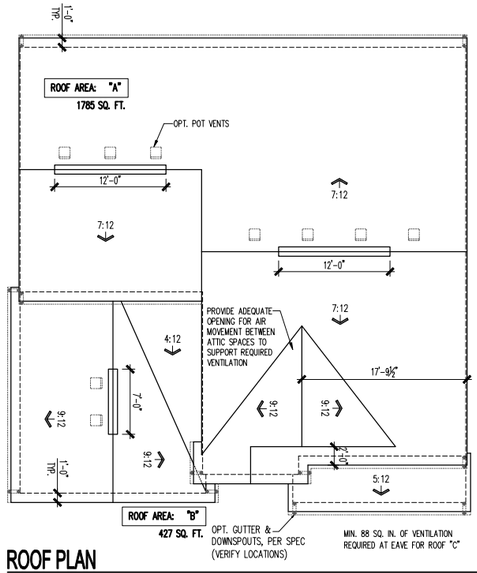
REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS
2	
3	
4	
5	
6	
7	

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NRC CHILD NUMBER
1852.302.00.CPM

SHEET
A3-HR3S
2FB.1



ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION SHOWNED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-65% OF TOTAL AND RIDGE AT 35-65% OF TOTAL REQUIRED VENTILATION

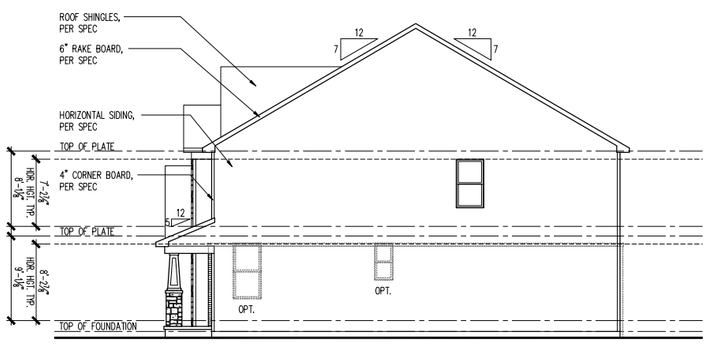
ELEVATION HR3T

ROOF AREA "A"			SQ FTG	1785	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE		SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN./VENT)	POT SMALL (SQ.IN./VENT)	RIDGE VENT (SQ.IN./FOOT)	EAVE VENT (SQ.IN./VENT)	CONC. VENT (SQ.IN./VENT)
					61.00	40.00	18.00	28.00	10.00
NON - POT VENTS ONLY	2.38	2.98	2.77	48.69	7	0			
AT EAVE	2.37	2.96	3.13	51.31				0	48.00
TOTAL (min)	5.95	5.95	6.09	100.00					
NON - RIDGE VENT	2.38	2.98	3.00	48.98	0	0	34.00		
AT EAVE	2.37	2.96	3.13	51.02				0	48.00
TOTAL (min)	5.95	5.95	6.13	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				

ROOF AREA "B"			SQ FTG	427	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE		SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN./VENT)	POT SMALL (SQ.IN./VENT)	RIDGE VENT (SQ.IN./FOOT)	EAVE VENT (SQ.IN./VENT)	CONC. VENT (SQ.IN./VENT)
					61.00	40.00	18.00	28.00	10.00
NON - POT VENTS ONLY	0.87	0.71	0.88	48.41	2	0			
AT EAVE	0.88	0.71	0.90	51.59				0	13.00
TOTAL (min)	1.42	1.42	1.78	100.00					
NON - RIDGE VENT	0.87	0.71	0.88	49.23	0	0	7.00		
AT EAVE	0.88	0.71	0.90	50.76				0	13.00
TOTAL (min)	1.42	1.42	1.78	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				

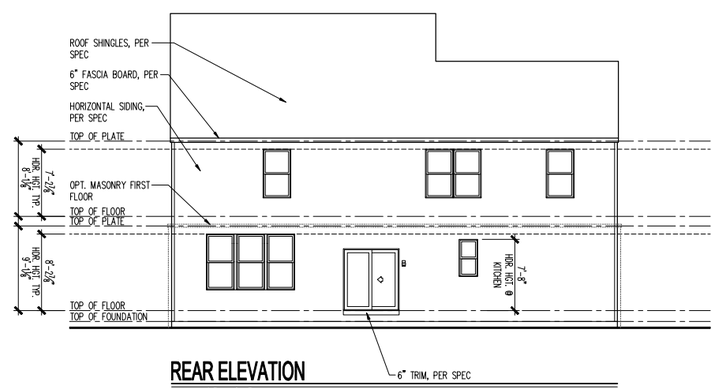
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



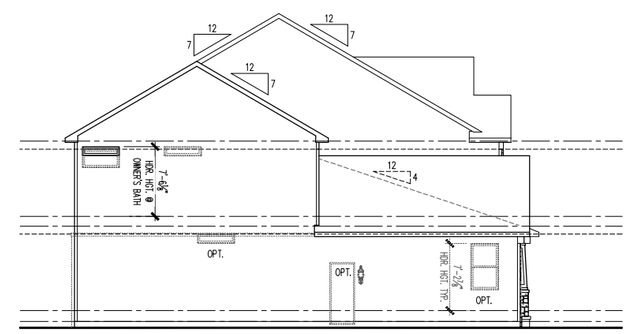
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3T

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS
2	
3	
4	
5	
6	
7	

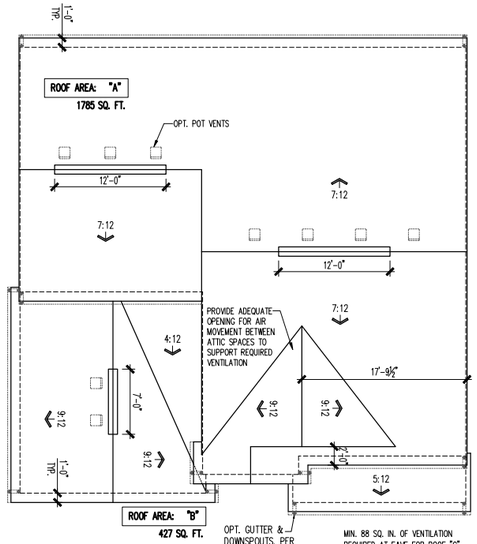
GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NRC CHILD NUMBER
1852.302.00.CPM

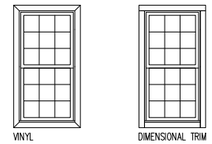
SHEET
A3-HR3T
2FB.1

PLOTTED: January 30, 2019 / Sean Leheney / A3-HR3T 2FB.1.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"



SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

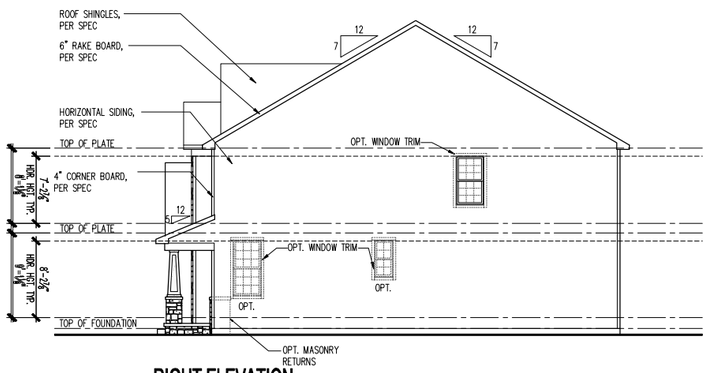
ATTIC VENT SCHEDULE

VENTILATION SHOWING AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION IS 50-65% OF TOTAL AND RIDGE AT 35-65% OF TOTAL REQUIRED VENTILATION

ELEVATION HR3U

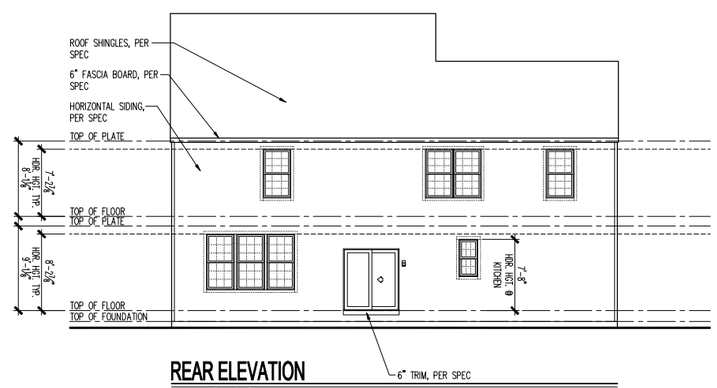
ROOF AREA "A"		SQ FTG	1785	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN.NECK)	EAVE VENT (SQ.IN.NECK)	CONC. VENT (SQ.IN.NECK)
				61.00	40.00	18.00	28.00	10.00
NON - POT VENTS ONLY	2.39	2.98	2.97	48.69	7	0		
AT EAVE	2.97	2.98	3.13	51.31			0	45.00
TOTAL (sq)	5.95	5.95	6.09	100.00				
NON - RIDGE VENT	2.38	2.98	3.00	48.98	0	0	24.00	
AT EAVE	2.97	2.98	3.13	51.02			0	45.00
TOTAL (sq)	5.95	5.95	6.13	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

ROOF AREA "B"		SQ FTG	427	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN.NECK)	EAVE VENT (SQ.IN.NECK)	CONC. VENT (SQ.IN.NECK)
				61.00	40.00	18.00	28.00	10.00
NON - POT VENTS ONLY	0.87	0.71	0.89	48.41	2	0		
AT EAVE	0.88	0.71	0.90	51.59			0	13.00
TOTAL (sq)	1.42	1.42	1.79	100.00				
NON - RIDGE VENT	0.87	0.71	0.89	49.23	0	0	7.00	
AT EAVE	0.88	0.71	0.90	50.76			0	13.00
TOTAL (sq)	1.42	1.42	1.79	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



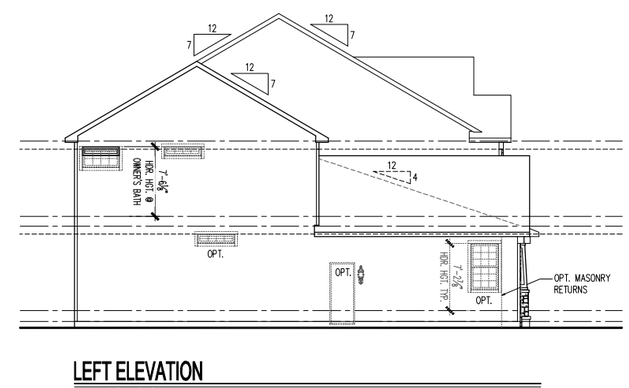
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 30, 2019 / Sean Lehenery / A3-HR3U 2FB.1.DWG

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3U

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

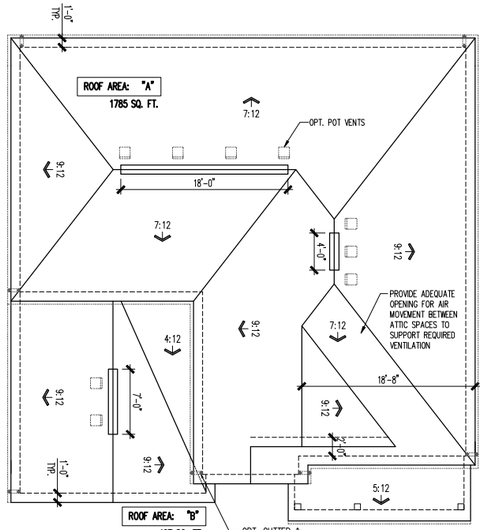
REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS
2	
3	
4	
5	
6	
7	

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

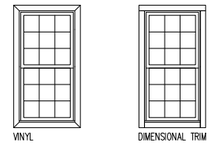
PLAN NAME
WESTCHESTER
NRC CHILD NUMBER
1852.302.00.CPM

SHEET
A3-HR3U
2FB.1



ROOF PLAN

SCALE: 1/8" = 1'-0"



SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION SHOWNED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-45% OF TOTAL AND RIDGE AT 45-55% OF TOTAL REQUIRED VENTILATION

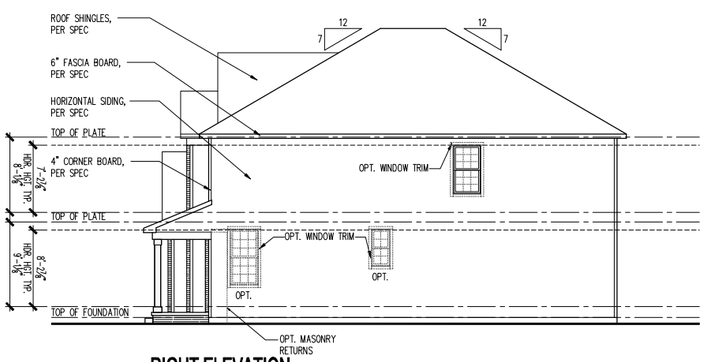
ELEVATION HR3V

ROOF AREA "A"			SQ FTG	1785	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE		SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./FOOT)	EAVE VENT (SQ.IN./FOOT)	CONC. VENT (SQ.IN./FOOT)
					61.00	40.00	18.00	28.00	10.00
NCH - POT VENTS ONLY	2.38	2.98	2.97	48.69	7	0			
AT EAVE	2.37	2.96	3.13	51.31				0	45.00
TOTAL (sq.ft.)	5.95	5.95	6.09	100.00					
NCH - RIDGE VENT	2.38	2.98	3.79	44.81	0	0	22.00		
AT EAVE	2.37	2.96	3.13	55.19				0	45.00
TOTAL (sq.ft.)	5.95	5.95	6.88	100.00	ADDIRIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				

ROOF AREA "B"			SQ FTG	427	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE		SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./FOOT)	EAVE VENT (SQ.IN./FOOT)	CONC. VENT (SQ.IN./FOOT)
					61.00	40.00	18.00	28.00	10.00
NCH - POT VENTS ONLY	0.87	0.71	0.88	48.41	2	0			
AT EAVE	0.88	0.71	0.93	51.59				0	13.00
TOTAL (sq.ft.)	1.42	1.42	1.79	100.00					
NCH - RIDGE VENT	0.87	0.71	0.88	49.23	0	0	7.00		
AT EAVE	0.88	0.71	0.90	50.76				0	13.00
TOTAL (sq.ft.)	1.42	1.42	1.78	100.00	ADDIRIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE				

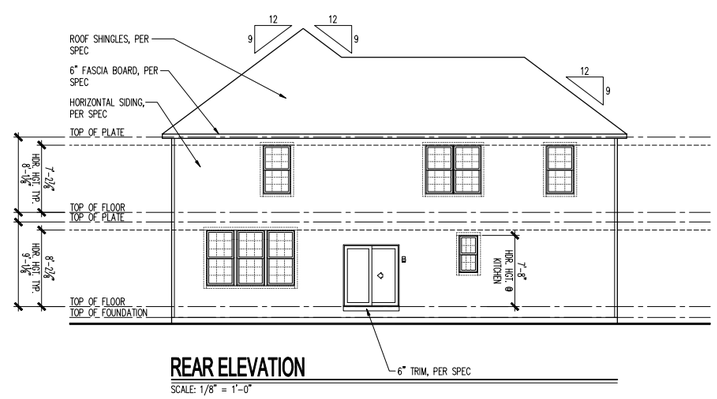
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



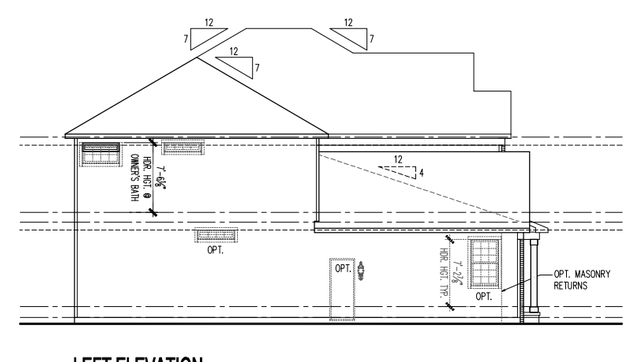
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3V

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS

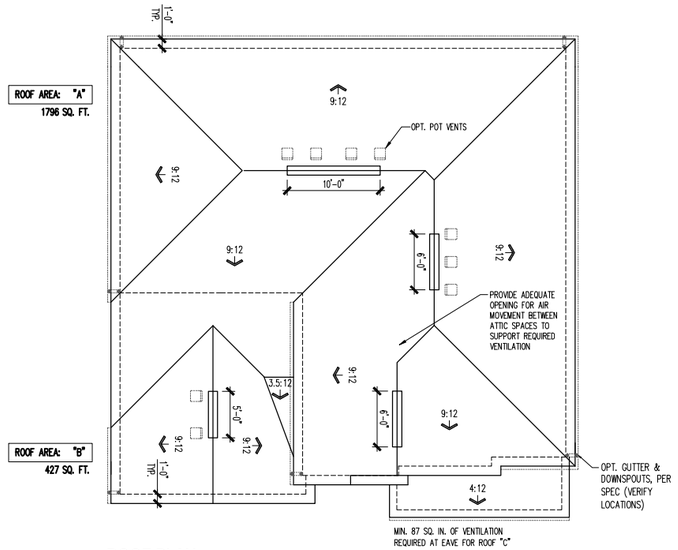
GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NRC CHILD NUMBER
1852.302.00.CPM

SHEET
A3-HR3V
2FB.1

PLOTTED: January 30, 2019 / Sean Lehenery / A3-HR3V 2FB.1.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"

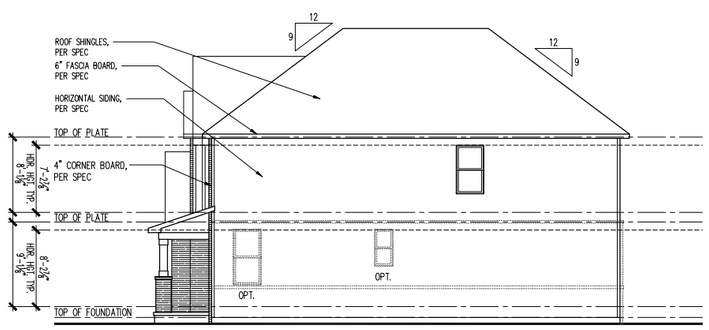
ATTIC VENT SCHEDULE

VENTILATION SHOWNED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION IS 50-50% OF TOTAL AND RIDGE AT 50-50% OF TOTAL REQUIRED VENTILATION

ELEVATION NC2G								
ROOF AREA "A"		SQ FTG	1796	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN./VENT)	POT SMALL (SQ. IN./VENT)	RIDGE VENT (SQ. IN./FT.)	EAVE VENT (SQ. IN./VENT)	CONT. VENT (SQ. IN./FT.)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	2.39	2.99	2.97	48.69	7	0		
AT EAVE	3.39	2.99	3.13	51.31			0	48.00
TOTAL (sq)	5.99	5.99	6.09	100.00				
HIGH - RIDGE VENT	2.39	2.99	3.79	48.31	0	0	22.00	
AT EAVE	3.39	2.99	3.33	54.79			0	48.00
TOTAL (sq)	5.99	5.99	6.08	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			
ROOF AREA "B"		SQ FTG	427	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN./VENT)	POT SMALL (SQ. IN./VENT)	RIDGE VENT (SQ. IN./FT.)	EAVE VENT (SQ. IN./VENT)	CONT. VENT (SQ. IN./FT.)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	0.87	0.71	0.89	54.96	2	0		
AT EAVE	0.55	0.71	0.69	45.04			0	10.00
TOTAL (sq)	1.42	1.42	1.54	100.00				
HIGH - RIDGE VENT	0.87	0.71	0.43	42.86	0	0	8.00	
AT EAVE	0.55	0.71	0.83	57.14			0	12.00
TOTAL (sq)	1.42	1.42	1.46	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

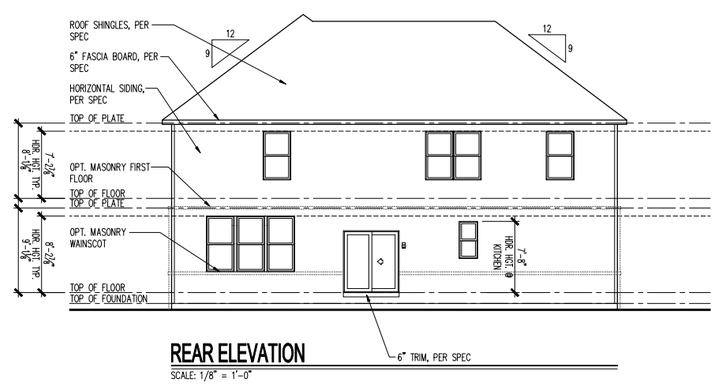
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



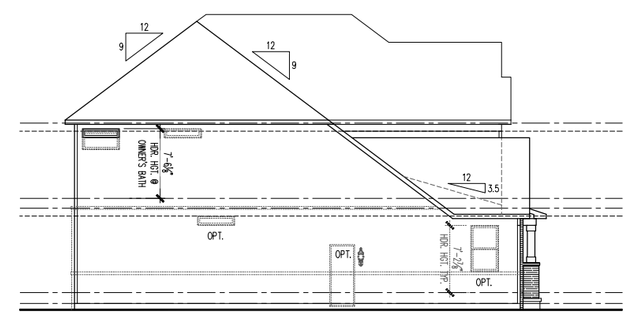
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Northern Craftsman 2S

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PCR REVISIONS
2	
3	
4	
5	
6	
7	

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
WESTCHESTER
NRC CHILD NUMBER
1852.302.00.CPM

SHEET
A3-NC2S
2FB.1

PLOTTED: January 30, 2019 / Sean Leheney / A3-NC2S 2FB.1.DWG

Riverton
Zone Base Plan

MIDWEST ZONE
1900 GOLF RD. - SUITE 300 - SCHAUMBURG, IL 60173

MUNICIPALITY	ARCHITECT
Building Dept.	PulteGroup 1900 E. Golf Rd. Suite 300 Schaumburg, IL 60173 847.230.5400 www.Pulte.com
STRUCT. ENGINEER	**MECH. ENGINEER**
Mulhern & Kulp Engineers 20 S. Maple Street Suite 150 Ambler, PA 19002 215.646.8001 www.mulhernkulp.com	. . . . . .
BUILDING CODE ANALYSIS	**APPLICABLE CODES**
USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS:Unprotected Frame HEIGHT & AREA: . EMERGENCY ESCAPE: 5.7 SF from Sleeping Areas not exiting at grade 5.0 SF from Sleeping Areas that exit within 6 ft of grade	BUILDING CODE: FIRE CODE: ELECTRICAL CODE: ENERGY CODE: PLUMBING CODE: MECHANICAL CODE: MUNICIPAL CODE:

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CZ 0.11	Cover Sheet / Sheet Index cont.
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CZ 0.30	Cover Sheet / Abbreviations and Schedules
CZ 0.40	Cover Sheet / Revision Log
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A0 BB-1.1	Basement Foundation Plan w/ Masonry / _ /_
A0 BB-1.2	Basement Foundation Plan w/ Masonry / Options /_
A0 G-1.1	Grade Brick Foundation Plan / _ /_
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A3 HR2G 2FB4.2	Heartland 2G / 2 Car Front Entry / Partial Plans and General Notes - 4" Exterior Walls
A3 XXXX 2FB4.3	XXXX / 2 Car Front Entry / Partial Plans and General Notes - 4" Exterior Walls ****Elevation PR2M and CR2G Only****
A3 HR2G 2FB6.2	Heartland 2G / 2 Car Front Entry / Partial Plans and General Notes - 6" Exterior Walls
A3 XXXX 2FB6.3	XXXX / 2 Car Front Entry / Partial Plans and General Notes - 6" Exterior Walls ****Elevation PR2M and CR2G Only****
A3 HR2G 2SB.1	Heartland 2G / 2 Car Side Entry / Front, Side and Rear Elevations, Roof Plan and Ventilation Schedule
A3 HR2G 2SB4.2	Heartland 2G / 2 Car Side Entry / Partial Plans and General Notes - 4" Exterior Walls
A3 HR2G 2SB4.3	Heartland 2G / 2 Car Side Entry / Partial Plans and General Notes - 4" Exterior Walls
A3 HR2G 2SB6.2	Heartland 2G / 2 Car Side Entry / Partial Plans and General Notes - 6" Exterior Walls
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Sheet No.	Sheet Description
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A3 HR2G 3FB4.3	Heartland 2G / 3 Car Front Entry / Partial Plans and General Notes - 4" Exterior Walls
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A4 SRIG.1	Sunroom Option / Floor, Foundation and Utility Plans / Grade Brick In-Grade Basement Elevations
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A4 EX4W.1	Gathering Rm. Ext. - 4" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
A4 EX6I.1	Gathering Rm. Ext. - 6" Exterior Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 EX6D.1	Gathering Rm. Ext. - 6" Exterior Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations
A4 EX6W.1	Gathering Rm. Ext. - 6" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
A4 EXIG.1	Gathering Rm. Ext. / Floor, Foundation and Utility Plans / Grade Brick In-Grade Basement Elevations
A4 EXDG.1	Gathering Rm. Ext. / Floor, Foundation and Utility Plans / Grade Brick Daylight Basement Elevations

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A4 EX4SRI.1	Gathering Rm. Ext. w/ Sunroom - 4" Exterior Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 EX4SRD.1	Gathering Rm. Ext. w/ Sunroom - 4" Exterior Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations
A4 EX4SRW.1	Gathering Rm. Ext. w/ Sunroom - 4" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
A4 EX6SRI.1	Gathering Rm. Ext. w/ Sunroom - 6" Exterior Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 EX6SRD.1	Gathering Rm. Ext. w/ Sunroom - 6" Exterior Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations
A4 EX6SRW.1	Gathering Rm. Ext. w/ Sunroom - 6" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
A4 EXSRIG.1	Gathering Rm. Ext. w/ Sunroom / Floor, Foundation and Utility Plans / Grade Brick In-Grade Basement Elevations
A4 EXSRDG.1	Gathering Rm. Ext. w/ Sunroom / Floor, Foundation and Utility Plans / Grade Brick Daylight Basement Elevations
A4 EXSRWG.1	Gathering Rm. Ext. w/ Sunroom / Floor, Foundation and Utility Plans / Grade Brick Walkout Basement Elevations
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U1 0.10	Finished Basement / Utility Plan
U1 0.20	Finished Basement - Plan Options / Utility Plan
U1 0.21	Finished Basement - Plan Options / Utility Plan / Opt. Lighting Package
U1 0.30	Finished Basement - Plan Options / Utility Plan
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U1 4-1.11	First Floor Utility Plan / Opt. Lighting Package / 4" Exterior Walls
U1 4-1.20	First Floor Utility Plan - Plan Options / _ / 4" Exterior Walls
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U1 6-2.20	Second Floor Utility Plan - Plan Options / _ / 6" Exterior Walls

DESIGN LOADS and CRITERIA

SEE STRUCTURAL PLANS FOR DESIGN CRITERIA

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Schaumburg, Illinois 60173

Cover Sheet
Project Information / Sheet Index
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	.
3	.
4	.
5	.
6	.
7	.

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
Riverton
NPC CHILD NUMBER
1853.302

SHEET
CZ
0.10

PLOTTED: January 30, 2019 / / Tiffany Perreault / CZ 0.10.DWG

Sheet No.	Sheet Description
FLOORING LAYOUT DRAWINGS	
FL 0.1	Finished Basement Flooring Plan / _ / _
FL 0.2	Finished Basement Flooring Plan / Options / _
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FL 4-1.2	First Floor Flooring Plan / Options / 4" Exterior Walls
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FL 4-2.1	Second Floor Flooring Plan / _ / 4" Exterior Walls
FL 4-2.2	Second Floor Flooring Plan / Options / 4" Exterior Walls
FL 6-1.1	First Floor Flooring Plan / _ / 6" Exterior Walls
FL 6-1.2	First Floor Flooring Plan / Options / 6" Exterior Walls
FL 6-1.3	First Floor Flooring Plan / Options / 6" Exterior Walls
FL 6-2.1	Second Floor Flooring Plan / _ / 6" Exterior Walls
FL 6-2.2	Second Floor Flooring Plan / Options / 6" Exterior Walls
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TR 4-1.2	First Floor Plan / Trim Options Layout / 4" Exterior Walls
TR 4-2.1	Second Floor Plan / Trim Options Layout / 4" Exterior Walls
TR 6-1.1	First Floor Plan / Trim Options Layout / 6" Exterior Walls
TR 6-1.2	First Floor Plan / Trim Options Layout / 6" Exterior Walls
TR 6-2.1	Second Floor Plan / Trim Options Layout / 6" Exterior Walls
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S-0 SHEETS	Structural Notes
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S-2 SHEETS	2nd Floor Framing Plans
S-3 SHEETS	Roof Framing Plans
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SO-1 SHEETS	Plan Options
SO-2 SHEETS	Plan Options
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STRUCTURAL DETAILS	
SD SHEETS	Structural Details

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Schaumburg, Illinois 60173

Pulte Homes

Cover Sheet
Sheet Index cont.
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	. .
3	. .
4	. .
5	. .
6	. .
7	. .

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
Riverton
NPC CHILD NUMBER
1853.302

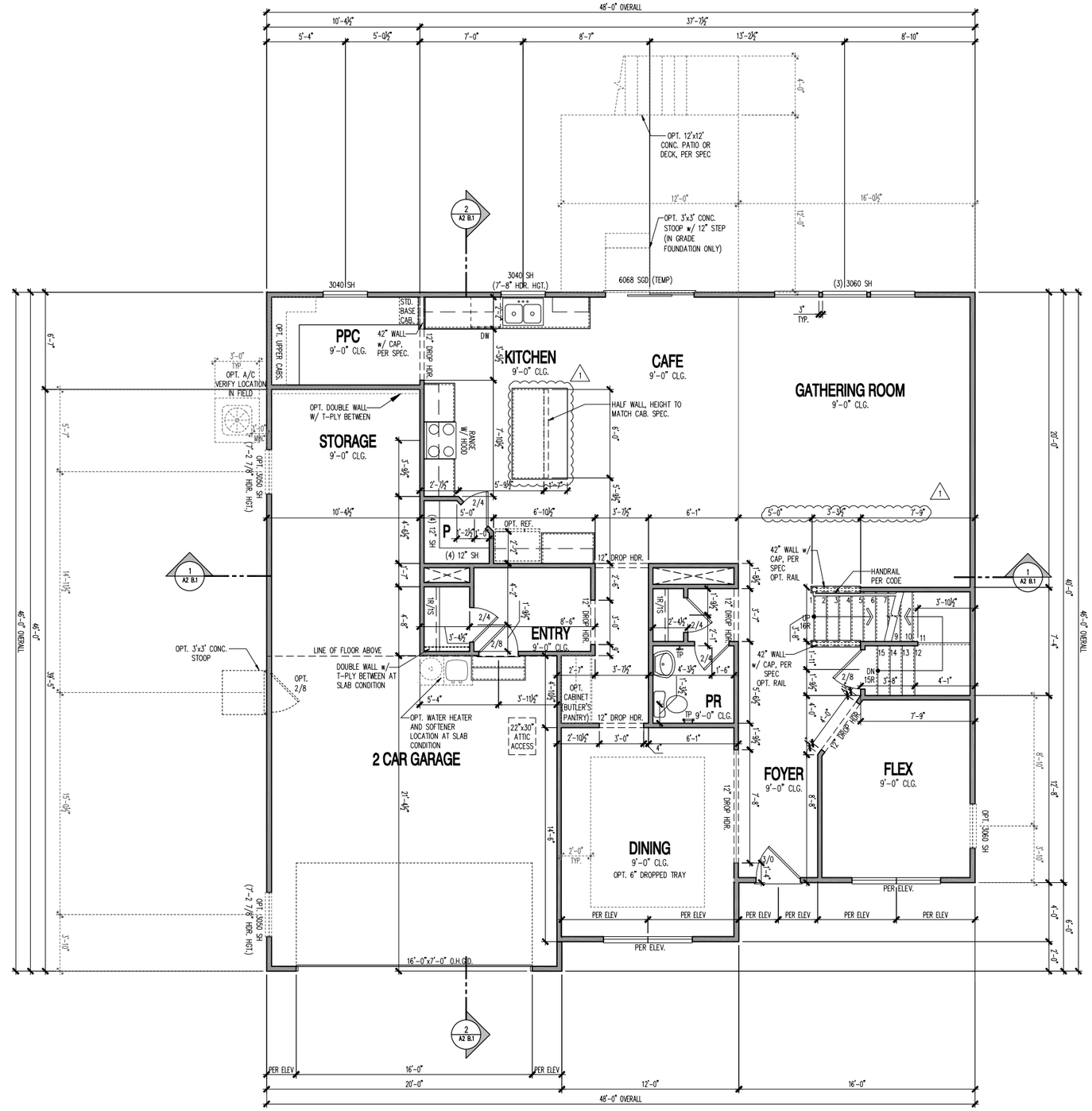
SHEET CZ
0.11

PLOTTED: January 30, 2019 / Tiffany Perreault / CZ 0.11.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE ½" DRYWALL AT WALLS, CEILING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
11. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

First Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
Riverton
NPC CHILD NUMBER
1853.302

SHEET
A1
4-1.1

PLOTTED: January 30, 2019 / Tiffany Perreault / A1 4-1.1.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE ½" DRYWALL AT WALLS, CEILING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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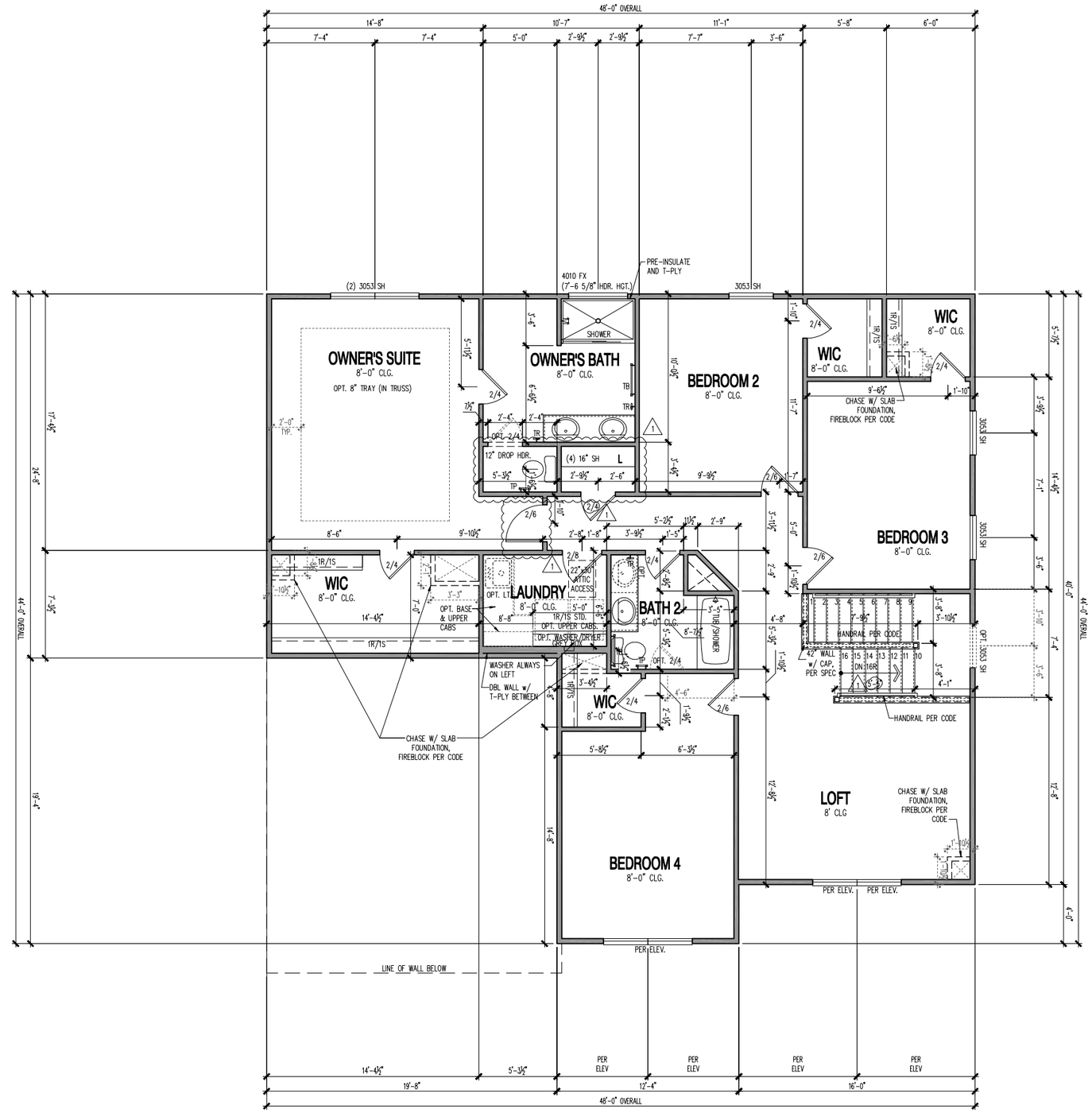
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

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Schaumburg, Illinois 60173

Second Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

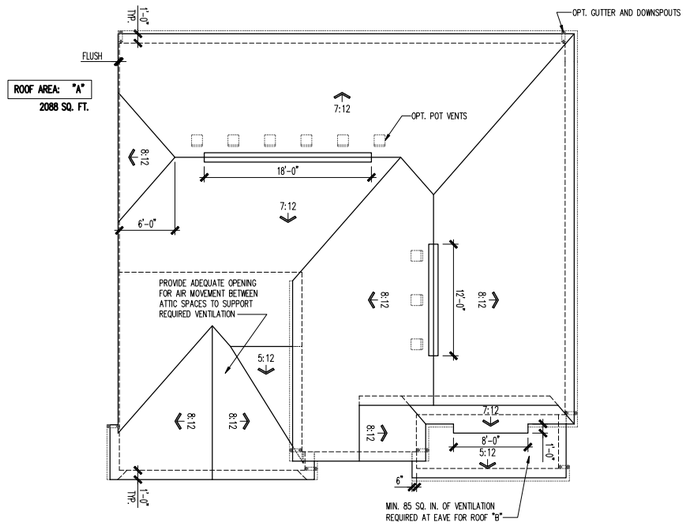
GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
Riverton
NPC CHILD NUMBER
1853.302

SHEET
A1
4-2.1

PLOTTED: January 30, 2019 / Tiffany Perreault / A1 4-2.1.DWG



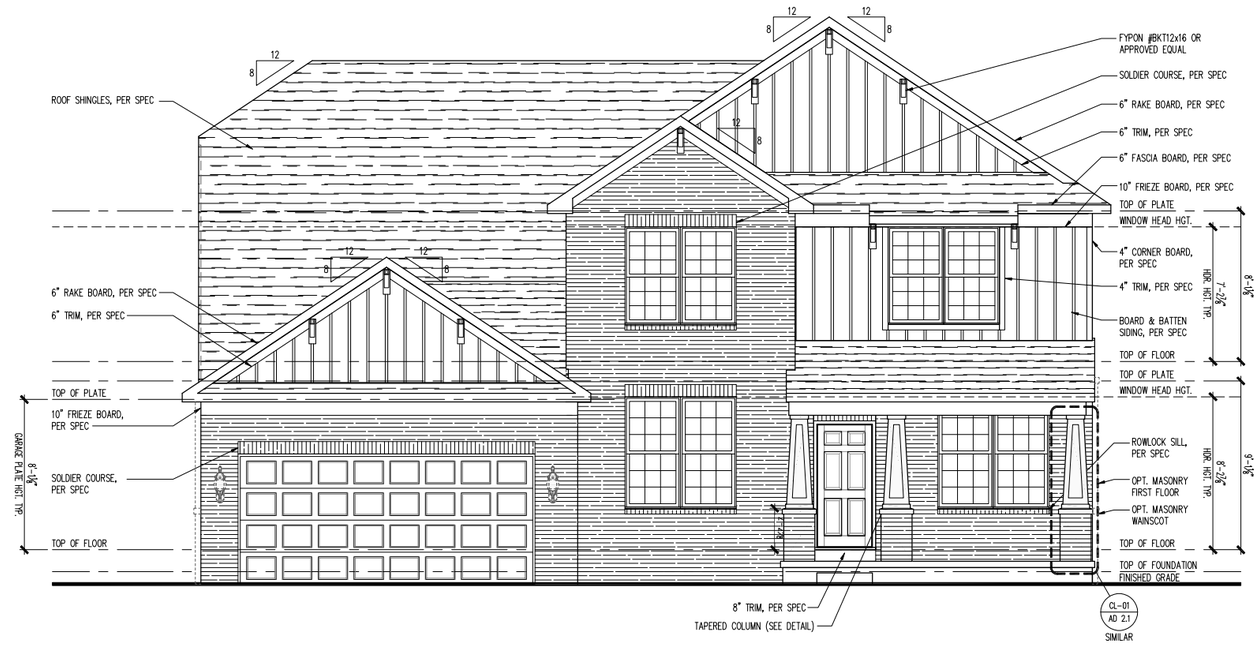
ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

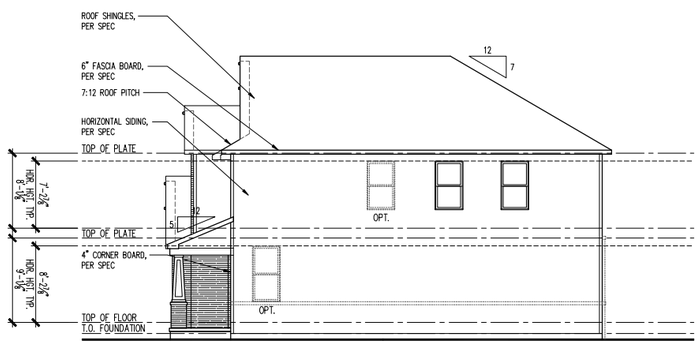
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

ELEVATION HR1S								
ROOF AREA "A"		SQ FTG	2088	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./LIN.FT)	EAVE VENT (SQ.IN./LIN.FT)	CONE VENT (SQ.IN./LIN.FT)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	2.79	3.48	3.81	49.06	9	0		
AT EAVES	4.18	3.48	3.96	60.94			0	57.00
TOTAL (sq)	6.96	6.96	7.77	100.00				
HIGH - RIDGE VENT	2.79	3.48	3.78	48.65	0	0	30.00	
AT EAVES	4.18	3.48	3.96	51.35			0	57.00
TOTAL (sq)	6.96	6.96	7.71	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



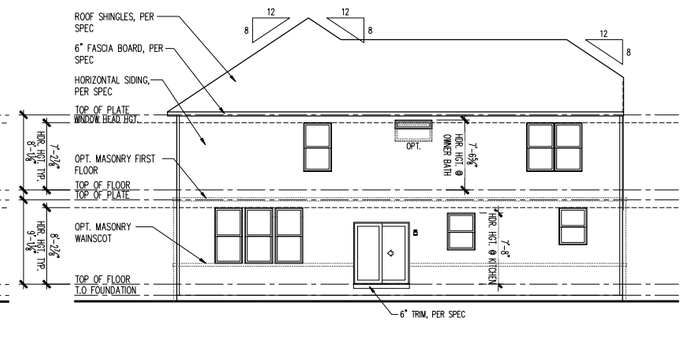
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



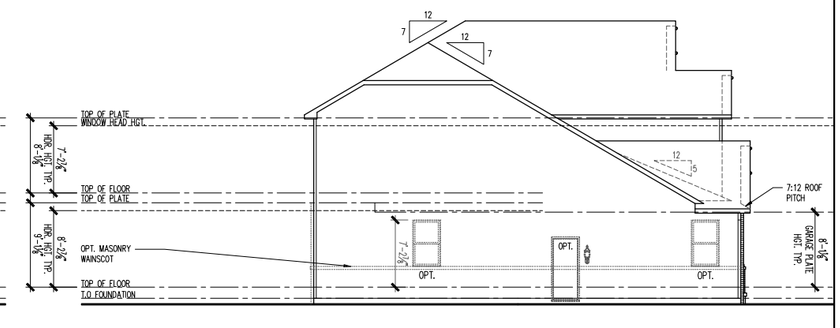
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 31, 2019 / Tiffany Perreault / A3-HR1S 2FB.1.DWG

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Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 1S

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

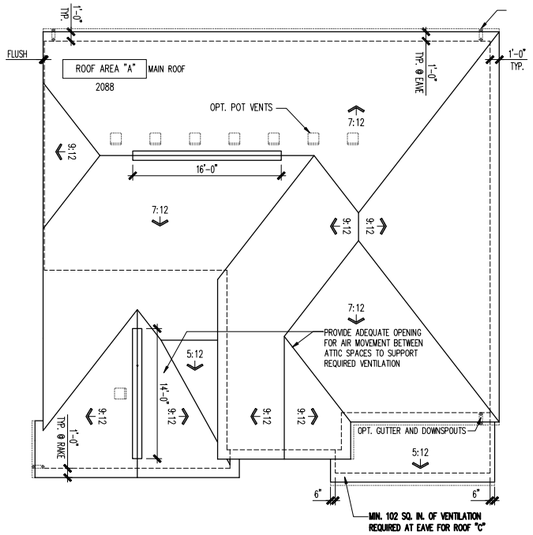
REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
Riverton
NPC CHILD NUMBER
1853.302

SHEET
A3-HR1S
2FB.1



ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

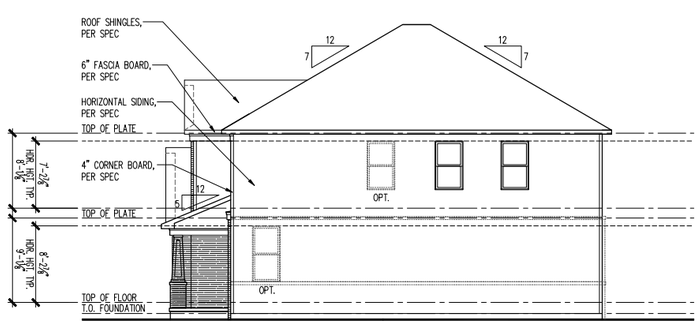
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-50% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

HR3W

ROOF AREA "A"		SQ FTG	2088	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. EACH)	POT SMALL (SQ. IN. EACH)	RIDGE VENT (SQ. IN. PER FT)	EAVE VENT (SQ. IN. EACH)	CONT. VENT (SQ. IN. PER FT)
				61.00	40.00	18.00	28.00	10.00
HIGH-POT VENTS ONLY	2.76	3.48	3.39	48.41	0	0		
AT EAVE	4.18	3.48	3.61	51.59			0	52.00
TOTAL sqft	6.94	6.94	7.00	100.00				
HIGH-RIDGE VENT	2.78	3.48	3.39	44.43	0	0	26.00	
AT EAVE	4.16	3.48	3.79	55.57			0	54.00
TOTAL sqft	6.94	6.94	7.00	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

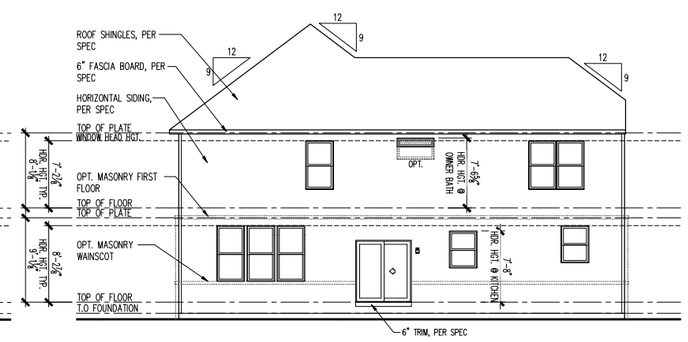
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



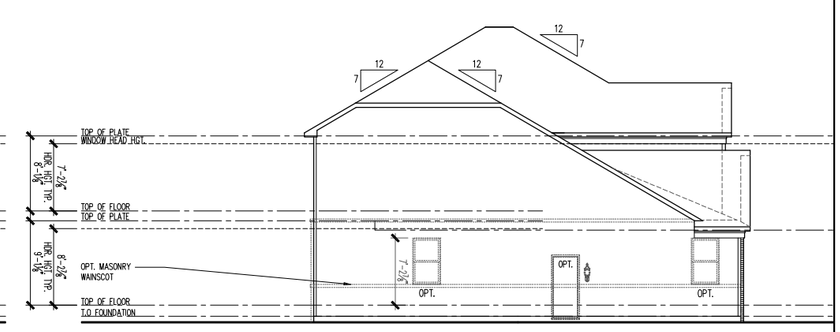
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Midwest Zone Office

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Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3W

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	
3	
4	
5	
6	
7	

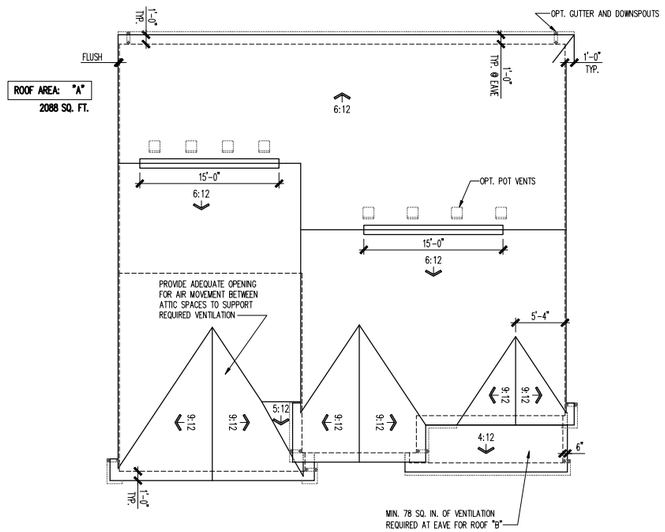
GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
Riverton
NRC CHILD NUMBER
1853.302

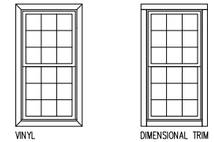
SHEET
A3-HR3W
2FB.1

PLOTTED: January 31, 2019 / Tiffany Perreault / A3-HR3W 2FB.1.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"



SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"

ATTIC VENT SCHEDULE

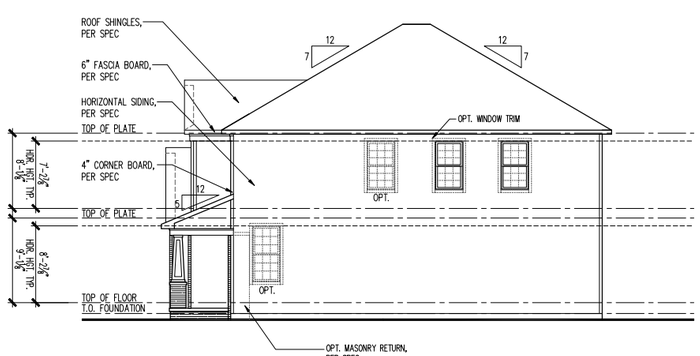
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
** CONTRACTORS INSTALLING INSULATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS LISTED BELL SUPPY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

ELEVATION HR3X

ROOF AREA "A"		SQ FTG	2088	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. NECK)	POT SMALL (SQ. IN. NECK)	RIDGE VENT (SQ. IN./FOOT)	EAVE VENT (SQ. IN./FOOT)	CONT. VENT (SQ. IN./FOOT)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	2.76	3.45	3.39	46.13	0	0		
AT EAVE	4.13	3.45	3.94	55.88			0	57.00
TOTAL (sq)	6.96	6.96	7.33	100.00				
HIGH - RIDGE VENT	2.76	3.45	3.70	48.65	0	0	30.00	
AT EAVE	4.13	3.45	3.94	51.35			0	57.00
TOTAL (sq)	6.96	6.96	7.71	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

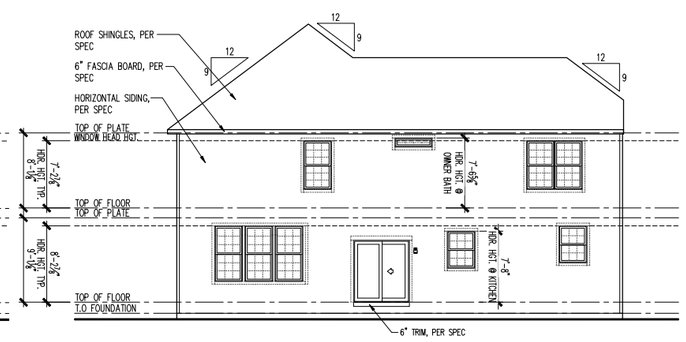
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



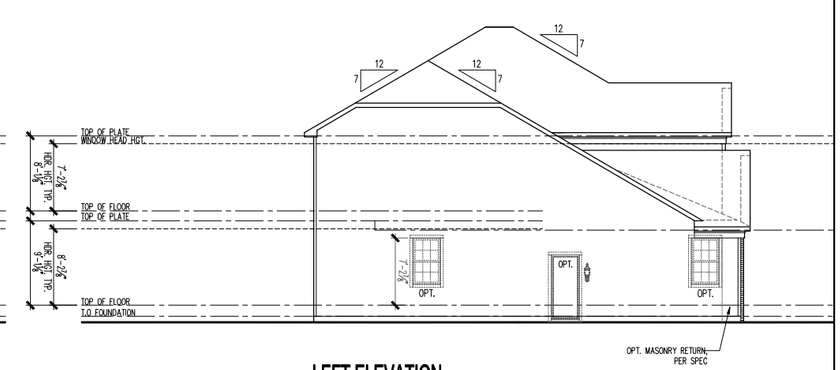
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3X

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

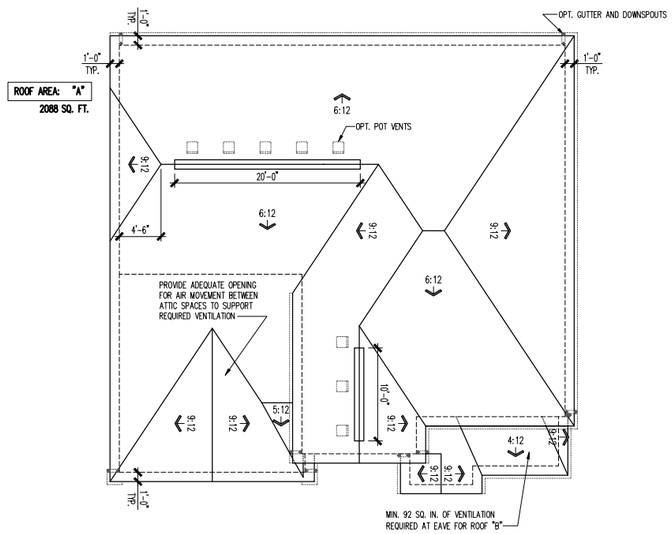
GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
Riverton
NPC CHILD NUMBER
1853.302

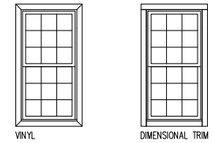
SHEET
A3-HR3X
2FB.1

PLOTTED: January 31, 2019 / Tiffany Perreault / A3-HR3X 2FB.1.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"



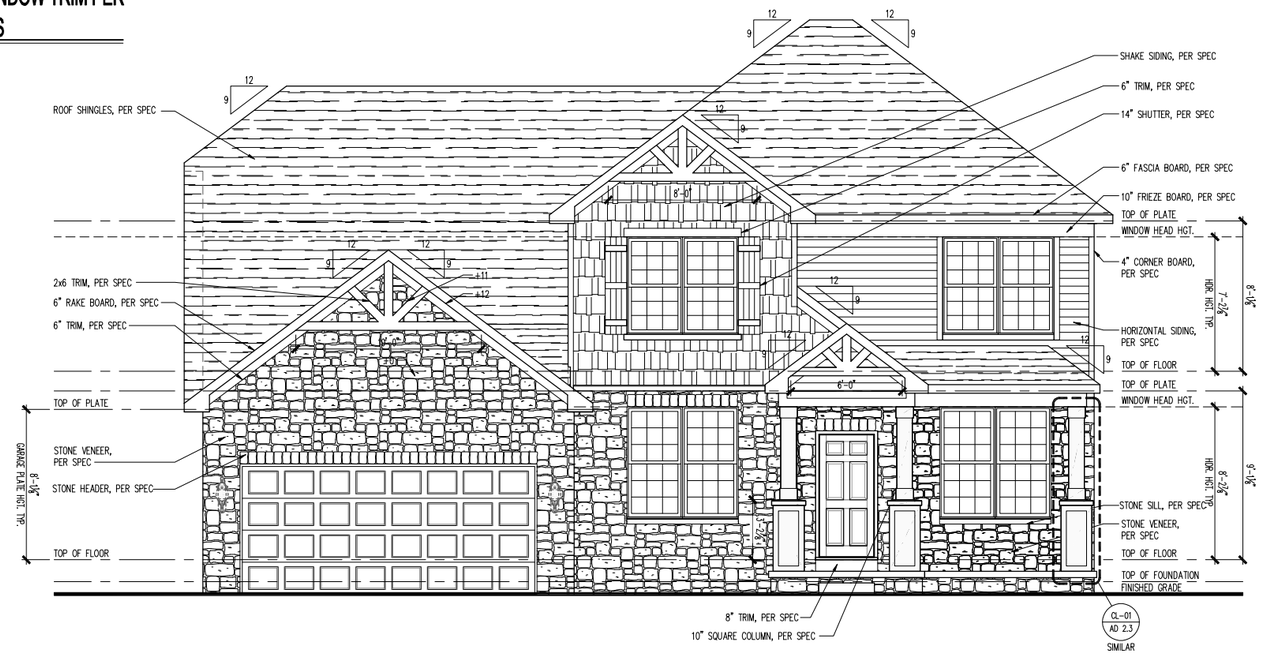
SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"

ATTIC VENT SCHEDULE

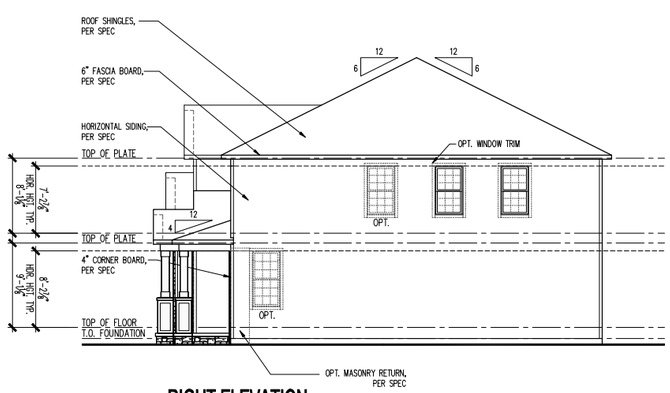
VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-50% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

ELEVATION HR3Y								
ROOF AREA "A"		SQ FTG	2088	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (Sq. In.NFR)	POT SMALL (Sq. In.NFR)	RIDGE VENT (Sq. In./Ft.)	EAVE VENT (Sq. In./Ft.)	CONE VENT (Sq. In./Ft.)
				61.00	40.00	18.00	28.00	10.00
HIGH-POT VENTS ONLY	2.76	3.48	3.39	46.12	0	0		
AT EAVE	4.18	3.48	3.94	53.88			0	57.00
TOTAL (sq)	6.94	6.96	7.36	100.00				
HIGH-RIDGE VENT	2.76	3.48	3.79	48.48	0	0	30.00	
AT EAVE	4.18	3.48	3.94	51.52			0	57.00
TOTAL (sq)	6.94	6.96	7.71	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



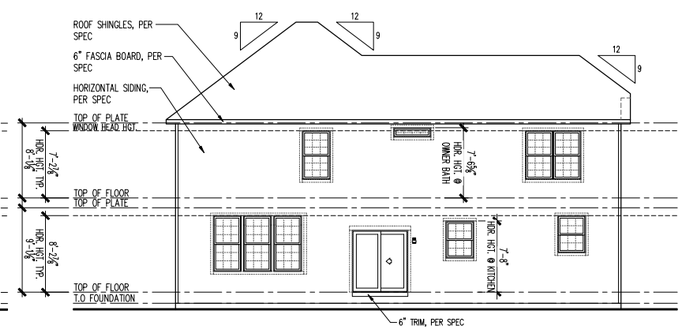
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



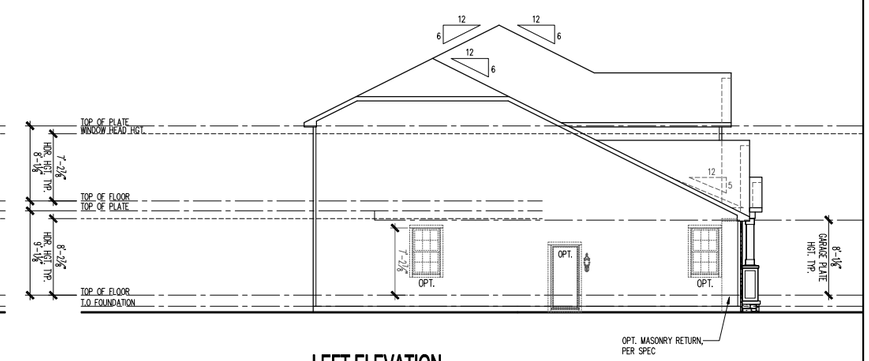
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3Y

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

GARAGE HANDING
LEFT

SPECIFICATION LEVEL

PLAN NAME
Riverton
NPC CHILD NUMBER
1853.302

SHEET
A3-HR3Y
2FB.1

PLOTTED: January 31, 2019 / Tiffany Perreault / A3-HR3Y 2FB.1.DWG

Hilltop
Zone Base Plan

MIDWEST ZONE
1900 E. GOLF RD. - SUITE 300 - SCHAUMBURG, IL 60173

MUNICIPALITY	ARCHITECT
. . . . .	PulteGroup
STRUCT. ENGINEER	**MECH. ENGINEER**
Mulhern & Kulp Engineers 20 S. Maple Street Suite 150 Ambler, PA 19002 215.646.8001 www.mulhernkulp.com	. . . . .
BUILDING CODE ANALYSIS	**APPLICABLE CODES**
USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS: Unprotected Frame HEIGHT & AREA: . EMERGENCY ESCAPE: 5.7 SF from Sleeping Areas not exiting at grade 5.0 SF from Sleeping Areas that exit within 6 ft of grade	BUILDING CODE: FIRE CODE: ELECTRICAL CODE: ENERGY CODE: PLUMBING CODE: MECHANICAL CODE: MUNICIPAL CODE:

SHEET INDEX

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GENERAL NOTES

DESIGN LOADS and CRITERIA

SEE STRUCTURAL PLANS FOR DESIGN CRITERIA

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Schaumburg, Illinois 60173

Cover Sheet
Project Information / Sheet Index
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REFRESH
2	.
3	.
4	.
5	.
6	.
7	.

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Hilltop
NPC CHILD NUMBER
1851.302

SHEET
CZ
0.10

PLOTTED: January 4, 2019 / Tiffany Perreault / CZ 0.10.DWG

Sheet No.	Sheet Description
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TR 4-2.1	Second Floor Trim Plan / Options / 4" Exterior Walls
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AD SHEETS	Typical Architectural Details
STRUCTURAL DRAWINGS	
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S-1 SHEETS	Foundation Plans & First Floor Framing
S-2 SHEETS	2nd Floor Framing Plans
S-3 SHEETS	Roof Framing Plans
S-4 SHEETS	Framing Details
SO-1 SHEETS	Plan Options
SO-2 SHEETS	Plan Options
SO-3 SHEETS	Deck Framing Plans
STRUCTURAL DETAILS	
SD SHEETS	Structural Details

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Schaumburg, Illinois 60173

Cover Sheet
Sheet Index cont.
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REFRESH
2	
3	
4	
5	
6	
7	

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Hilltop
NPC CHILD NUMBER
1851.302

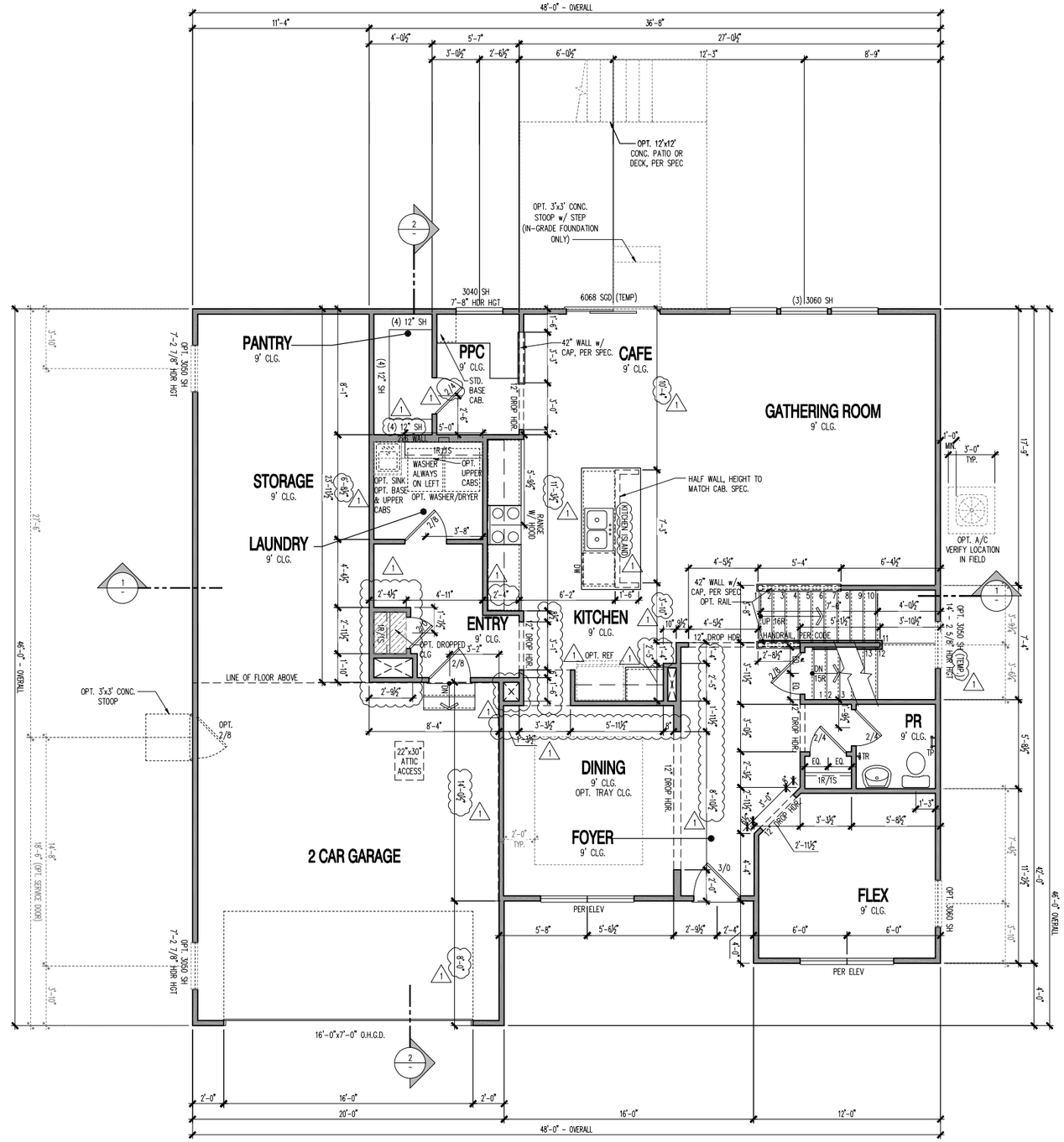
SHEET
CZ
0.11

PLOTTED: January 4, 2019 / Tiffany Perreault / CZ 0.11.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWSE
2. ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.
3. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
4. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
5. PROVIDE ½" DRYWALL AT WALLS, CEILING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
6. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
7. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE ⅜" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
9. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
10. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
11. BASEMENTS, HABITABLE ATTICS AND ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE EMERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. THE EMERGENCY ESCAPE MUST HAVE A 5.7 SFCLEAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR. ESCAPE WINDOWS AT GRADE LEVEL MUST HAVE A MIN. OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 24" HIGH AND 20" WIDE. EMERGENCY ESCAPES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GRADE MUST HAVE A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
12. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

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1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

First Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	
3	
4	
5	
6	
7	
8	

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Hilltop
NPC CHILD NUMBER
1851.302

SHEET
A1
4-1.1

PLOTTED: January 30, 2019 / Annie Lee / A1 4-1.1.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.
3. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
4. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
5. PROVIDE ½" DRYWALL AT WALLS, CEILING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
6. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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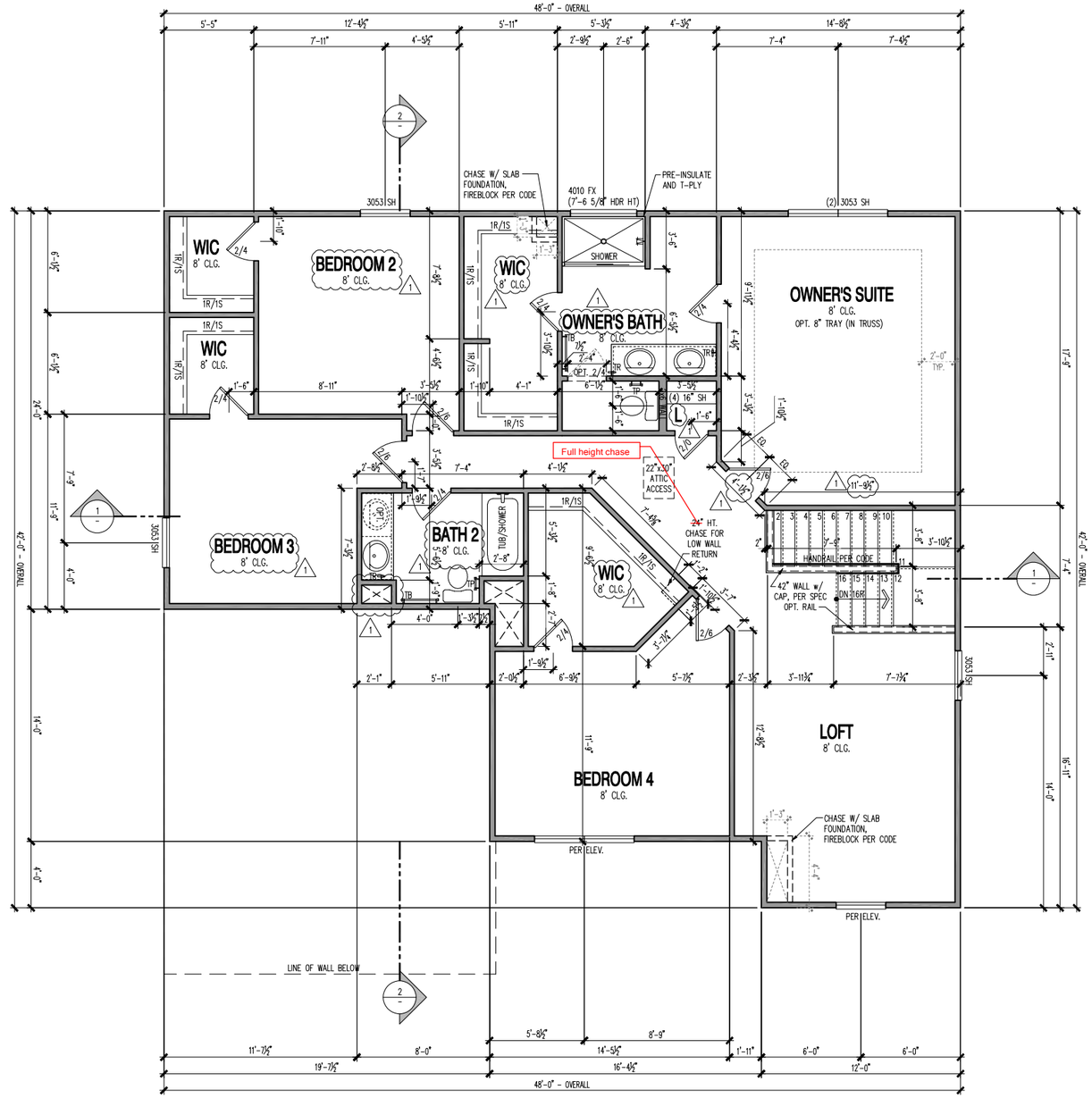
8. PROVIDE ½" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
9. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
10. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
11. BASEMENTS, HABITABLE ATTICS AND ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE EMERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. THE EMERGENCY ESCAPE MUST HAVE A 5.7 SFCLEAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR. ESCAPE WINDOWS AT GRADE LEVEL MUST HAVE A MIN. OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 24" HIGH AND 20" WIDE. EMERGENCY ESCAPES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GRADE MUST HAVE A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
12. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

PLOTTED: January 30, 2019 / Annie Lee / A1 4-2.DWG

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Second Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 1/18/2019

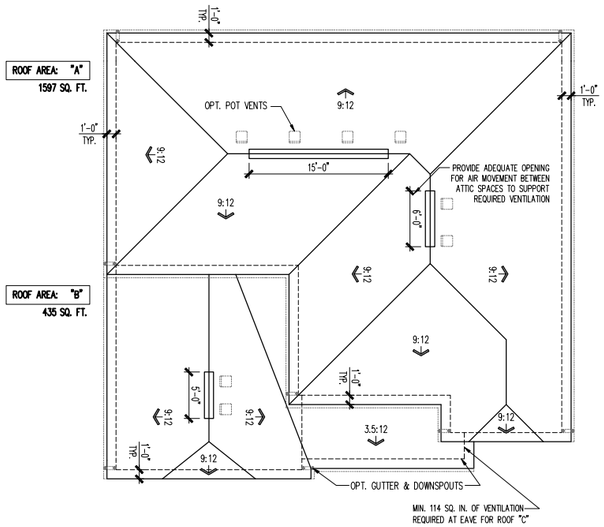
REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	
3	
4	
5	
6	
7	

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Hilltop
NPC CHILD NUMBER
1851.302

SHEET
A1
4-2.1



ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALVES AND RIDGE VENT VALVES SHOWN IN TABLE ABOVE.
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION.

ELEVATION EC2G

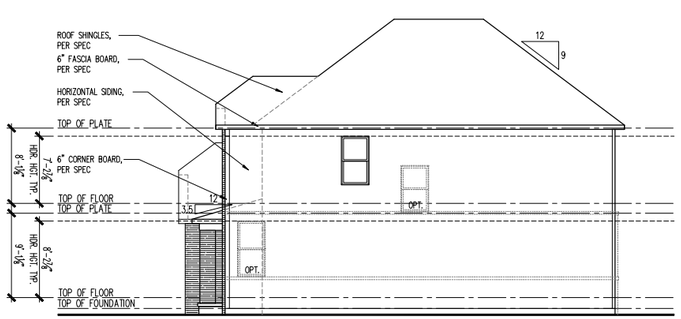
ROOF AREA "A"		SQ FTG	1597	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./RUN)	EAVE VENT (SQ.IN./RUN)	CONT. VENT (SQ.IN./RUN)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	2.13	2.66	2.54	47.76	4	0		
AT EAVE	3.19	2.66	3.78	52.32			0	40.00
TOTAL (sqft)	5.32	5.32	5.32	100.00				
HIGH - RIDGE VENT	2.13	2.66	2.43	48.29	0	0	21.00	
AT EAVE	3.19	2.66	3.78	51.41			0	40.00
TOTAL (sqft)	5.32	5.32	6.40	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

ELEVATION EC2G

ROOF AREA "B"		SQ FTG	435	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ.IN.NECK)	POT SMALL (SQ.IN.NECK)	RIDGE VENT (SQ.IN./RUN)	EAVE VENT (SQ.IN./RUN)	CONT. VENT (SQ.IN./RUN)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	0.58	0.73	0.88	46.36	2	0		
AT EAVE	0.87	0.73	0.97	53.44			0	14.00
TOTAL (sqft)	1.45	1.45	1.82	100.00				
HIGH - RIDGE VENT	0.58	0.73	0.43	42.86	0	0	8.00	
AT EAVE	0.87	0.73	0.83	57.14			0	12.00
TOTAL (sqft)	1.45	1.45	1.46	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

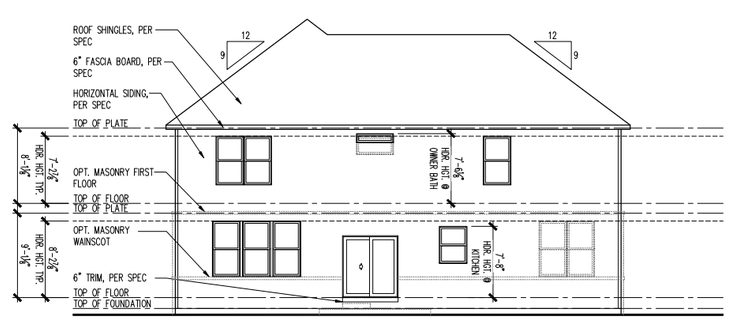
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



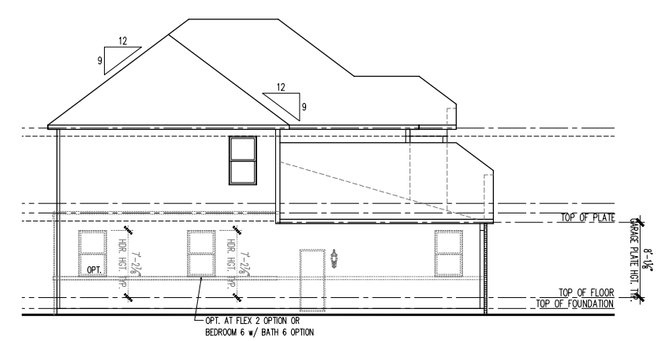
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Midwest Zone Office

1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Euro Country 2G

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	
3	
4	
5	
6	
7	

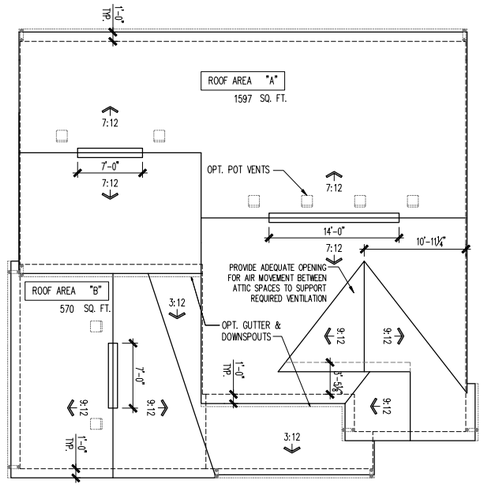
GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Hilltop
NPC CHILD NUMBER
1851.302

SHEET
A3-EC2S
2FB.1

PLOTTED: January 31, 2019 / Annie Lee / A3-EC2S 2FB.1.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"

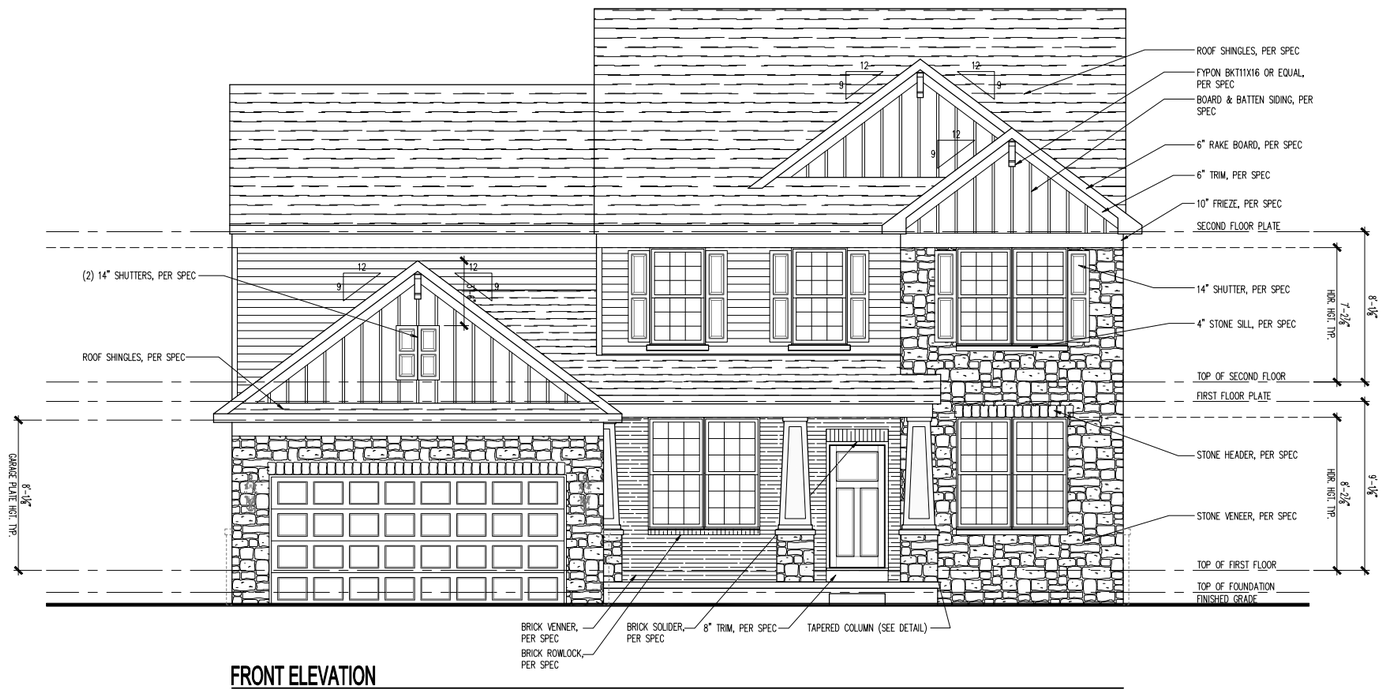
ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
** CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION.

Elevation HR3S

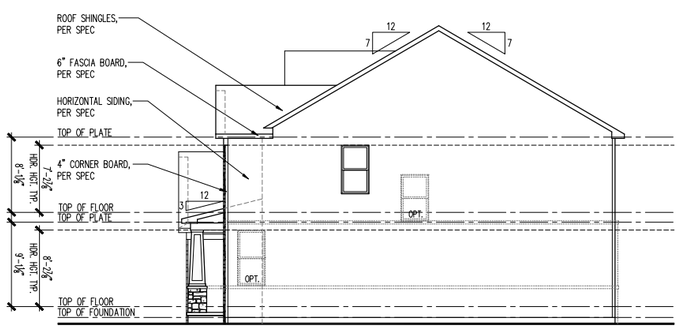
ROOF AREA "A"		SQ FTG	1597	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (64-in-NeckS)	POT SMALL (50-in-NeckS)	RIDGE VENT (9ft-in-RIDGE)	EAVE VENT (9ft-in-RIDGE)	CONT. VENT (9ft-in-RIDGE)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	2.13	2.66	2.54	47.76	4	0		
AT EAVE	3.19	2.66	3.79	52.32			0	40.00
TOTAL (sq)	5.32	5.32	5.32	100.00				
HIGH - RIDGE VENT	2.13	2.66	3.43	48.59	0	0	31.00	
AT EAVE	3.19	2.66	3.79	51.41			0	40.00
TOTAL (sq)	5.32	5.32	5.40	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

ROOF AREA "B"		SQ FTG	570	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (64-in-NeckS)	POT SMALL (50-in-NeckS)	RIDGE VENT (9ft-in-RIDGE)	EAVE VENT (9ft-in-RIDGE)	CONT. VENT (9ft-in-RIDGE)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	0.76	0.95	0.88	43.36	2	0		
AT EAVE	1.14	0.95	1.11	56.74			0	14.00
TOTAL (sq)	1.90	1.90	1.96	100.00				
HIGH - RIDGE VENT	0.76	0.95	0.88	45.65	0	0	7.00	
AT EAVE	1.14	0.95	1.04	54.35			0	14.00
TOTAL (sq)	1.90	1.90	1.92	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



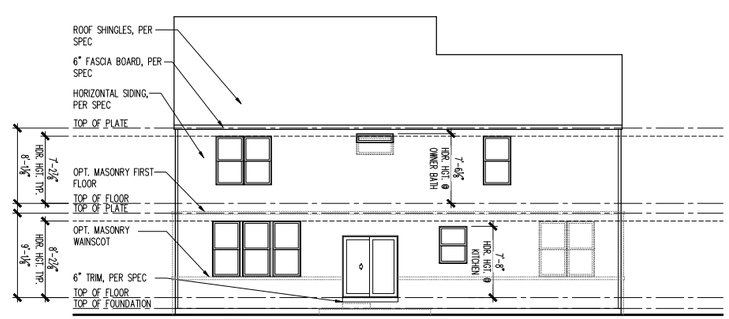
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



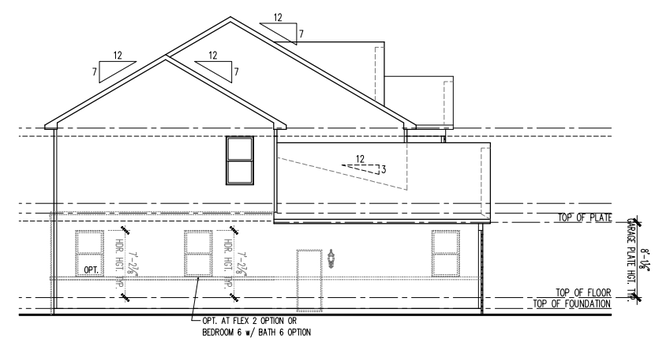
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 31, 2019 / Annie Lee / A3-HR3S 2FB.1.DWG

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Midwest Zone Office

1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3S

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 1/18/2019

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	. .
3	. .
4	. .
5	. .
6	. .
7	. .

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Hilltop
NPC CHILD NUMBER
1851.302

SHEET
A3-HR3S
2FB.1

Greenfield
Zone Base Plan

MIDWEST ZONE
1900 GOLF RD. - SUITE 300 - SCHAUMBURG, IL 60173

MUNICIPALITY	ARCHITECT
Building Dept.	PulteGroup 1900 E. Golf Rd. Suite 300 Schaumburg, IL 60173 847.230.5400 www.Pulte.com
STRUCT. ENGINEER	**MECH. ENGINEER**
Mulhern & Kulp Engineers 20 S. Maple Street Suite 150 Ambler, PA 19002 215.646.8001 www.mulhernkulp.com	. . . . . .
BUILDING CODE ANALYSIS	**APPLICABLE CODES**
USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS:Unprotected Frame HEIGHT & AREA: . EMERGENCY ESCAPE: 5.7 SF from Sleeping Areas not exiting at grade 5.0 SF from Sleeping Areas that exit within 6 ft of grade	BUILDING CODE: FIRE CODE: ELECTRICAL CODE: ENERGY CODE: PLUMBING CODE: MECHANICAL CODE: MUNICIPAL CODE:

SHEET INDEX

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CZ 0.11	Cover Sheet / Sheet Index cont.
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CZ 0.30	Cover Sheet / Abbreviations and Schedules
CZ 0.40	Cover Sheet / Revision Log
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A0 BB-1.1	Basement Foundation Plan w/ Masonry / _ /_
A0 G-1.1	Grade Brick Foundation Plan / _ /_
A0 M-1.1	Exterior Insulation Foundation Plan / _ / _
A0 S-1.1	Slab Foundation Plan / _ / _
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A1 4-2.3	Second Floor Plan / Bonus Room Option / 4" Exterior Walls
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A3 HR2G 2FB4.2	Heartland 2G / 2 Car Front Entry / Partial Plans and General Notes - 4" Exterior Walls
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A3 HR2G 2SB4.3	Heartland 2G / 2 Car Side Entry / Partial Plans and General Notes - 4" Exterior Walls
A3 HR2G 2SB6.2	Heartland 2G / 2 Car Side Entry / Partial Plans and General Notes - 6" Exterior Walls
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A3 HR2G 3FB.1	Heartland 2G / 3 Car Front Entry / Front, Side and Rear Elevations
A3 HR2G 3FB4.2	Heartland 2G / 3 Car Front Entry / Partial Plans and General Notes - 4" Exterior Walls
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A4 WB4.1	Walkout Basement Option - 4" Exterior Walls / Floor, Foundation and Utility Plans / Rear Elevation
A4 IB6.1	In-Grade Basement Option - 6" Exterior Walls / Floor, Foundation and Utility Plans / Rear Elevation
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A4 SRIG.1	Sunroom Option / Floor, Foundation and Utility Plans / Grade Brick In-Grade Basement Elevations
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A4 EX4W.1	4 Ft. Gathering Rm. Ext. - 4" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
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A4 EX4SRI.1	4 Ft. Gathering Rm. Ext. w/ Sunroom - 4" Exterior Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 EX4SRD.1	4 Ft. Gathering Rm. Ext. w/ Sunroom - 4" Exterior Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations
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U1 0.10	Finished Basement / Utility Plan
U1 0.20	Finished Basement - Plan Options / Utility Plan
U1 0.21	Finished Basement - Plan Options / Utility Plan / Opt. Lighting Package
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U1 4-1.10	First Floor Utility Plan / _ / 4" Exterior Walls
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DESIGN LOADS and CRITERIA

SEE STRUCTURAL PLANS FOR DESIGN CRITERIA

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Cover Sheet
Project Information / Sheet Index
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	.
3	.
4	.
5	.
6	.
7	.

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

SHEET CZ
0.10

PLOTTED: January 30, 2019 / Annie Lee / CZ 0.10.DWG

U1 4-2.30	Second Floor Utility Plan - Opt. Game Room / _ / 4" Exterior Walls
U1 4-2.31	Second Floor Utility Plan - Opt. Game Room / Opt. Lighting Package / 4" Exterior Walls
U1 6-1.10	First Floor Utility Plan / _ / 6" Exterior Walls
U1 6-1.11	First Floor Utility Plan / Opt. Lighting Package / 6" Exterior Walls
U1 6-1.20	First Floor Utility Plan - Plan Options / _ / 6" Exterior Walls
U1 6-1.21	First Floor Utility Plan - Plan Options / Opt. Lighting Package / 6" Exterior Walls
U1 6-2.10	Second Floor Utility Plan / _ / 6" Exterior Walls
U1 6-2.11	Second Floor Utility Plan / Opt. Lighting Package / 6" Exterior Walls
U1 6-2.20	Second Floor Utility Plan - Plan Options / _ / 6" Exterior Walls
U1 6-2.30	Second Floor Utility Plan - Opt. Game Room / _ / 6" Exterior Walls
U1 6-2.31	Second Floor Utility Plan - Opt. Game Room / Opt. Lighting Package / 6" Exterior Walls
FLOORING LAYOUT DRAWINGS	
FL 0.1	Finished Basement Flooring Plan / _ / _
FL 0.2	Finished Basement Flooring Plan / Options / _
FL 4-1.1	First Floor Flooring Plan / _ / 4" Exterior Walls
FL 4-1.2	First Floor Flooring Plan / Options / 4" Exterior Walls
FL 4-1.3	First Floor Flooring Plan / Options / 4" Exterior Walls
FL 4-2.1	Second Floor Flooring Plan / _ / 4" Exterior Walls
FL 4-2.2	Second Floor Flooring Plan / Options / 4" Exterior Walls
FL 4-2.3	Second Floor Flooring Plan / Game Room Option / 4" Exterior Walls
FL 6-1.1	First Floor Flooring Plan / _ / 6" Exterior Walls
FL 6-1.2	First Floor Flooring Plan / Options / 6" Exterior Walls
FL 6-1.3	First Floor Flooring Plan / Options / 6" Exterior Walls
FL 6-2.1	Second Floor Flooring Plan / _ / 6" Exterior Walls
FL 6-2.2	Second Floor Flooring Plan / Options / 6" Exterior Walls
FL 6-2.3	Second Floor Flooring Plan / Game Room Option / 6" Exterior Walls
TR 4-1.1	First Floor Plan / Trim Options Layouts / 4" Exterior Walls
TR 4-1.2	First Floor Plan / Trim Options Layouts / 4" Exterior Walls
TR 4-2.1	Second Floor Plan / Trim Options Layouts / 4" Exterior Walls
TR 6-1.1	First Floor Plan / Trim Options Layouts / 6" Exterior Walls
TR 6-1.2	First Floor Plan / Trim Options Layouts / 6" Exterior Walls
TR 6-2.1	Second Floor Plan / Trim Options Layouts / 6" Exterior Walls
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S-1 SHEETS	Foundation Plans & First Floor Framing
S-2 SHEETS	2nd Floor Framing Plans
S-3 SHEETS	Roof Framing Plans
S-4 SHEETS	Framing Details
SO-1 SHEETS	Plan Options
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SO-3 SHEETS	Deck Framing Plans
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SD SHEETS	Structural Details

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Schaumburg, Illinois 60173

Pulte Homes

Cover Sheet
Sheet Index cont.
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	. .
3	. .
4	. .
5	. .
6	. .
7	. .

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

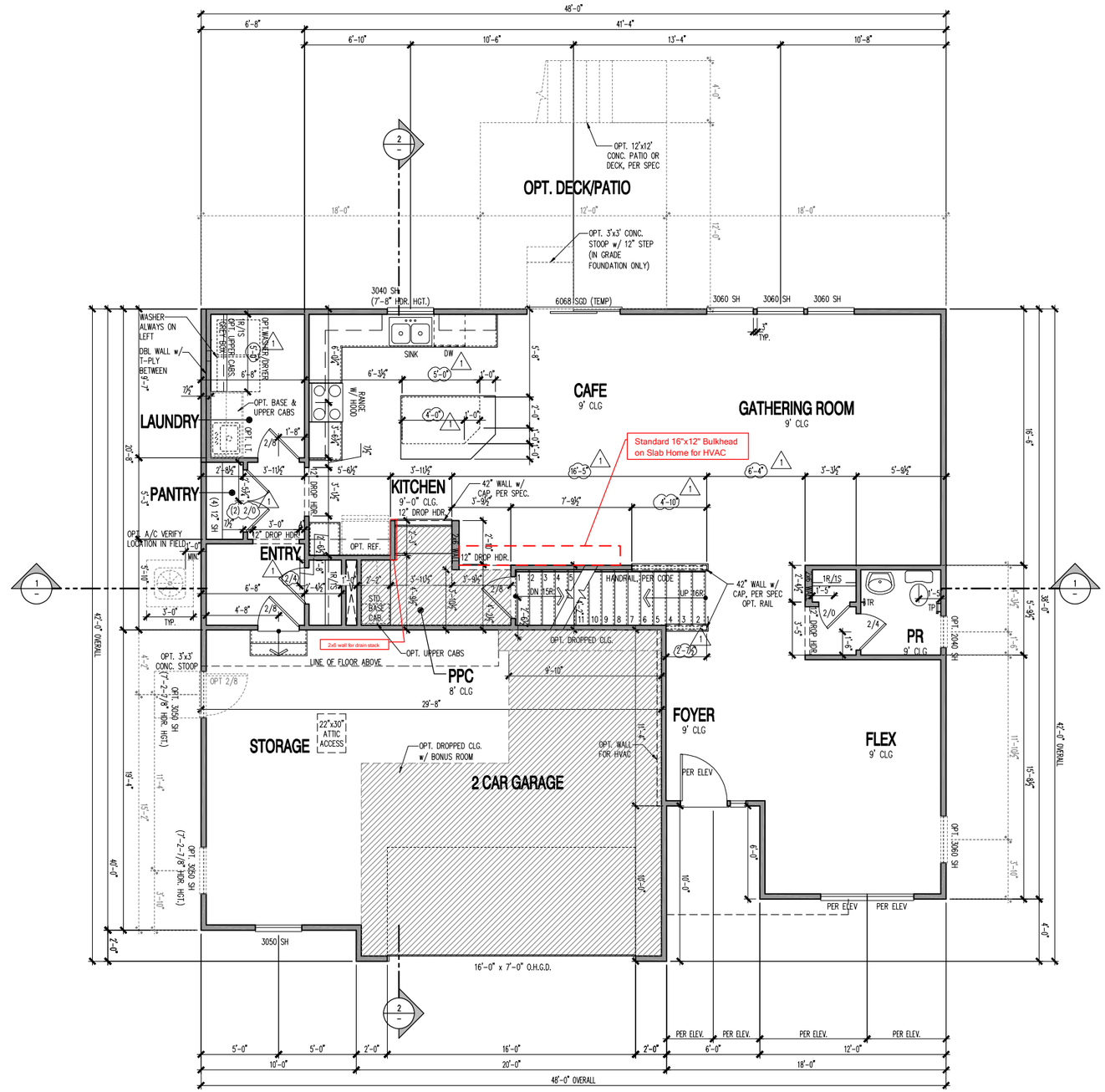
SHEET CZ
0.11

PLOTTED: December 20, 2018 / Rudolph Sanchez / CZ 0.11.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE ½" DRYWALL AT WALLS, CEILING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
11. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

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Schaumburg, Illinois 60173

First Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

SHEET
A1
4-1.1

PLOTTED: January 29, 2019 / Annie Lee / A1 4-1.1.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
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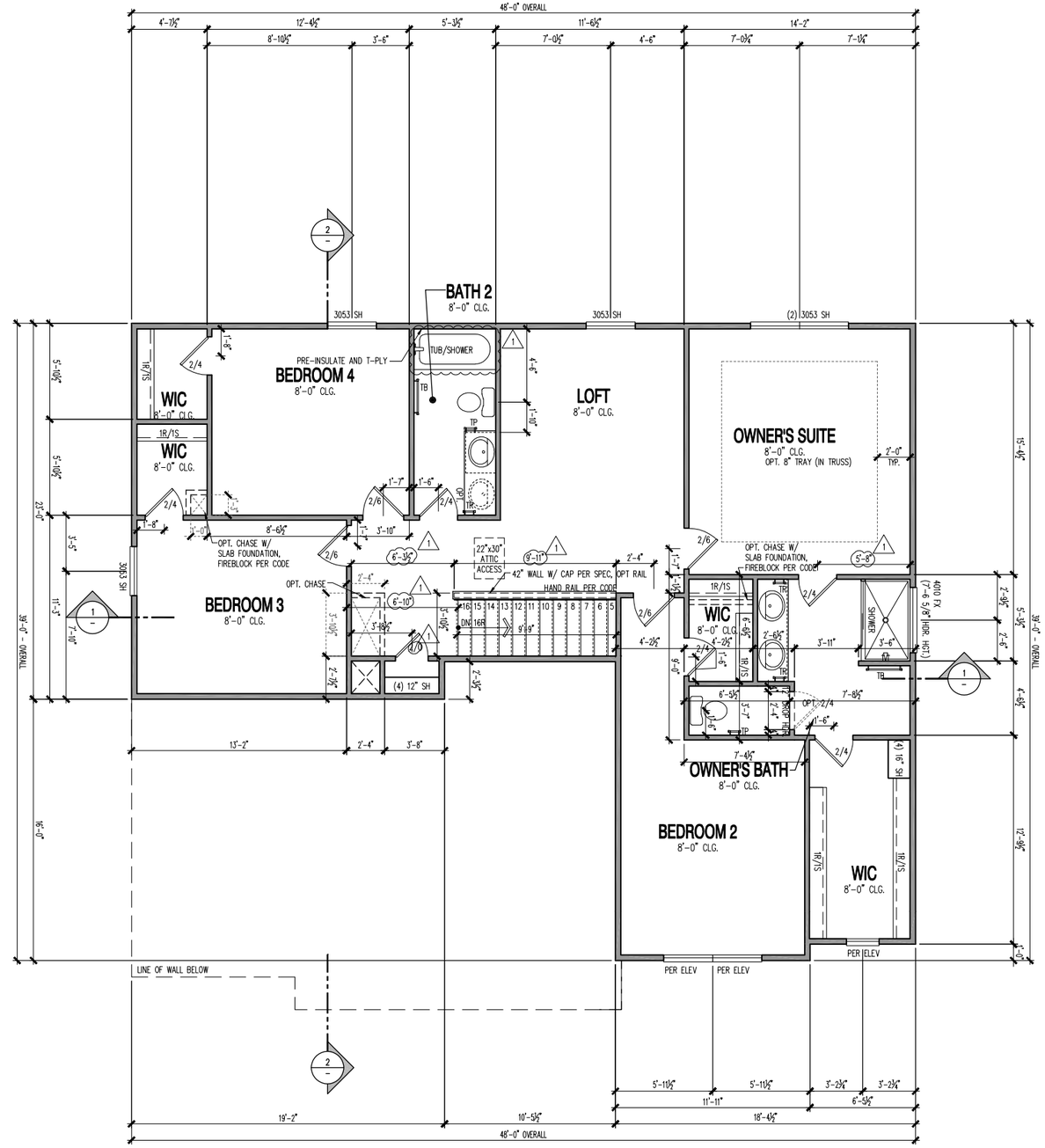

SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

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Schaumburg, Illinois 60173

Pulte Homes

Second Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

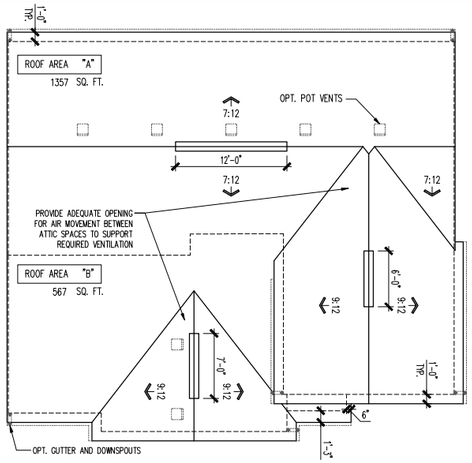
GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

SHEET
A1
4-2.1

PLOTTED: December 20, 2018 / Rudolph Sanchez / A1 4-2.1.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

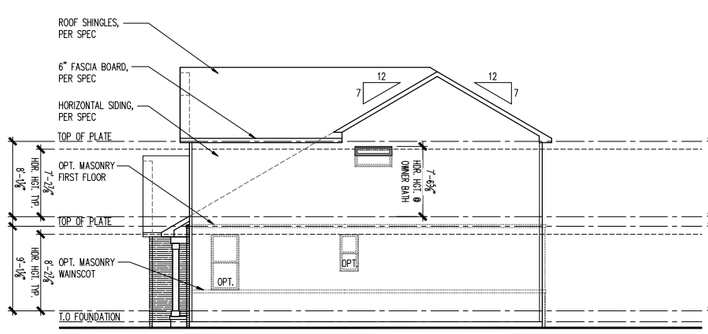
VENTILATION REQUIRED AND SUPPLIED TO INSURE NEW NET VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE. HO CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.
SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

ELEVATION HR1S

ROOF AREA "A"		SQ FTG	1357	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. FT. NVA)	POT SMALL (SQ. FT. NVA)	RIDGE VENT (SQ. FT. NVA)	EAVE VENT (SQ. FT. NVA)	CONE VENT (SQ. FT. NVA)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	1.81	2.26	2.12	48.86	0			
AT EAVE	2.71	2.26	2.80	64.14			0	36.00
TOTAL (sq)	4.52	4.52	4.62	100.00				
HIGH - RIDGE VENT	1.81	2.26	2.26	47.37	0	0	16.00	
AT EAVE	2.71	2.26	2.50	52.63			0	36.00
TOTAL (sq)	4.52	4.52	4.75	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			
ROOF AREA "B"		SQ FTG	567	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. FT. NVA)	POT SMALL (SQ. FT. NVA)	RIDGE VENT (SQ. FT. NVA)	EAVE VENT (SQ. FT. NVA)	CONE VENT (SQ. FT. NVA)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	0.76	0.95	0.88	44.68	2	0		
AT EAVE	1.13	0.95	1.04	55.10			0	18.00
TOTAL (sq)	1.89	1.89	1.89	100.00				
HIGH - RIDGE VENT	0.76	0.95	0.88	46.46	0	0	7.00	
AT EAVE	1.13	0.95	1.04	54.38			0	18.00
TOTAL (sq)	1.89	1.89	1.92	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

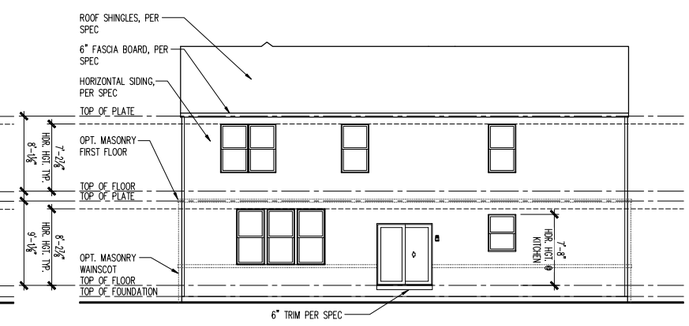
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



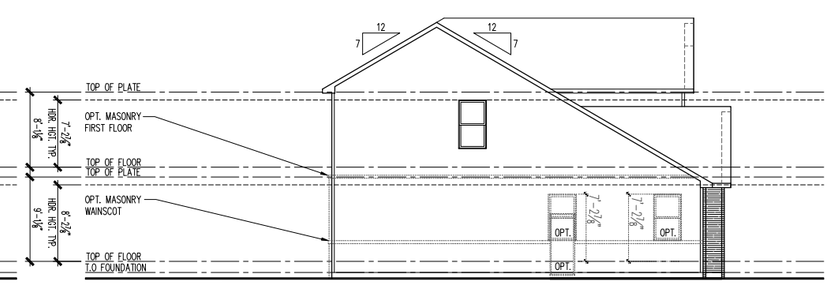
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Midwest Zone Office

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Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 1S

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

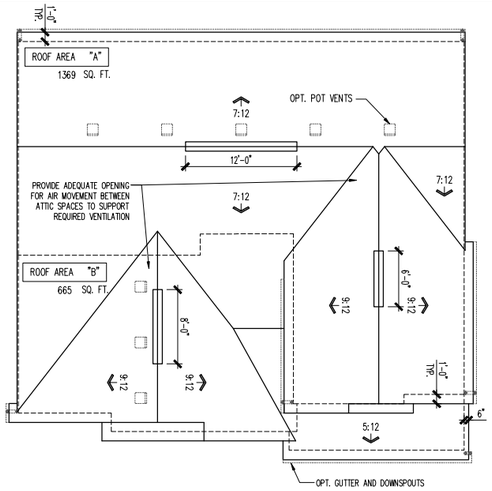
GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

SHEET
A3-HR1S
2FB.1

PLOTTED: January 3, 2019 / Annie Lee / A3-HR1S 2FB.1.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"

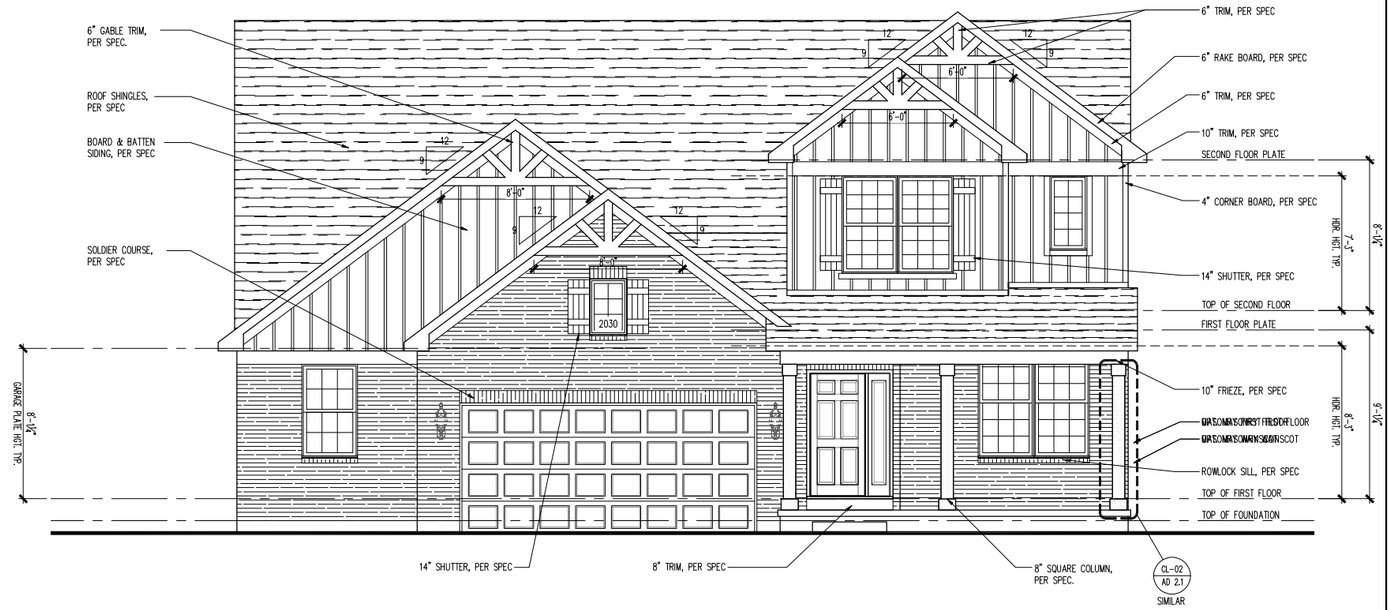
ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED TO MEET NET-FREE VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE. HR CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION.

ELEVATION HR1T

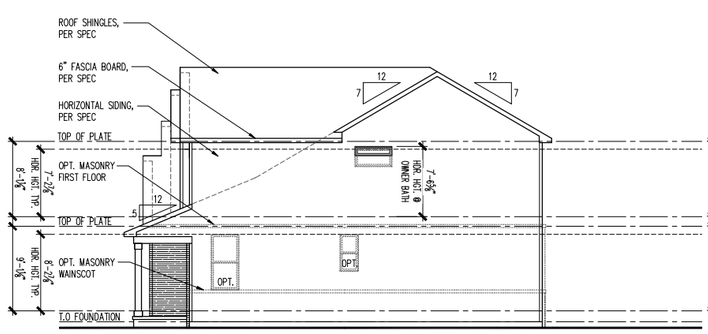
ROOF AREA "A"		SQ FTG	1369	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. FREE)	POT SMALL (SQ. IN. FREE)	RIDGE VENT (SQ. IN. FREE)	EAVE VENT (SQ. IN. FREE)	CONE VENT (SQ. IN. FREE)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	1.85	2.28	2.12	48.86	0			
AT EAVE	2.74	2.28	2.80	64.14			0	36.00
TOTAL (sq)	4.56	4.56	4.62	100.00				
HIGH - RIDGE VENT	1.85	2.28	2.28	47.37	0	0	18.00	
AT EAVE	2.74	2.28	2.50	52.63			0	36.00
TOTAL (sq)	4.56	4.56	4.78	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

ROOF AREA "B"		SQ FTG	665	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. FREE)	POT SMALL (SQ. IN. FREE)	RIDGE VENT (SQ. IN. FREE)	EAVE VENT (SQ. IN. FREE)	CONE VENT (SQ. IN. FREE)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	0.89	1.11	1.27	49.04	3	0		
AT EAVE	1.33	1.11	1.32	50.96			0	19.00
TOTAL (sq)	2.22	2.22	2.59	100.00				
HIGH - RIDGE VENT	0.89	1.11	1.09	44.44	0	0	8.00	
AT EAVE	1.33	1.11	1.39	55.56			0	18.00
TOTAL (sq)	2.22	2.22	2.25	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



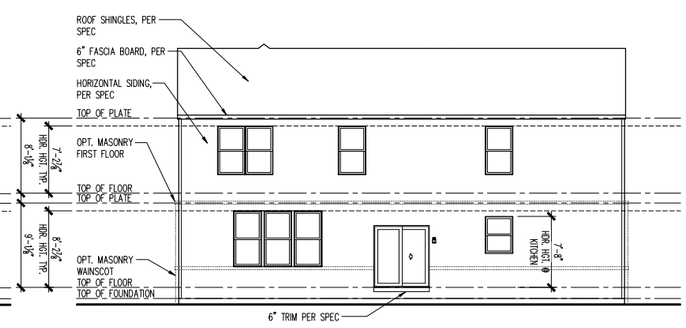
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



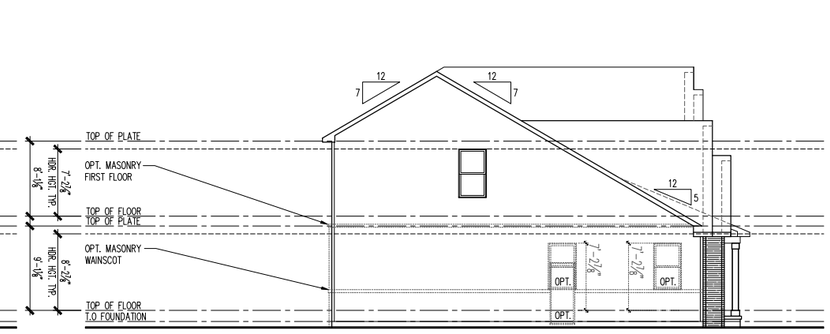
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 3, 2019 / Annie Lee / A3-HR1T 2FB.1.DWG

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1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 1T

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

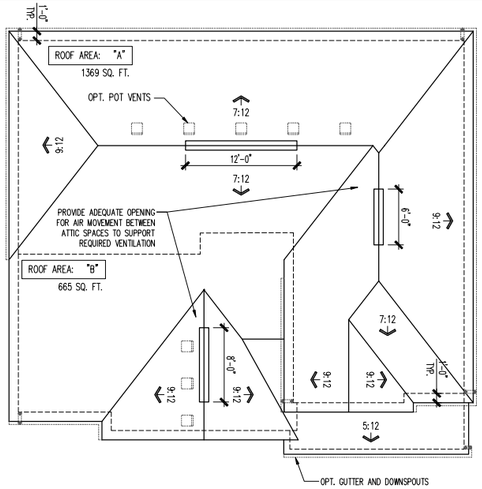
REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

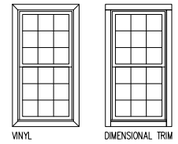
PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

SHEET
A3-HR1T
2FB.1



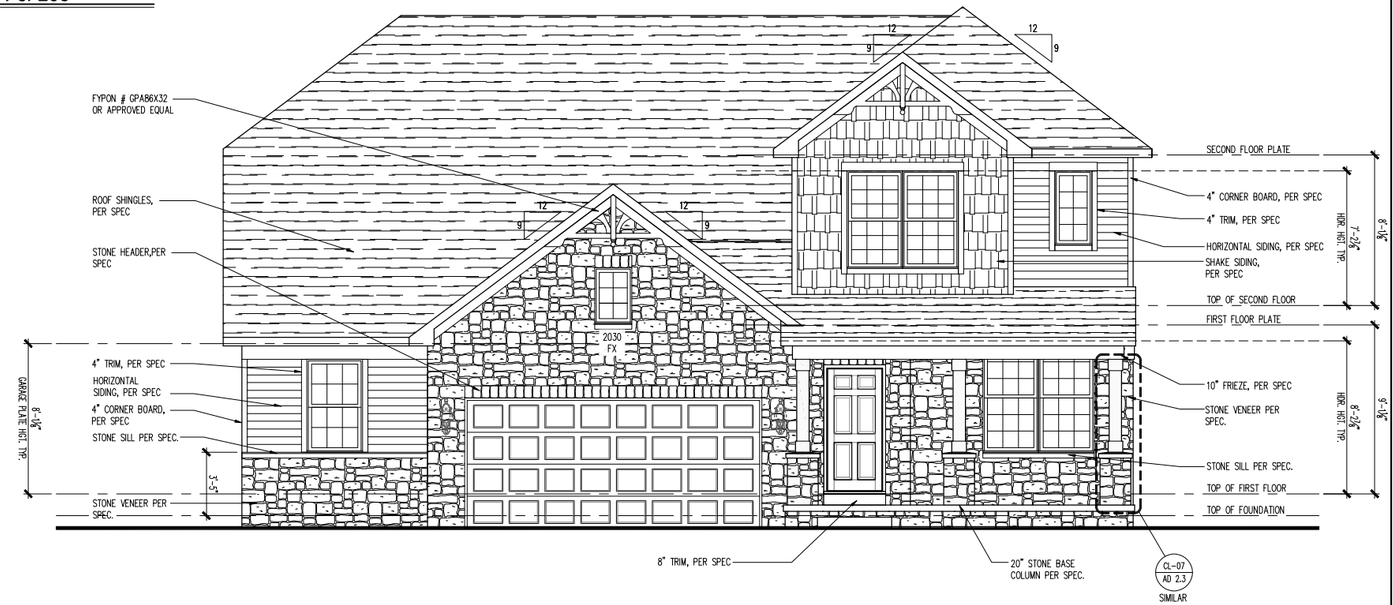
ROOF PLAN

SCALE: 1/8" = 1'-0"



SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"



FRONT ELEVATION

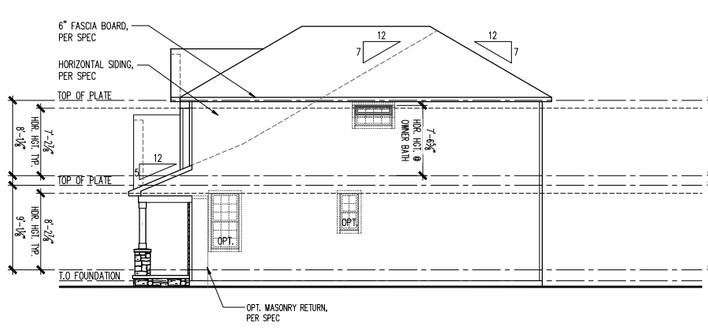
SCALE: 1/4" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED TO MEET NET FREE VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE. HR CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.
SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION.

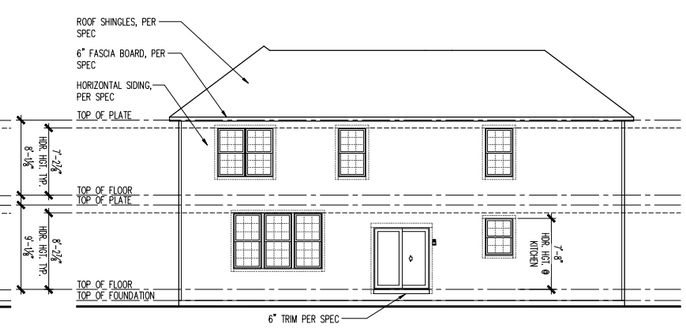
ELEVATION HR2N

ROOF AREA "A"		SQ FTG	1369	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN.=144)	POT SMALL (SQ. IN.=144)	RIDGE VENT (SQ. IN.=18)	EAVE VENT (SQ. IN.=50)	CONE VENT (SQ. IN.=50)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	1.85	2.28	2.12	48.84	0			
AT EAVE	2.74	2.28	2.60	84.14			0	36.00
TOTAL (sq)	4.56	4.56	4.62	100.00				
HIGH - RIDGE VENT	1.85	2.28	2.28	47.37	0	0	16.00	
AT EAVE	2.74	2.28	2.50	52.63			0	36.00
TOTAL (sq)	4.56	4.56	4.78	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			
ROOF AREA "B"		SQ FTG	665	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN.=144)	POT SMALL (SQ. IN.=144)	RIDGE VENT (SQ. IN.=18)	EAVE VENT (SQ. IN.=50)	CONE VENT (SQ. IN.=50)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	0.89	1.11	1.27	49.04	0	0		
AT EAVE	1.23	1.11	1.32	50.96			0	19.00
TOTAL (sq)	2.22	2.22	2.59	100.00				
HIGH - RIDGE VENT	0.89	1.11	1.09	44.44	0	0	8.00	
AT EAVE	1.23	1.11	1.39	55.56			0	18.00
TOTAL (sq)	2.22	2.22	2.25	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



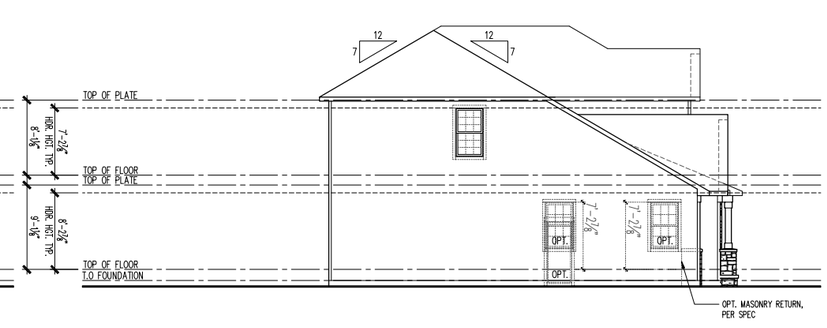
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Midwest Zone Office

1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 2N

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	
3	
4	
5	
6	
7	
8	

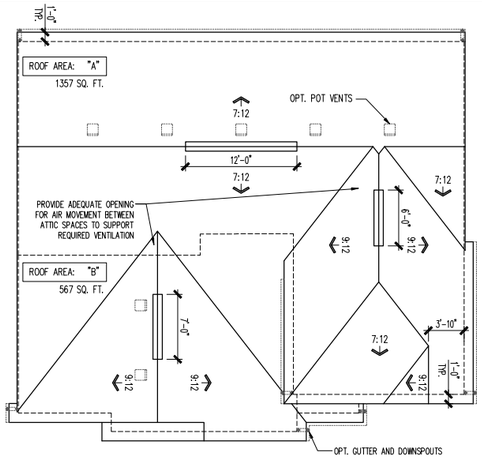
GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

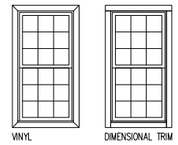
SHEET
A3-HR2N
2FB.1

PLOTTED: January 2, 2019 / Rudolph Sanchez / A3-HR2N 2FB.1.DWG



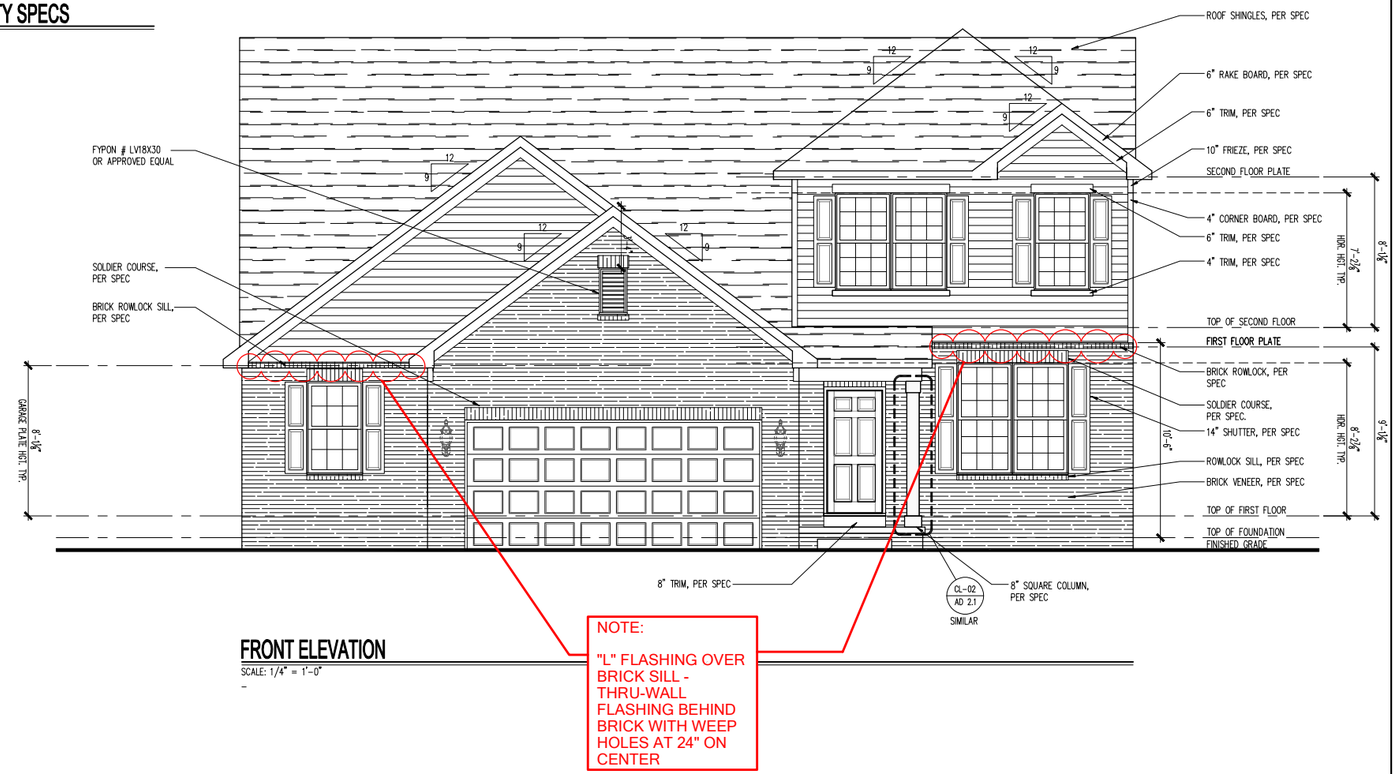
ROOF PLAN

SCALE: 1/8" = 1'-0"



SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"



NOTE:

"L" FLASHING OVER BRICK SILL - THRU-WALL FLASHING BEHIND BRICK WITH WEEP HOLES AT 24" ON CENTER

FRONT ELEVATION

SCALE: 1/4" = 1'-0"

ATTIC VENT SCHEDULE

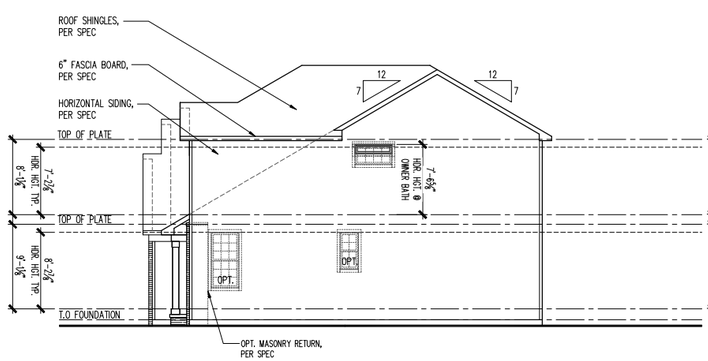
VENTILATION REQUIRED AND SUPPLIED TO MEET NFA/NFVT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE. HC CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.
SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

ELEVATION HR3S

ROOF AREA "A"		SQ FTG	1357	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. NFVA)	POT SMALL (SQ. IN. NFVA)	RIDGE VENT (SQ. IN. NFVA)	EAVE VENT (SQ. IN. NFVA)	CONE VENT (SQ. IN. NFVA)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	1.81	2.26	2.12	48.86	0			
AT EAVE	2.71	2.26	2.80	64.14			0	36.00
TOTAL (sq)	4.52	4.52	4.62	100.00				
HIGH - RIDGE VENT	1.81	2.26	2.26	47.37	0	0	16.00	
AT EAVE	2.71	2.26	2.50	52.63			0	36.00
TOTAL (sq)	4.52	4.52	4.76	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

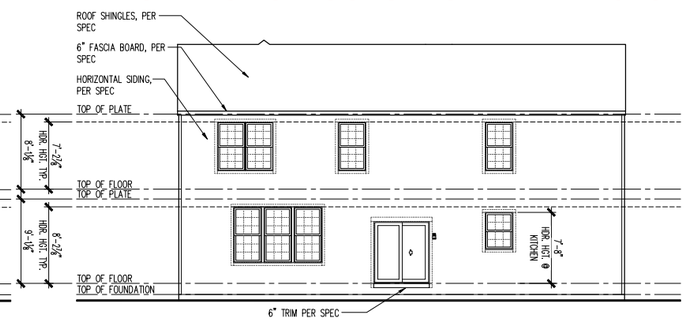
ROOF AREA "B"		SQ FTG	567	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN. NFVA)	POT SMALL (SQ. IN. NFVA)	RIDGE VENT (SQ. IN. NFVA)	EAVE VENT (SQ. IN. NFVA)	CONE VENT (SQ. IN. NFVA)
				61.00	40.00	18.00	28.00	10.00
HIGH - POT VENTS ONLY	0.76	0.95	0.88	44.86	0			
AT EAVE	1.13	0.95	1.04	55.14			0	18.00
TOTAL (sq)	1.89	1.89	1.89	100.00				
HIGH - RIDGE VENT	0.76	0.95	0.88	45.45	0	0	7.00	
AT EAVE	1.13	0.95	1.04	54.55			0	18.00
TOTAL (sq)	1.89	1.89	1.92	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			

NO WINDOW GRIDS ON SIDE OR REAR WINDOWS



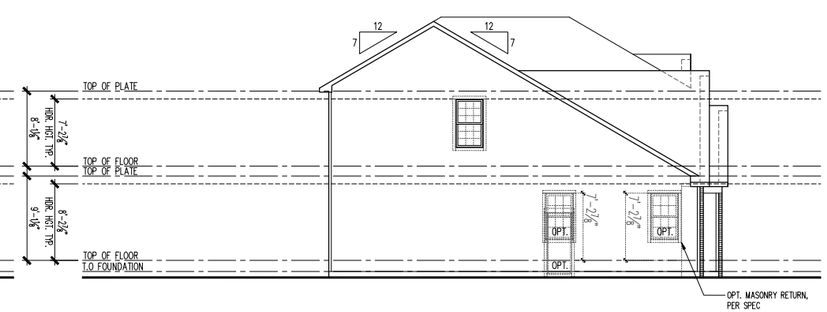
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



TYPICAL REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 4, 2019 / Rudolph Sanchez / A3-HR3S 2FB.1.DWG

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Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 3S

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	
3	
4	
5	
6	
7	

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

SHEET
A3-HR3S
2FB.1

Amberwood
Zone Base Plan

MIDWEST ZONE
1900 E. GOLF RD. - SUITE 300 - SCHAUMBURG, IL 60173

MUNICIPALITY	ARCHITECT
. . . . .	PulteGroup 1900 E. Golf Rd. Suite 300 Schaumburg, IL 60173 847.230.5400 www.Pulte.com
STRUCT. ENGINEER	**MECH. ENGINEER**
Mulhern & Kulp Engineers 20 S. Maple Street Suite 150 Ambler, PA 19002 215.646.8001 www.mulhernkulp.com	. . . . .
BUILDING CODE ANALYSIS	**APPLICABLE CODES**
USE GROUP: One & Two Family dwelling CONSTRUCTION CLASS: Unprotected Frame HEIGHT & AREA: . EMERGENCY ESCAPE: 5.7 SF from Sleeping Areas not exiting at grade 5.0 SF from Sleeping Areas that exit within 6 ft of grade	SEE STRUCTURAL PLANS FOR DESIGN CRITERIA

SHEET INDEX

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CZ 0.11	Cover Sheet / Sheet Index cont.
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CZ 0.30	Cover Sheet / Abbreviations and Schedules
CZ 0.40	Cover Sheet / Revision Log
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A3 HR2S 3FB6.2	Heartland 2S / 3 Car Front Entry / Partial Foundation, Floor Plans - 6" Exterior Walls
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A4 WB4.1	Walkout Basement Option - 4" Exterior Walls / Floor, Foundation and Utility Plans / Rear Elevation
A4 DB6.1	Daylight Basement Option - 6" Exterior Walls / Floor, Foundation and Utility Plans / Rear Elevation
A4 WB6.1	Walkout Basement Option - 6" Exterior Walls / Floor, Foundation and Utility Plans / Rear Elevation

Sheet No.	Sheet Description
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A4 SR6I.1	Sunroom Option - 6" Exterior Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 SR6D.1	Sunroom Option - 6" Exterior Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations
A4 SR6W.1	Sunroom Option - 6" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
A4 SRIG.1	Grade Brick Sunroom Option - 4" Exterior Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 SRDG.1	Grade Brick Sunroom Option - 4" Exterior Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations
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A4 EX6W.1	Gathering Rm. Extension - 6" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
A4 EXIG.1	Grade Brick Gathering Rm. Extension / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 EXDG.1	Grade Brick Gathering Rm. Extension / Floor, Foundation and Utility Plans / Daylight Basement Elevations
A4 EXWG.1	Grade Brick Gathering Rm. Extension / Floor, Foundation and Utility Plans / Walkout Basement Elevations

Sheet No.	Sheet Description
A4 EX4SRI.1	Gathering Rm. Extension w/ Sunroom - 4" Exterior Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 EX4SRD.1	Gathering Rm. Extension w/ Sunroom - 4" Exterior Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations
A4 EX4SRW.1	Gathering Rm. Extension w/ Sunroom - 4" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
A4 EX6SRI.1	Gathering Rm. Extension w/ Sunroom - 6" Exterior Walls / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 EX6SRD.1	Gathering Rm. Extension w/ Sunroom - 6" Exterior Walls / Floor, Foundation and Utility Plans / Daylight Basement Elevations
A4 EX6SRW.1	Gathering Rm. Extension w/ Sunroom - 6" Exterior Walls / Floor, Foundation and Utility Plans / Walkout Basement Elevations
A4 EX4SRIG.1	Grade Brick Gathering Rm. Extension w/ Sunroom / Floor, Foundation and Utility Plans / In-Grade Basement Elevations
A4 EX4SRDG.1	Grade Brick Gathering Rm. Extension w/ Sunroom / Floor, Foundation and Utility Plans / Daylight Basement Elevations
A4 EX4SRWG.1	Grade Brick Gathering Rm. Extension w/ Sunroom / Floor, Foundation and Utility Plans / Walkout Basement Elevations
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U1 0.20	Finished Basement - Plan Options / Utility Plan
U1 0.21	Finished Basement - Plan Options / Utility Plan / Opt. Lighting Package
U1 0.30	Finished Basement - Plan Options / Utility Plan
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U1 4-1.11	First Floor Utility Plan / Opt. Lighting Package / 4" Exterior Walls
U1 4-1.20	First Floor Utility Plan - Plan Options / _ / 4" Exterior Walls
U1 4-1.21	First Floor Utility Plan - Plan Options / Opt. Lighting Package / 4" Exterior Walls
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U1 6-1.11	First Floor Utility Plan / Opt. Lighting Package / 6" Exterior Walls
U1 6-1.20	First Floor Utility Plan - Plan Options / _ / 6" Exterior Walls
U1 6-1.21	First Floor Utility Plan - Plan Options / Opt. Lighting Package / 6" Exterior Walls
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FL 0.2	Finished Basement Flooring Plan / Options / _
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FL 4-1.2	First Floor Flooring Plan / Options / 4" Exterior Walls
FL 4-1.3	First Floor Flooring Plan / Options / 4" Exterior Walls
FL 6-1.1	First Floor Flooring Plan / _ / 6" Exterior Walls
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TR 6-1.2	First Floor Plan / Trim Options Layout / 6" Exterior Walls
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AD SHEETS	Typical Architectural Details

DESIGN LOADS and CRITERIA

SEE STRUCTURAL PLANS FOR DESIGN CRITERIA

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Midwest Zone Office
1900 Golf Road - Suite 300
Schaumburg, Illinois 60173

Cover Sheet
Project Information / Sheet Index
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	.
3	.
4	.
5	.
6	.
7	.

GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Amberwood
NPC CHILD NUMBER
1848.302

SHEET
CZ
0.10

PLOTTED: December 20, 2018 / Tiffany Perreault / CZ 0.10.DWG

Sheet No.	Sheet Description
STRUCTURAL DRAWINGS	
S-0 SHEETS	Structural Notes
S-1 SHEETS	Foundation Plans & First Floor Framing
S-2 SHEETS	2nd Floor Framing Plans
S-3 SHEETS	Roof Framing Plans
S-4 SHEETS	Framing Details
SO-1 SHEETS	Plan Options
SO-2 SHEETS	Plan Options
SO-3 SHEETS	Deck Framing Plans
STRUCTURAL DETAILS	
SD SHEETS	Structural Details

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Schaumburg, Illinois 60173

Pulte Homes

Cover Sheet
Sheet Index cont.
Midwest Zone

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	
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GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Amberwood
NPC CHILD NUMBER
1848.302

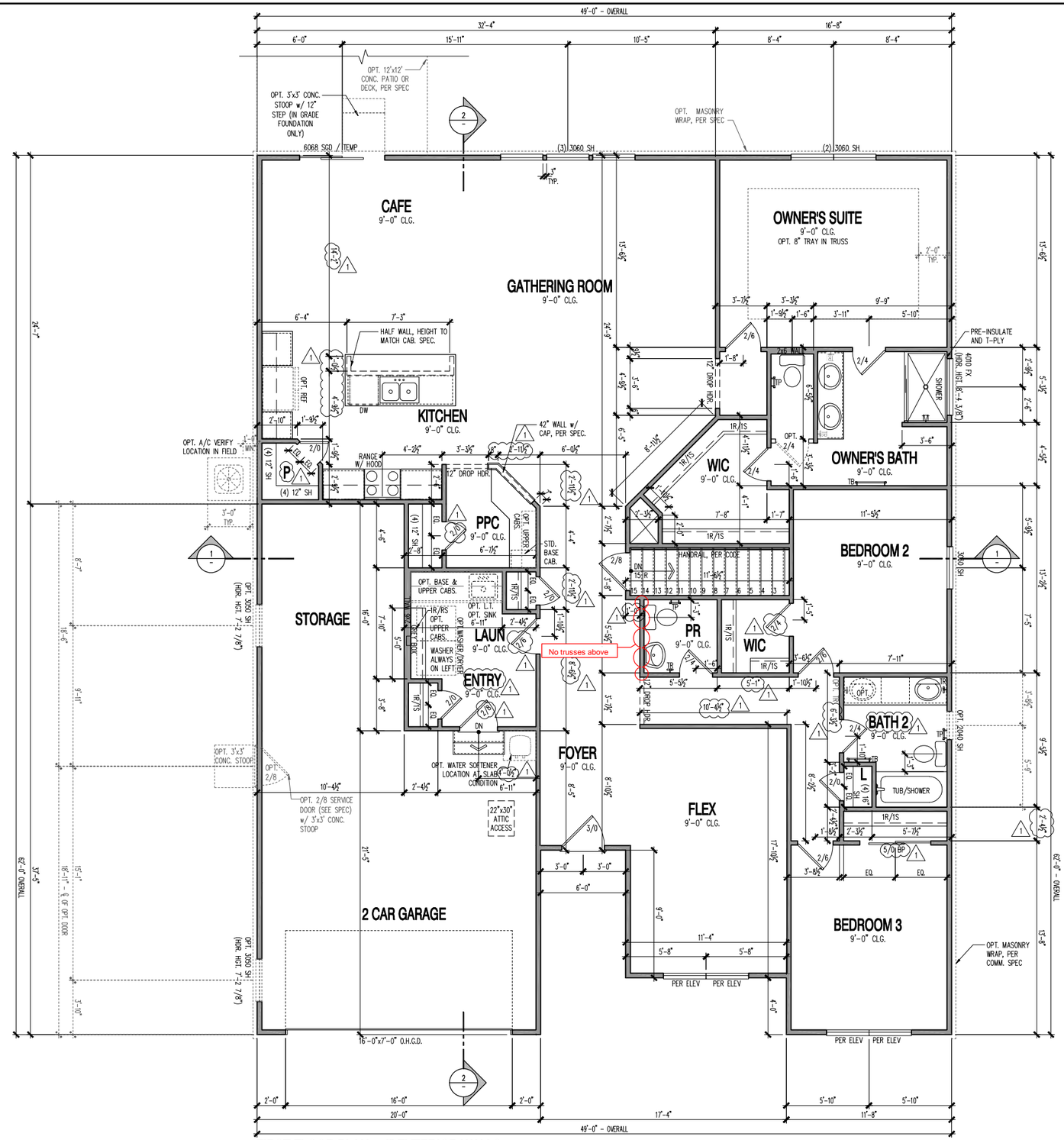
SHEET
CZ
0.11

PLOTTED: December 20, 2018 / Tiffany Perreault / CZ 0.11.DWG

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL NON-BEARING WALLS TO BE 2x4 STUDS AT 24" O.C. KITCHEN AND PULTE PLANNING CENTER WALLS, WHERE CABINETS ARE TO BE HUNG, SHALL BE FRAMED AT 16" O.C.
3. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
4. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
5. PROVIDE ½" DRYWALL AT WALLS, CEILING AND UNDERSIDE OR STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
6. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
7. ALL BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE ⅜" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
9. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
10. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
11. BASEMENTS, HABITABLE ATTICS AND ALL SLEEPING ROOMS MUST HAVE AT LEAST ONE EMERGENCY ESCAPE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. THE EMERGENCY ESCAPE MUST HAVE A 5.7 SFCLEAR OPENING AND A SILL HEIGHT OF NO MORE THAN 44" ABOVE FINISHED FLOOR. ESCAPE WINDOWS AT GRADE LEVEL MUST HAVE A MIN. OF 5.0 SF OF OPEN AREA. REQUIRED CLEAR OPENINGS SHALL BE A MINIMUM OF 24" HIGH AND 20" WIDE. EMERGENCY ESCAPES WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GRADE MUST HAVE A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
12. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

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First Floor Plan
4" Exterior Walls

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	
3	
4	
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GARAGE HANDING
Single Family

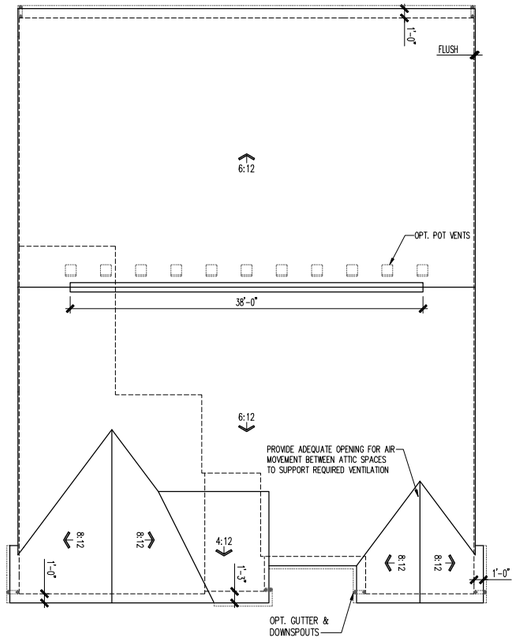
SPECIFICATION LEVEL

PLAN NAME
Amberwood
NPC CHILD NUMBER
1848.302

SHEET
A1
4-1.1

PLOTTED: December 20, 2018 / Tiffany Perreault / A1 4-1.1.DWG

ROOF AREA: "A"
2993 SQ. FT.



ROOF PLAN

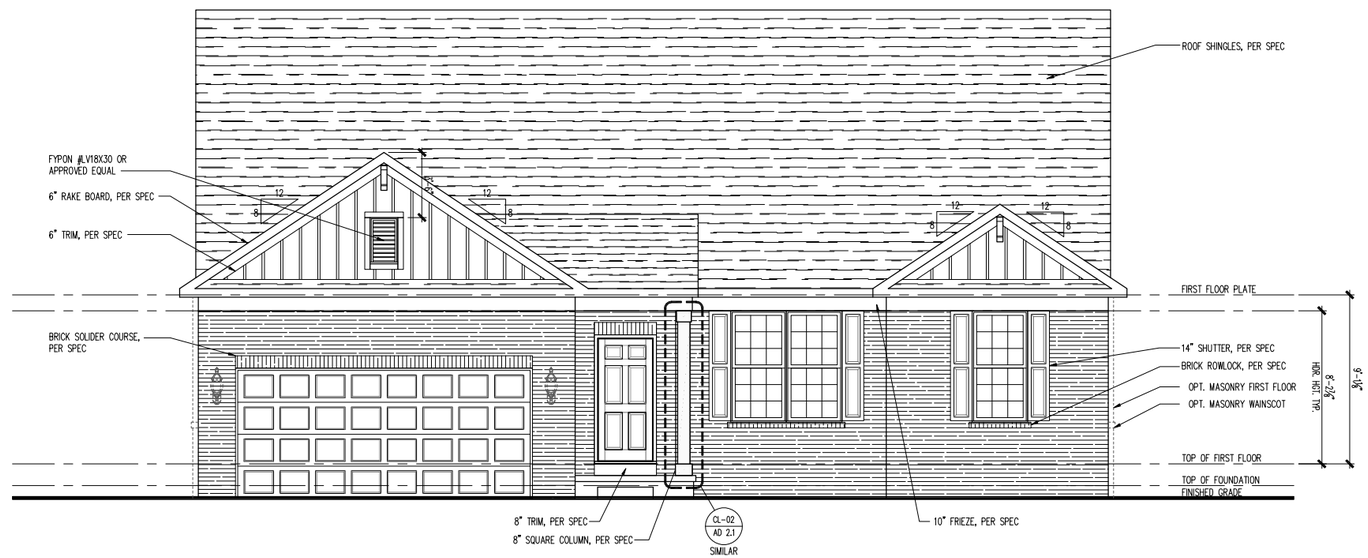
SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

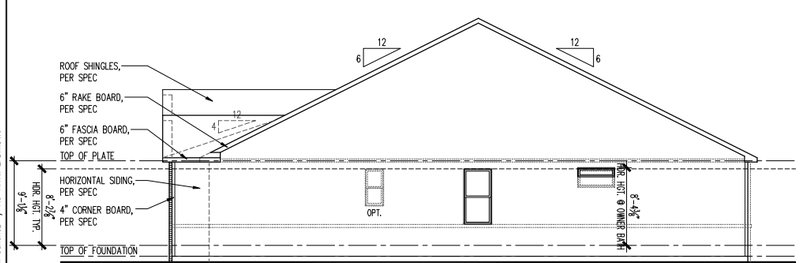
ELEVATION HR1W

ROOF AREA "A"	SQ FTG	2993		AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (66.5x66.5)	POT SMALL (66.5x66.5)	RIDGE VENT (10.5x36.10/12)	EAVE VENT (66.5x66.5)	CONT. VENT (66.5x66.5)
				61.00	40.00	18.00	28.00	10.00
HIGH-POT VENTS ONLY	5.99	4.99	4.66	46.56	0			
AT EAVE	5.99	4.99	5.36	53.44			0	77.00
TOTAL (sq)	9.98	9.98	10.01	100.00				
HIGH-RIDGE VENT	5.99	4.99	4.70	47.04	0	0	28.00	
AT EAVE	5.99	4.99	5.30	52.96			0	77.00
TOTAL (sq)	9.98	9.98	10.10	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



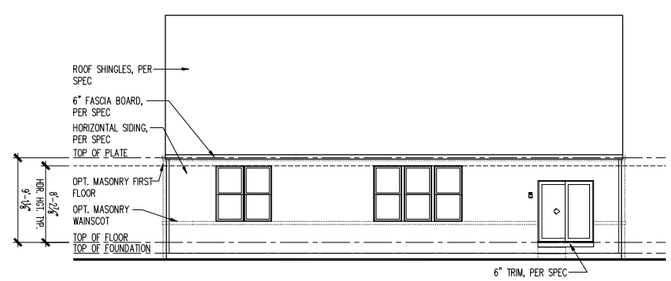
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



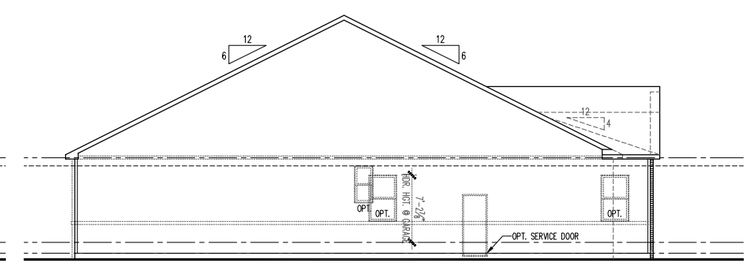
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 29, 2019 / Rudolph Sanchez / A3-HR1W 2FB.1.DWG

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Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 1W

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

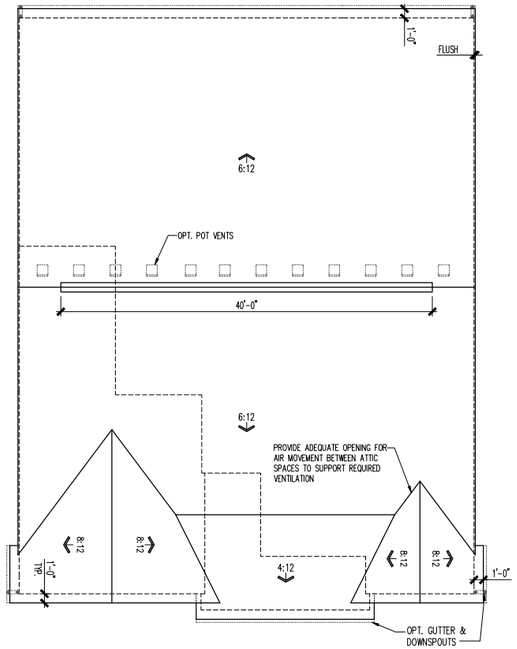
GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Amberwood
NPC CHILD NUMBER
1848.302

SHEET
A3-HR1W
2FB.1

ROOF AREA: "A"
3075 SQ. FT.



ROOF PLAN

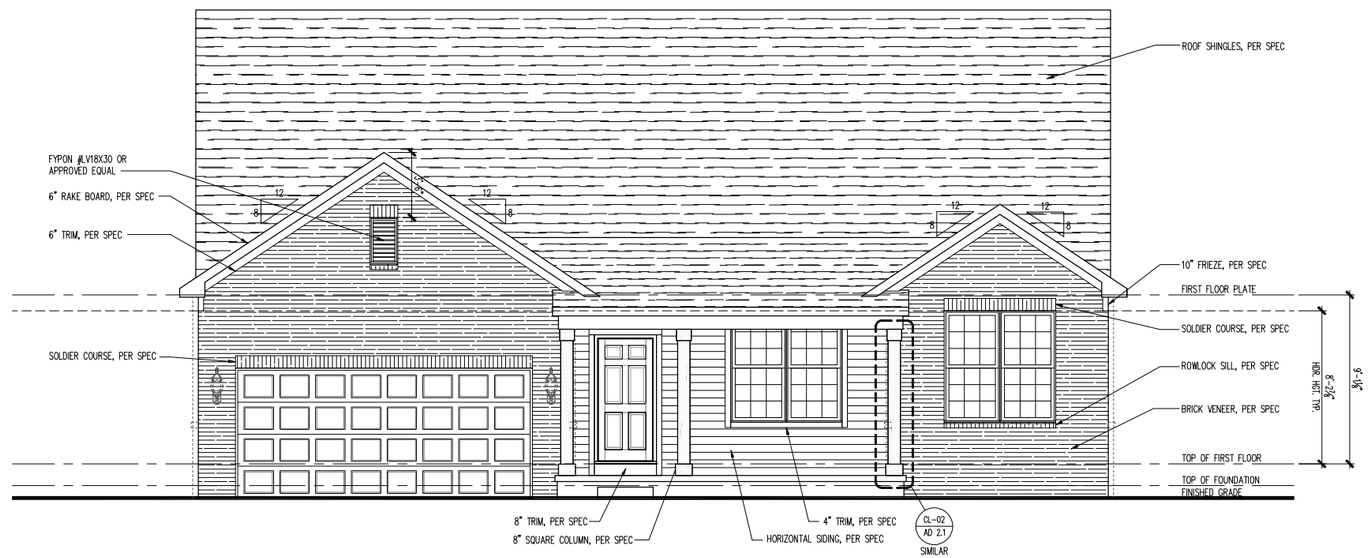
SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING ZONE VENTILATION AT 50-50% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

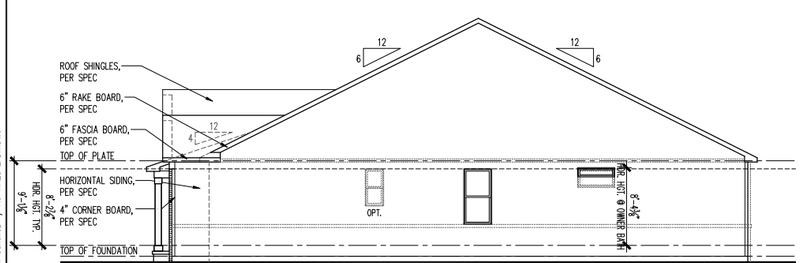
ELEVATION HR2S

ROOF AREA "A"		SQ FTG	3075	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (50.0-SQ.INCH)	POT SMALL (25.0-SQ.INCH)	RIDGE VENT (50.0-SQ.INCH)	EAVE VENT (50.0-SQ.INCH)	CONT. VENT (50.0-SQ.INCH)
				61.00	40.00	18.00	28.00	10.00
HIGH-POT VENTS ONLY	4.10	5.13	5.08	49.04	12	0		
AT EAVE	6.15	5.13	5.28	50.94			0	76.00
TOTAL (sq)	10.25	10.25	10.36	100.00				
HIGH-RIDGE VENT	4.10	5.13	5.00	48.65	0	0	40.00	
AT EAVE	6.15	5.13	5.28	51.35			0	76.00
TOTAL (sq)	10.25	10.25	10.28	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



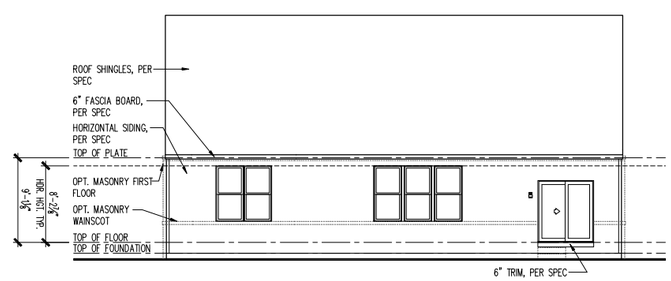
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



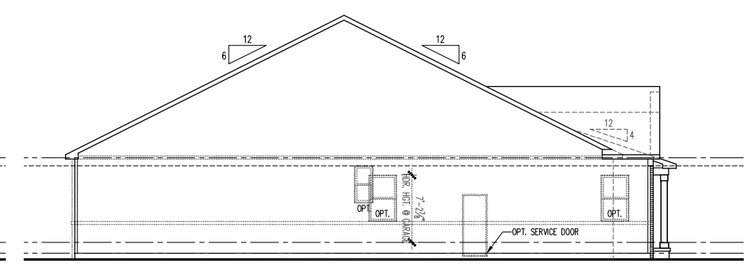
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 2S

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	
3	
4	
5	
6	
7	

GARAGE HANDING
Single Family

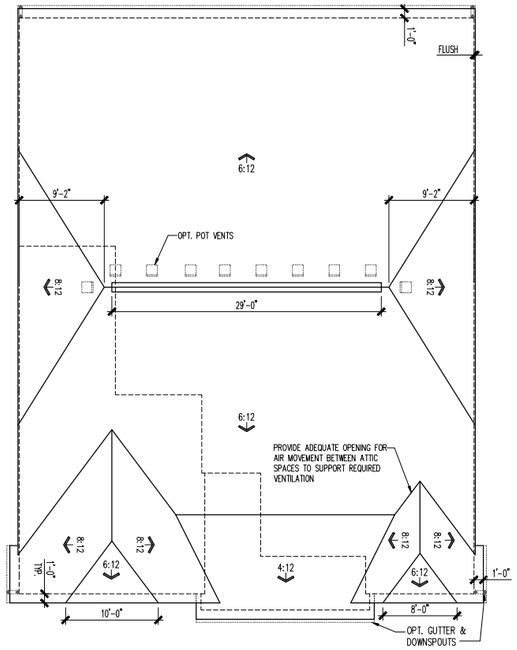
SPECIFICATION LEVEL

PLAN NAME
Amberwood
NPC CHILD NUMBER
1848.302

SHEET
A3-HR2S
2FB.1

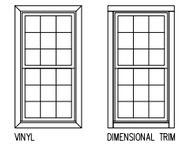
PLOTTED: January 29, 2019 / Rudolph Sanchez / A3-HR2S 2FB.1.DWG

ROOF AREA: "A"
3075 SQ. FT.



ROOF PLAN

SCALE: 1/8" = 1'-0"



SIDE AND REAR WINDOW TRIM PER COMMUNITY SPECS

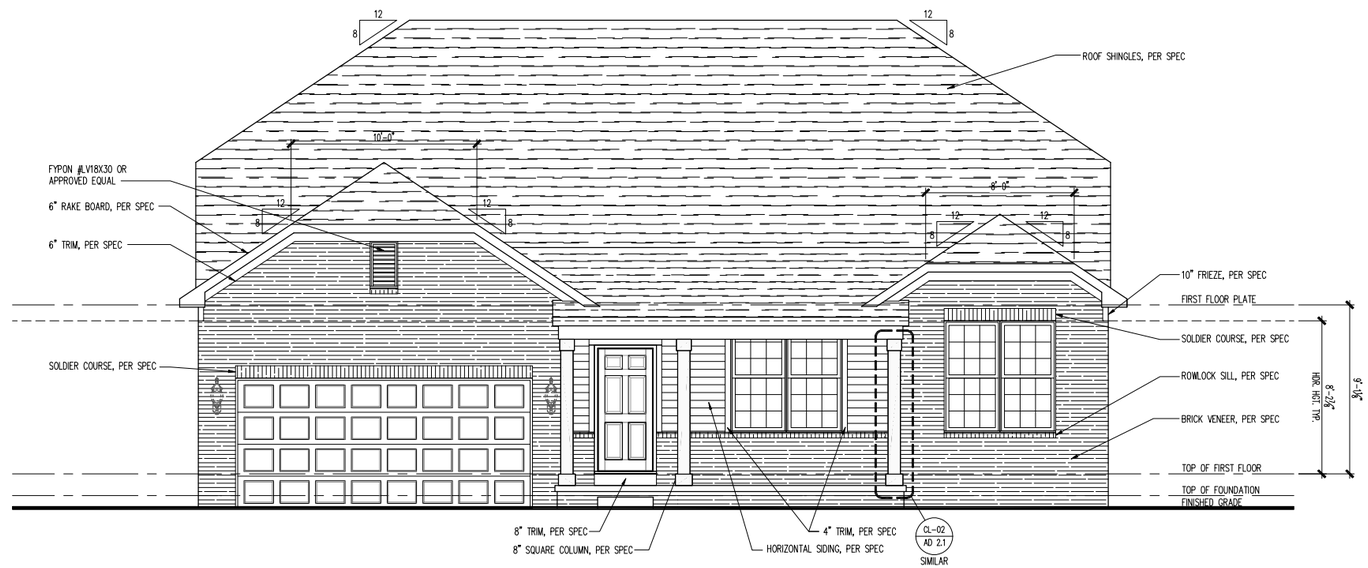
1/4" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING ZONE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

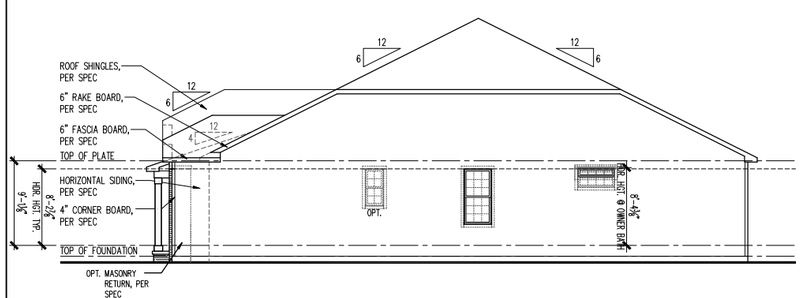
ELEVATION HR2T

ROOF AREA "A"		SQ FTG	3075	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (66.5x66.5)	POT SMALL (66.5x66.5)	RIDGE VENT (50.5x50.5)	EAVE VENT (66.5x66.5)	CONT. VENT (66.5x66.5)
				61.00	40.00	18.00	26.00	10.00
HIGH-POT VENTS ONLY	4.10	5.13	4.34	44.69	10	0		
AT EAVE	6.15	5.13	5.28	55.47			0	76.00
TOTAL (min)	10.25	10.25	9.51	100.00				
HIGH-RIDGE VENT	4.10	5.13	5.00	48.85	0	0	40.00	
AT EAVE	6.15	5.13	5.28	51.36			0	76.00
TOTAL (min)	10.25	10.25	10.28	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



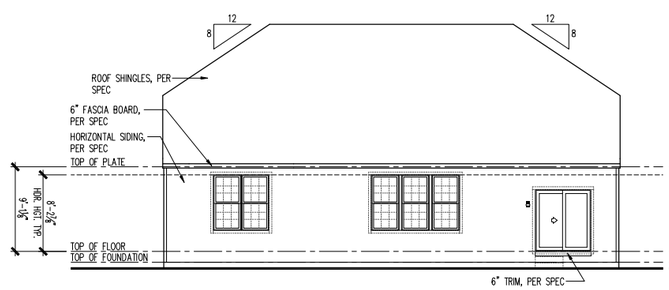
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



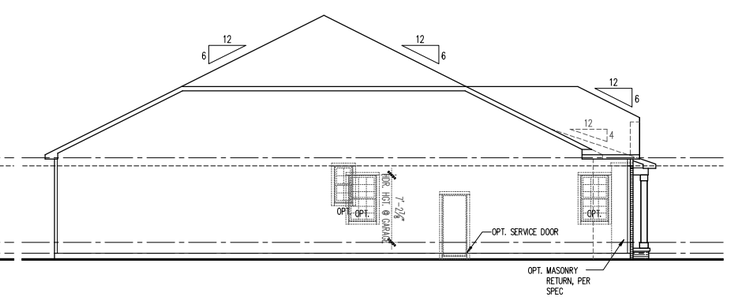
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 2T

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH

GARAGE HANDING
Single Family

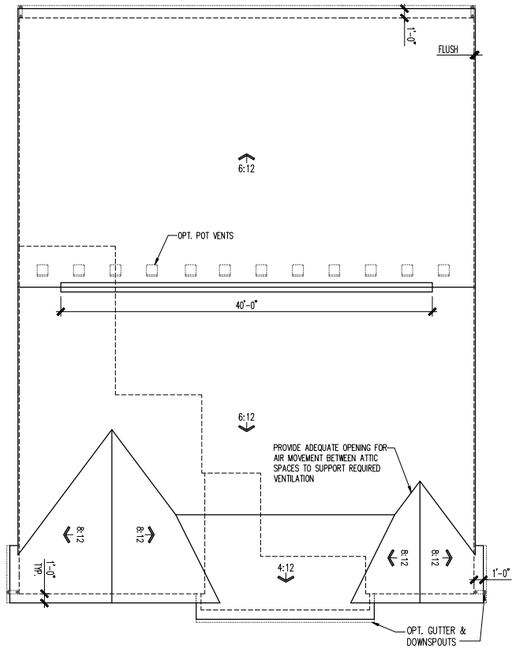
SPECIFICATION LEVEL

PLAN NAME
Amberwood
NPC CHILD NUMBER
1848.302

SHEET
A3-HR2T
2FB.1

PLOTTED: January 23, 2019 / Rudolph Sanchez / A3-HR2T 2FB.1.DWG

ROOF AREA: "A"
3075 SQ. FT.



ROOF PLAN

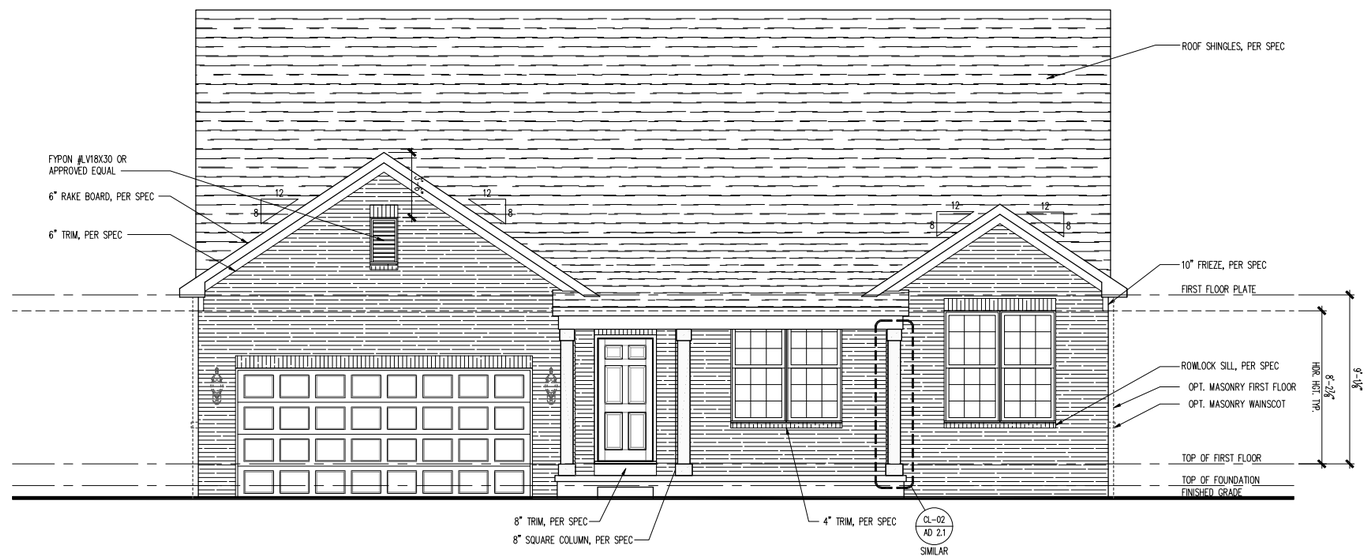
SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE.
* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

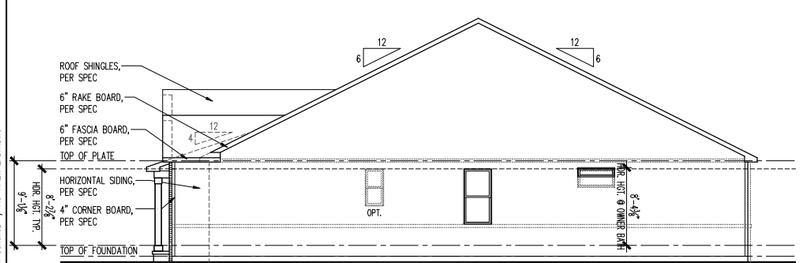
ELEVATION HR2W

ROOF AREA "A"		SQ FTG	3075	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (50.0-INVRS)	POT SMALL (25.0-INVRS)	RIDGE VENT (50.0/LINEAR)	EAVE VENT (50.0/LINEAR)	CONT. VENT (50.0/LINEAR)
				61.00	40.00	18.00	28.00	10.00
HIGH-POT VENTS ONLY	4.10	5.13	5.08	12	0			
AT EAVE	6.15	5.13	5.28	50.94			0	76.00
TOTAL (sqfg)	10.25	10.25	10.36	100.00				
HIGH-RIDGE VENT	4.10	5.13	5.00	48.65	0	0	40.00	
AT EAVE	6.15	5.13	5.28	51.35			0	76.00
TOTAL (sqfg)	10.25	10.25	10.28	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



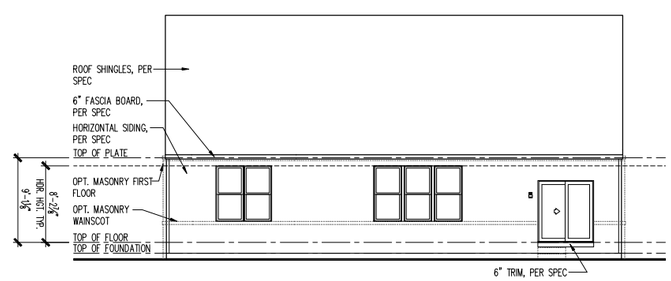
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



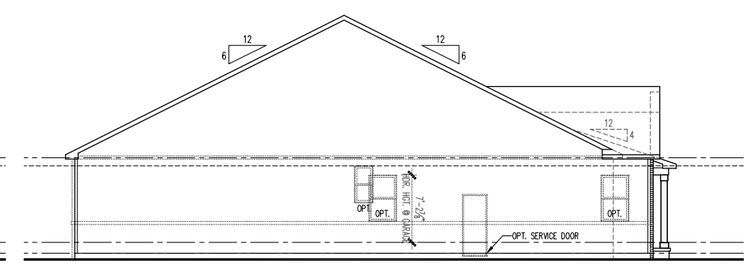
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 29, 2019 / Rudolph Sanchez / A3-HR2W 2FB.1.DWG

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Schaumburg, Illinois 60173

Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Heartland 2W

PRODUCT MANAGER
Rick Starkey
INITIAL RELEASE
DATE: 01/18/2019

REV#	DATE/DESCRIPTION
1	01/18/2019 PLAN REFRESH
2	
3	
4	
5	
6	
7	

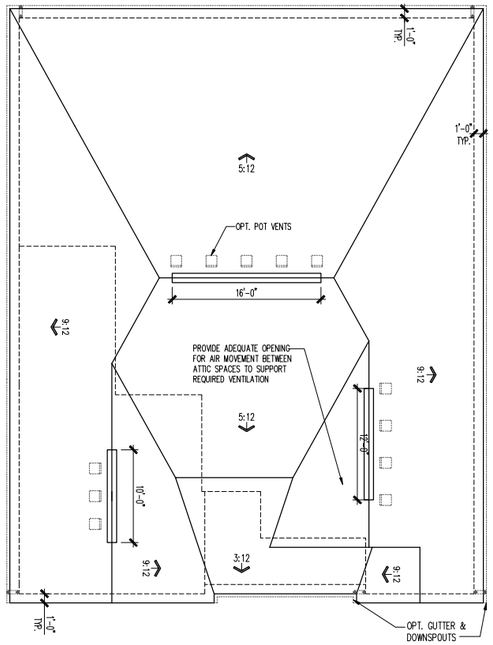
GARAGE HANDING
Single Family

SPECIFICATION LEVEL

PLAN NAME
Amberwood
NPC CHILD NUMBER
1848.302

SHEET
A3-HR2W
2FB.1

ROOF AREA: "A"
3021 SQ. FT.



ROOF PLAN

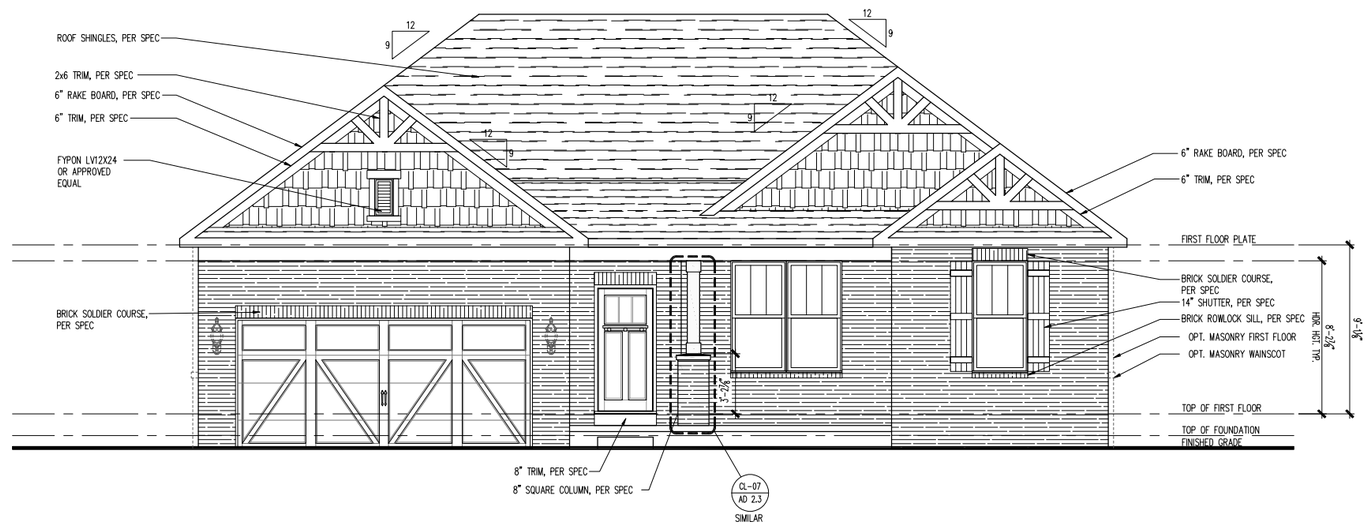
SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLIED IS BASED ON POT VENT VALUES AND RIDGE VENT VALUES SHOWN IN TABLE ABOVE
* CONTRACTORS INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO MEET CODE REQUIREMENTS
* SCHEDULE HAS BEEN CALCULATED ASSUMING EAVE VENTILATION AT 50-60% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION

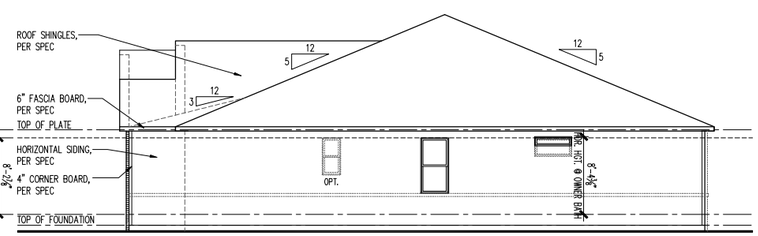
ELEVATION NC2G

ROOF AREA "A"		SQ FTG	3021	AT / NEAR RIDGE			AT / NEAR EAVE	
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (Sq.in.NFA)	POT SMALL (Sq.in.NFA)	RIDGE VENT (Sq.in./Ft.LF)	EAVE VENT (Sq.in./Unit)	CONT. VENT (Sq.in./Ft)
				61.00	40.00	18.00	28.00	10.00
HIGH-POT VENTS ONLY	4.03	5.04	4.44	46.34	11	0		
AT EAVE	6.04	5.04	5.43	53.76			0	78.00
TOTAL (sqft)	10.07	10.07	10.08	100.00				
HIGH-RIDGE VENT	4.03	5.04	4.73	46.73	0	0	38.00	
AT EAVE	6.04	5.04	5.43	53.38			0	78.00
TOTAL (sqft)	10.07	10.07	10.17	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE			



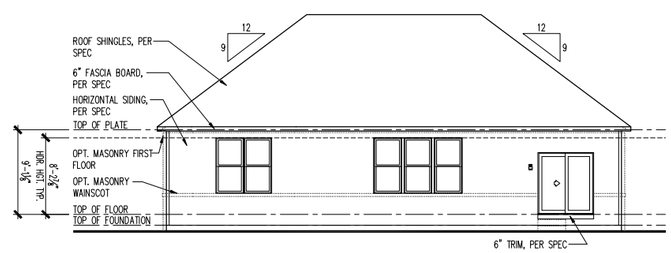
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



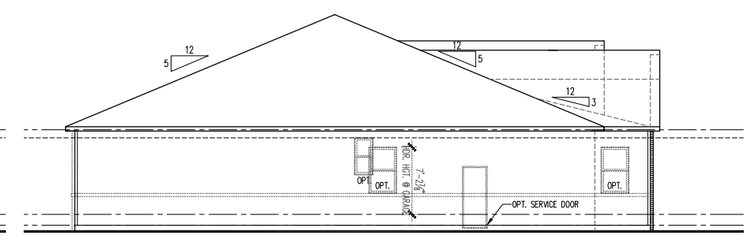
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

PLOTTED: January 29, 2019 / Rudolph Sanchez / A3-NC2S 2FB.1.DWG

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Pulte Homes

Front, Side and Rear Elevations
2 Car Front Entry
Northern Craftsman 2S

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