- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° ELBOW.
  CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
  INSULATION EXPOSED TO ATTIC AND/OR
- CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
  CROSS-VENTILATION OR VAPOR BARRIER

- ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE

  ANY WINDOW WITHIN 2-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES. GUARDRAILS SHALL HAVE A HEIGHT OF 36
- INCHES AT ALL STAIRS, BAISED SURFACES. LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIE PORTION SHALL NOT BE MORE THAN 21/4
  INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HARITARI E ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 5/4" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/4" GYPSLIM BOARD OR FOLIVALENT
- OPENINGS BETWEEN THE GARAGE AND
  RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
  FIRE STOPPING SHALL BE PROVIDED TO CUT
  OFF ALL CONCEALED DRAFT OPENINGS
- (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND
- 3. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- 4. WEATHER STRIP ALL ATTIC ACCESSES
  5. SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

DATE

C.O #

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION
- RESISTANT METAL TIES
  VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 1/2", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE

VENEER.

- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
  WEEP HOLES WITH BRICK VENEER SHALL BE
- INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

Revisions

Description

Drafter

#### **GENERAL NOTES**

- GENERAL STRUCTURAL AND
  ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN GOVERNING CODE:
- STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE
  2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

# M/I HOMES **PRESENTS Ainsley II Elevation G** LAST NAME **Construction Set** 06/17/2022

# 2x4 EXTERIOR WALLS

MI HOMES - CO	OMMON ABBREVIATION	ONS ON PRINTS
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS
2nd - SECOND		DOOR
	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM		SHWR - SHOWER
	LDRY - LAUNDRY	SPF - SPRUCE PINE FIR
B/ - BOTTOM	LOC - LOCATION	SVC - SERVICE
BDR - BEDROOM		SYP - SOUTHERN
BRKFST - BREAKFAST	MANUF or MFR -	YELLOW PINE
	MANUFACTURER	
CATH - CATHEDRAL	MUD - MUDROOM	T/ - TOP
CONC CONCRETE		TEMP - TEMPERED
€ - CENTERLINE	OC - ON CENTER	THK'D - THICKENED
	OH - OVERHANG	TYP - TYPICAL
DBL - DOUBLE	OPT - OPTIONAL	
DH - DOUBLE HUNG		UNO - UNLESS NOTED
DIA - DIAMETER	PC - PULL CHAIN	OTHERWISE
DN - DOWN	PERF - PERFORATED	
DW - DISH WASHER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
FD - FLOOR DRAIN	PT - PRESSURE	w/ - WITH
FDN - FOUNDATION	TREATED	WD - WOOD
FLR - FLOOR	PTRY - PANTRY	WH - WATER HEATER
FPHB - FROST	PWD - POWDER	WIC - WALK IN CLOSET
PROTECTED	R - PLATE	
HOSE BIB		
FTG - FOOTING	R. BATH - RETREAT BATH	
GWB - GYPSUM WALL	REF - REFRIGERATOR	
BOARD	REQ'D - REQUIRED	
	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

SQUARE FOOTAGE - ELEV "G"		
1ST FLOOR		
2ND FLOOR		
TOTAL HEATED	3245	
GARAGE	647	
GANAGE	047	
GARAGE STORAGE	+76	
OPT FULL BASEMENT	+1509	
OPT OFFICE	+242	
NOOK BAY	+23	
VERANDA / MORNING ROOM	+169	
BEDROOM #2 BATH	+124	
4' GATHERING ROOM EXTENSION	+83	
4' FLEX EXTENSION	+51	
3-CAR SIDE ENTRY GARAGE	+202	
DODOLL	. 00	

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE



## **DIVISION ADDRESS**

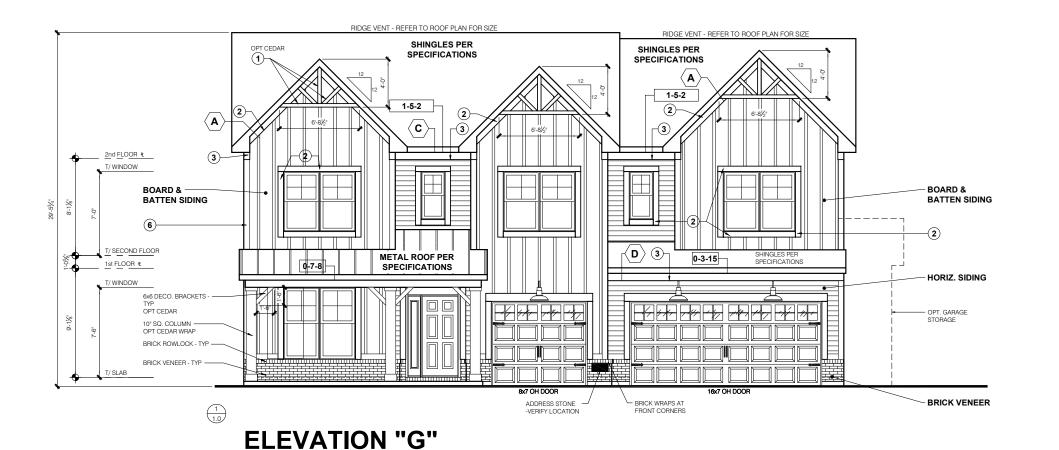
M/I Homes of Indiana, L.P 8425 Woodfield Crossing Blvd., Suite.100W Indianapolis, IN 46240 Ph 317.255.9900

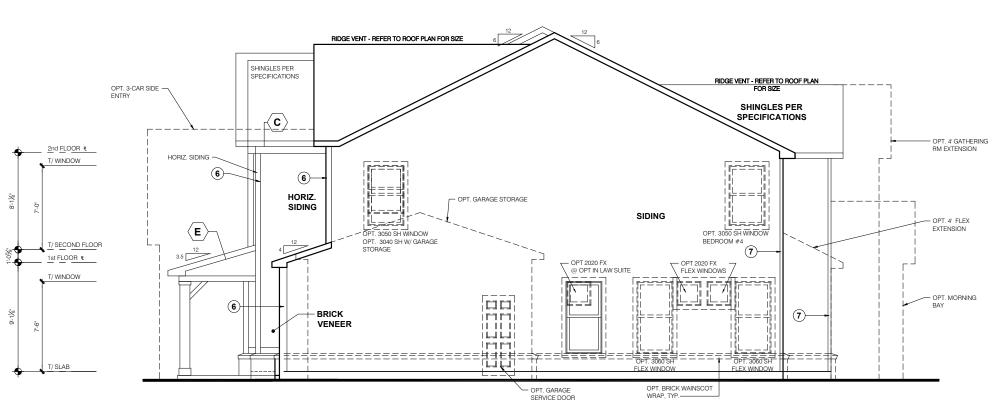
0.0G	Cover Sheet Indianapolis	<u> </u>	BASE PLAN REVISION:
1.0G	Front and Garage Side Elevations	2019 <b>M/I Ho</b> i	DAGET LANTREVIOLON.
1.1G	Rear and Side Elevations	. ¥	<b>1</b>
1.2G	Front Elevations with Brick-Stone	118	^1\
2.0G	Slab Foundation Plan	5	/2\
2.1G	Slab Foundation Plan - Brick Wrap	0	$\overline{\wedge}$
2.2G 2.3G	Poured Basement Foundation  Poured Basement Foundation - Brick Wrap	-	<u>/3\</u>
2.3G	Finished Basement Plan	1	4
3.0G	First Floor Subfloor	1	<u> </u>
4.0G	First Floor Plan - Slab		n .:
4.1G	First Floor Plan - Basement	1	gio t Ilvc
4.2G	First Floor Plan - Options		Re nen g B 740
6.0G	Second Floor Plan -Slab		lis urtn sin 900
6.1G	Second Floor Plan - Basement	40	odro eps ros N N
6.2G	Second Floor Plan - Options	ָלט	ian; 2 D 11 C 18, 1
M1.0G	First Floor MEP Plan - Slab	ш	nd ture iele ool
M1.1G M1.2G	First Floor MEP Plan - Basement First Floor Option MEP Plans	$\sim$	Homes Indianapolis Reg Architecture Department 5 Woodfield Crossing B Indianapolis, IN 46240 Ph 317.255.9900
M2.0G	Second Floor MEP Plan - Slab	<u>                                    </u>	Shiri No Aia Aia Pl
M2.1G	Second Floor MEP Plan - Basement	Щ	Ar Sy In
M2.2G	Second Floor Option MEP Plans	S	M/I Homes Indianapolis Region Architecture Department 8425 Woodfreld Crossing Blvd. Indianapolis, IN 46240 Ph 317.255.9900
7.0G	Roof Plan	1111	' '
8.0G	Sections at Garage and Stairs	洪	I ::
8.1G	Section at Family Room	G	І Ш
R1.0	Veranda		_ 2
R1.1	Screened in Porch		
R2.0	Morning Room	ָלַט	
R3.0	Garage Storage - Brick  2-Car Side Entry Plans - All	Щ	
R4.0 R4.1	2-Car Side Entry Plans - All 2-Car Side Entry Elevations	PRESTIGE SERIES	HOMES
H4.1 R5.0	3-Car Side Entry Plans - All Brick	n	
R5.1	3-Car Side Entry Plans - All	_	
R5.2	3-Car Side Entry Elevations and Section	1	I
R6.0	Office Foundations - All	1	1 2
R6.1	Office Plans - Floor Plan & Joists Layout	1	_
R6.2	Office Elevations		
R7.0	4ft Flex Extension - Fnd Plans		
R7.1	4ft Flex Extension - Plans		
R7.2	4ft Flex Extension - Elevs		
R8.0	4ft Flex Ext with Morning Room - Fnd Plans	-	
R8.1 R8.2	4ft Flex Ext with Morning Room - Plans 4ft Flex Ext with Morning Room - Elevs	-	
R9.0	4ft Gathering Room Extension - Foundations	-	
R9.1	4ft Gathering Room Extension - Plans	1	
R10.0	4ft Gat Rm Ext with Mmg Rm - FDN		
R10.1	4ft Gat Room Ext with Morning Room - Plans		
R10.2	4ft Gat Room Ext with Morning Room - Elev		
R11.0	4ft Flex Ext w 4ft Gat rm Ext & Morning Room - Fnd Plans		
R11.1	4ft Flex Ext w 4ft Gat Rm Ext & Mrng Rm - Plans		I <u>—</u>
R11.2	4ft Flex Ext with 4ft Gat Rm Ext & Mrng Room - Elevs	-	
R12.0 R13.0	Lookout Basement Walkout Basement	-	
R14.0	Gathering Rm Ext - Lookout Walkout	-	I ≻⊢⊸
R15.0	Gathering Rm Ext W Morning Rm - Lookout Walkout	1	
R16.0	4ft Flex Ext - Lookout Walkout	1	<b>ш</b> s ö
R17.0	4ft Flex W Morning Rm - Lookout Walkout		$ S_1 $
R18.0	4ft Flex Gat Ext W Morning Rm - Lookout Walkout		I <b>ス</b> ラシ
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Number	Sheet Title		
S0.10	Structural Notes		
F1.0	Foundation Plan	1	I 🐠 🗆
F1.0B	Foundation Plan		
F2.0	Foundation Plan	Щ	
F2.0B	Foundation Plan	₹	
S1.00	1st Floor Framing Plan	ું	
S2.00	2nd Floor Framing Plan	ဟ	
S3.00	Roof Framing Plan	7%	
S4.00	Optional Framing Plan	Щ	
S4.10	Optional Framing Plan		
S4.20	Optional Framing Plan	(0	
S4.30	Optional Framing Plan	1x17 PRINTS ARE 1/2 SCALE	
S4.40	Optional Framing Plan	Z	
S4.50	Optional Framing Plan	ĞΚ	Into H. Almata D
S4.60	Optional Framing Plan	_ <u>_</u>	Job #: Ainsley II
S4.70	Optional Framing Plan	17	LSP Date:
S4.80	Optional Framing Plan	_ <del>X</del>	LSP By:
S4.90	Optional Framing Plan	<u> </u>	LSP Rev:
LB-1.0	Lateral Bracing Detail		Sheet Title :
SD.04	Foundation Details		Cover Sheet
SD.05	Foundation Details		Indianapolis
D4.0	Wall Section Ranch - Slab		Sheet:
D4.1	Wall Section 2 Story - Slab		
D4.6	Wall Section Ranch - Basement	]	l !
D4.7	Wall Section 2 Story - Basement	]	I 0.0G
D10.0	1 -	1	
	Fireplace Details	]	
	Fireplace Details	]	

**Sheet List Table** 

Sheet Title

Sheet Number





# GARAGE SIDE ELEVATION

TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS
PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES.
ALL TRIM NOTED ON THE ELEVATIONS IS
NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH
AND MATERIAL.

 $\mathbf{1}$  = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL;

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

(**5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVISION

(7) REAR CORNERS = 4"TRIM PER DMISION

#### DIVISION NOTE:

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

# WINDOW GRIDS -FRONT WINDOW GRIDS ARE STANDARD

-FRONT WINDOW GRIDS ARE STANDARD
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS
PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATION

### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL
OVERHEAD GARAGE DOORS. SEE SELECTIONS
FOR STYLE, OTY AND LAYOUT

PRESTIGE SERIES

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ssued Date: 06-13

BASE PLAN REVISION

AINSLEY II FINAL SET 6/17/2022

Job #: Ainsley LSP Date: ---LSP By: ---

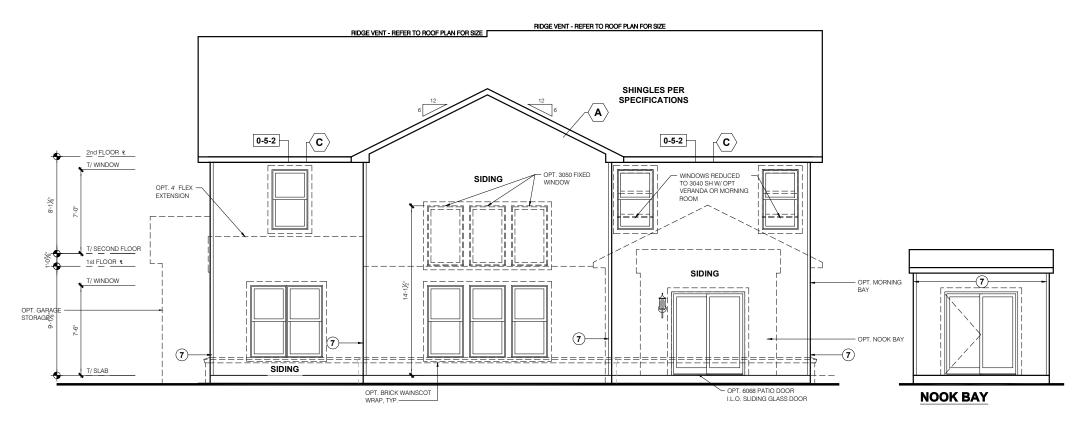
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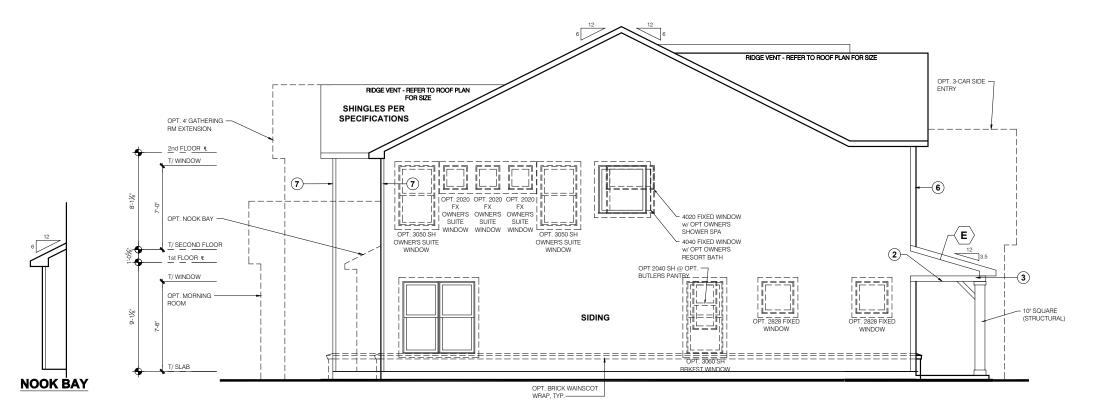
Front and Garage Side Elevations

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# **REAR ELEVATION**



# **SIDE ELEVATION**

**SCALE:** 1/4" = 1'-0"

### TYPICAL EXTERIOR TRIM FINISH

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WINDOW GRIDS
-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS
GRID PATTERNS TO MATCH FRONT ELEVATION

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ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

SERIES **PRESTIGE** 

ssued Date: 06-11

BASE PLAN REVISION

NSLEY FINAL SET 6/17/2022

LSP Date:

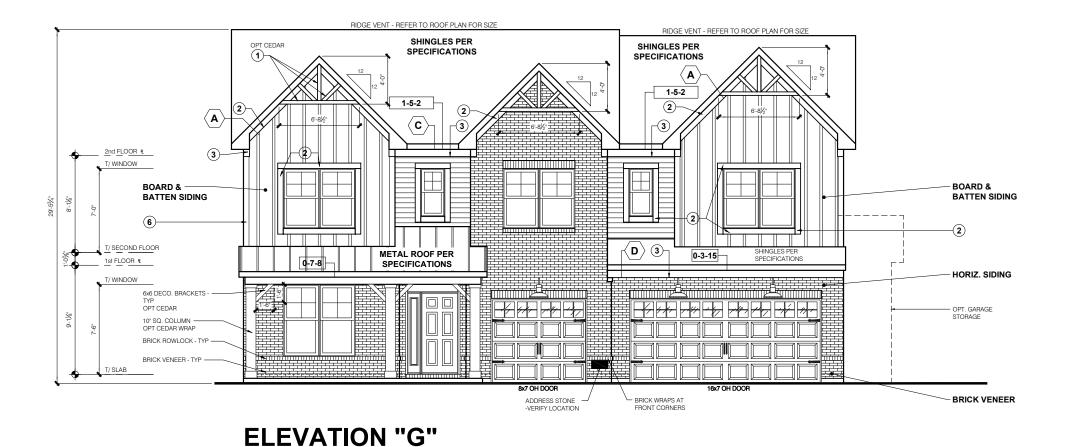
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Job #: Ainsley \_SP By: SP Rev:

heet Title Rear and Side Elevations

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SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH

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#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS
PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

SERIES

**PRESTIGE** 

ssued Date: 06-17 BASE PLAN REVISION

M/I Homes Indianapolis Region Architecture Department 8425 Woodfield Crossing Blvd. Indianapolis, IN 46240 Ph 317.255.9900

AINSLEY FINAL SET 6/17/2022

SCALE

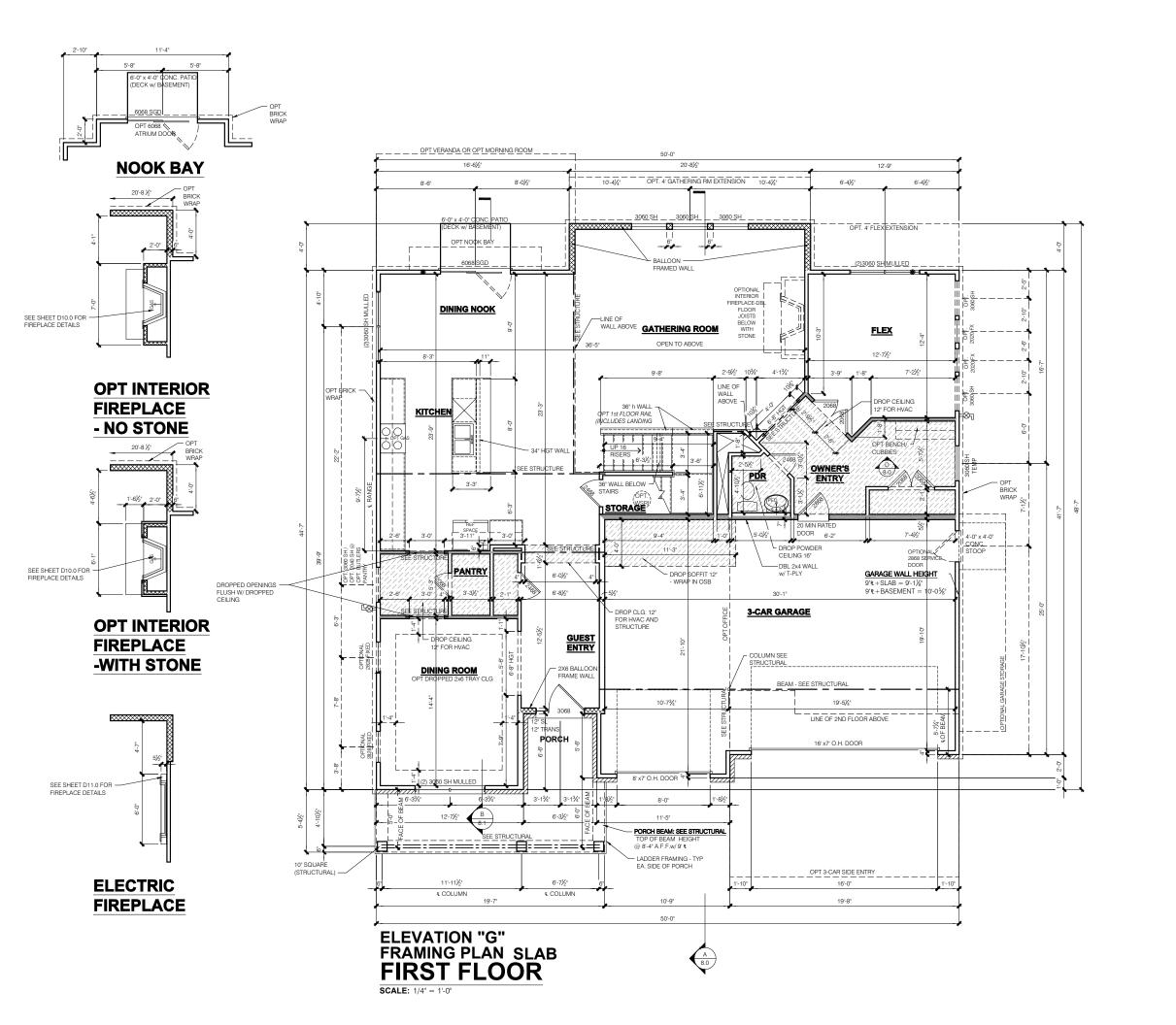
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Job #: Ainsley I LSP Date: LSP By: LSP Rev: Sheet Title

Front Elevations wi Brick-Stone

Sheet:

1.2G



NOTE: STANDARD HEIGHT- AS NOTED

- INDICATES WALL HEIGHTS HIGHER THAN

- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE NOTED OTHERWISE 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS
- NOTED OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
- BEAMS, HEADERS AND POSTS SIZES
  ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL
  SUPPORT MEMBER OR FOUNDATION.
  EXTERIOR WALLS AT CONDITIONED SPACES ARE
- 2x4's W/½" NOMINAL SHEATHING U.N.O. (4"). STUDS
  @ 16" O.C. U.N.O.
  WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16"
  O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (31/2")

EXTERIOR WALLS ARE SHOWN WITH  $\frac{1}{2}$ " NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS. CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$  GWB. CEILING TO BE  $\frac{5}{8}$  TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS OVERHEAD GARAGE DOORS. SEE SELECTIONS

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

ssued Date: 06-17

BASE PLAN REVISION

SERIES

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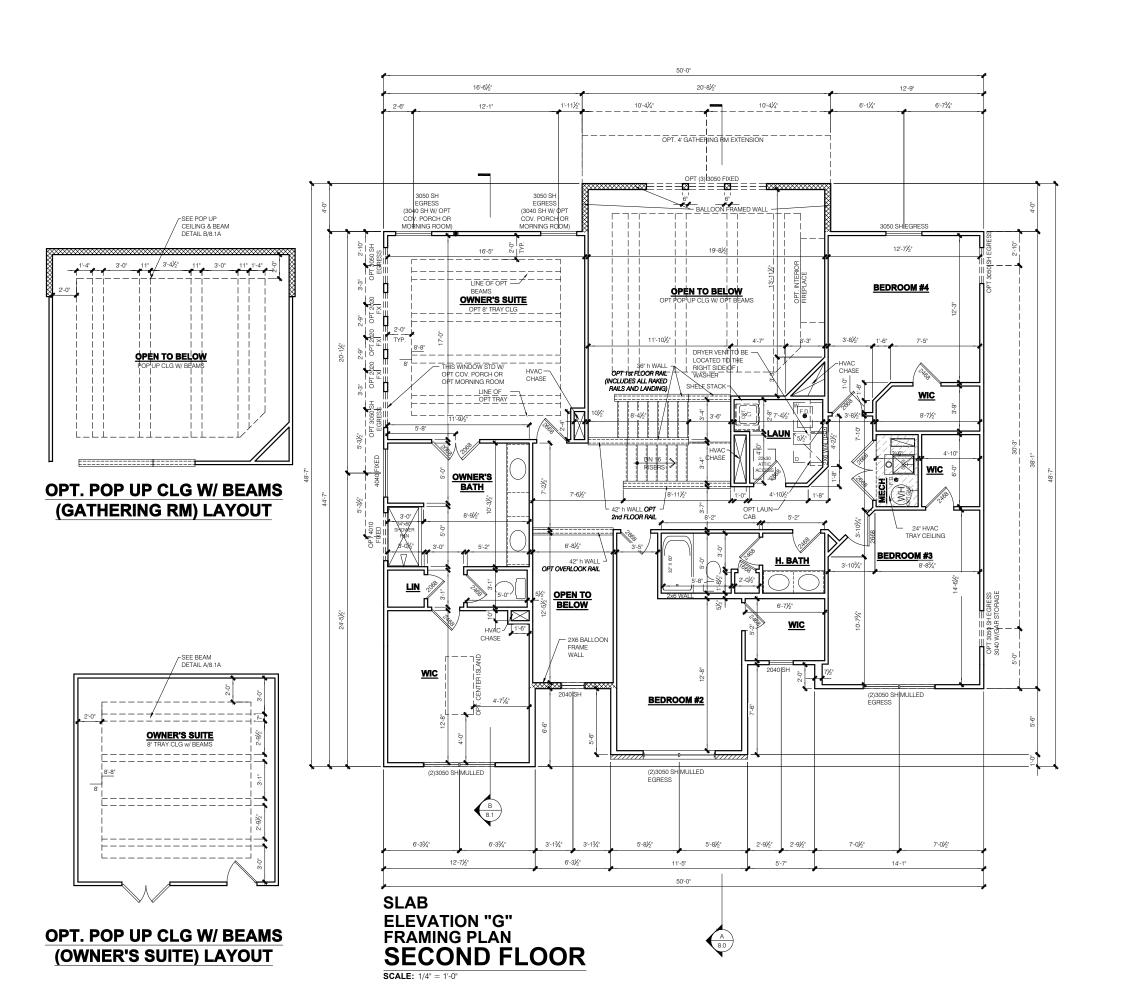
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FINAL SET 6/17/2022 AINSI

Job #: Ainsley I LSP Date: LSP By: LSP Rev: Sheet Title First Floor Plan

Sheet:

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NOTE: - INDICATES WALL HEIGHTS LOWER THAN

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS NOTED

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16° O.C.(2x4), 24° O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE

- NOTED OTHERWISE
  2nd FLOOR WINDOW HEAD HEIGHT IS 7-0' UNLESS
  NOTED OTHERWISE
  SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
  BEAMS, HEADERS AND POSTS SIZES
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  ½' NOMINAL SHEATHING U.N.O. (4'). STUDS @ 16'
  X' NOMINAL SHEATHING U.N.O. (4'). STUDS @ 16'
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O. INTERIOR WALLS ARE 2x4's U.N.O. (3½")

#### GARAGE DRYWALL NOTE

ALL GARAGE / HOUSE COMMON WALLS,
CEILINGS, BEAMS, COLUMNS THAT SUPPORT HAVE  $\frac{1}{2}$  GWB. CEILING TO BE  $\frac{5}{8}$  TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

## GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

SERIES

**PRESTIGE** 

NSLEY FINAL SET 6/17/2022

Job #: LSP Date: \_SP By:

Ainsley SP Rev

heet Title Second Floor Plan

Sheet:

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- ALL BATHROOM EXHAUST FANS TO VENT TO
- THE OUTSIDE
  ALL CLOTHES DRYER EXHAUSTS TO VENT TO
  THE OUTSIDE. THE LENGTH OF DRYER
  EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW.
  CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
  INSULATION EXPOSED TO ATTIC AND/OR
- CRAWL SPACE OF DWELLING UNIT SHALL OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED. INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
  CROSS-VENTILATION OR VAPOR BARRIER

- ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE

  ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES. GUARDRAILS SHALL HAVE A HEIGHT OF 36
- INCHES AT ALL STAIRS BAISED SURFACES. LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIE PORTION SHALL NOT BE MORE THAN 21/4 INCHES IN CROSS SECTION DIMENSION OF AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HARITARI E ROOMS SHALL BE SEPARATED. FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN %" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/4" GYPSLIM BOARD OR FOLIIVALENT
- OPENINGS BETWEEN THE GARAGE AND
  RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND
- B. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- . WEATHER STRIP ALL ATTIC ACCESSES
  . SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

DATE

C.O #

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION
- RESISTANT METAL TIES
  VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY  $\frac{7}{8}$ , CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER SHALL GOVERN GOVERNING CODE: HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE

VENEER.

- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
  WEEP HOLES WITH BRICK VENEER SHALL BE
- INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.

  CONCRETE MASONRY FOUNDATION
- WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL

#### **GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION
- STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE
  2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



# 2x4 EXTERIOR WALLS

#### **MI HOMES - COMMON ABBREVIATIONS ON PRINTS** 1st - FIRST INCL - INCLUDED SGD - SLIDING GLASS 2nd - SECOND DOOR KIT - KITCHEN SH - SINGLE HUNG SHWR - SHOWER ALUM - ALUMINUM SPF - SPRUCE PINE FIR LDRY - LAUNDRY LOC - LOCATION SVC - SERVICE BDR - BEDROOM SYP - SOUTHERN BRKFST - BREAKFAST MANUF or MFR -YELLOW PINE MANUFACTURER CATH - CATHEDRAL CONC. - CONCRETE MUD - MUDROOM T/ - TOP TEMP - TEMPERED E - CENTERLINE OC - ON CENTER THK'D - THICKENED OH - OVERHANG TYP - TYPICAL OPT - OPTIONAL DBL - DOUBLE DH - DOUBLE HUNG UNO - UNLESS NOTED DIA - DIAMETER PC - PULL CHAIN OTHERWISE DN - DOWN PERF - PERFORATED PSF - PER SQUARE DW - DISH WASHER VIF - VERIFY IN FIELD FOOT FD - FLOOR DRAIN PT - PRESSURE w/ - WITH FDN - FOUNDATION WD - WOOD TREATED FLR - FLOOR PTRY - PANTRY WH - WATER HEATER FPHB - FROST PWD - POWDER WIC - WALK IN CLOSET PROTECTED R - PLATE HOSE BIB FTG - FOOTING R. BATH - RETREAT REF - REFRIGERATOR GWB - GYPSUM WALL REQ'D - REQUIRED RET - RETREAT H. BATH - HALL BATH RI - ROUGH IN

SCH - SCHEDULE

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SQUARE FOOTAGE - ELE	EV "H"
1ST FLOOR	
2ND FLOOR	
TOTAL HEATED	3245
·	
GARAGE	647
GARAGE STORAGE	+76
OPT FULL BASEMENT	+1509
OPT OFFICE	+242
NOOK BAY	+23
VERANDA / MORNING ROOM	+169
BEDROOM #2 BATH	+124
4' GATHERING ROOM EXTENSION	+83
4' FLEX EXTENSION	+51
3-CAR SIDE ENTRY GARAGE	+202
PORCH	+23

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS



## **DIVISION ADDRESS**

M/I Homes of Indiana, L.P 8425 Woodfield Crossing Blvd., Suite.100W Indianapolis, IN 46240 Ph 317.255.9900

0.0H 1.0H	Front and Garage Side Elevations	위	BASE PLAN REVISION:
1.1H	Rear and Side Elevations		^
1.2H	Front Elevations with Brick-Stone	2019 <b>M/I</b>	<u>/1</u>
2.0H	Slab Foundation Plan	S	
2.1H	Slab Foundation Plan - Brick Wrap	0	/2\
2.2H	Poured Basement Foundation	]	√3\
2.3H	Poured Basement Foundation - Brick Wrap		$\wedge$
2.4	Finished Basement Plan		<u>/4\</u>
3.0H	First Floor Subfloor	- 1	
4.0H	First Floor Plan - Slab	- 1	ion vd.
4.1H	First Floor Plan - Basement	- 1	eg nt Bly 0
4.2H	First Floor Plan - Options	-	s R me ng 524 0
6.0H 6.1H	Second Floor Plan -Slab Second Floor Plan - Basement	- 1	oli art ssi ssi 46
6.2H	Second Floor Plan - Options	(n	5.9 P.
M1.0H	First Floor MEP Plan - Slab	ו ניו	mes Indianapolis hitecture Departr 'oodfield Crossir lianapolis, IN 46' Ph 317.255.990C
M1.1H	First Floor MEP Plan - Basement	┧╩╽	Inc tur fre the upo
M1.2H	First Floor Option MEP Plans	¹ ~ ∣	nes itec ood ana ana
M2.0H	Second Floor MEP Plan - Slab	1 111	Homes Indianapolis Reg Architecture Department 5 Woodfield Crossing B Indianapolis, IN 46240 Ph 317.255.9900
M2.1H	Second Floor MEP Plan - Basement		M/I Homes Indianapolis Region Architecture Department 8425 Woodfield Crossing Blvd. Indianapolis, IN 46240 Ph 317.255.9900
M2.2H	Second Floor Option MEP Plans	ן כט	∑ 8
7.0H	Roof Plan	1111	(A)
8.0H	Sections at Garage and Stairs	77	l ŭil
8.1H	Section at Family Room	<u> </u>	
R1.0	R1.0 Veranda Screened in Porch	·⊏	
R1.1	Morning Room	ן יַרַע	
R2.0 R3.0	Garage Storage - Brick	וווו⊦	
R4.0	2-Car Side Entry Plans - All	빛	T +
R4.1	2-Car Side Entry Elevations	PRESTIGE SERIES	HOMES
R5.0	3-Car Side Entry Plans - All Brick	ן בע ∣	
R5.1	3-Car Side Entry Plans - All	] [	<u> </u>
R5.2	3-Car Side Entry Elevations and Section		
R6.0	Office Foundations - All		≥
R6.1	Office Plans - Floor Plan & Joists Layout		
R6.2	Office Elevations	- 1	
R7.0 R7.1	R9.0 4ft Flex Extension - Fnd Plans	- 1	
R7.2	4ft Flex Extension - Plans 4ft Flex Extension - Elevs	1	
R8.0	4ft Flex Ext with Morning Room - Fnd Plans	1 1	
R8.1	4ft Flex Ext with Morning Room - Plans	1	
R8.2	4ft Flex Ext with Morning Room - Elevs	1	
R9.0	4ft Gathering Room Extension - Foundations		
R9.1	4ft Gathering Room Extension - Plans		į.
R10.0	4ft Gat Rm Ext with Morning Rm - FND and Elev		
R10.1	4ft Gat Room Ext with Morning Room - Plans		
R10.2	4ft Gat Room Ext with Morning Room - Elev	- 1	
R11.0 R11.1	4ft Flex Ext w 4ft Gat rm Ext & Morning Room - Fnd Plans 4ft Flex Ext w 4ft Gat Rm Ext & Mrng Rm - Plans	- 1	
R11.2	4ft Flex Ext with 4ft Gat Rm Ext & Mrng Room - Elevs	1 1	
R12.0	Lookout Basement	1	
R13.0	Walkout Basement	1	l 🔪   .
R14.0	Gathering Rm Ext - Lookout Walkout		<b> </b>
R15.0	Gathering Rm Ext W Morning Rm - Lookout Walkout		
R16.0	4ft Flex Ext - Lookout Walkout		
R17.0	4ft Flex W Morning Rm - Lookout Walkout	- 1	
H18.0	4ft Flex Gat Ext W Morning Rm - Lookout Walkout	- 1	$  \cap \langle \wedge \rangle$
Struc	tural Drawing Index		AINSI FINAL 6/17/
Number	Sheet Title	1	7 - 9
S0.10		1	
F1.0	Structural Notes Foundation Plan	- 1	
F1.0B	Foundation Plan  Foundation Plan	1	7
F2.0	Foundation Plan	<b>∣ ш</b>	
F2.0B	Foundation Plan	ارا ا	
F2.0B S1.00	Foundation Plan  1st Floor Framing Plan	<u>K</u>	
	2nd Floor Framing Plan	⊢ ୪∣	
S2.00 S3.00	Roof Framing Plan	20	
	Optional Framing Plan	<u>ш</u>	
S4.00 S4.10	Optional Framing Plan	- ॡ	
	Optional Framing Plan	·	
S4.20 S4.30	Optional Framing Plan	⊢ ကျ	
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	Foundation Details		Cover Sheet
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SD.05	Foundation Details		·
D4.0	Wall Section Ranch - Slab		Sheet:
D4.1	Wall Section 2 Story - Slab	- I	
D4.6	Wall Section Ranch - Basement		$L \cap \cap \sqcup$
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**Sheet List Table** 

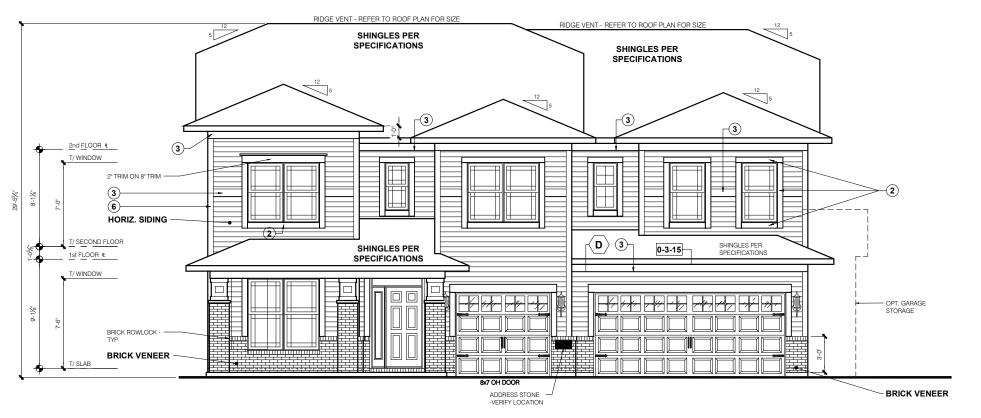
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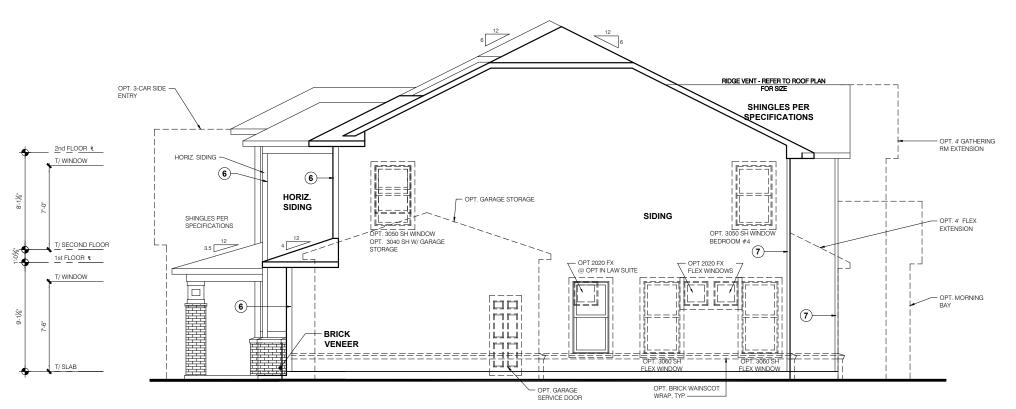
Revisions

Description

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# **ELEVATION "H"**



# **GARAGE SIDE ELEVATION**

### TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES.
ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

(1) = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

(4) = 10" TRIM

(**5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVISION

(7) REAR CORNERS = 4° TRIM PER DMISION

#### **DIVISION NOTE:**

TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

# WINDOW GRIDS -FRONT WINDOW GRIDS ARE STANDARD

-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATION

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

# GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

SERIES PRESTIGE

ssued Date: 06-11

BASE PLAN REVISION

NSLEY FINAL SET 6/17/2022 AINSLI

LSP Date:

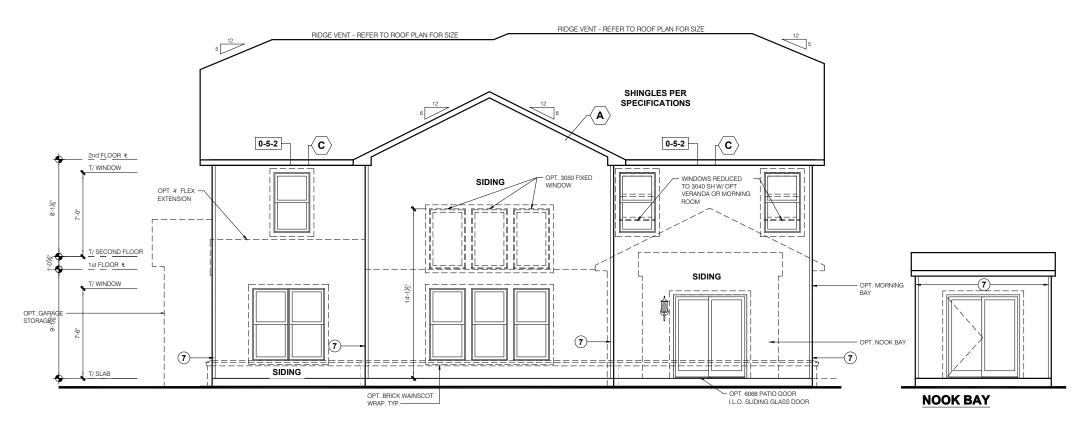
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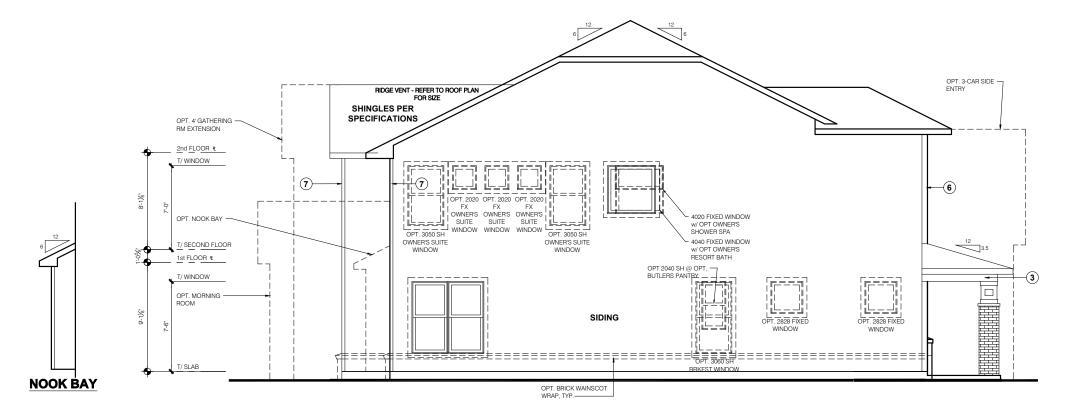
Sheet Title Front and Garage Side Elevations

Sheet:

1.0H



# **REAR ELEVATION**



# **SIDE ELEVATION**

**SCALE:** 1/4" = 1'-0"

### TYPICAL EXTERIOR TRIM FINISH

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#### **DIVISION NOTE:**

TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

WINDOW GRIDS
-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS
GRID PATTERNS TO MATCH FRONT ELEVATION

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

PRESTIGE

SERIES

ssued Date: 06-11

BASE PLAN REVISION

NSLEY FINAL SET 6/17/2022 AINSLI

Job #: Ainsley

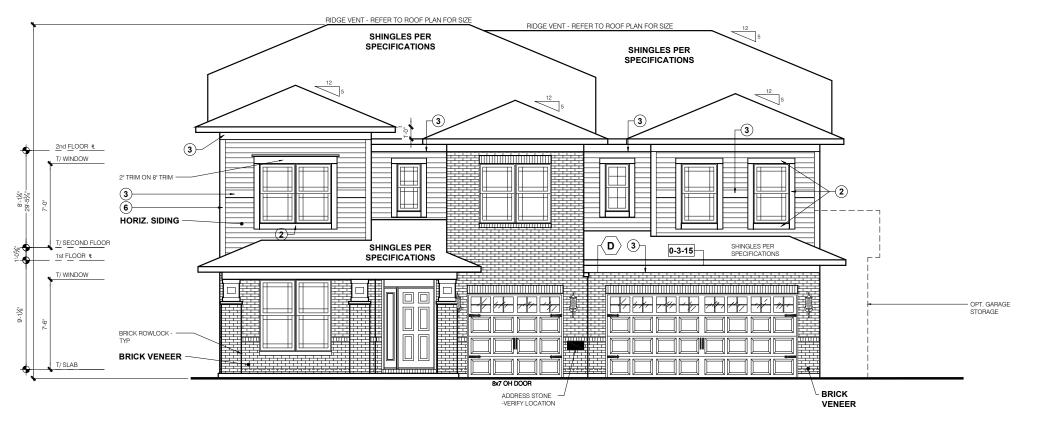
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Rear and Side Elevations

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# **ELEVATION "H"**

**SCALE:** 1/4" = 1'-0"

#### TYPICAL EXTERIOR TRIM FINISH

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(6) FRONT CORNERS = 6"TRIM PER DIVISION

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#### DIVISION NOTE:

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL. THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

WINDOW GRIDS
-FRONT WINDOW GRIDS ARE STANDARD -FRONT WINDOW GRIDS ARE OPTIONS
PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

# GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

SERIES **PRESTIGE** 

ssued Date: 06-17-

BASE PLAN REVISION

M/I Homes Indianapolis Region Architecture Department 8425 Woodfield Crossing Blvd. Indianapolis, IN 46240 Ph 317.255.9900

AINSLEY FINAL SET 6/17/2022

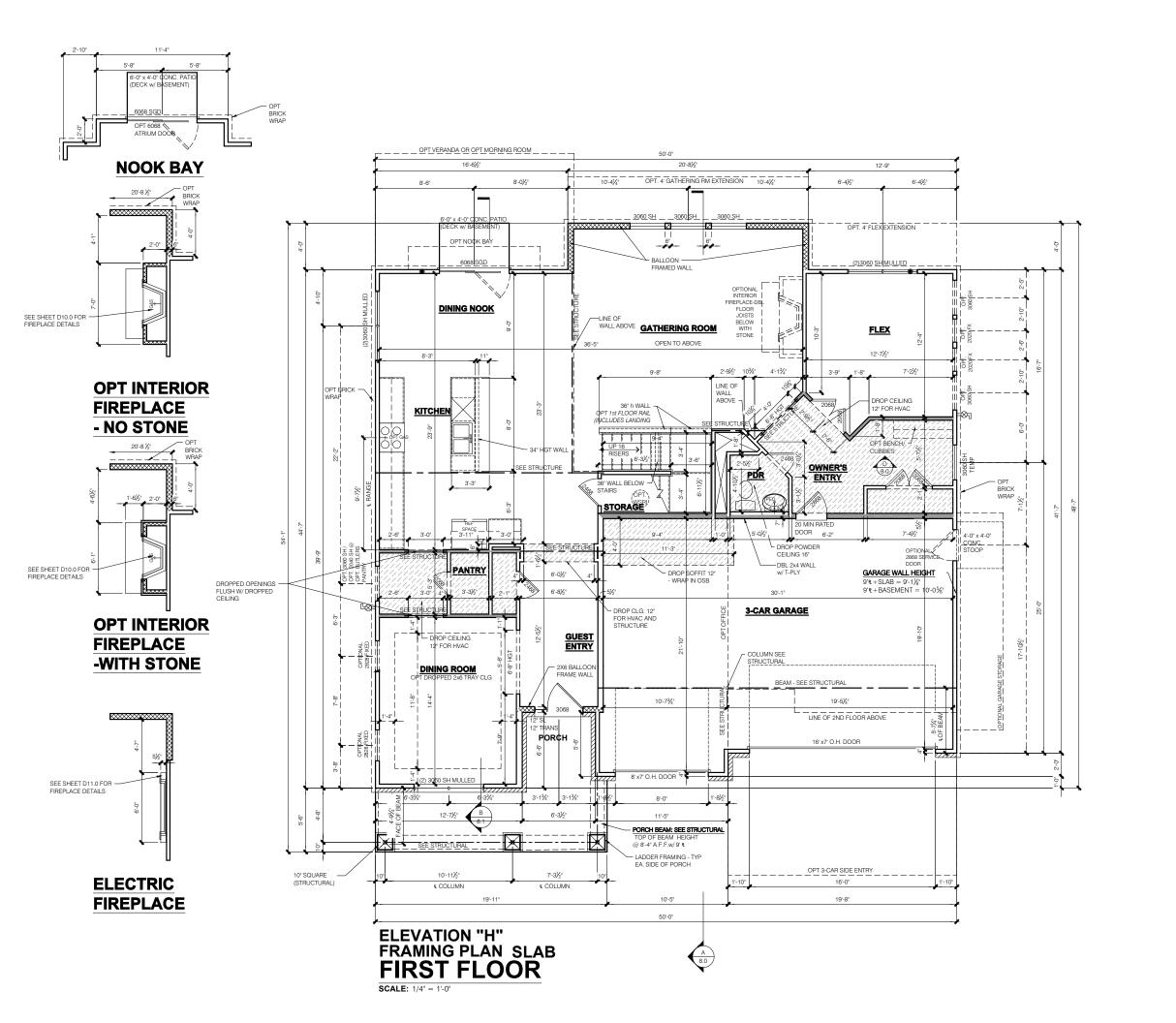
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Sheet Title Front Elevations wi Brick-Stone

Sheet:

1.2H

SCALE PRINTS ARE  $\frac{1}{2}$ 



NOTE: STANDARD HEIGHT- AS NOTED

- INDICATES WALL HEIGHTS HIGHER THAN

- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD

BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE
- NOTED OTHERWISE 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS
- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
- BEAMS, HEADERS AND POSTS SIZES
  ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL
  SUPPORT MEMBER OR FOUNDATION.
  EXTERIOR WALLS AT CONDITIONED SPACES ARE
- 2x4's W/½" NOMINAL SHEATHING U.N.O. (4"). STUDS
  @ 16" O.C. U.N.O.
  WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16"
  O.C. U.N.O. INTERIOR WALLS ARE 2x4's U.N.O. (31/2")

EXTERIOR WALLS ARE SHOWN WITH  $\frac{1}{2}$ " NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS. CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$  GWB. CEILING TO BE  $\frac{5}{8}$  TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS OVERHEAD GARAGE DOORS. SEE SELECTIONS

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

BASE PLAN REVISION

ssued Date: 06-17

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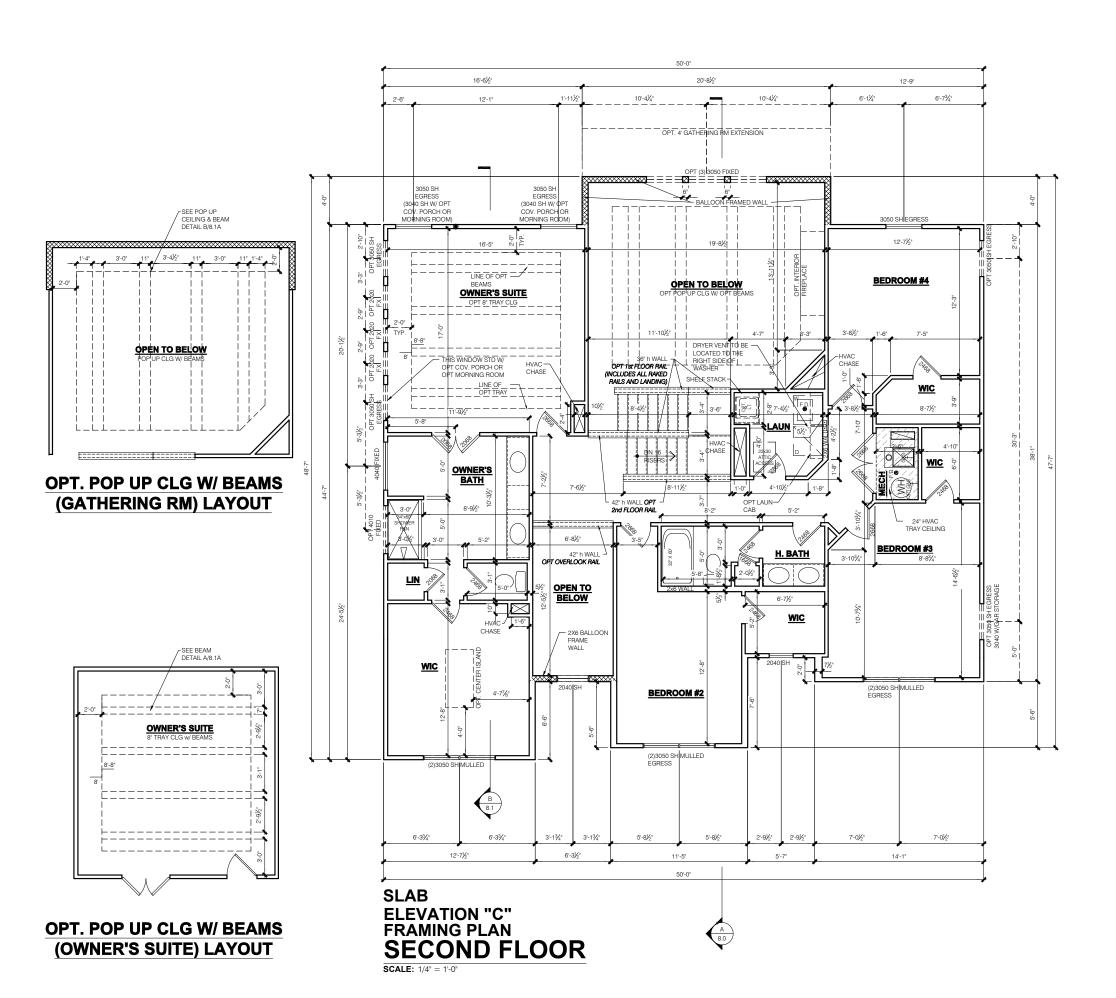
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FINAL SET 6/17/2022 AINSI

Job #: Ainsley I LSP Date: LSP By: LSP Rev: Sheet Title First Floor Plan

Sheet:

4.0H



NOTE: - INDICATES WALL HEIGHTS LOWER THAN

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS NOTED

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16° O.C.(2x4), 24° O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
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- NOTED OTHERWISE
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  @ 16' O.C. U.N.O.
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  X' NOMINAL SHEATHING U.N.O. (4'). STUDS @ 16'
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O. INTERIOR WALLS ARE 2x4's U.N.O. (3½")

### GARAGE DRYWALL NOTE

ALL GARAGE / HOUSE COMMON WALLS,
CEILINGS, BEAMS, COLUMNS THAT SUPPORT HAVE  $\frac{1}{2}$  GWB. CEILING TO BE  $\frac{5}{8}$  TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

## GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

SERIES **PRESTIGE** 

NSLEY FINAL SET 6/17/2022

Ainsley Job #: LSP Date: \_SP By:

SP Rev heet Title Second Floor Plan

Sheet:

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- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
  ALL CLOTHES DRYER EXHAUSTS TO VENT TO
- THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° ELBOW. CTOR TO VERIEY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE
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  ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
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  ALL PLUMBING TO COMPLY WITH THE

- INDIANA PLUMBING CODE
  ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
  ATTIC ACCESS SHALL BE FRAMED NO LESS
- THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES. GUARDRAILS SHALL HAVE A HEIGHT OF 36
- INCHES AT ALL STAIRS, RAISED SURFACES
  LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIF PORTION SHALL NOT BE MORE THAN 2¼ INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN %" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CELLING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT OPENINGS BETWEEN THE GARAGE AND
- RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS. FIRE STOPPING SHALL BE PROVIDED TO CU
- OFF ALL CONCEALED DRAFT OPENINGS
  (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH
- WEATHER STRIP ALL ATTIC ACCESSES SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 7/8", BETWEEN THE GENERAL, STRUCTURAL OR CORRUGATED FACH TIE SHALL BE SPACED ARCHITECTURAL NOTES AND THE NOT MORE THAN 24 INCHES ON CENTER
  HORIZONTALLY AND VERCALLY AND SHALL DRAWINGS. THE STRICTEST PROVISION SHALL GOVERN SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA. THERE SHALL BE A GOVERNING CODE:
- VENEER. MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS LENGTH OF BEARING SHALL NOT BE LESS

MINIMUM OF 1" CLEAR SPACE BEHIND

- THAN 4 INCHES.
  MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOLINDATION
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FLASHING SHALL BE INSTALLED PER
- SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
  CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES.
- R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION B402.2 FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION
  WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

# GENERAL NOTES GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST M/I HOMES 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE Welcome to Better PRESENTS

# **Cheswicke II**

"Elevation A"

**Owner's Name CONSTRUCTION SET ADDRESS** LOT#

SQUARE FOOTAGE - ELEVATION 'A'		
1ST FLOOR	2264	
TOTAL HEATED	2264	
PORCH	20	
GARAGE	417	
GARAGE STORAGE	+80	
3-CAR FRONT ENTRY GARAGE	+200	
3-CAR SIDE ENTRY GARAGE	+200	
OPT FULL BASEMENT	+2142	
FINISHED BASEMENT	+1135	
FINISHED BASEMENT w/BATH	+1184	
FINISHED BASEMENT w/BEDROOM & BATH	+1184	
VERANDA	+146	
VERANDA #2	+122	
DINING NOOK BAY	+22	
MORNING ROOM	+131	
OWNER'S SUITE EXTENSION	+67	
BONUS ROOM	+502	
BR 3 EXTENSION	+23	
·		

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions			
DATE	C.O #	Description	Drafter

#### MI HOMES - COMMON ABBREVIATIONS ON PRINTS SGD - SLIDING GLASS 2nd - SECOND KIT - KITCHEN SH - SINGLE HUNG ALUM - ALUMINUM SHWR - SHOWER LDRY - LAUNDRY SPF - SPRUCE PINE FIR LOC - LOCATION SVC - SERVICE BDR - BEDROOM SYP - SOUTHERN BRKFST - BREAKFAST MANUF or MFR -YELLOW PINE MANUFACTURER CATH - CATHEDRAL MUD - MUDROOM TEMP - TEMPERED CONC. - CONCRETE • - CENTERLINE OC - ON CENTER THK'D - THICKENED OH - OVERHANG DBL - DOUBLE OPT - OPTIONAL DH - DOUBLE HUNG UNO - UNLESS NOTED DIA - DIAMETER PC - PULL CHAIN OTHERWISE DN - DOWN PERF - PERFORATED DW - DISH WASHER PSF - PER SQUARE VIF - VERIFY IN FIELD FD - FLOOR DRAIN PT - PRESSURE w/ - WITH FDN - FOUNDATION TREATED WD - WOOD PTRY - PANTRY FLR - FLOOR WH - WATER HEATER FPHB - FROST PWD - POWDER WIC - WALK IN CLOSET R - PLATE FTG - FOOTING R. BATH - RETREAT REF - REFRIGERATOR GWB - GYPSUM WALL REQ'D - REQUIRED RET - RETREAT H. BATH - HALL BATH RI - ROUGH IN SCH - SCHEDULE ILO - IN LIEU OF

#### Architectural Drawing Index Number Sheet Title 0.0A Cover Sheet Indianapol 1.0A Front and Garage Elevations 1.1A Rear and Side Elevations 2.1A 2.2A Slab Foundation - w/Bonus 2.3A Slab Foundation - Brick Wra 2.4A 2.5A Poured Full Basement 2.6A Poured Full Basement - Brick Wrap 2.8 Opt Finished Basement w/Bath 2.9 Opt Finished Basement w/Bed & Bath 3.0A 4.0A First Floor Plan - Slab 4.1A First Floor Plan - Basemer 4.2 First Floor Plan - Options M1.0A First Floor MEP Plan - Slab Μ1 1Δ First Floor MEP Plan - Basemer M1.2 7.0A Roof Plan - Base Roof 8.0A Sections A B 8.1A R0.1 Ont Front Garage Extension R1.0 Opt Garage Storage Elevation: R1.1 Opt Garage Storage Plans R1 2 Ont Garage Storage Plans-Brick Wran R2.0 Opt 3 car Front Elevations R2.1 Opt 3 car Front Plans R2.2 Opt 3 car Front Plans-Brick Wrag R3.0 Opt 2 car Side Elevations R3.1 Opt 2 car Side Plans R3.2 Opt 2 car Side Plans-Brick Wra R4.0 Opt 3 car Side Elevations R4.1 Opt 3 car Side Plans R4.2 Opt 3 car Side Plans-Brick Wrap R5.0 Opt Bonus Room elev-sed R5.1 Opt Bonus Room Plans R5.2 Ont Bonus Boom Electrical Plans R5.3 Opt Bonus Room Roof Plan R6.0 Opt Morning Room B7.0 R8.0 Optional Veranda #2 Plans R8.1 Optional Veranda #2 Plans R8.2 Optional Veranda #2 Elevation: R9.0 Opt Look-out Basement R9.1 Opt Look-out Basement R10.0 Opt Walk-out Basement Opt Walk-out Basement R10.1

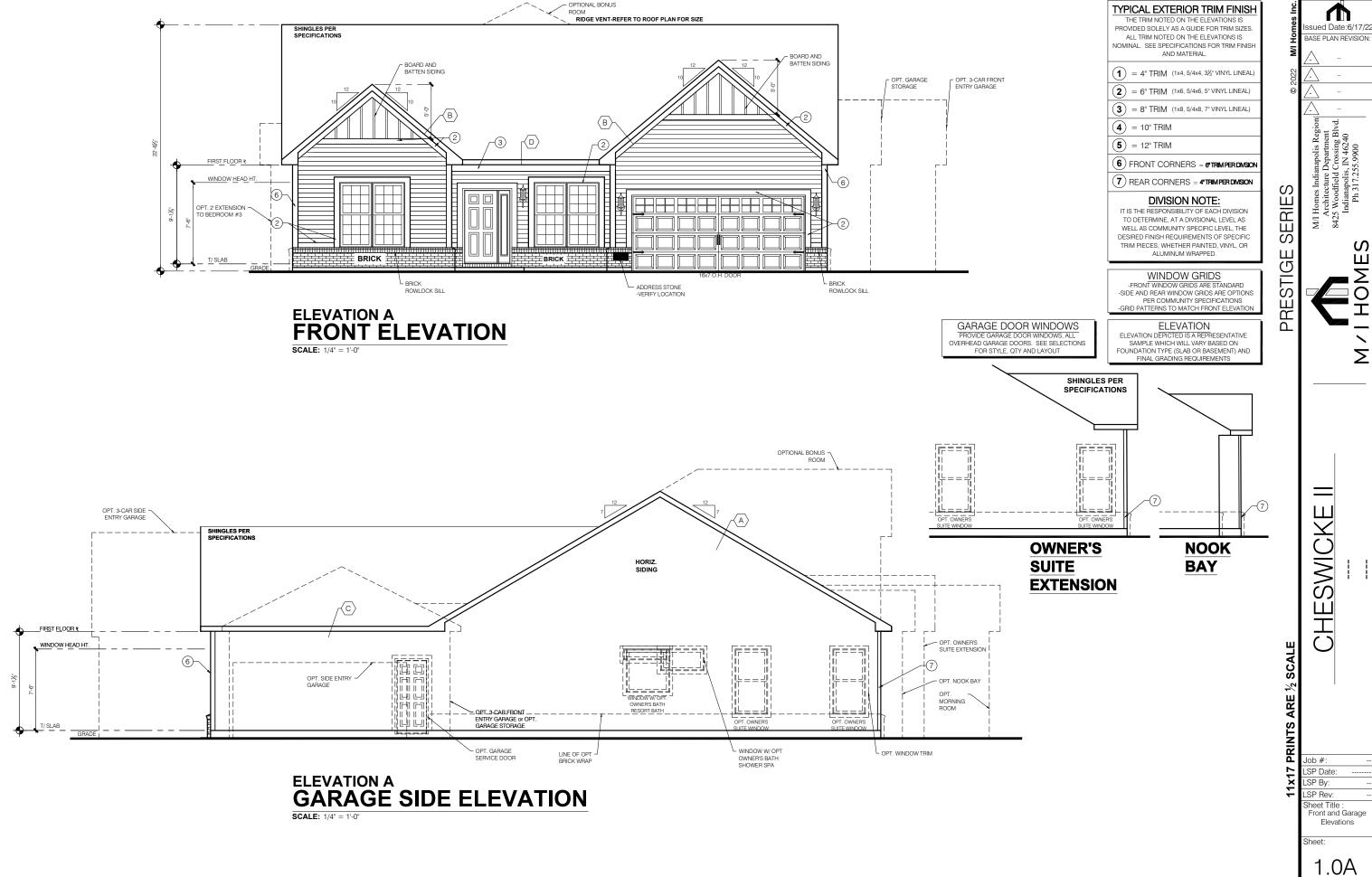
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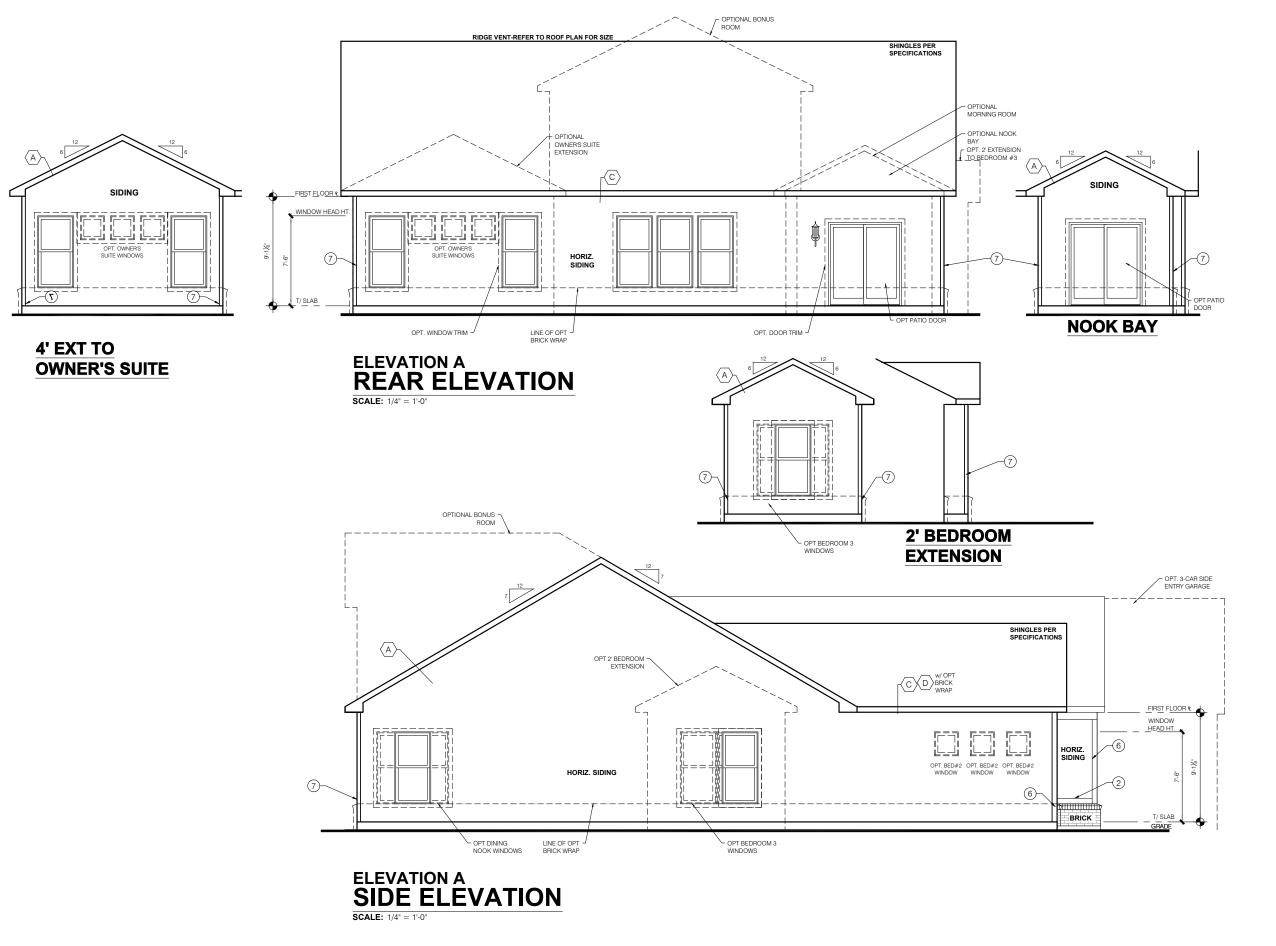
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**Elevation - A** 

sued Date:6/17

BASE PLAN REVISION





TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

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(6) FRONT CORNERS = 6"TRIM PER DIVSION

(7) REAR CORNERS = 4"TRIM PER DIVISION

#### DIVISION NOTE:

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION
ELEVATION DEPICTED IS A REPRESENTATIVE
SAMPLE WHICH WILL VARY BASED ON
FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

# GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

ed Date:6/17/

SERIES

PRESTIGE

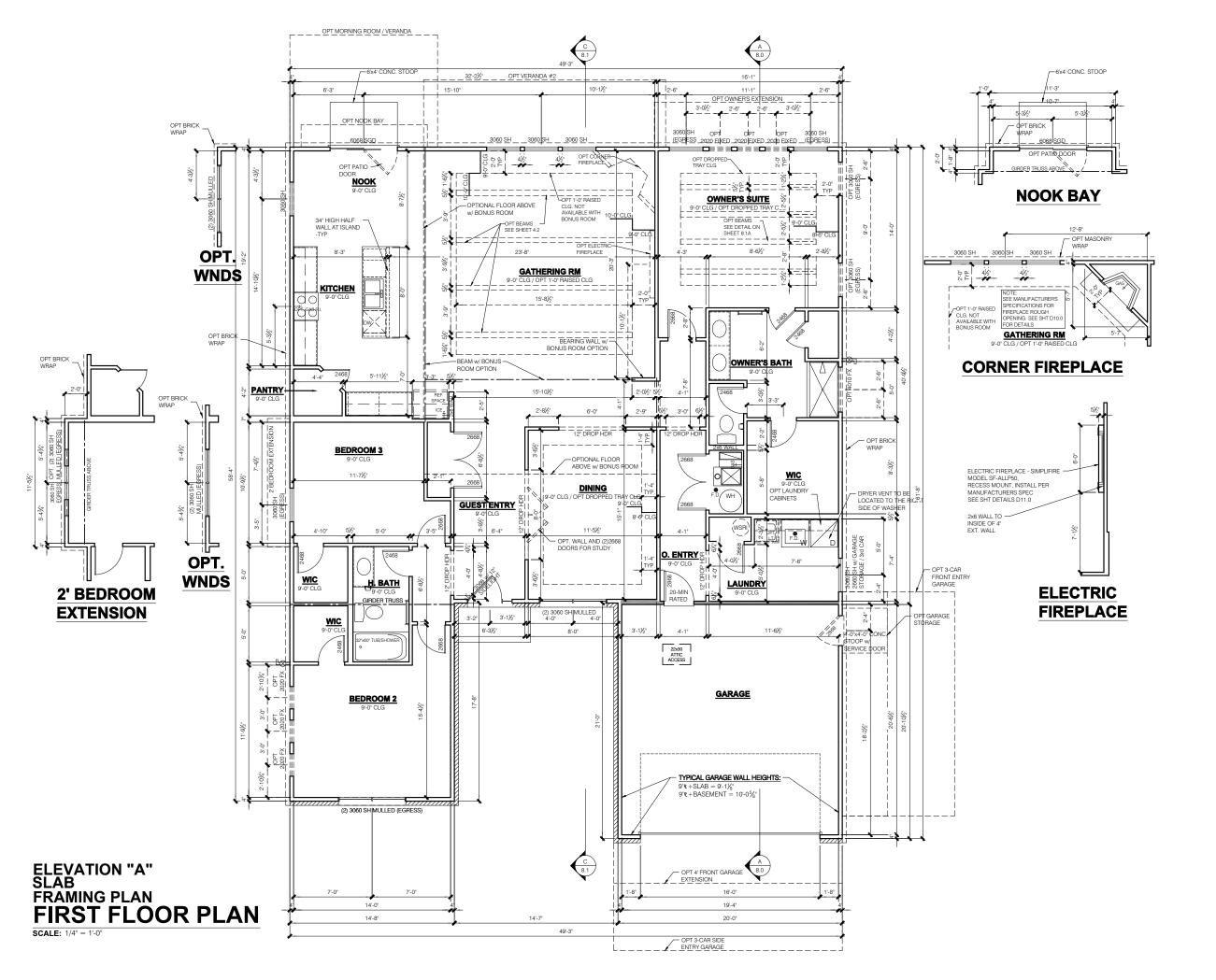
CHESWICKE

SCALE

Job #: LSP Date: LSP By: LSP Rev:

heet Title : Rear and Side Elevations

Sheet



- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS

- 1st FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTED OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7-0" UNLESS NOTED OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES ALL POINT LOADS TO BE SLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION. EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/ ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" OLG U.N.O.
  WALLS ADJACENT TO ATTIC SPACES ARE 2x4'S W/ ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" CLUNO.
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O. INTERIOR WALLS ARE 2x4's U.N.O. (3½")

EXTERIOR WALLS ARE SHOWN WITH  $\frac{1}{2}$ \* NOMINAL HEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

### GARAGE DRYWALL NOTE

CEILINGS BEAMS COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$ " GWB. CEILING TO BE  $\frac{5}{8}$ " TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL
OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

> STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

ed Date:6/17/

MJ Homes Indianapolis Regio Architecture Department 8425 Woodfield Crossing Blvc Indianapolis, IN 46240 Ph 317.255.9900

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SWICKE CHE

Job #: LSP Date:

\_SP By: LSP Rev heet Title

First Floor Plan

Sheet:

4.0A

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
  ALL CLOTHES DRYER EXHAUSTS TO VENT TO
- THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE
- SECTION 316.
  ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
- CROSS-VENTILATION OR VAPOR BARRIER.
  ALL PLUMBING TO COMPLY WITH THE

PASSAGE OF A 4" SPHERE

- INDIANA PLUMBING CODE
  ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
  ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A
- CLEAR HEIGHT OF OVER 30 INCHES. GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES
  LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE
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- WEATHER STRIP ALL ATTIC ACCESSES SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED

RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES

MASONRY VENEER NOTES

- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 7/8", CORRUGATED FACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER
  HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2 1/3 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
  MASONRY VENEER SUPPORTED BY WOOD
- OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOLINDATION
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FLASHING SHALL BE INSTALLED PER
- SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE ALL BRICK SILLS TO BE SLOPED AWAY FROM
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  CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES. R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION

B402.2 FOUNDATION WALL SHALL HAVE

THE APPROPRIATE REINFORCEMENT FOR

DEPTH OF BACKFILL. CONCRETE MASONRY FOUNDATION
WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

# GENERAL NOTES

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS. THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



# **Cheswicke II**

"Elevation B"

**Owner's Name CONSTRUCTION SET ADDRESS** LOT#

ESIDENTIAL CODE.			
SQUARE FOOTAGE - ELEVATION 'B'			
1ST FLOOR	2276		
TOTAL HEATED	2276		
PORCH	35		
GARAGE	417		
GARAGE STORAGE	+80		
3-CAR FRONT ENTRY GARAGE	+200		
3-CAR SIDE ENTRY GARAGE	+200		
OPT FULL BASEMENT	+2153		
FINISHED BASEMENT	+1135		
FINISHED BASEMENT W/BATH	+1184		
FINISHED BASEMENT W/BEDROOM & BATH	+1184		
VERANDA	+146		
VERANDA #2	+122		
DINING NOOK BAY	+22		
MORNING ROOM	+131		
OWNER'S SUITE EXTENSION	+67		
BONUS ROOM	+502		
BR 3 EXTENSION	+23		

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions			
DATE	C.O #	Description	Drafter

#### MI HOMES - COMMON ABBREVIATIONS ON PRINTS SGD - SLIDING GLASS 2nd - SECOND KIT - KITCHEN SH - SINGLE HUNG ALUM - ALUMINUM SHWR - SHOWER LDRY - LAUNDRY SPF - SPRUCE PINE FIR LOC - LOCATION SVC - SERVICE BDR - BEDROOM SYP - SOUTHERN BRKFST - BREAKFAST MANUF or MFR -YELLOW PINE MANUFACTURER CATH - CATHEDRAL MUD - MUDROOM CONC. - CONCRETE TEMP - TEMPERED • - CENTERLINE OC - ON CENTER THK'D - THICKENED OH - OVERHANG DBL - DOUBLE OPT - OPTIONAL DH - DOUBLE HUNG UNO - UNLESS NOTED DIA - DIAMETER PC - PULL CHAIN OTHERWISE DN - DOWN PERF - PERFORATED DW - DISH WASHER PSF - PER SQUARE VIF - VERIFY IN FIELD FD - FLOOR DRAIN PT - PRESSURE w/ - WITH FDN - FOUNDATION TREATED WD - WOOD PTRY - PANTRY FLR - FLOOR WH - WATER HEATER FPHB - FROST PWD - POWDER WIC - WALK IN CLOSET R - PLATE FTG - FOOTING R. BATH - RETREAT REF - REFRIGERATOR GWB - GYPSUM WALL REQ'D - REQUIRED RET - RETREAT H. BATH - HALL BATH RI - ROUGH IN SCH - SCHEDULE ILO - IN LIEU OF

#### Architectural Drawing Index Number Sheet Title 0.0B Cover Sheet Indianapol Front and Garage Elevations 1.1B Rear and Side Elevations 2.1B 2.2B Slab Foundation - w/Bonus 2.3B Slab Foundation - Brick Wra 2.4B 2.5B Poured Full Basement 2.6B Poured Full Basement - Brick Wrap 2.8 Opt Finished Basement w/Bath 2.9 Opt Finished Basement w/Bed & Bath 3.0B 4.0B First Floor Plan - Slab 4.1B First Floor Plan - Basemer 4.2 First Floor Plan - Options M1.0B First Floor MEP Plan - Slab M1.1B First Floor MEP Plan - Basemer M1.2 7.0B Roof Plan - Base Roof 8.0B Sections A B 8.1B Section C R0.1 Ont Front Garage Extension R1.0 Opt Garage Storage Elevation R1.1 Opt Garage Storage Plans R1 2 Ont Garage Storage Plans-Brick Wran R2.0 Opt 3 car Front Elevations R2.1 Opt 3 car Front Plans R2.2 Opt 3 car Front Plans-Brick Wrag R3.0 Opt 2 car Side Elevations R3.1 Opt 2 car Side Plans R3.2 Opt 2 car Side Plans-Brick Wra R4.0 Opt 3 car Side Elevations R4.1 Opt 3 car Side Plans R4.2 Opt 3 car Side Plans-Brick Wrap R5.0 Opt Bonus Room elev-sed R5.1 Opt Bonus Room Plans R5.2 Ont Bonus Boom Electrical Plans R5.3 Opt Bonus Room Roof Plan R6.0 Opt Morning Room B7.0 R8.0 Optional Veranda #2 Plans R8.1 Optional Veranda #2 Plans R8.2

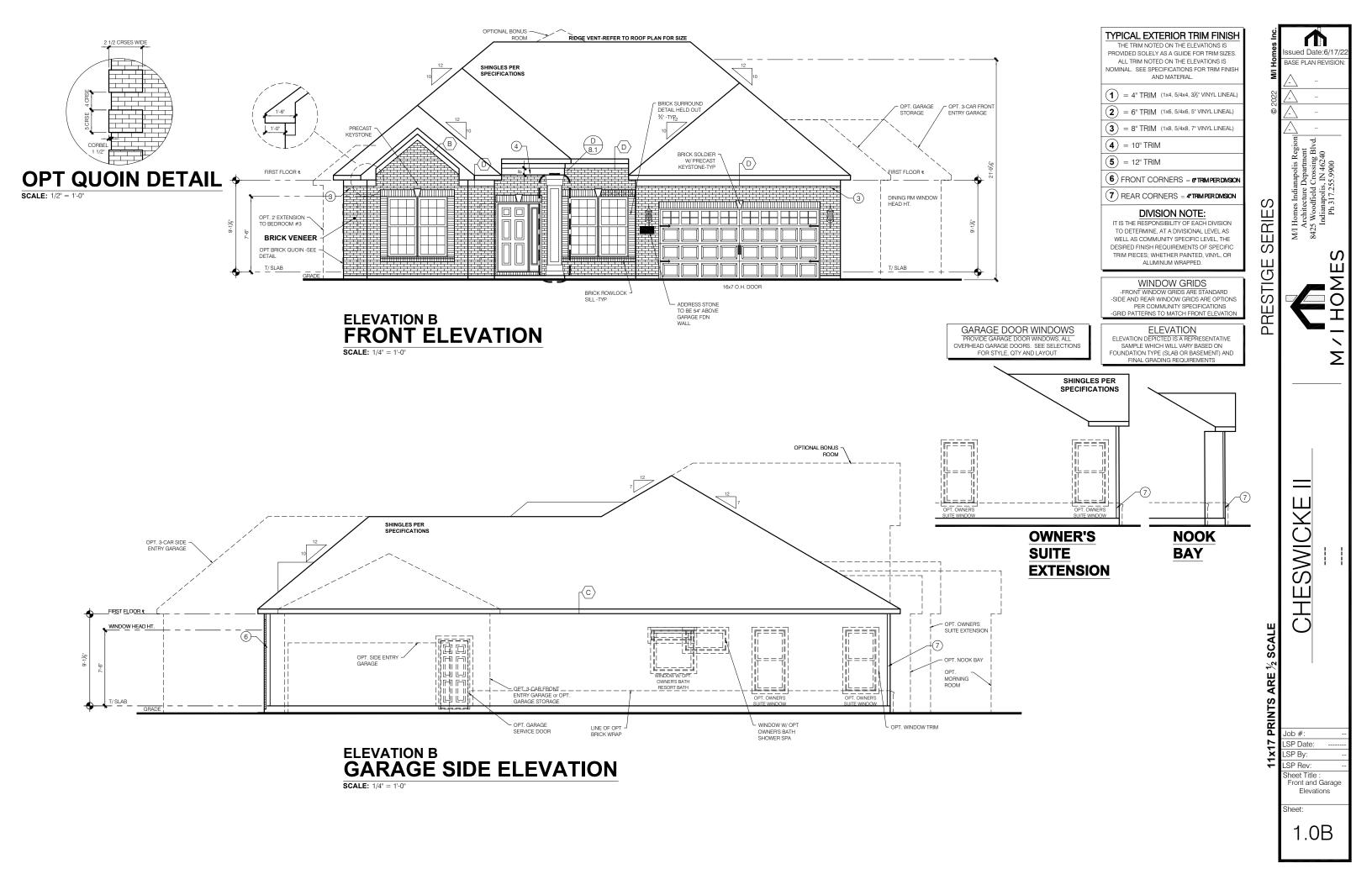
sued Date:6/17 BASE PLAN REVISION SERIE RESTIG SWICK Ш INTS Job #: LSP Date:

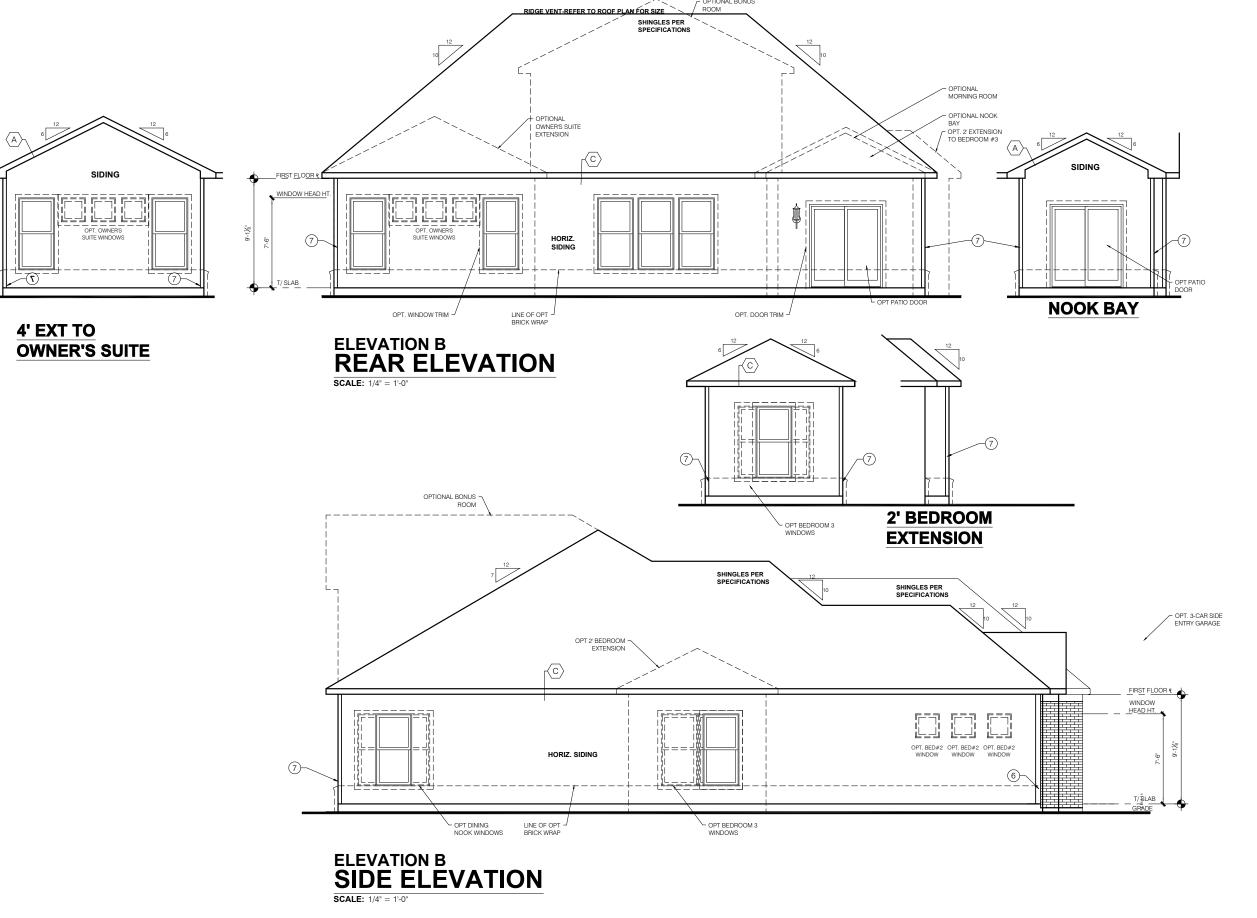
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Cover Sheet Indianapolis

0.0B

**Elevation - B** 





TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

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#### WINDOW GRIDS

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# GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

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ed Date:6/17/

SERIES PRESTIGE

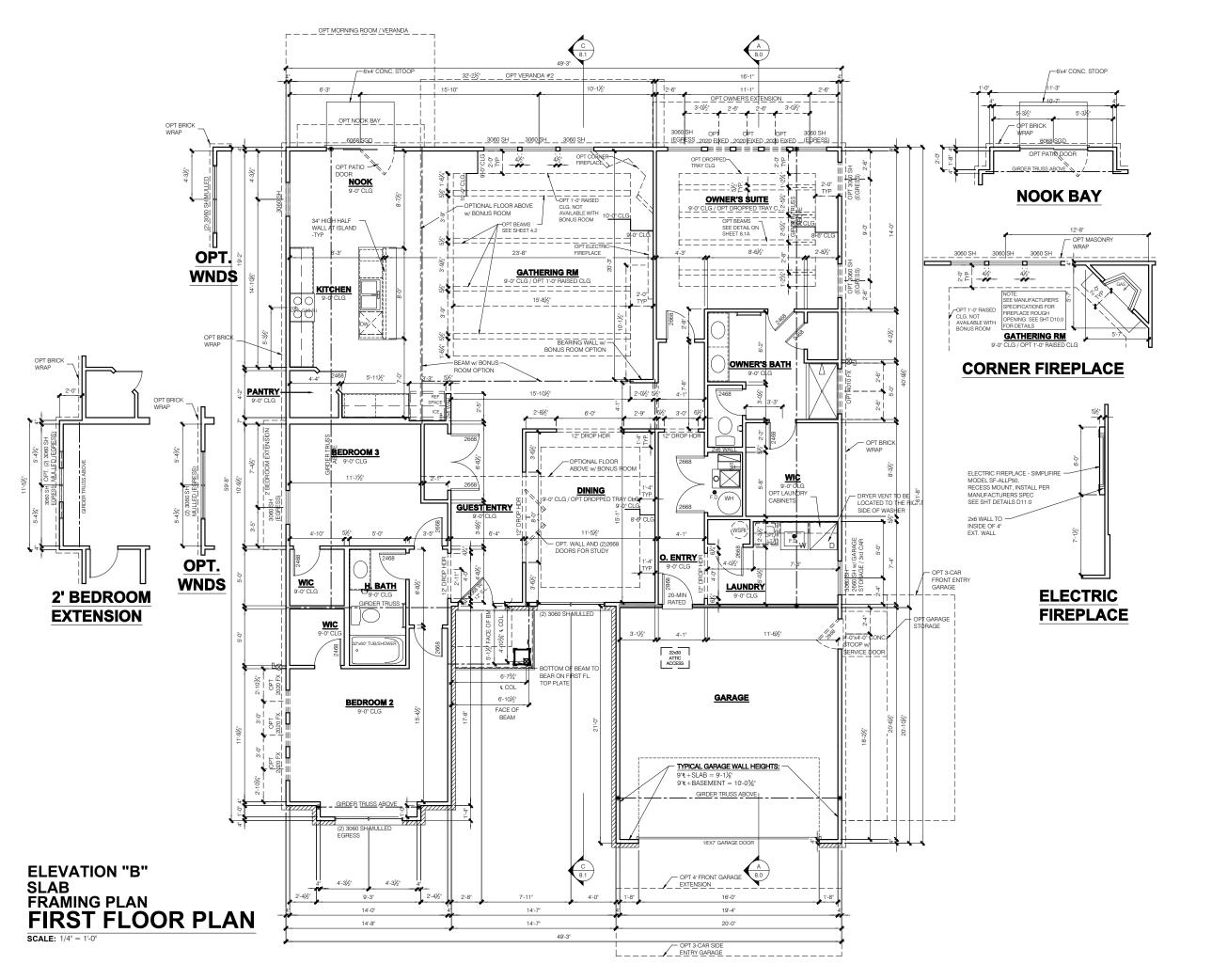
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SCALE

Job #: LSP Date: LSP By: LSP Rev: Sheet Title :

Rear and Side Elevations

.1B



- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS
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- ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT WEMBER OR POUNDATION. EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/½' NOMINAL SHEATHING U.N.O. (4'). STUDS © 16' O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/
- %" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16"
  O.C. U.N.O.
  INTERIOR WALLS ARE 2x4's U.N.O. (3½")

EXTERIOR WALLS ARE SHOWN WITH  $\frac{1}{2}$ \* NOMINAL HEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

### GARAGE DRYWALL NOTE

CEILINGS BEAMS COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$ " GWB. CEILING TO BE  $\frac{5}{8}$ " TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL
OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

> STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

ed Date:6/17/

MJ Homes Indianapolis Regio Architecture Department 8425 Woodfield Crossing Blvc Indianapolis, IN 46240 Ph 317.255.9900

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SWICKE CHE

LSP Date: \_SP By:

LSP Rev

heet Title First Floor Plan

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4.0B

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
  ALL CLOTHES DRYER EXHAUSTS TO VENT TO
- THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° FLBOW LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE
- SECTION 316.
  ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
- CROSS-VENTILATION OR VAPOR BARRIER.
  ALL PLUMBING TO COMPLY WITH THE

- INDIANA PLUMBING CODE
  ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE
- TEMPERED PER CODE SECTION 210.8.
  ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES. GUARDRAILS SHALL HAVE A HEIGHT OF 36
- INCHES AT ALL STAIRS, RAISED SURFACES
  LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE
- PASSAGE OF A 4" SPHERE HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE
- NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIF PORTION SHALL NOT BE MORE THAN 2 1/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN %" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS
- THAN ½" GYPSUM BOARD OR EQUIVALENT OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CU OFF ALL CONCEALED DRAFT OPENINGS
  (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
  WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED

RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES

MASONRY VENEER NOTES

- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY %", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2 % SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS LENGTH OF BEARING SHALL NOT BE LESS
- THAN 4 INCHES.
  MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOLINDATION
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FLASHING SHALL BE INSTALLED PER
- SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE ALL BRICK SILLS TO BE SLOPED AWAY FROM
- THE HOUSE A MINIMUM OF 15°.
  CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES. R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION B402.2 FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR
- CONCRETE MASONRY FOUNDATION
  WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

DEPTH OF BACKFILL.

### **GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS. THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



# **Cheswicke II**

"Elevation C"

**Owner's Name CONSTRUCTION SET ADDRESS** LOT#

SQUARE FOOTAGE - ELEVATION 'C'				
1ST FLOOR	2264			
TOTAL HEATED	2264			
PORCH	89			
GARAGE	417			
GARAGE STORAGE	+80			
3-CAR FRONT ENTRY GARAGE	+200			
3-CAR SIDE ENTRY GARAGE	+200			
OPT FULL BASEMENT	+2142			
FINISHED BASEMENT	+1135			
FINISHED BASEMENT w/BATH	+1184			
FINISHED BASEMENT w/BEDROOM & BATH	+1184			
VERANDA	+146			
VERANDA #2	+122			
DINING NOOK BAY	+22			
MORNING ROOM	+131			
OWNER'S SUITE EXTENSION	+67			
BONUS ROOM	+502			
BR 3 EXTENSION	+23			

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions			
DATE	C.O #	Description	Drafter

#### MI HOMES - COMMON ABBREVIATIONS ON PRINTS SGD - SLIDING GLASS 2nd - SECOND KIT - KITCHEN SH - SINGLE HUNG ALUM - ALUMINUM SHWR - SHOWER LDRY - LAUNDRY SPF - SPRUCE PINE FIR LOC - LOCATION SVC - SERVICE BDR - BEDROOM SYP - SOUTHERN BRKFST - BREAKFAST MANUF or MFR -YELLOW PINE MANUFACTURER CATH - CATHEDRAL MUD - MUDROOM CONC. - CONCRETE TEMP - TEMPERED • - CENTERLINE OC - ON CENTER THK'D - THICKENED OH - OVERHANG DBL - DOUBLE OPT - OPTIONAL DH - DOUBLE HUNG UNO - UNLESS NOTED DIA - DIAMETER PC - PULL CHAIN OTHERWISE DN - DOWN PERF - PERFORATED DW - DISH WASHER PSF - PER SQUARE VIF - VERIFY IN FIELD FD - FLOOR DRAIN PT - PRESSURE w/ - WITH FDN - FOUNDATION TREATED WD - WOOD PTRY - PANTRY FLR - FLOOR WH - WATER HEATER FPHB - FROST PWD - POWDER WIC - WALK IN CLOSET R - PLATE FTG - FOOTING R. BATH - RETREAT REF - REFRIGERATOR GWB - GYPSUM WALL REQ'D - REQUIRED RET - RETREAT H. BATH - HALL BATH RI - ROUGH IN SCH - SCHEDULE ILO - IN LIEU OF



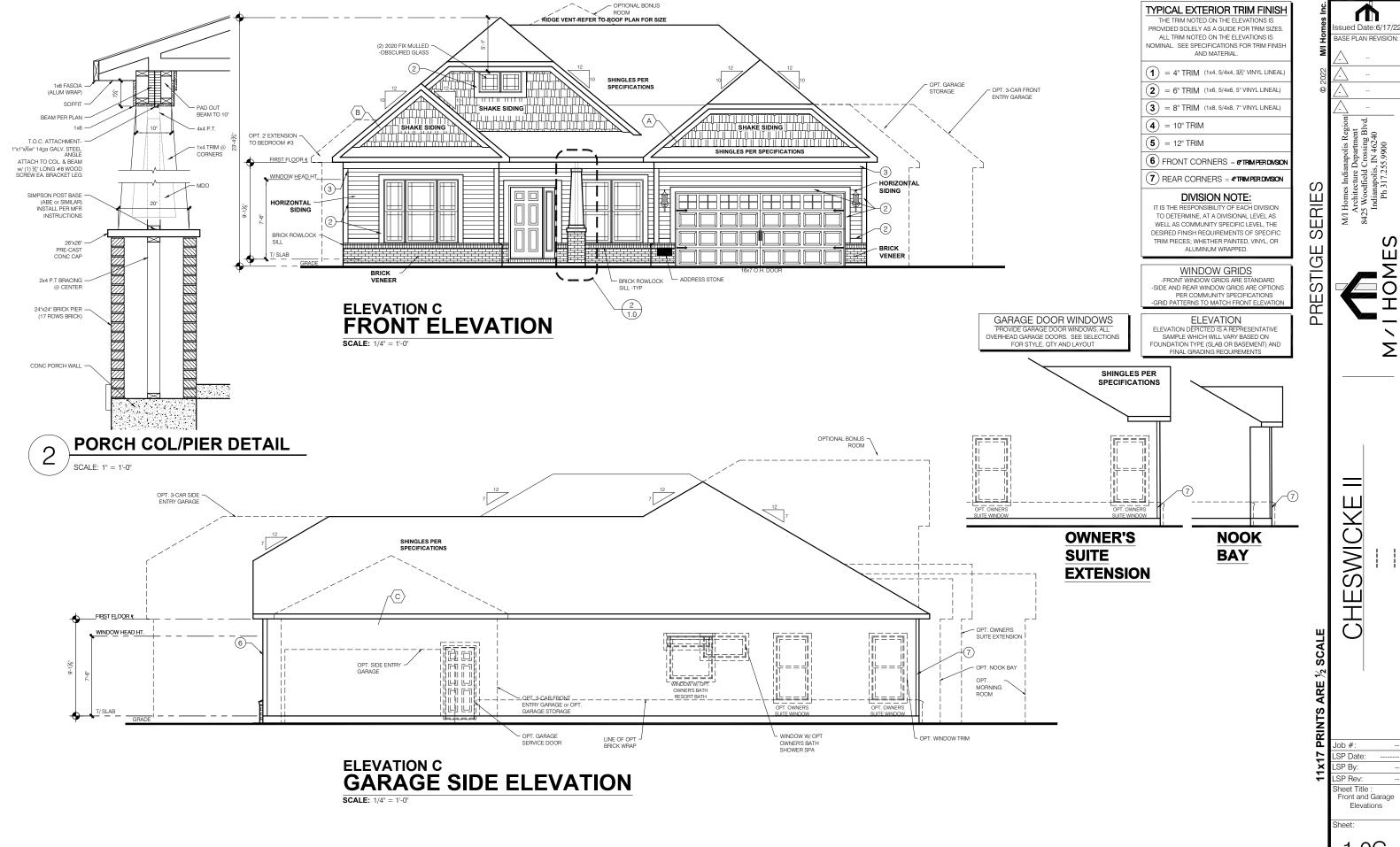
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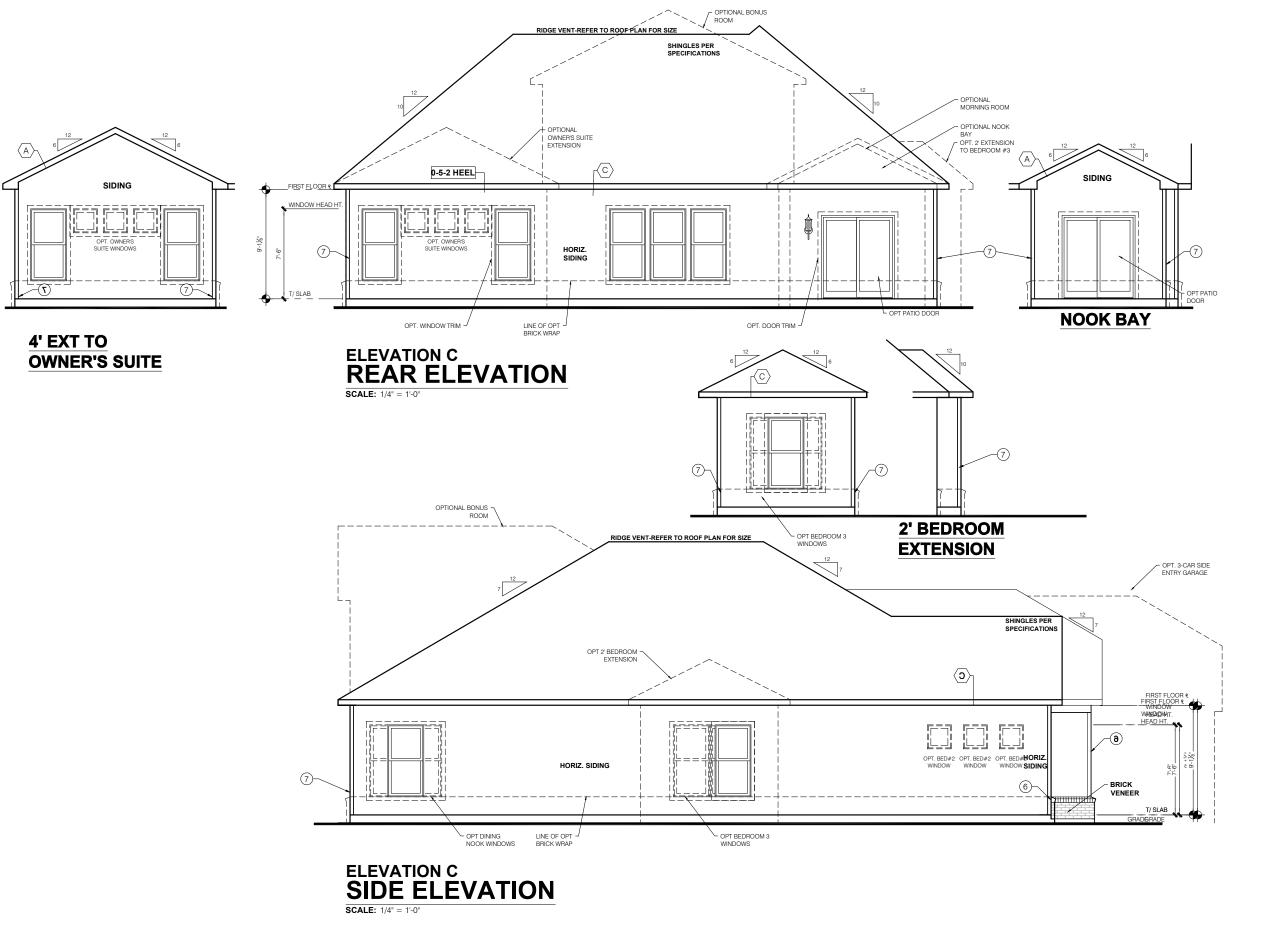
**Elevation - C** 

sued Date:6/17

BASE PLAN REVISION



1.0C



TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

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(6) FRONT CORNERS = 6"TRIM PER DIVISION

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#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD
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ELEVATION
ELEVATION DEPICTED IS A REPRESENTATIVE
SAMPLE WHICH WILL VARY BASED ON
FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

# GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

ed Date:6/17/

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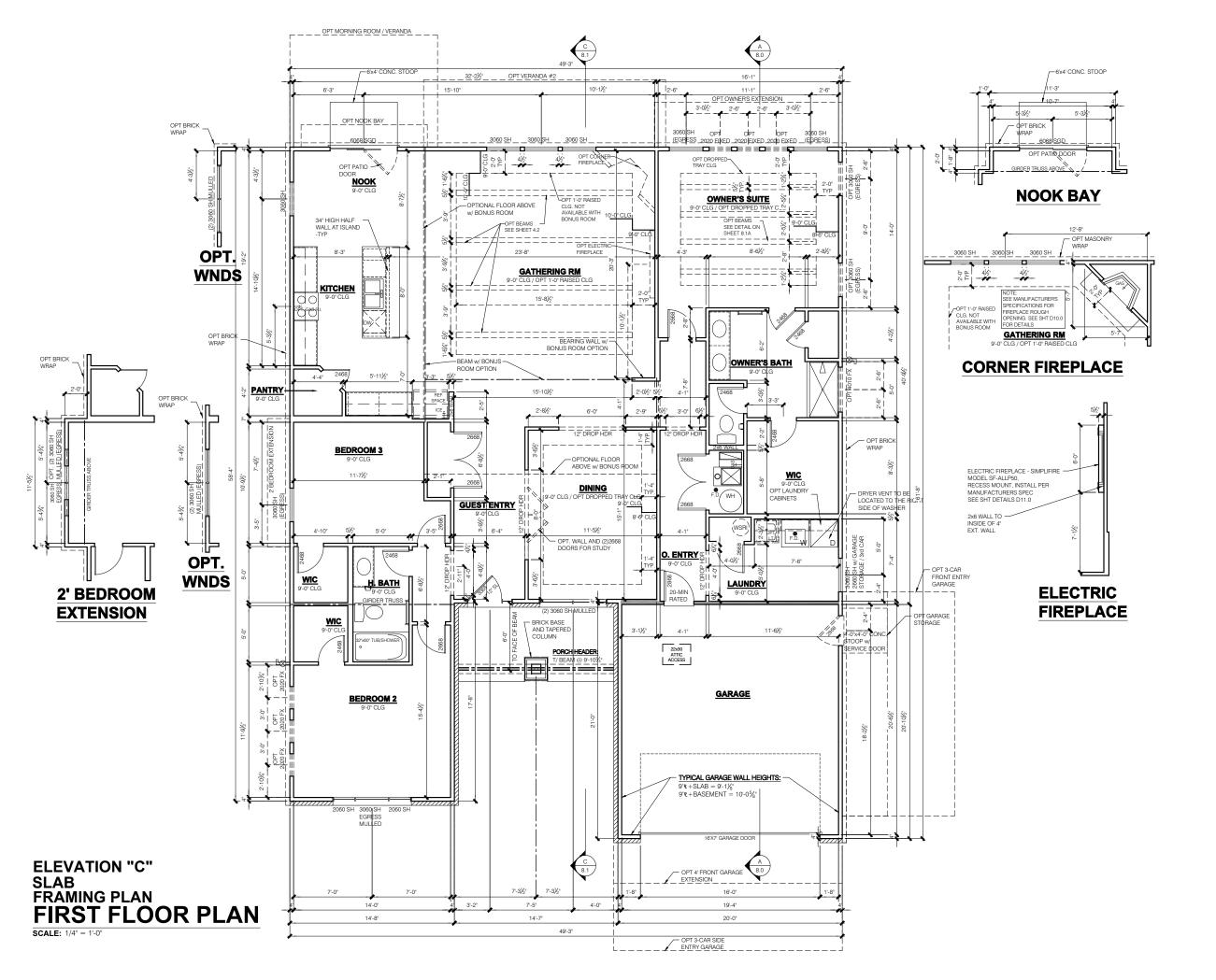
CHESWICKE

SCALE

Job #: LSP Date: LSP By: LSP Rev:

Sheet Title : Rear and Side Elevations

Sheet



- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS 1SI FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTEO OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTEO OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT WE MEMORED OF EQUIPADITION.

- ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT WEMBER OR POUNDATION. EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/½' NOMINAL SHEATHING U.N.O. (4'). STUDS © 16' O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ %" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16"
  O.C. U.N.O.
  INTERIOR WALLS ARE 2x4's U.N.O. (3½")

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ed Date:6/17/

MJ Homes Indianapolis Regio Architecture Department 8425 Woodfield Crossing Blvc Indianapolis, IN 46240 Ph 317.255.9900

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SWICKE CHE

SCALE

LSP Date: \_SP By:

LSP Rev

neet Title First Floor Plan

Sheet:

4.0C

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
  ALL CLOTHES DRYER EXHAUSTS TO VENT TO
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- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN %" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CELLING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS
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#### MASONRY VENEER NOTES

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  HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2 1/3 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
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- OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOLINDATION
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B402.2 FOUNDATION WALL SHALL HAVE

THE APPROPRIATE REINFORCEMENT FOR

DEPTH OF BACKFILL. CONCRETE MASONRY FOUNDATION
WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

### GENERAL NOTES

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# **Cheswicke II**

"Elevation E"

**Owner's Name CONSTRUCTION SET ADDRESS** LOT#

SQUARE FOOTAGE - ELEVATION 'E'			
1ST FLOOR	2264		
TOTAL HEATED	2264		
PORCH	88		
GARAGE	417		
GARAGE STORAGE	+80		
3-CAR FRONT ENTRY GARAGE	+200		
3-CAR SIDE ENTRY GARAGE	+200		
OPT FULL BASEMENT	+2142		
FINISHED BASEMENT	+1135		
FINISHED BASEMENT w/BATH	+1184		
FINISHED BASEMENT w/BEDROOM & BATH	+1184		
VERANDA	+146		
VERANDA #2	+122		
DINING NOOK BAY	+22		
MORNING ROOM	+131		
OWNER'S SUITE EXTENSION	+67		
BONUS ROOM	+502		
BR 3 EXTENSION	+23		
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SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions				
DATE	C.O #	Description	Drafter	

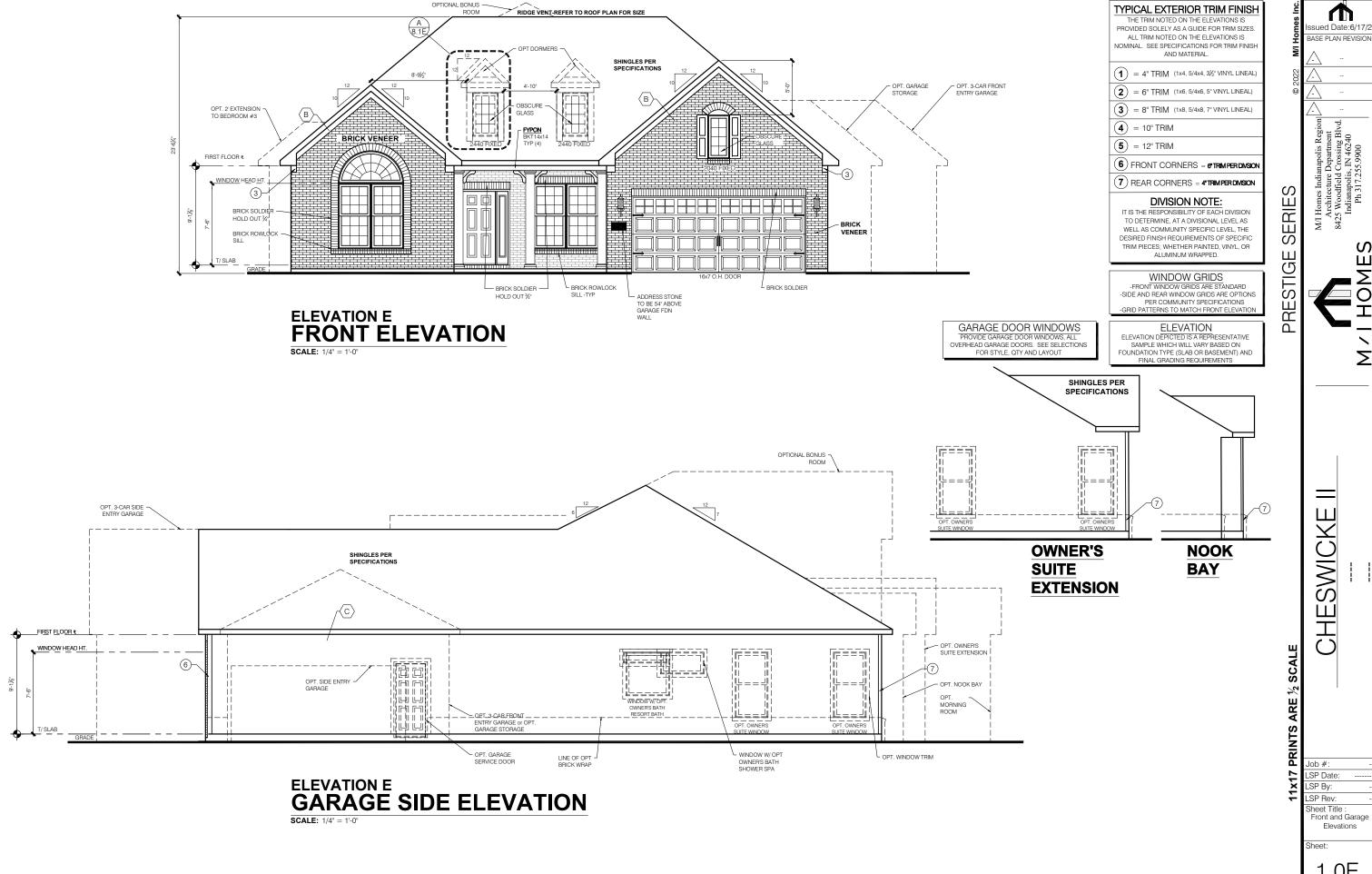
#### MI HOMES - COMMON ABBREVIATIONS ON PRINTS SGD - SLIDING GLASS 2nd - SECOND KIT - KITCHEN SH - SINGLE HUNG ALUM - ALUMINUM SHWR - SHOWER LDRY - LAUNDRY SPF - SPRUCE PINE FIR LOC - LOCATION SVC - SERVICE BDR - BEDROOM SYP - SOUTHERN BRKFST - BREAKFAST MANUF or MFR -YELLOW PINE MANUFACTURER CATH - CATHEDRAL MUD - MUDROOM CONC. - CONCRETE TEMP - TEMPERED • - CENTERLINE OC - ON CENTER THK'D - THICKENED OH - OVERHANG DBL - DOUBLE OPT - OPTIONAL DH - DOUBLE HUNG UNO - UNLESS NOTED DIA - DIAMETER PC - PULL CHAIN OTHERWISE DN - DOWN PERF - PERFORATED DW - DISH WASHER PSF - PER SQUARE VIF - VERIFY IN FIELD FD - FLOOR DRAIN PT - PRESSURE w/ - WITH FDN - FOUNDATION TREATED WD - WOOD PTRY - PANTRY FLR - FLOOR WH - WATER HEATER FPHB - FROST PWD - POWDER WIC - WALK IN CLOSET R - PLATE FTG - FOOTING R. BATH - RETREAT REF - REFRIGERATOR GWB - GYPSUM WALL REQ'D - REQUIRED RET - RETREAT H. BATH - HALL BATH RI - ROUGH IN SCH - SCHEDULE ILO - IN LIEU OF

#### Architectural Drawing Index Number Sheet Title 0.0E Cover Sheet Indianapolis 1.0E Front and Garage Elevations 1.1E Front Elevation - Opt Brick & Stone 2.1E Slab Foundation 2.2E Slab Foundation - w/Bonu 2.3E 2.4E Slab Foundation - Brick Wrap w/Bonus 2.5E Poured Full Basement 2.6E 2.7 Opt Finished Basement 2.8 Opt Finished Basement w/Bath 2.9 3.0E First Floor Subfloor - Basemen 4.0E First Floor Plan - Slab 4.1E 4.2 First Floor Plan - Options M1.0E First Floor MEP Plan - Slab M1.1E First Floor MEP Plan - Baser M1.2 First Floor MFP Plan - Options 7.0E Roof Plan - Base Roof 8.0E 8.1F R0.1 Opt Front Garage Extension R1.0 Opt Garage Storage Elevations R1.2 Opt Garage Storage Plans-Brick Wrap R2.0 Opt 3 car Front Elevations R2.1 R2.2 Opt 3 car Front Plans-Brick Wrap R3.0 Opt 2 car Side Elevations R3.1 R3.2 Opt 2 car Side Plans-Brick Wrap R4.0 Opt 3 car Side Elevations R4.1 R4.2 Opt 3 car Side Plans-Brick Wrap R5.0 Opt Bonus Room elev-sect R5.2 Opt Bonus Room Electrical Plans R5.3 Opt Bonus Room Roof Plan R6.0 R7.0 Optional Veranda R8.0 Optional Veranda #2 Plans R8.1 Optional Veranda #2 Elevations

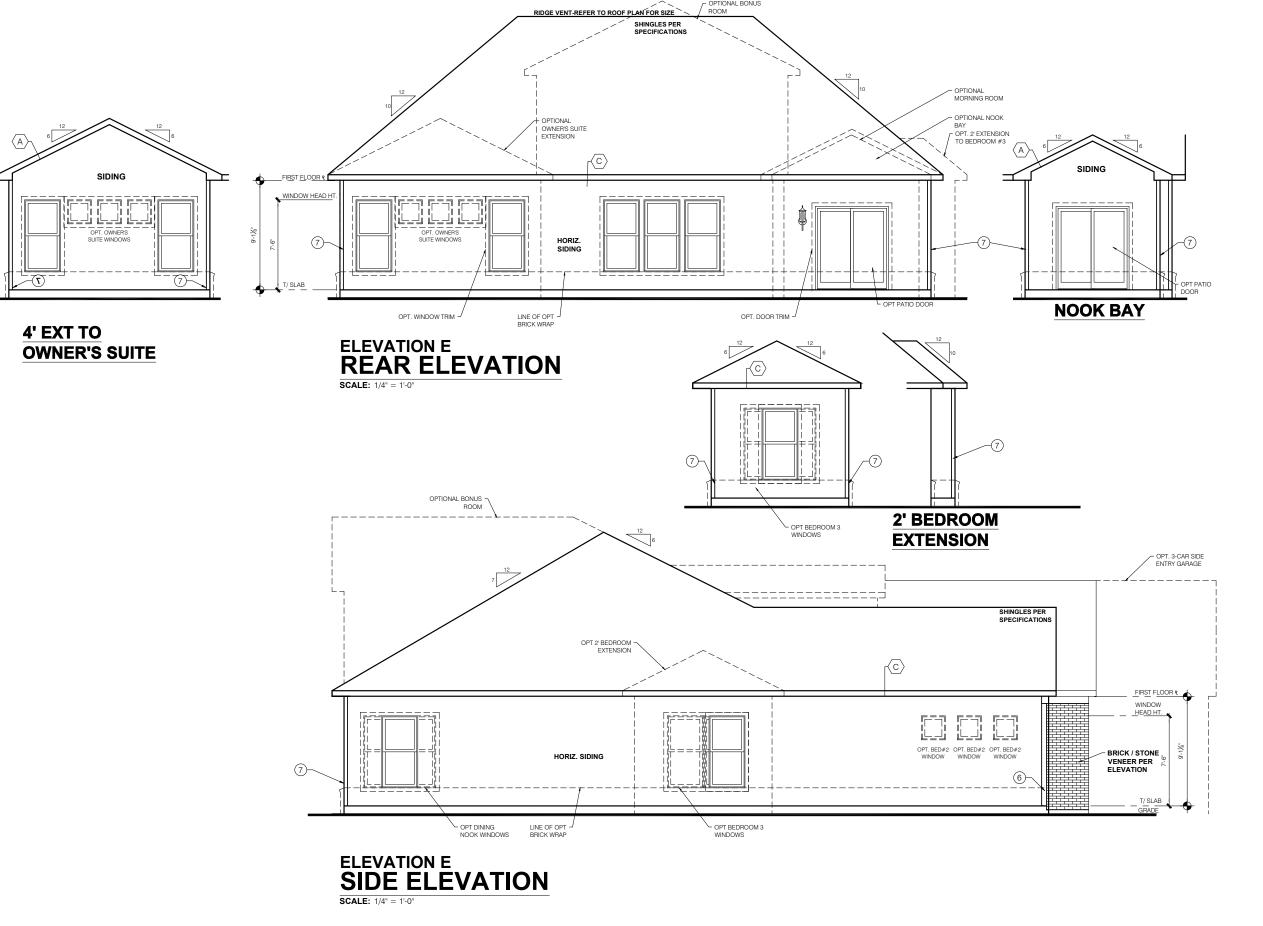
BASE PLAN REVISION SERIE RESTIG SWICK Ш INTS Job #: LSP Date: SP By: SP Rev heet Title Cover Sheet Indianapolis 0.0F

**Elevation - E** 

sued Date:6/17



1.0E



TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

(4) = 10" TRIM

**(5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVISION

(7) REAR CORNERS = 4"TRIM PER DIVISION

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-FRONT WINDOW GRIDS ARE STANDARD
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ELEVATION
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ed Date:6/17/

SERIES PRESTIGE

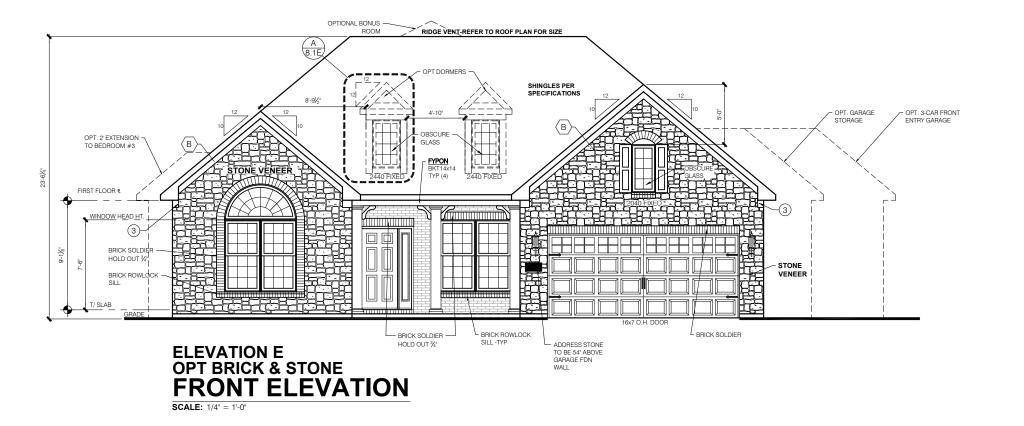
CHESWICKE

SCALE

Job #: LSP Date: LSP By:

LSP Rev:

Sheet Title : Rear and Side Elevations



PRESTIGE SERIES

ued Date:6/17/2

CHESWICKE

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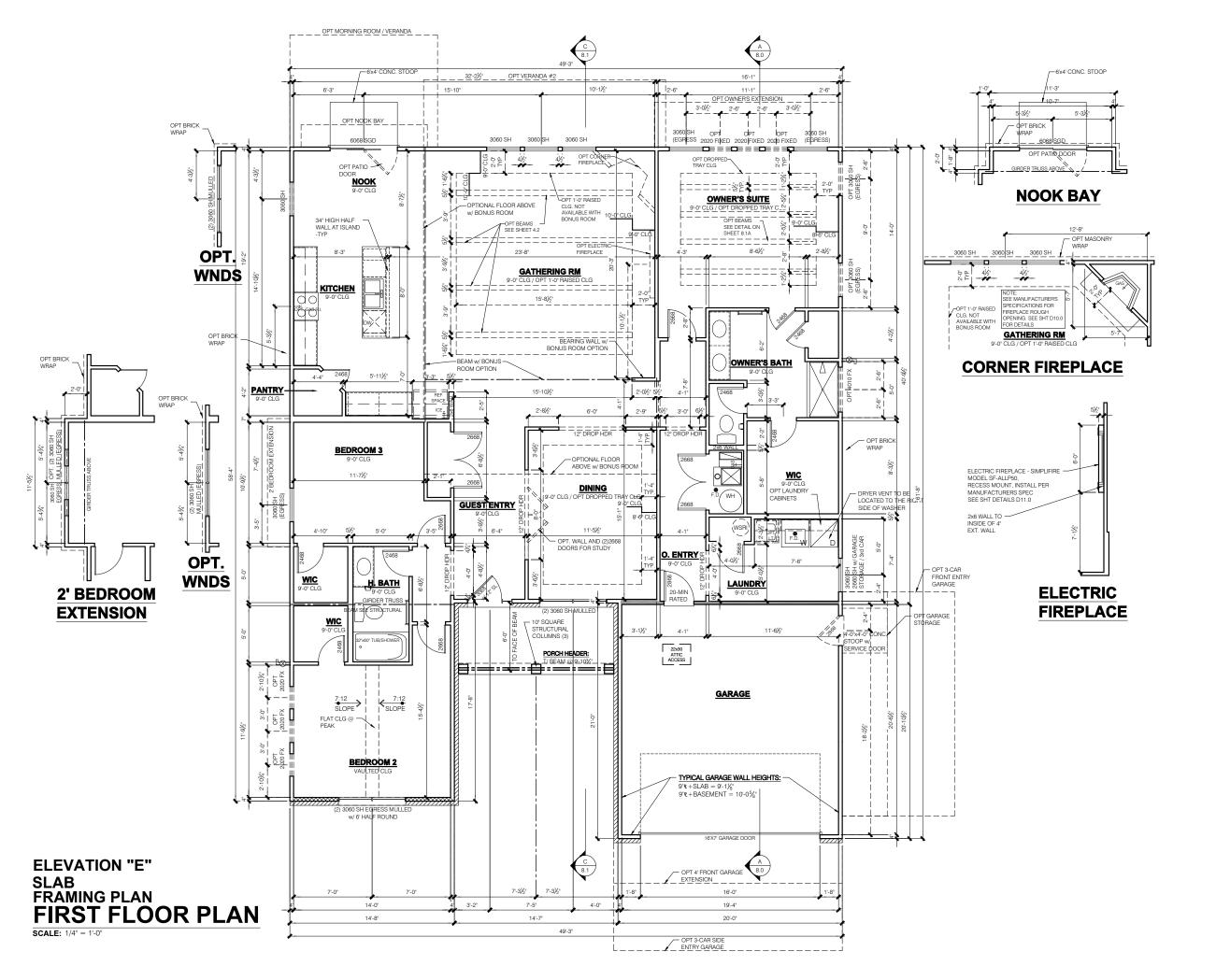
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Job #: LSP Date: LSP By: LSP Rev:

Sheet Title : Front Elevation Opt Brick & Stone

Sheet:

1.2E



- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS
- 1SI FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTEO OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTEO OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT WE MEMORED OF EQUIPADITION.

- ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT WEMBER OR POUNDATION. EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/½' NOMINAL SHEATHING U.N.O. (4'). STUDS © 16' O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/
- %" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16"
  O.C. U.N.O.
  INTERIOR WALLS ARE 2x4's U.N.O. (3½")

EXTERIOR WALLS ARE SHOWN WITH  $\frac{1}{2}$ \* NOMINAL HEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

### GARAGE DRYWALL NOTE

CEILINGS BEAMS COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$ " GWB. CEILING TO BE  $\frac{5}{8}$ " TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL
OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

> STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

ed Date:6/17/

MJ Homes Indianapolis Regio Architecture Department 8425 Woodfield Crossing Blvc Indianapolis, IN 46240 Ph 317.255.9900

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SWICKE CHE

LSP Date: \_SP By: LSP Rev

heet Title First Floor Plan

Sheet:

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- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
  ALL CLOTHES DRYER EXHAUSTS TO VENT TO
- THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° FLBOW LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE
- SECTION 316.
  ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
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  ALL PLUMBING TO COMPLY WITH THE
- INDIANA PLUMBING CODE
  ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
  ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A
- CLEAR HEIGHT OF OVER 30 INCHES. GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES
  LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIF PORTION SHALL NOT BE MORE THAN 2 1/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN %" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT OPENINGS BETWEEN THE GARAGE AND
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  WEATHER STRIP ALL ATTIC ACCESSES SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED
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#### MASONRY VENEER NOTES

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- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.

VENEER.

- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
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- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FLASHING SHALL BE INSTALLED PER
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DEPTH OF BACKFILL.

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GENERAL NOTES

2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

# M/I HOMES Welcome to Better PRESENTS **Cheswicke II**

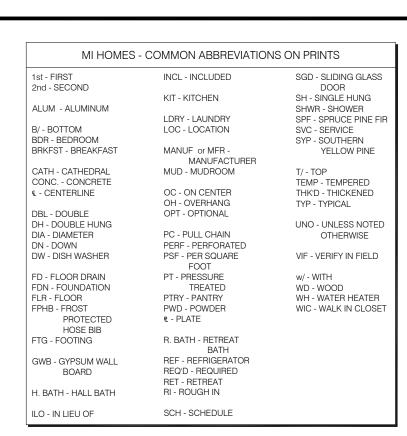
"Elevation G"

**Owner's Name CONSTRUCTION SET ADDRESS** LOT#

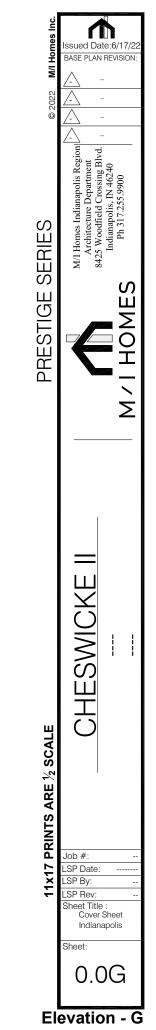
SQUARE FOOTAGE - ELEVATION 'G'			
1ST FLOOR	2271		
TOTAL HEATED	2271		
PORCH	111		
GARAGE	417		
GARAGE STORAGE	+80		
3-CAR FRONT ENTRY GARAGE	+200		
3-CAR SIDE ENTRY GARAGE	+200		
OPT FULL BASEMENT	+2142		
FINISHED BASEMENT	+1135		
FINISHED BASEMENT w/BATH	+1184		
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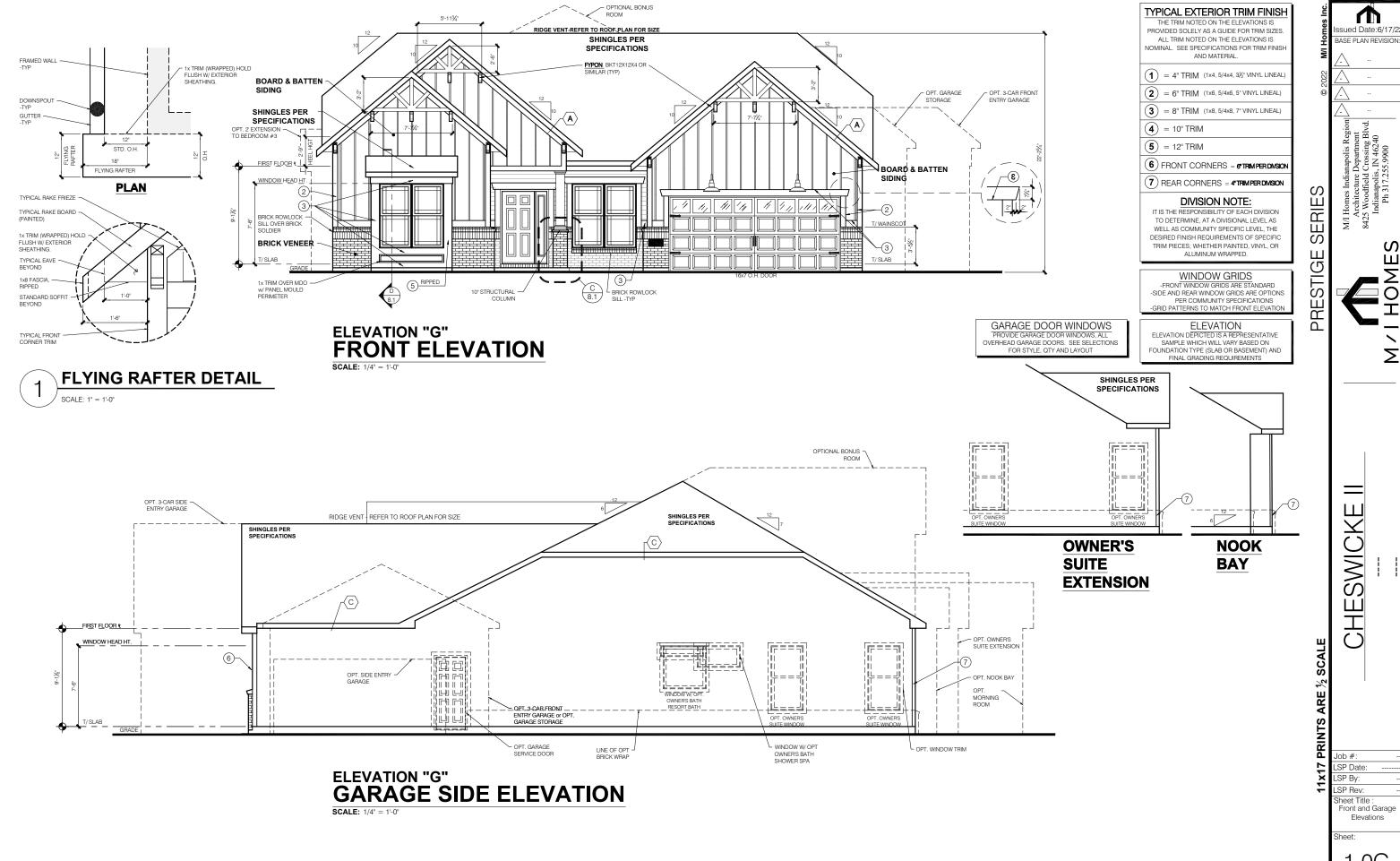
SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions				
DATE	C.O #	Description	Drafter	

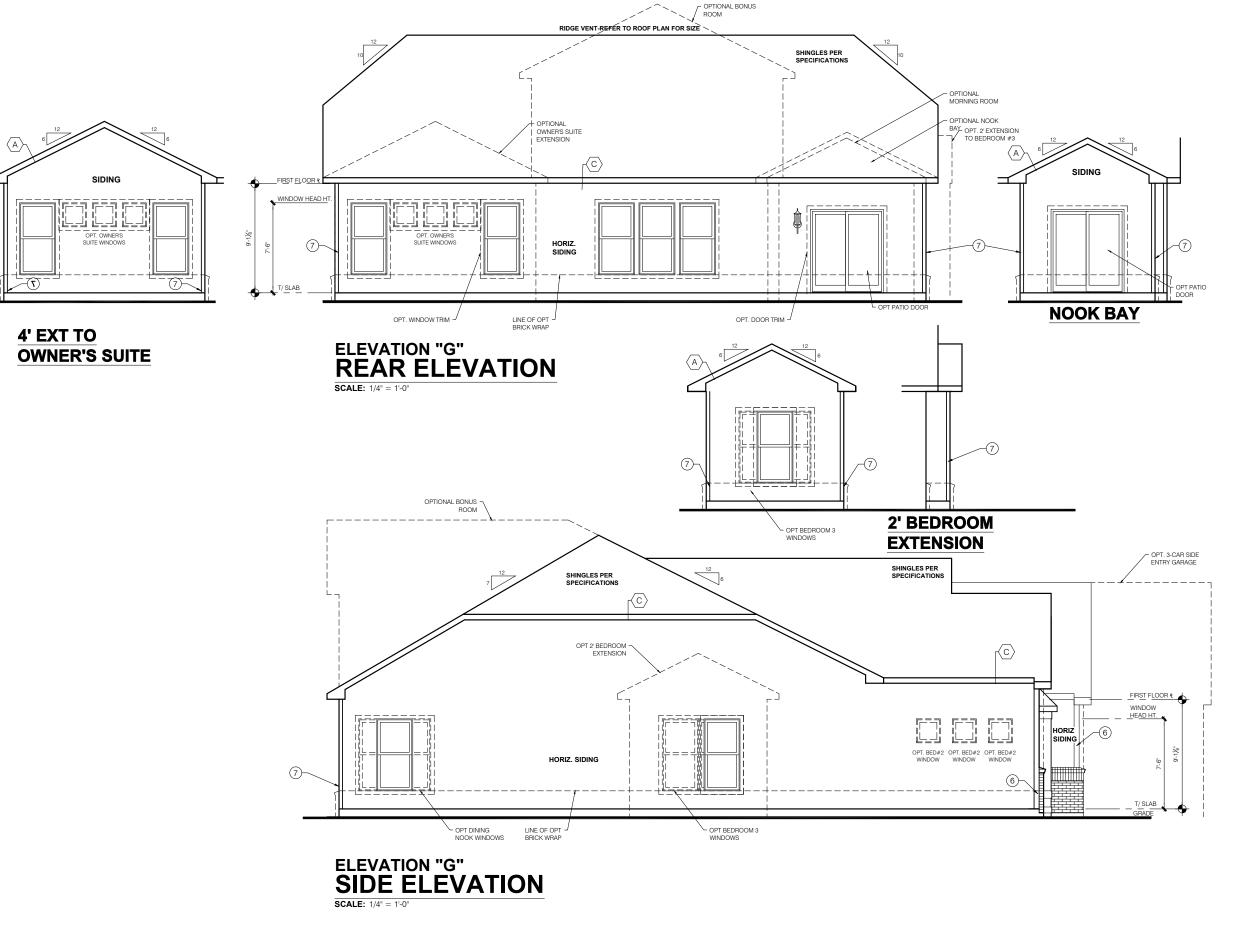


#### Architectural Drawing Index NumbGr Sheet Title 0.0G Cover Sheet Indianapolis 1.0G Front and Garage Elevations 1.1G Rear and Side Elevation 1.2G 2.1G Slab Foundation 2.2G Slab Foundation - w/Bonu 2.3G 2.4G Slab Foundation - Brick Wrap w/Bonus 2.5G Poured Full Basement 2.6G 2.7 Opt Finished Basement 2.8 Opt Finished Basement w/Bath 2.9 3.0G First Floor Subfloor - Basemen 4.0G First Floor Plan - Slab 4.1G 4.2 First Floor Plan - Options M1.0G First Floor MEP Plan - Slab M1.1G First Floor MEP Plan - Basen M1.2 First Floor MFP Plan - Options 7.0G Roof Plan - Base Roof 8.0G 8.1G R0.1 Opt Front Garage Extensi R1.0 R1.2 Opt Garage Storage Plans-Brick Wra R2.0 Opt 3 car Front Elevations R2.1 Opt 3 car Front Plans R2.2 Opt 3 car Front Plans-Brick Wrap R3.0 Opt 2 car Side Elevations R3.1 R3.2 Opt 2 car Side Plans-Brick Wrap R4.0 Opt 3 car Side Elevations R4.1 R4.2 Opt 3 car Side Plans-Brick Wrap R5.0 Opt Bonus Room elev-sect R5.2 Opt Bonus Room Electrical Plan R5.3 Opt Bonus Room Roof Plan R6.0 R7.0 Optional Veranda R8.0 Optional Veranda #2 Plans R8.1 Optional Veranda #2 Elevations





1.0G



TYPICAL EXTERIOR TRIM FINISH

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# GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

ed Date:6/17/

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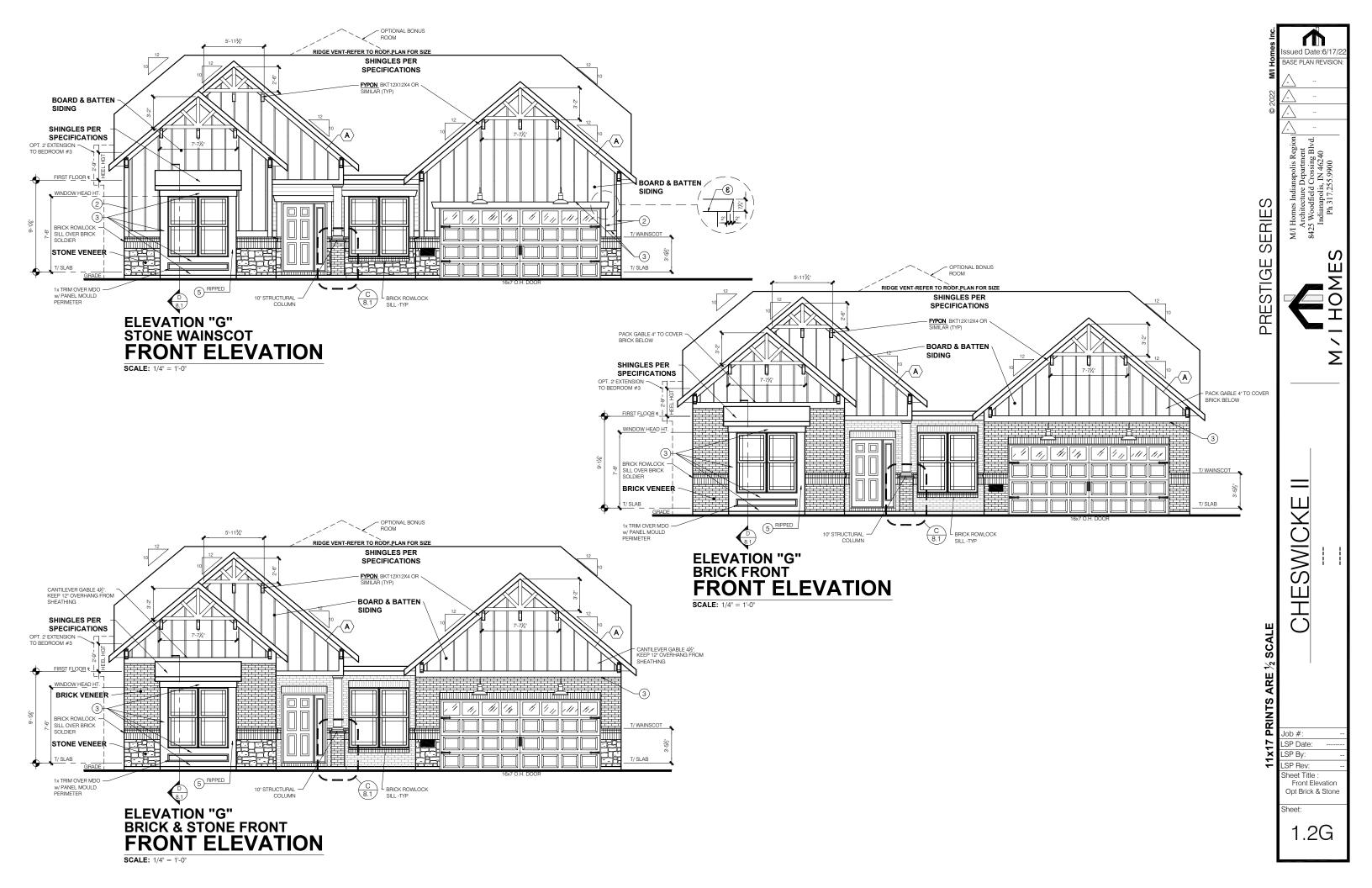
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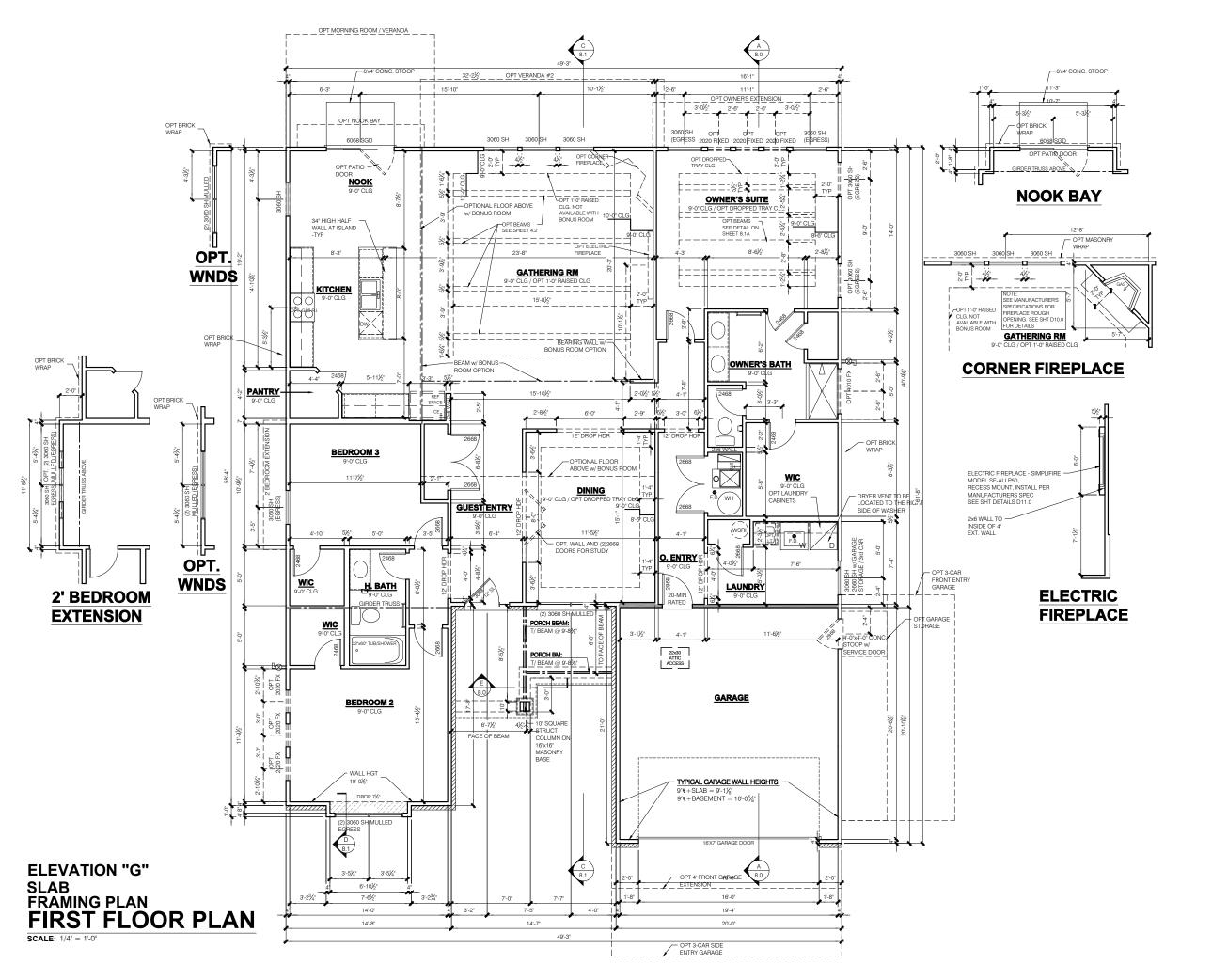
SCALE

Job #: LSP Date: LSP By: LSP Rev:

Sheet Title : Rear and Side Elevations

Sheet





- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
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ed Date:6/17/

MJ Homes Indianapolis Regio Architecture Department 8425 Woodfield Crossing Blvc Indianapolis, IN 46240 Ph 317.255.9900

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SWICKE CHE

SCALE

LSP Date:

\_SP By: LSP Rev

neet Title First Floor Plan

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B402.2 FOUNDATION WALL SHALL HAVE

THE APPROPRIATE REINFORCEMENT FOR

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**GENERAL NOTES** 

2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

SIDENTIAL CODE.			
SQUARE FOOTAGE - ELEVATION 'H'			
IST FLOOR	2264		
TOTAL HEATED	2264		
PORCH	88		
GARAGE	417		
GARAGE STORAGE	+80		
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3-CAR SIDE ENTRY GARAGE	+200		
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SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions				
DATE	C.O #	Description	Drafter	

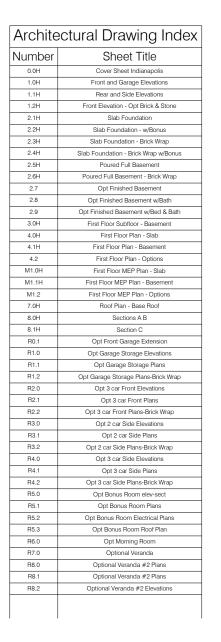


# "Elevation H" **Owner's Name CONSTRUCTION SET**

**ADDRESS** 

LOT#

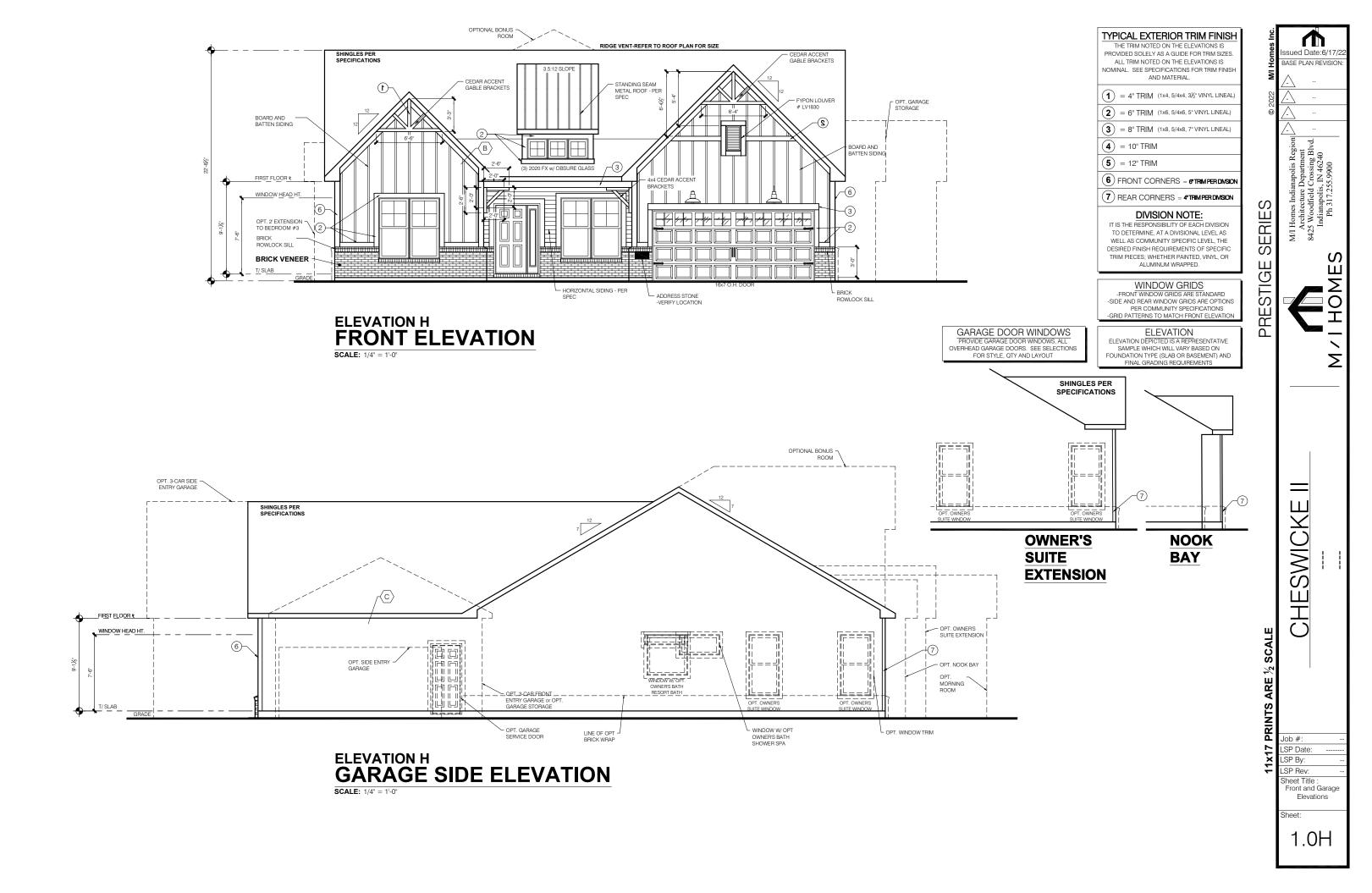
MI HOMES - COMMON ABBREVIATIONS ON PRINTS			
1st - FIRST 2nd - SECOND	INCL - INCLUDED	SGD - SLIDING GLASS DOOR	
ALUM - ALUMINUM	KIT - KITCHEN	SH - SINGLE HUNG SHWR - SHOWER	
B/ - BOTTOM	LDRY - LAUNDRY LOC - LOCATION	SPF - SPRUCE PINE FIR SVC - SERVICE	
BDR - BEDROOM BRKFST - BREAKFAST	MANUE or MER -	SYP - SOUTHERN YELLOW PINE	
	MANUFACTURER		
CATH - CATHEDRAL CONC CONCRETE	MUD - MUDROOM	T/ - TOP TEMP - TEMPERED	
€ - CENTERLINE	OC - ON CENTER OH - OVERHANG	THK'D - THICKENED TYP - TYPICAL	
DBL - DOUBLE DH - DOUBLE HUNG	OPT - OPTIONAL	UNO - UNLESS NOTED	
DIA - DIAMETER DN - DOWN	PC - PULL CHAIN PERE - PERFORATED	OTHERWISE	
DW - DISH WASHER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD	
FD - FLOOR DRAIN FDN - FOUNDATION	PT - PRESSURE TREATED	w/ - WITH WD - WOOD	
FLR - FLOOR FPHB - FROST	PTRY - PANTRY PWD - POWDER	WH - WATER HEATER WIC - WALK IN CLOSET	
PROTECTED HOSE BIB	ը - PLATE		
FTG - FOOTING	R. BATH - RETREAT BATH		
GWB - GYPSUM WALL BOARD	REF - REFRIGERATOR REQ'D - REQUIRED RET - RETREAT		
H. BATH - HALL BATH	RI - ROUGH IN		
ILO - IN LIEU OF	SCH - SCHEDULE		

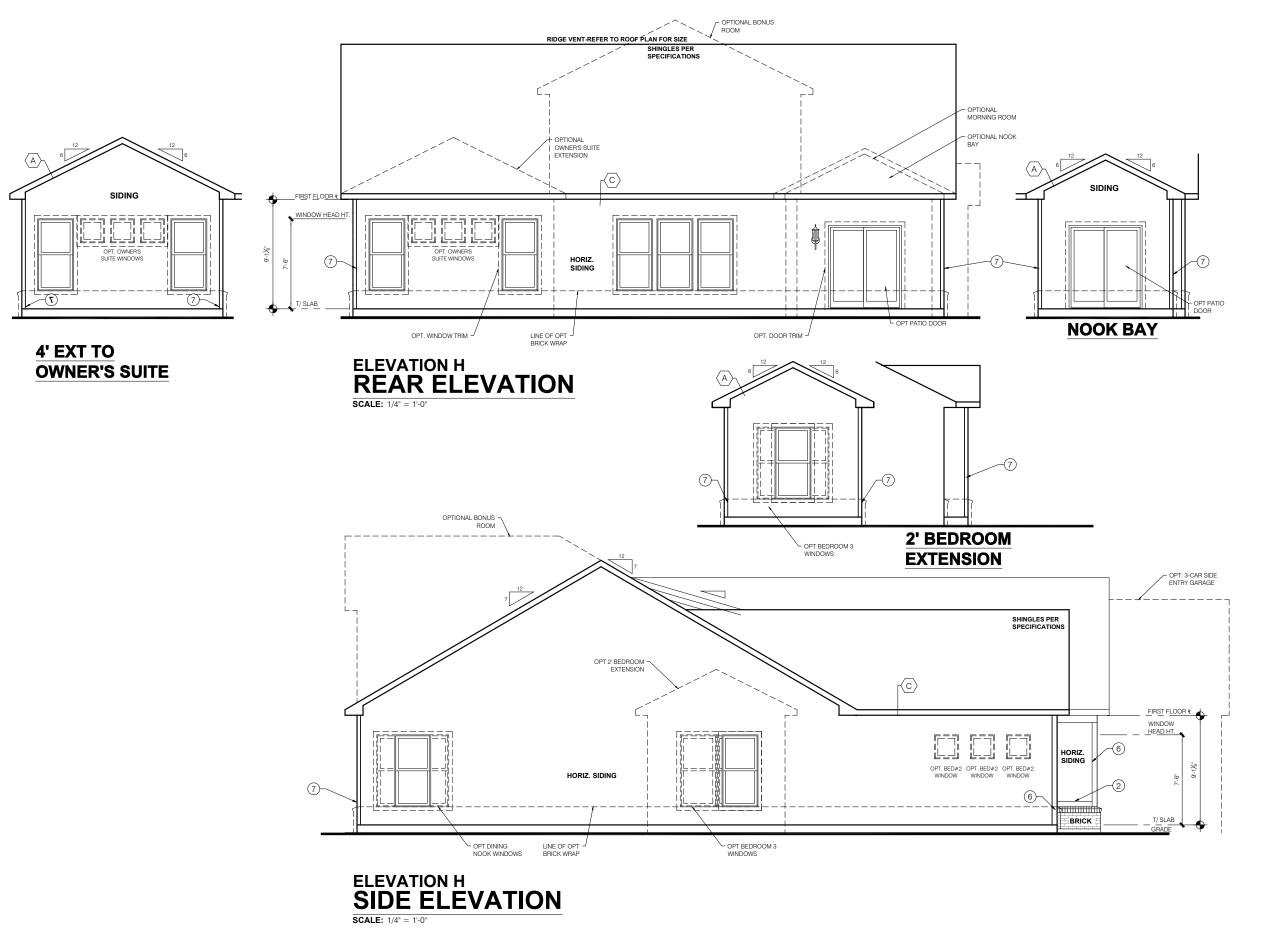


sued Date:6/17 BASE PLAN REVISION SERIE RESTIG SWICKE Ш Job #: LSP Date: LSP By: SP Rev heet Title Cover Sheet Indianapolis

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**Elevation - H** 





TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

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ed Date:6/17/

SERIES PRESTIGE

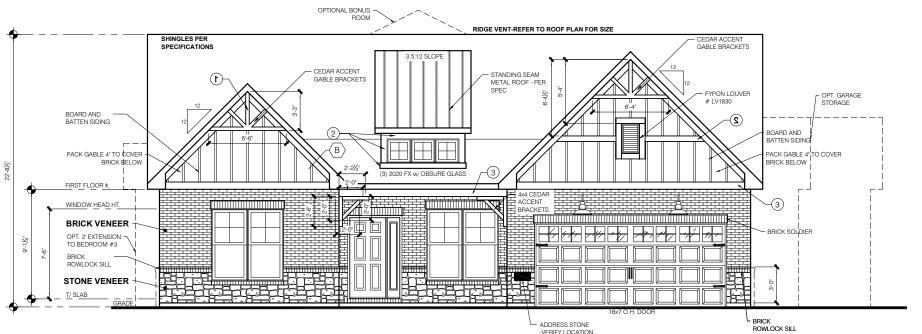
CHESWICKE

Job #: LSP Date: LSP By: LSP Rev:

heet Title : Rear and Side Elevations

#### ELEVATION H OPT BRICK FRONT ELEVATION

SCALE: 1/4" = 1'-0"



ELEVATION H
OPT BRICK & STONE
FRONT ELEVATION

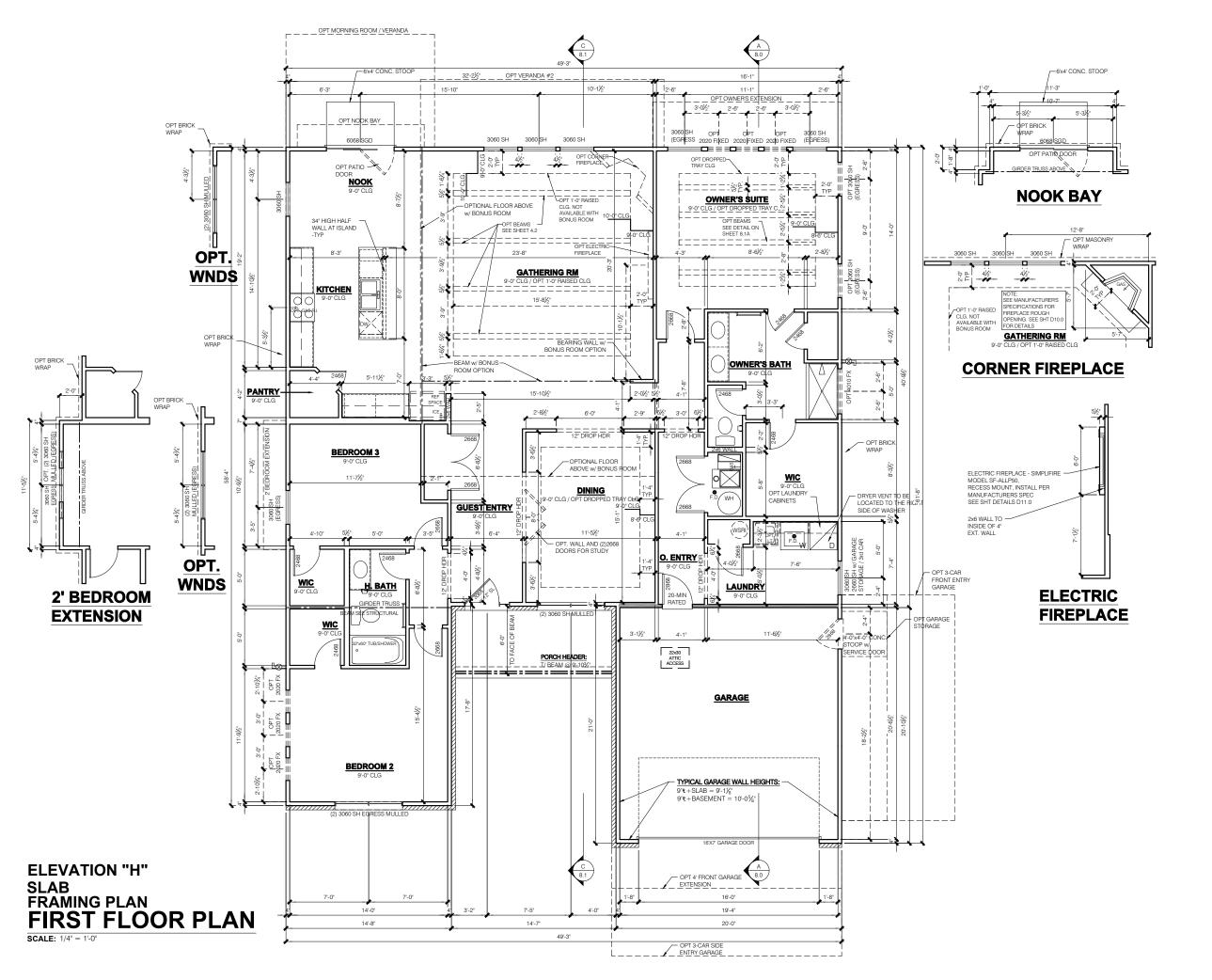
**SCALE:** 1/4" = 1'-0"

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Front Elevation Opt Brick & Stone

1.2H

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#### FLOOR PLAN NOTES

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS 1SI FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTEO OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTEO OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT WE MEMORED OF EQUIPADITION.

- ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT WEMBER OR POUNDATION.

  EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/½' NOMINAL SHEATHING U.N.O. (4'). STUDS © 16' O.C. U.N.O.

  WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O. INTERIOR WALLS ARE 2x4's U.N.O. (3½")

EXTERIOR WALLS ARE SHOWN WITH  $\frac{1}{2}$ \* NOMINAL HEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

#### GARAGE DRYWALL NOTE

CEILINGS BEAMS COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$ " GWB. CEILING TO BE  $\frac{5}{8}$ " TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL
OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

ed Date:6/17/

MJ Homes Indianapolis Regio Architecture Department 8425 Woodfield Crossing Blvc Indianapolis, IN 46240 Ph 317.255.9900

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LSP Date: \_SP By:

LSP Rev

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4.0H

#### GENERAL ARCHITECTURAL NOTES

- ALL BATHROOM EXHAUST FANS TO VENT TO
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION
- LOCATION PRIOR TO INSTALL.
  INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
- CROSS-VENTILATION OR VAPOR BARRIER
- INDIANA PLUMBING CODE ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8. ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A
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  GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, BAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BALLISTERS SHALL
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- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS
- THAN ½" GYPSUM BOARD OR EQUIVALENT OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE FOUIPPED WITH 20 MINUTE FIRE RATED DOORS.
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- WEATHER STRIP ALL ATTIC ACCESSES SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED
- AIR WITHIN THE LIVING SPACE.
  RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION F3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY %", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAL LOAD OF THE VENEER ABOVE.
  VENEER OPENINGS SHALL BE SUPPORTED
- ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEE FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR TH FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL B INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THI 2018 INTERNATIONAL RESIDENTIAL CODE.
  ALL BRICK SILLS TO BE SLOPED AWAY FROM
- THE HOUSE A MINIMUM OF 15° CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND TH APPLICABLE PROVISIONS OF SECTION
  R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR
- DEPTH OF BACKFILL. CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE

#### GENERAL NOTES

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION
- GOVERNING CODE STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



### 2x4 EXTERIOR WALLS

SQUARE FOOTAGE - ELEVATION 'F	•
1ST FLOOR	1260
2ND FLOOR	1635
TOTAL HEATED	2895
FRONT PORCH	127
3-CAR GARAGE	656
GARAGE STORAGE	+79
OPT VERANDA	140
OPT VERANDA #2	90
OPT FLEX SIDE BAY	+19
OPT 4' EXT AT GATHERING RM & EXT DINING	+99
OPT 4' EXT AT GATHERING RM & MORNING RM	-210
OPT 4' EXT AT GATHERING RM	+72
OPT 2' EXT AT DINING NOOK	+28
OPT FULL BASEMENT	+1254
OPT PARTIAL BASEMENT	-1065
OPT. FINISHED BASEMENT	+109
OPT. FINISHED BASEMENT w/ BATH	+109
OPT. FINISHED BASEMENT w/ BATH & BED	+133
SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE	

HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

MI HOMES -	COMMON ABBREVIATION	S ON PRINTS
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS
2nd - SECOND		DOOR
	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM		SHWR - SHOWER
	LDRY - LAUNDRY	SPF - SPRUCE PINE FIR
B/ - BOTTOM	LOC - LOCATION	SVC - SERVICE
BDR - BEDROOM	MANUE	SYP - SOUTHERN
BRKFST - BREAKFAST	MANUF or MFR - MANUFACTURER	YELLOW PINE
CATH - CATHEDRAL	MUD - MUDROOM	T/ - TOP
CONC CONCRETE	MOD - MODROOM	TEMP - TEMPERED
§ - CENTERLINE	OC - ON CENTER	THK'D - THICKENED
E GENTENEINE	OH - OVERHANG	TYP - TYPICAL
DBL - DOUBLE	OPT - OPTIONAL	
DH - DOUBLE HUNG		UNO - UNLESS NOTED
DIA - DIAMETER	PC - PULL CHAIN	OTHERWISE
DN - DOWN	PERF - PERFORATED	
DW - DISH WASHER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
FD - FLOOR DRAIN	PT - PRESSURE	w/ - WITH
FDN - FOUNDATION	TREATED	WD - WOOD
FLR - FLOOR	PTRY - PANTRY	WH - WATER HEATER
FPHB - FROST	PWD - POWDER	WIC - WALK IN CLOSET
PROTECTED	ռ - PLATE	
HOSE BIB	D DATH DETDEAT	
FTG - FOOTING	R. BATH - RETREAT BATH	
GWB - GYPSUM WALL	REF - REFRIGERATOR	
BOARD	REQ'D - REQUIRED	
BOALD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	



5 Woodfield C Indianapolis, Ph 317.25

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OPT FLEX SIDE BAY FRONT ELEVATION

<del>|||||||</del>

HORIZ, SIDING

10" SO COLUMN

BRICK VENEER

ELEVATION "F"
FRONT ELEVATION

RIDGE VENT-REFER TO ROOF PLAN FOR SIZE SHINGLES PER SPECIFICATIONS E A OH 2nd FLOOR R OPT. HALL BATH WINDOW HEAD HT. WINDOW - OPT. EXTENDED HORIZ. SIDING OPT. VERANDA MORNING ROOM OPT. VERANDA #2 T/ SECOND FLOOR FIRST FLOOR & WINDOW HEAD HT. OPT. EXTENDED
GATHERING ROOM ENTRY WINDOW NOT AVAILABLE W/ GUEST SUITE OPTION OPT. WINDOW -OPT. EXTENDED DIN NG NOOK

RIDGE VENT-REFER TO ROOF PLAN FOR SIZE

L ADDRESS STONE

SHINGLES PER SPECIFICATIONS

FYPON LV14X30

HORIZ. SIDING

PT. GARAGE -STORAGE

(c)-

ELEVATION "F"
GARAGE SIDE ELEVATION

TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

(1) = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL

 $(2) = 6^{11} \text{ TRIM} (1x6, 5/4x6, 5^{11} \text{ VINYL LINEAL})$ 

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

(**5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVISION

(7) REAR CORNERS = 4"TRIM PER DIMISION

#### DIVISION NOTE:

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES: WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

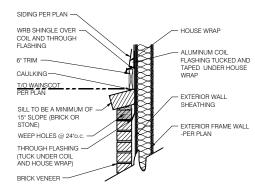
-FRONT WINDOW GRIDS ARE STANDARD
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

### GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



**BRICK WAINSCOT DETAIL** 

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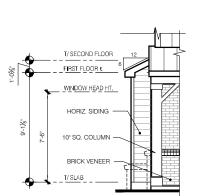
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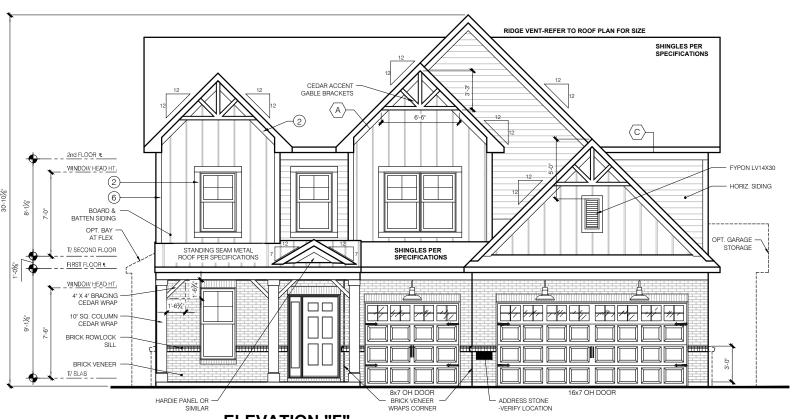
Front And Garage Elevations

Drake FINAL SET 06/17/22

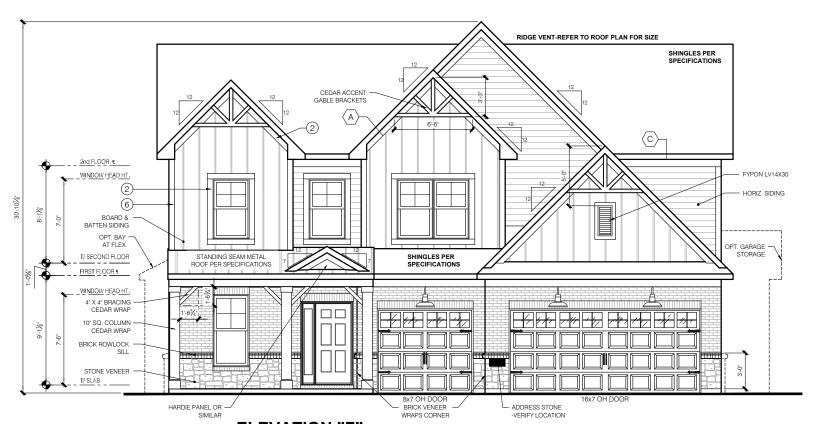


#### **OPT FLEX SIDE BAY FRONT ELEVATION**

**SCALE:** 1/4" = 1'-0"



#### **ELEVATION "F"** FRONT ELEVATION W/ BRICK



ELEVATION "F"
FRONT ELEVATION W/ BRICK AND STONE

TYPICAL EXTERIOR TRIM FINISH

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SERIES

**PRESTIGE** 

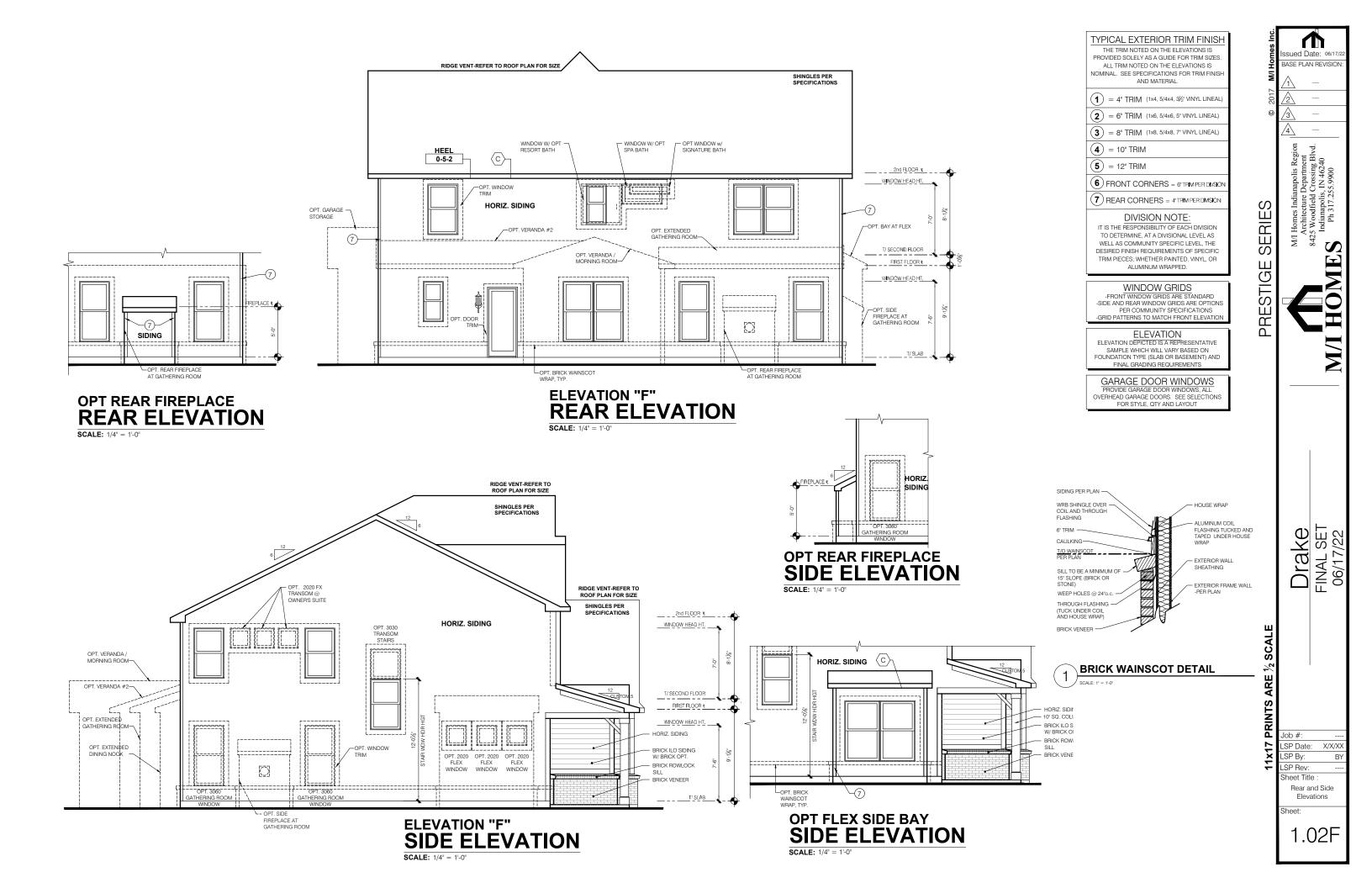
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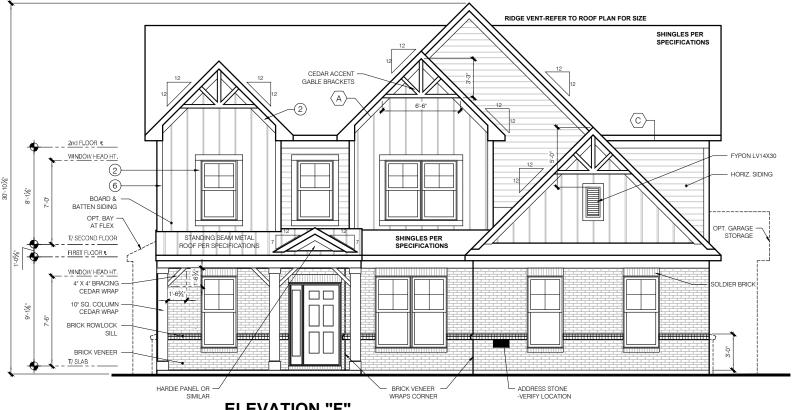
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Front Elevation Brick Garage

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## OPT FLEX SIDE BAY FRONT ELEVATION

ELEVATION "F"
FRONT ELEVATION W/ BRICK - SIDELOAD

RIDGE VENT-REFER TO ROOF PLAN FOR SIZE

SHINGLES PER
SPECIFICATIONS

SHINGLES PER
SPECIFICATIONS

FPRON LY1-0300

HORIZ, SIDING

STORAGE

FRESH LOGIE

FOR SIZE

SHINGLES PER
SPECIFICATIONS

FOR GRANGE
FOR SIZE

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FOR SIZE

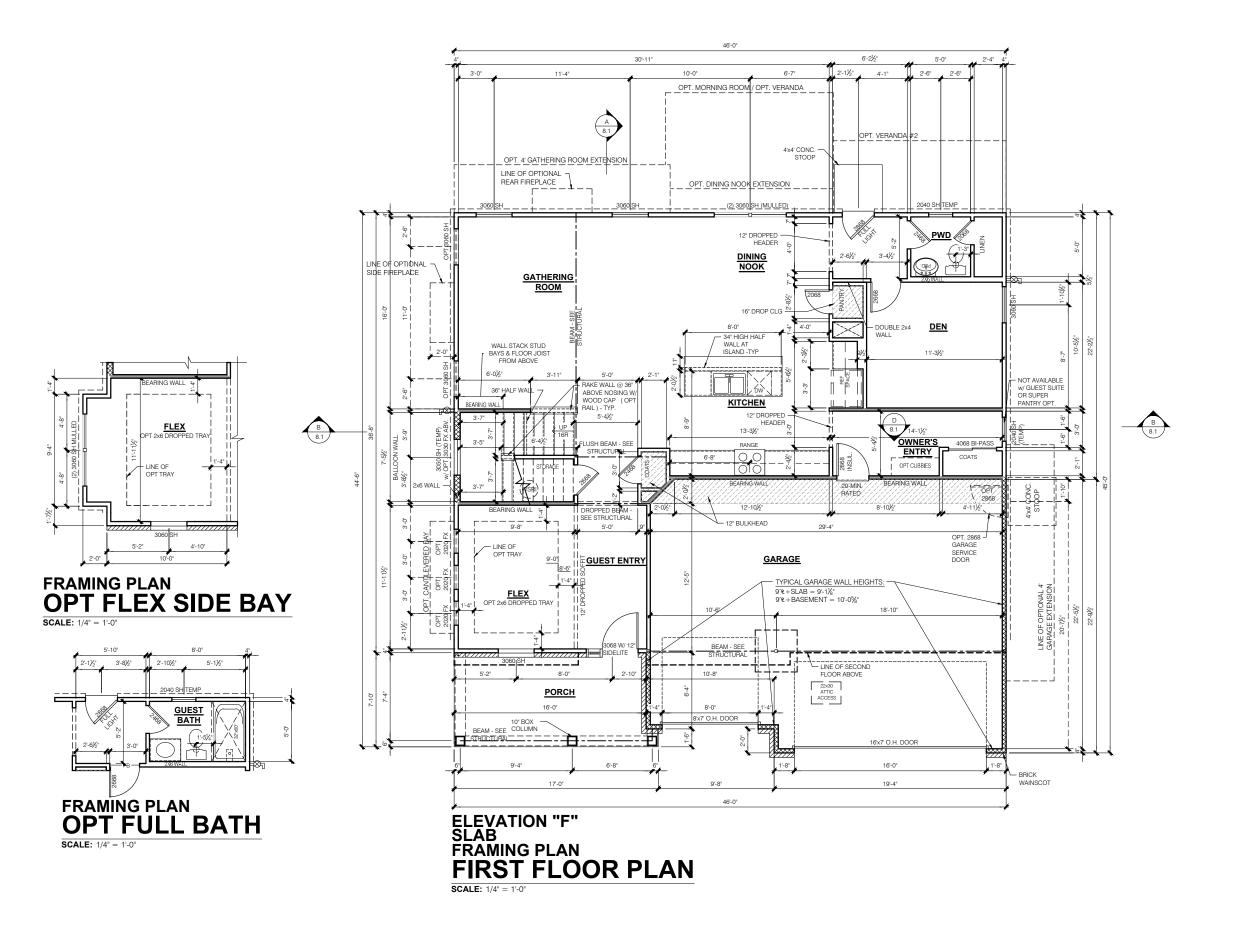
FOR GRANGE
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ELEVATION "F"
FRONT ELEVATION W/ BRICK AND STONE - SIDELOAD

SERIES **PRESTIGE** Drake FINAL SET 06/17/22 SP Date: SP By: Sheet Title Brick Garage

1.11F



FLOOR PLAN NOTES

NOTE: - INDICATES WALL HEIGHTS LOWER THAN

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD
BEARING WALLS, FRAME 16" O.C.(2x4), 24"
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- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS

- SUPPORT MEMBER OR FOUNDATION.

  EXTERIOR WALLS AT CONDITIONED SPACES ARE
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- @ 16" O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/  $\frac{1}{2}$ " NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3½")

EXTERIOR WALLS ARE SHOWN WITH ½° NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDION OF THE FOUNDATION

#### GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE $\frac{1}{2}$ GWB. CEILING TO BE $\frac{5}{8}$ TYP "X" FIRECODE

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

napolis Regio Department Crossing Blvd , IN 46240

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Indianapolis, I
Ph 317.255 EB  $\overline{\mathbb{S}}$ 

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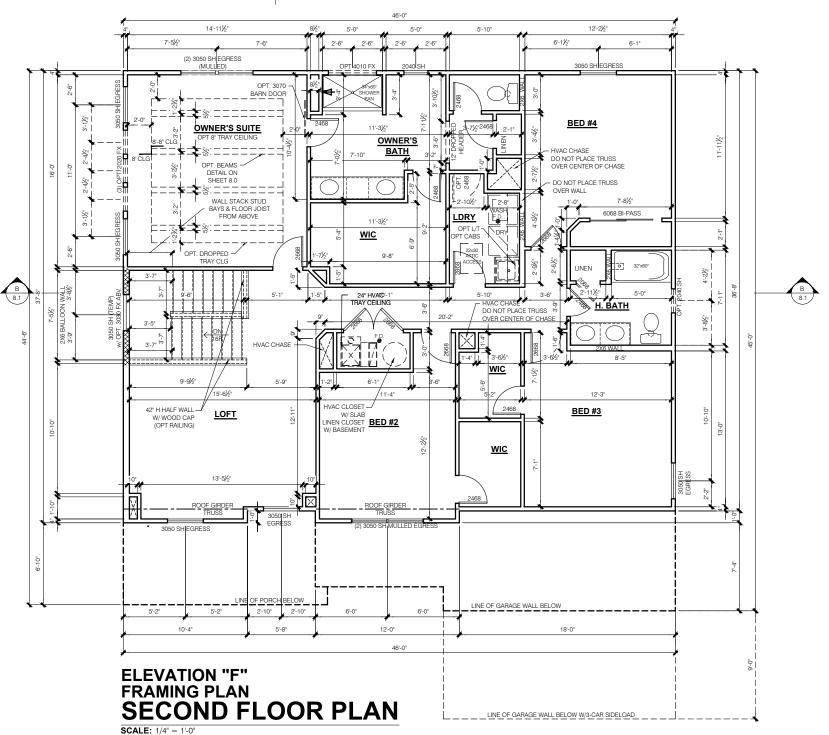
Drake FINAL SET 06/17/22

SCALE

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1st Floor Plan - Slab





#### FLOOR PLAN NOTES

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STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

I Homes Indianapolis Region Architecture Department 25 Woodfield Crossing Blvd. Indianapolis, IN 46240 Ph 317.255.9900 EB  $\overline{\mathbb{S}}$ 

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Drake FINAL SET 06/17/22

SCALE

Job #: \_SP Date: X/X/X SP By: \_SP Rev: Sheet Title

> 2nd Floor Plan Sheet:

#### GENERAL ARCHITECTURAL NOTES

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- THE OUTSIDE
  ALL CLOTHES DRYER EXHAUSTS TO VENT TO
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- WEATHER STRIP ALL ATTIC ACCESSES 15. SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED
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#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY %", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAL LOAD OF THE VENEER ABOVE.
  VENEER OPENINGS SHALL BE SUPPORTED
- ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEE SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR TH FOUNDATION.
- HOUSE WRAP SHALL BE INSTALI FD OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
  ALL BRICK SILLS TO BE SLOPED AWAY FROM
- THE HOUSE A MINIMUM OF 15°. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION
  R402.2. FOUNDATION WALL SHALL HAVE
- DEPTH OF BACKFILL. CONCRETE MASONBY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

THE APPROPRIATE REINFORCEMENT FOR

#### **GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION
- GOVERNING CODE STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



### 2x4 EXTERIOR WALLS

SQUARE FOOTAGE - ELEVATION 'C	3'
1ST FLOOR	1260
2ND FLOOR	1633
TOTAL HEATED	2893
FRONT PORCH	107
3-CAR GARAGE	617
GARAGE STORAGE	+79
OPT VERANDA	140
OPT VERANDA #2	90
OPT FLEX SIDE BAY	+19
OPT 4' EXT AT GATHERING RM & EXT DINING	+99
OPT 4' EXT AT GATHERING RM & MORNING RM	210
OPT 4' EXT AT GATHERING RM	172
OPT 2' EXT AT DINING NOOK	+28
OPT FULL BASEMENT	+1254
OPT PARTIAL BASEMENT	1065
OPT. FINISHED BASEMENT	+109
OPT. FINISHED BASEMENT w/ BATH	+109
OPT. FINISHED BASEMENT w/ BATH & BED	+133

SOLIARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

MILIOMEO		O ON DOINTO
MI HOMES - COMMON ABBREVIATIONS ON PRINTS		
1st - FIRST 2nd - SECOND	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
ALUM - ALUMINUM	KIT - KITCHEN	SH - SINGLE HUNG SHWR - SHOWER
	LDRY - LAUNDRY	SPF - SPRUCE PINE FIR
B/ - BOTTOM BDR - BEDROOM	LOC - LOCATION	SVC - SERVICE SYP - SOUTHERN
BRKFST - BREAKFAST	MANUF or MFR - MANUFACTURER	YELLOW PINE
CATH - CATHEDRAL CONC CONCRETE	MUD - MUDROOM	T/ - TOP TEMP - TEMPERED
• - CENTERLINE	OC - ON CENTER OH - OVERHANG	THK'D - THICKENED TYP - TYPICAL
DBL - DOUBLE DH - DOUBLE HUNG	OPT - OPTIONAL	UNO - UNLESS NOTED
DIA - DIAMETER DN - DOWN	PC - PULL CHAIN PERF - PERFORATED	OTHERWISE
DW - DISH WASHER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
FD - FLOOR DRAIN	PT - PRESSURE	w/ - WITH
FDN - FOUNDATION	TREATED	WD - WOOD
FLR - FLOOR	PTRY - PANTRY	WH - WATER HEATER
FPHB - FROST PROTECTED HOSE BIB	PWD - POWDER ช - PLATE	WIC - WALK IN CLOSET
FTG - FOOTING	R. BATH - RETREAT BATH	
GWB - GYPSUM WALL BOARD	REF - REFRIGERATOR REQ'D - REQUIRED RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

	Sheet Lis	st Table	
Sheet Number		Sheet Number	Sheet Title
0.0D	Cover Sheet	R10.0	Opt Veranda #2 - Fnd Bsmt
1.0G	Front And Garage Elevations	R10.1	Opt Veranda #2 - Plans
1.01G	Front Elevation Brick Garage	R10.2	Opt Veranda #2 - Elevation
1.1G	Rear and Side Elevations	R10.3	Opt Veranda #2 - Opt. Screen Porch
1.2G	2 CarSideload Front And Garage Elevations	R11.0	Opt Morning Room w/ Veranda #2 - Fnd_Bsmt
1.21G	2 CarSideload Front And Garage Brick Elevations	R11.1	Opt Morning Room w/ Veranda #2 - Plans
2.0G	Slab Foundation	R11.2	Opt Morning Room w/ Veranda #2-
2.01G	Slab Foundation - 2 Car Sideload		Elevation
2.02G	Slab Foundation wBrick	R12.0	Opt Veranda w/ Veranda #2 -
2.03G	Slab Foundation wBrick - 2 Car Sideload	D10.1	Fnd_Bsmt
2.1G	Poured Full Basement	R12.1	Opt Veranda w/ Veranda #2 - Plans
2.11G	Poured Full Basement - 2 Car Sideload	R12.2	Opt Veranda w/ Veranda #2- Elevation
2.12G	Poured Full Basement wBrick	R12.3	Opt Veranda w/ Veranda #2 - Opt Screen Porch
2.13G	Poured Full Bsmt wBrick - 2 Car Sideload	R13.0	Opt Gathering Rm Ext / Morning Rm /
2.2G	Finished Basement Plan		Veranda #2 - Fnd_Bsmt
2.21G 2.22G	Finished Basement Plan With Bath Finished Basement Plan With Bath and	R13.1	Opt Gathering Rm Ext / Morning Rm , Veranda #2 - Plans
	Bed	R13.2	Opt Gathering Rm Ext / Morning Rm Veranda #2- Elevation
3.0G 4.0G	1st Floor Subfloor 1st Floor Plan - Slab		
4.0G 4.01G	1st Floor Plan - Slab		
4.01G 4.1G	1st Floor Plan - Basement		
4.1G 4.11G	1st Floor Plan - 2 Car Sideload Bsmt		
4.11G	1st Floor Options		
4.2G	2nd Floor Plan		
6.1G	2nd Floor Options		
M1.0G	1st Floor Plan - Slab Electrical		
M1.1G	1st Floor Plan - Basement Electrical		
M1.2G	1st Floor Options Electrical		
M2.0G	2nd Floor Plan - Electrical		
M2.1G	2nd Floor Options Electrical		
7.0G	Roof Plan - Base Roof		
8.0G	Slab Cross Section A-B		
8.1G	Full Bsmt Cross Section A-B		
R1.0	Opt Veranda - Fnd Bsmt		
R1.1	Opt Veranda - Plans		
R1.2	Opt Veranda - Elevation		
R1.3	Opt Screened Porch- Elevation		
R2.0G	Opt 'G' Garage Storage - Plans		
R2.0.1G	Opt 'G' Garage Storage - Fnd Plans		
R2.1G	Opt 'G' Garage Storage - Elevations		
R5.0	Opt 4' Ext at Gathering Rm - Fnd_Bsmt		
R5.1	Opt 4' Ext At Gathering Rm - Plans		
R5.2	Opt 4' Ext At Gathering Rm - Elevation		
R6.0	Opt 2' Ext at Dining Nook - Fnd_Bsmt		
R6.1	Opt 2' Ext At Dining Nook - Plans		
R6.2	Opt 2' Ext At Dining Nook - Elevation		
R7.0	Opt Morning Room - Fnd_Bsmt		
R7.1	Opt Morning Room - Plans		

R7.2

R8.0

R8.1

R8.2

R9.0

R9.1

Opt Morning Room - Elevation

Opt Ext. Gathering & Dining Room Fnd Bsmt

Opt Ext. Gathering & Dining Room -

Opt Ext. Gathering & Dining Room -

Elevation

Opt Ext. Gathering & Morning Room -

Fnd Bsmt

Opt Ext. Gathering & Morning Room -

Opt Ext. Gathering & Morning Room -

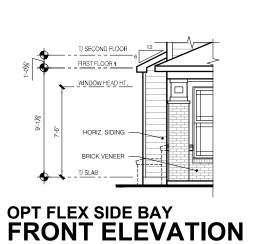
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#2- Elevation  $\overline{\mathbb{S}}$ Я В 뀚 Drake FINAL SET 06/17/22 SCAL

SP Date: X/X/X SP By: SP Rev heet Title

Cover Sheet

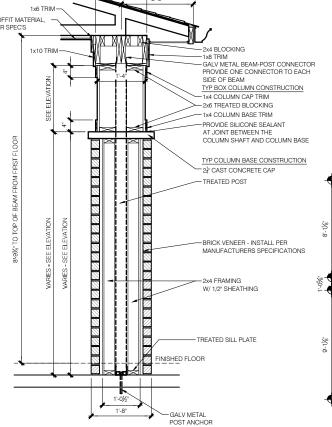
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NOTES
1. ROOF PITCH AT PORCH VARIES VERIFY WITH
SPECIFIC ELEVATION AND ADJUST TRUSS DESIGN AS
REQUIRED

SCALE: 1/4" = 1'-0"

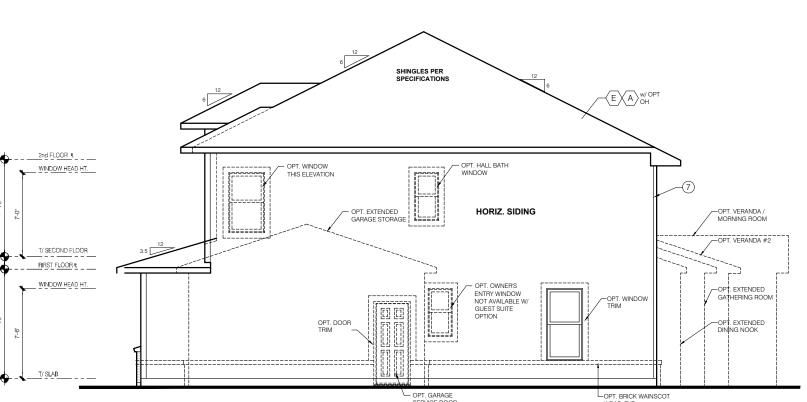
- WHEN ADJUSTING FOR PORCH ROOF PITCH
- WHEN ADJUST TING FOH POHCH HOOF PITCH
  CHANGES, ADJUST TRUSS END-STAND AS NEEDED
  TO ALLOW FOR THE PORCH FASCIA TO STAY
  ALIGNED WITH THE MAIN HOUSE FASCIA
  S STRUCTURAL HEADER MAY VARY SEE STRUCTURAL
  INFORMATION BY OTHERS. ADJUST TRUSS END-STAND AS NEEDED TO ALLOW FOR THE PORCH FASCIA TO STAY ALIGNED WITH THE MAIN HOUSE

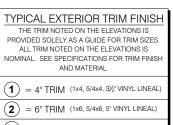


**COLUMN** 

**SCALE:** 3/4" = 1'-0"







(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)**(4)** = 10" TRIM

**(5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVSION

(7) REAR CORNERS = 4"TRIM PER DIMSION

#### **DIVISION NOTE:**

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IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

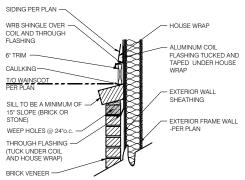
#### WINDOW GRIDS

-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT





SCAL

Job #: SP Date: X/X/X SP By: Sheet Title Front And Garage

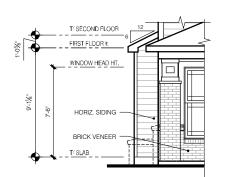
Drake FINAL SET 06/17/22

Elevations

ELEVATION "G"

GARAGE SIDE ELEVATION 1.0G





OPT FLEX SIDE BAY FRONT ELEVATION

TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

(**5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVSIÓN

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#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS
PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATION

#### ELEVATION

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GARAGE DOOR WINDOWS
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT SERIES ЭE RES<sup>-</sup>

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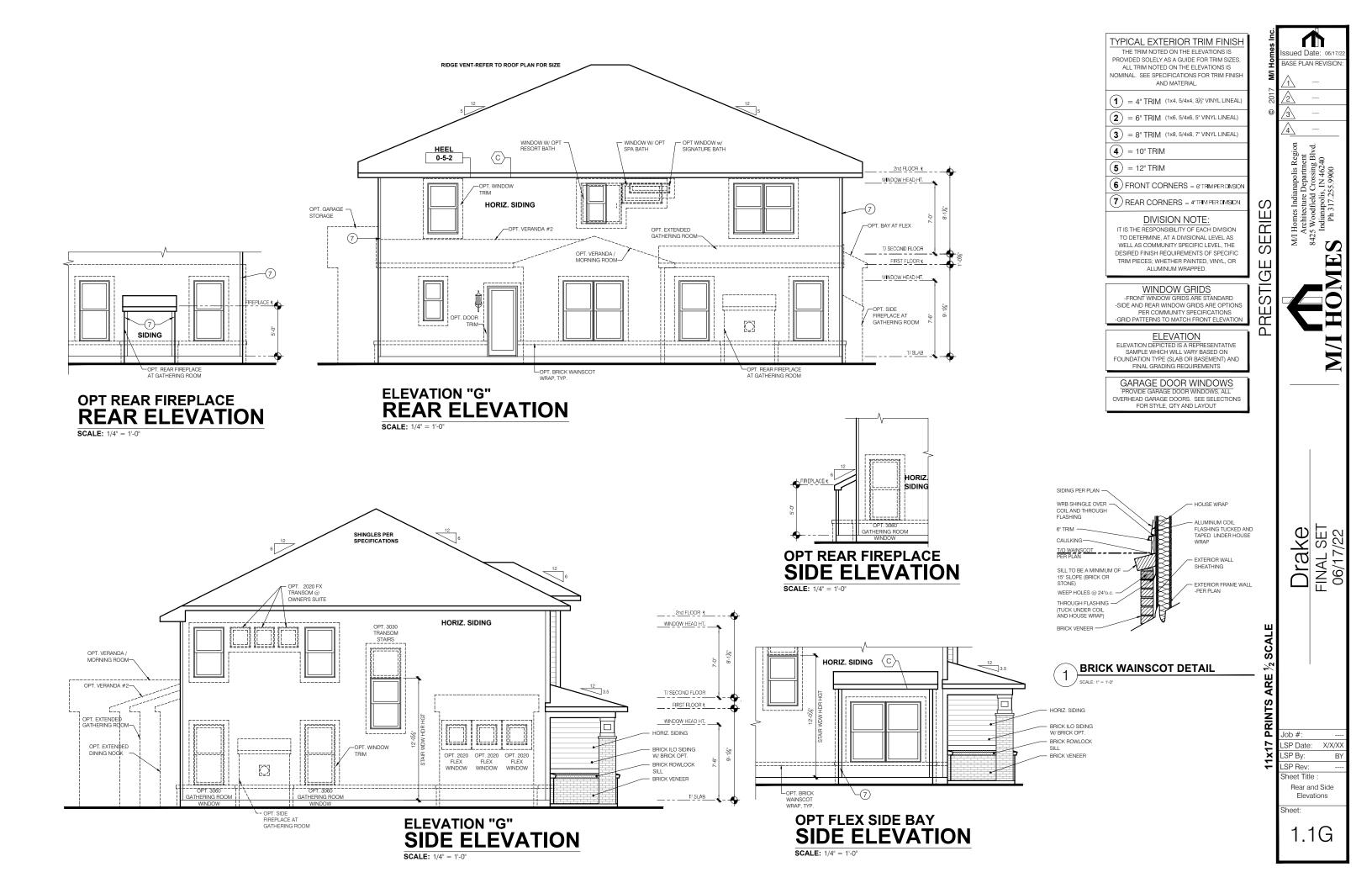
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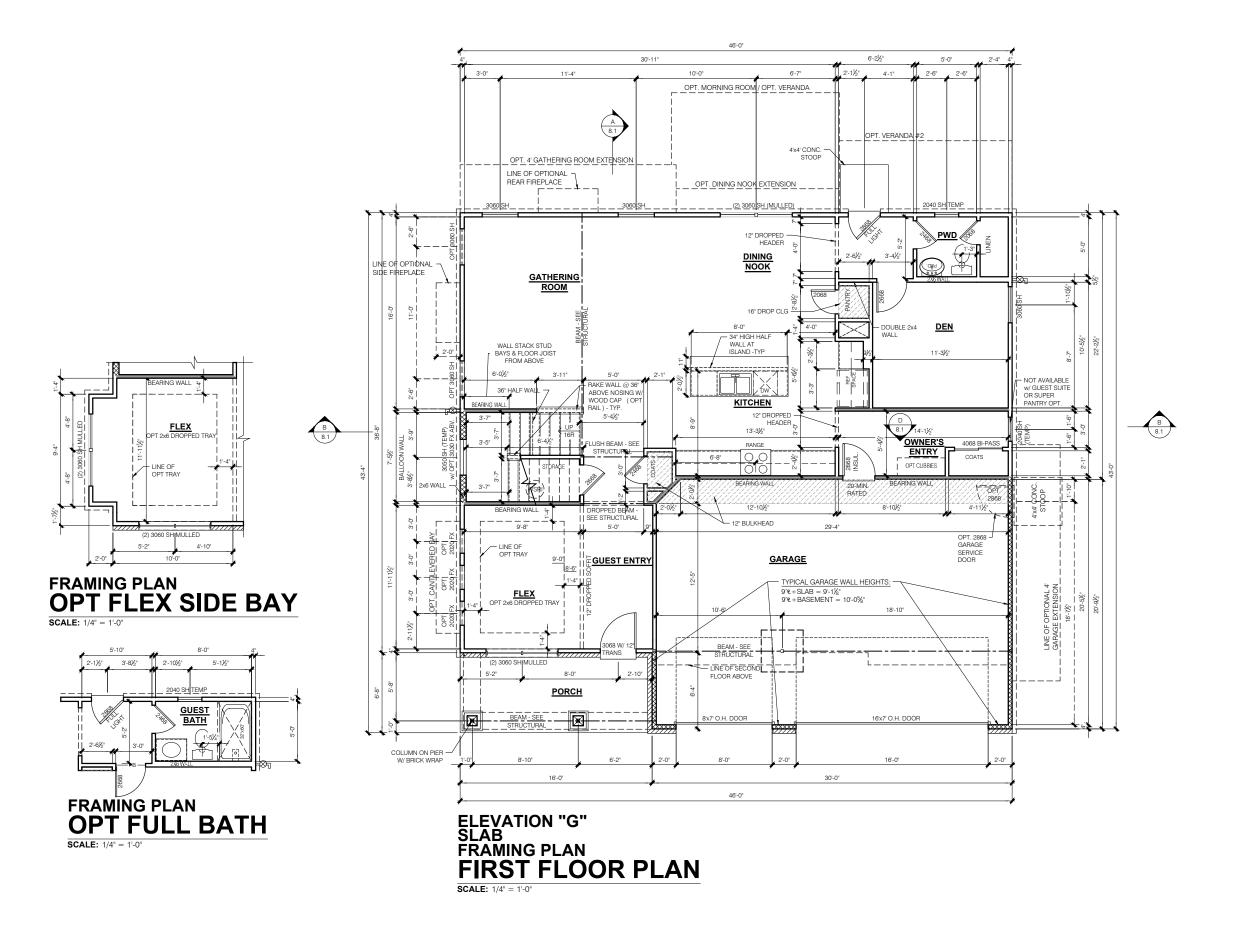
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LSP Rev: Sheet Title Front And Garage

Elevations Brick

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FLOOR PLAN NOTES

NOTE:

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED - INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16° O.C.(2x4), 24° O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS 1SI FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTED OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7-0" UNLESS NOTED OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL VILDORITY MEMORY TO SUMPRISE SEED.

- ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT WEMBER OR FOUNDATION.

  EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/ ½" NOMINAL SHEATHING U.N.O. (4"). STUDS © 16" O.C. U.N.O.

  WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.

EXTERIOR WALLS ARE SHOWN WITH ½" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

#### GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE ½" GWB. CEILING TO BE 5" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

> STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR AL STRUCTURAL INFORMATION

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SCALE

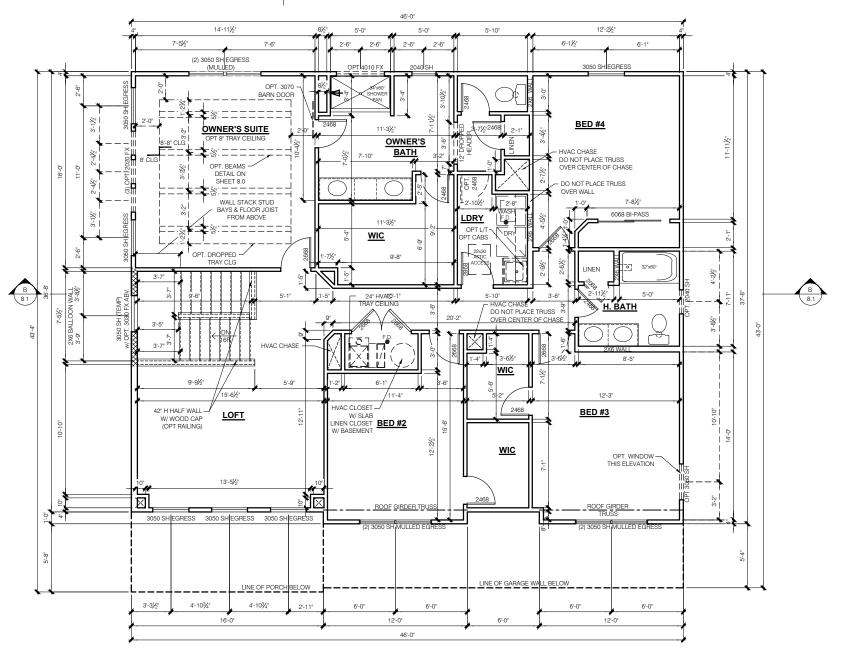
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1st Floor Plan - Slab

4.0G

Sheet





**ELEVATION "G"** FRAMING PLAN **SECOND FLOOR PLAN SCALE:** 1/4" = 1'-0"

FLOOR PLAN NOTES

NOTE: - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16° O.C.(2x4), 24° O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS

- 1st FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS NOTED OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7-0" UNLESS NOTED OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION. EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/ ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 10" NOMINAL STUDS @ 10" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 10" NOMINAL STUDS @ 10" N
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3½")

EXTERIOR WALLS ARE SHOWN WITH K NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

#### GARAGE DRYWALL NOTE

ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$  GWB. CEILING TO BE  $\frac{5}{8}$  TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

#### GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR AL STRUCTURAL INFORMATION BASE PLAN REVISIO

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Job #: \_SP Date: X/X/X SP By: \_SP Rev: Sheet Title

2nd Floor Plan

Sheet:

6.0G

#### GENERAL ARCHITECTURAL NOTES

- ALL BATHROOM EXHAUST FANS TO VENT TO
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-DEDUCT FOR EACH 90° ELBOW.
  CONTRACTOR TO VERIFY INSTALLATION
- LOCATION PRIOR TO INSTALL.

  INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING LINIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
  CROSS-VENTILATION OR VAPOR BARRIER.
- INDIANA PLUMBING CODE

  ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE
- TEMPERED PER CODE SECTION 210.8. ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A
- CLEAR HEIGHT OF OVER 30 INCHES. GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, BAISED SURFACES
- LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE. HANDRAILS HAVE A MINIMUM AND MAXIMUM
- HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIE PORTION SHALL NOT BE MORE THAN 21/4 INCHES IN CROSS SECTION DIMENSION OF AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE BOOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION THAN ½" GYPSUM BOARD OR FOUIVALENT
- MINUTE FIRE RATED DOORS. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND

RESIDENCE SHALL BE EQUIPPED WITH 20

- 13. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ½", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHAL SUPPORT NOT MORE THAN 2% SQUARE MINIMUM OF 1" CLEAR SPACE BEHIND
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAL LOAD OF THE VENEER ABOVE.
  VENEER OPENINGS SHALL BE SUPPORTED

VENEER.

- ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A
  MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL B INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE. ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE BEINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL

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- STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

M/I HOMES PRESENTS Glendale Elevation "E"
Lievation L
Owner's Name
CONSTRUCTION SET 06/17/2022

1st - FIRST

2nd - SECOND

B/ - BOTTOM

**BDR - BEDROOM** 

& - CENTERLINE

DBL - DOUBLE

DIA - DIAMETER

FD - FLOOR DRAIN

HOSE BIB

BOARD

DN - DOWN

FIR-FIOOR

FPHB - FROST

FTG - FOOTING

ILO - IN LIEU OF

#### 1ST FLOOR 2ND FLOOR TOTAL HEAT GARAGE GARAGE STOR 3-CAR FRONT PORCH OPT VERANDA OPT FLEX SIDE OPT BED #4 B OPT 4' EXT AT OPT FULL BAS OPT. FINISHE OPT. FINISHED BASEMENT WITH BATH AND BED SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE

HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions			
DATE	C.O #	Description	Drafter

QUARE FOOTAGE - ELEVATION '	E'
	1484
	1668
TED	3152
	469
RAGE	+83
ENTRY GARAGE	+206
	+156
4	112
E BAY	+15
BATH	+62
GATHERING RM	+78
SEMENT	+1307
D BASEMENT	+744
D BASEMENT WITH BATH	+744
D DAGEMENT WITH DATH AND DED	±7//

#### 0.0E 1.0E 1.1E 1.2E 2.0E Slab Foundation 2.1E 2.2E Full Basement Fdn 2.3E 2.4E 2.5E 2.6E 3.0E 1st Floor Subfloor 4.0E 1st Fl Plan - Slab 4.1E 6.0F 2nd Fl Plan - Slab 6.1E M1.0E M1.1E M2.0E M2.1E 7.0F 8.0E 8.1E Section - Misc R1.0 R2.0 R2.0.1 R2.1 R3.0 R3.0.1 R3.1 R4.0 R4.1 R5.0 R5.1 R5.2 2x4 EXTERIOR WALLS R6.0 Veranda - Plans R6.1 Veranda - Plans MI HOMES - COMMON ABBREVIATIONS ON PRINTS R6.2

#### SGD - SLIDING GLASS INCL - INCLUDED DOOR KIT - KITCHEN SH - SINGLE HUNG ALUM - ALUMINUM SHWR - SHOWER LDRY - LAUNDRY SPF - SPRUCE PINE FIR LOC - LOCATION SVC - SERVICE SYP - SOUTHERN **BRKFST - BREAKFAST** MANUF or MFR -YELLOW PINE MANUFACTURER CATH - CATHEDRAL MUD - MUDROOM T/ - TOP TEMP - TEMPERED CONC. - CONCRETE OC - ON CENTER THK'D - THICKENED OH - OVERHANG TYP - TYPICAL OPT - OPTIONAL DH - DOUBLE HUNG UNO - UNLESS NOTED PC - PULL CHAIN OTHERWISE PERF - PERFORATED DW - DISH WASHER PSF - PER SQUARE VIF - VERIFY IN FIELD FOOT PT - PRESSURE w/ - W/ITH FDN - FOUNDATION TREATED WD - WOOD PTRY - PANTRY WH - WATER HEATER PWD - POWDER WIC - WALK IN CLOSET PROTECTED R - PLATE R. BATH - RETREAT BATH REF - REFRIGERATOR GWB - GYPSUM WALL REQ'D - REQUIRED RET - RETREAT H. BATH - HALL BATH RI - ROUGH IN SCH - SCHEDULE



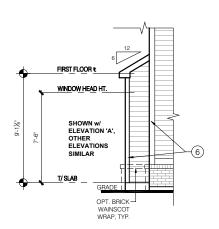
ued Date: 06 BASE PLAN REVISION SERIES M/I Homes I Architect 8425 Woodf RESTIGE Glendale FINAL SET 06/17/22 SCAI INTS 짬 Job #: LSP Date: X/X/XX LSP By: SP Rev heet Title Cover Sheet

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**ELEVATION - E** 

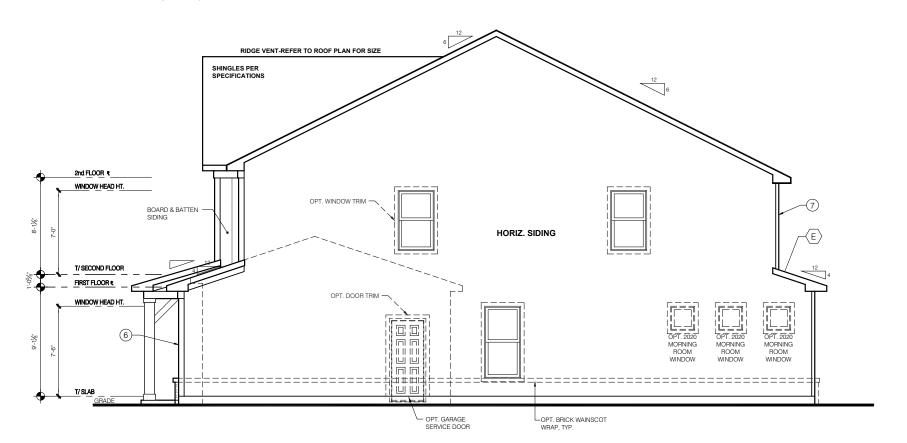
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## OPT FLEX SIDE BAY FRONT ELEVATION

**SCALE:** 1/4" = 1'-0"

## ELEVATION "E" FRONT ELEVATION



# ELEVATION "E" GARAGE SIDE ELEVATION

#### TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

(**5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVSION

7 REAR CORNERS = 4"TRIM PER DIVISION

#### DIVISION NOTE:

TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATIO

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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SERIES

**PRESTIGE** 

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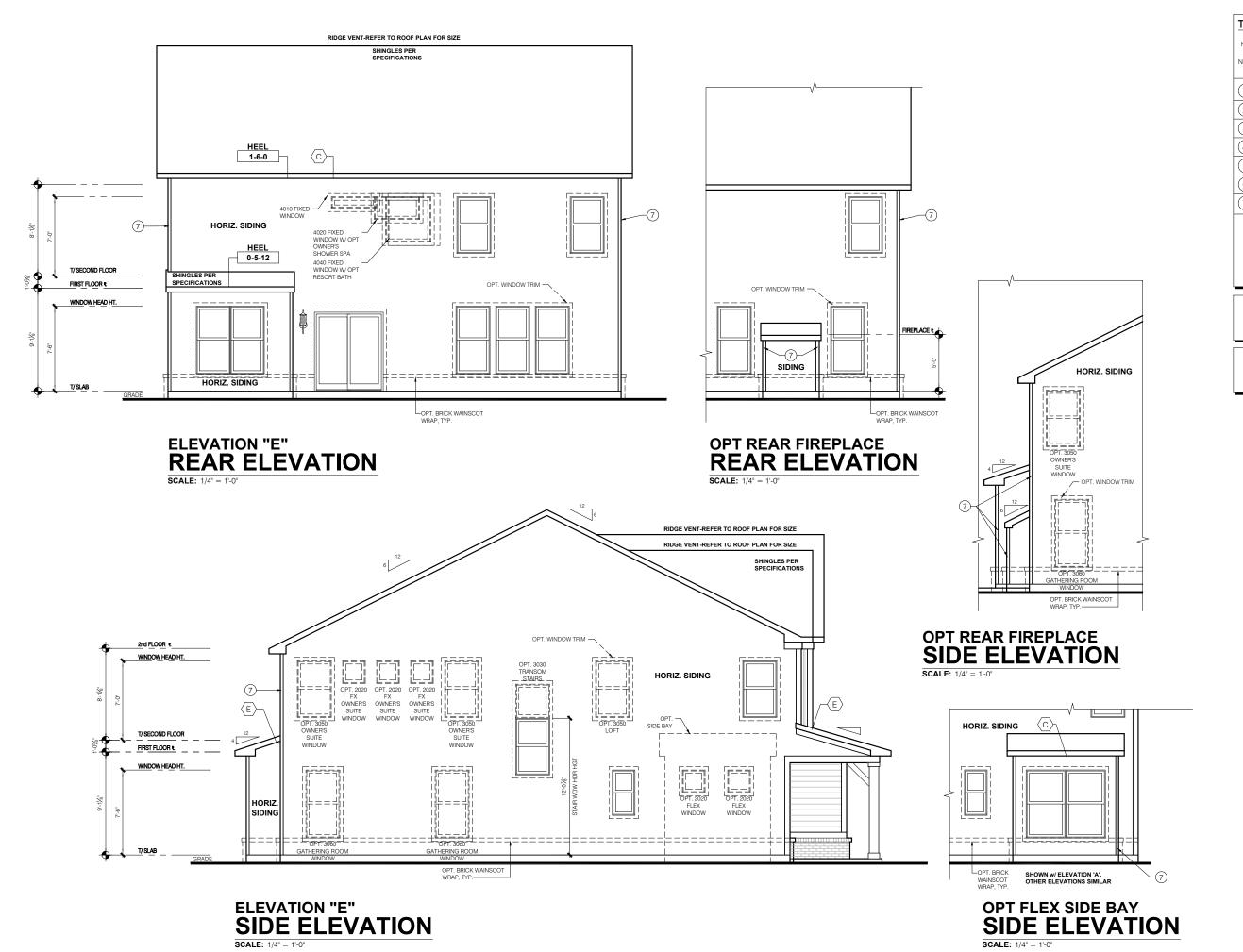
SCALE **PRINTS** 

LSP Date: X/X/XX LSP By:

SP Rev heet Title Front And Garage Elevations

Sheet

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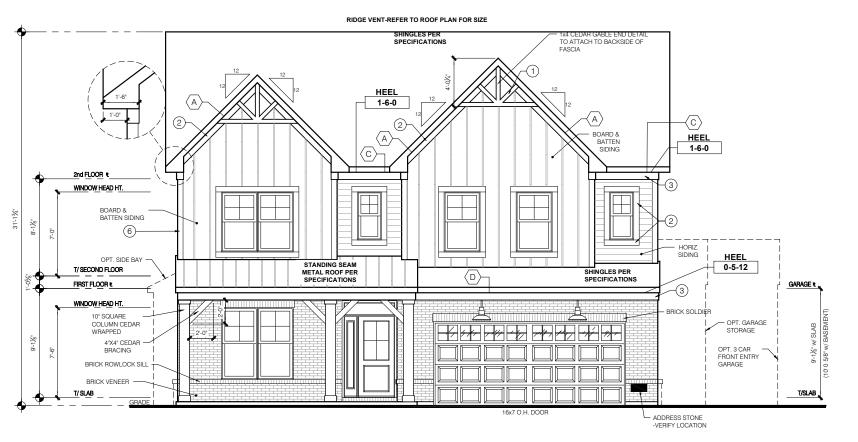
TYPICAL EXTERIOR TRIM FINISH PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ied Date: 06/1 ALL TRIM NOTED ON THE ELEVATIONS IS ASE PLAN REVISION NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL. 1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL (2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL) 3 = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL) **4**) = 10" TRIM M/I Homes Indianapolis Regron Architecture Department 8425 Woodfield Crossing Blvd Indianapolis, IN 46240 Ph 317.255.9900 (**5**) = 12" TRIM (6) FRONT CORNERS = 6"TRIM PER DIVSION (7) REAR CORNERS = 4"TRIM PER DIVISION SERIE **DIVISION NOTE:** IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED. WINDOW GRIDS
-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS
GRID PATTERNS TO MATCH FRONT ELEVATION **ELEVATION** ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS Glendale FINAL SET 06/17/22 SCALE **PRINTS** LSP Date: X/X/XX \_SP By: \_SP Rev:

heet Title : Rear And Side

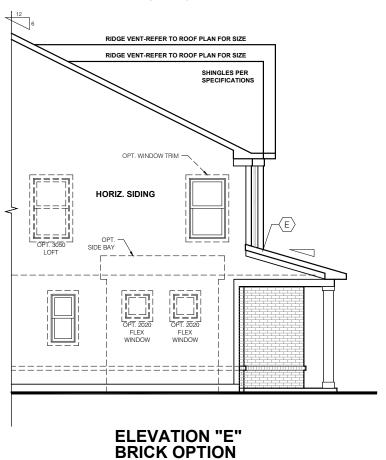
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Elevations

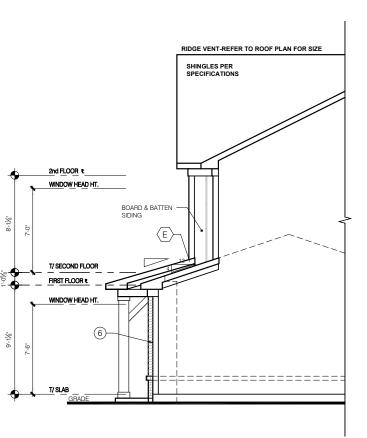
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# ELEVATION "E" BRICK OPTION FRONT ELEVATION



ELEVATION "E"
BRICK OPTION
SIDE ELEVATION **SCALE:** 1/4" = 1'-0"



ELEVATION "E"
BRICK OPTION
GARAGE SIDE ELEVATION

TYPICAL EXTERIOR TRIM FINISH

PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

(**5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVSION

7 REAR CORNERS = 4"TRIM PER DIVISION

#### DIVISION NOTE:

TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATIO

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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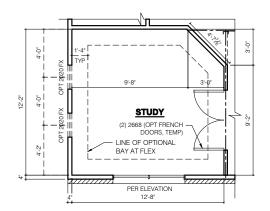
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Front And Garage Elevations

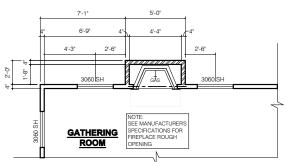
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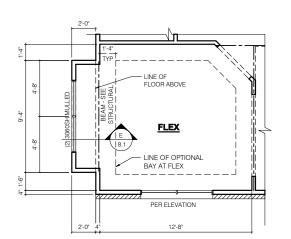


## FRAMING PLAN OPT STUDY

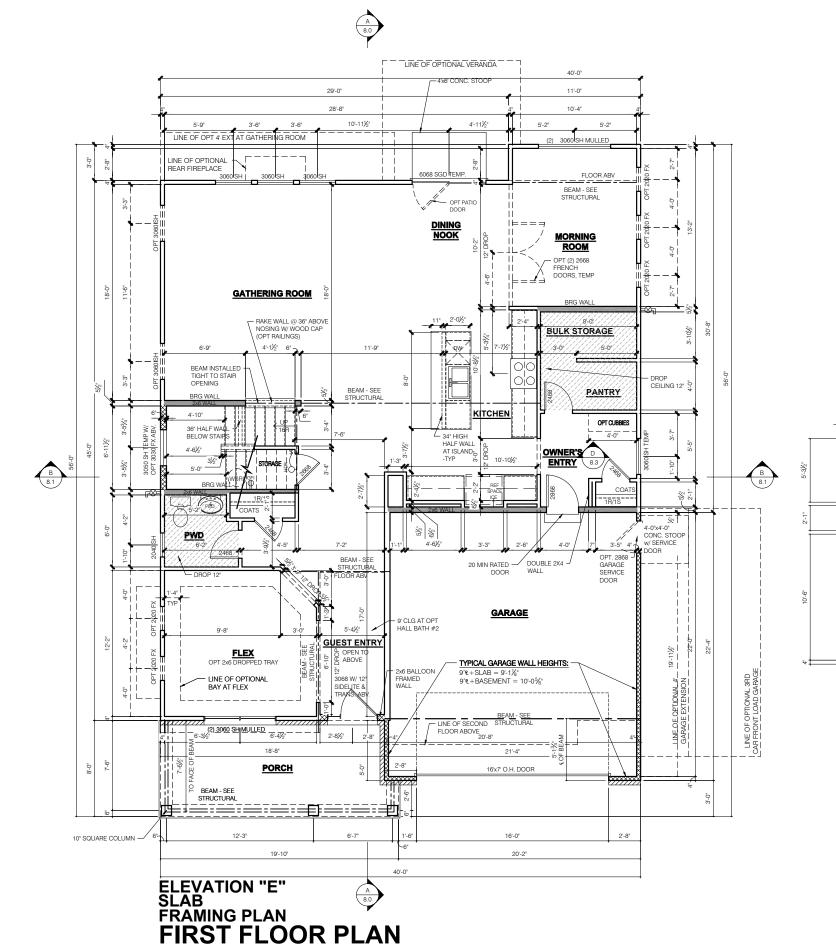
**SCALE:** 1/4" = 1'-0"



#### FRAMING PLAN **OPT REAR FIREPLACE SCALE:** 1/4" = 1'-0"



#### **FRAMING PLAN OPT FLEX SIDE BAY**



FLOOR PLAN NOTES

NOTE:

| MATERIAL | MA

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CTTTT - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

ETTTT - INDICATES INTERIOR LOAD

BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS

2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE

2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS

SEE STRUCTURAL PLANS FOR ALL STRUCTURAL

BEAMS, HEADERS AND POSTS SIZES
ALL POINT LOADS TO BE BLOCKED SOLID TO FINA
SUPPORT MEMBER OR FOUNDATION.
EXTERIOR WALLS AT CONDITIONED SPACES ARE

EXTERIOR WALLS AT CONDITIONS SPACES ARE 2x4's W/X' NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/X' NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.

EXTERIOR WALLS ARE SHOWN WITH ½° NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

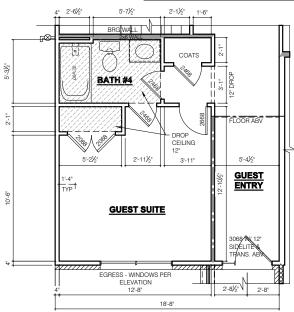
#### GARAGE DRYWALL NOTE

ALL GARAGE / HOUSE COMMON WALLS. CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$  GWB. CEILING TO BE  $\frac{5}{8}$  TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

#### STRUCTURAL NOTE

SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION



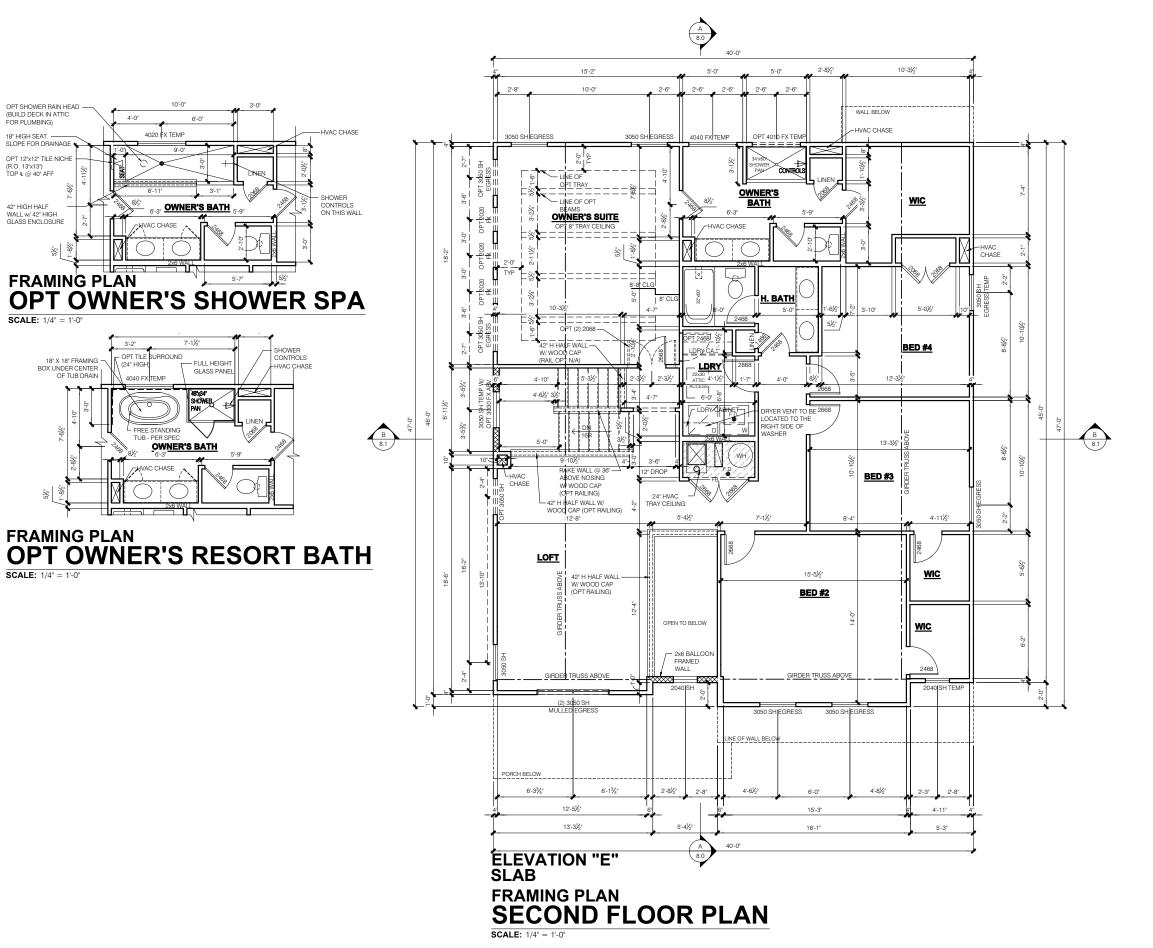
### **FRAMING PLAN OPT GUEST SUITE**

Job #: LSP Date: X/X/X) SP By: SP Rev Sheet Title : 1st Floor Plan - Slat

Glendale FINAL SET 06/17/22

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#### FLOOR PLAN NOTES

NOTE:

CTTTT - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

[\_\_\_\_] - INDICATES SLOPED WALLS - AS

E====3 - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16° O.C.(2x4), 24° O.C.(2x6) W/ DBL. TOP PLATE

1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS

NOTED OTHERWISE 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS

NOTED OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS

NOTED OTHERWISE
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
BEAMS, HEADERS AND POSTS SIZES
ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL

SUPPORT MEMBER OR FOUNDATION. EXTERIOR WALLS AT CONDITIONED SPACES ARE

EXIEMUM WALLS AF CONDITIONED SPACES ARE 2x4's W/½' NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/½' NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL CHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

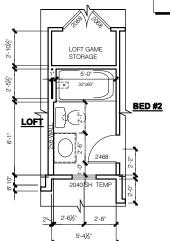
GARAGE DRYWALL NOTE

### ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT

FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE \$\frac{1}{2}\$" GWB. CEILING TO BE \$\frac{1}{2}\$" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION



**ELEVATION "E" FRAMING PLAN OPT BED #2 BATH** 

**SCALE:** 1/4" = 1'-0"

SCALE

Job #: LSP Date: X/X/XX LSP By: LSP Rev: Sheet Title

Glendale FINAL SET 06/17/22

M/I Homes Indianal Architecture De 8425 Woodfield Cr Indianapolis, IP Ph 317.255.

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2nd Floor Plan - Sla

Sheet:

6.0E

#### GENERAL ARCHITECTURAL NOTES

- ALL BATHROOM EXHAUST FANS TO VENT TO
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° ELBOW.
  CONTRACTOR TO VERIFY INSTALLATION
- LOCATION PRIOR TO INSTALL.

  INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING LINIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES

- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER. ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE ANY WINDOW WITHIN 2-0° OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED DEP CODE SECTION 4.0 9. TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, BAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIE PORTION SHALL NOT BE MORE THAN 21/4
  INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE BOOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN  $\frac{1}{2}$  GYPSUM BOARD OR EQUIVALENT. OPENINGS BETWEEN THE GARAGE AND
- MINUTE FIRE RATED DOORS. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND

RESIDENCE SHALL BE EQUIPPED WITH 20

- 13. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH
- WEATHER STRIP ALL ATTIC ACCESSES
   SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE

THE ROOF.

RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES

MINIMUM OF 1" CLEAR SPACE BEHIND

VENEER.

- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ½", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION HORIZONTALLY AND VERCALLY AND SHAL SUPPORT NOT MORE THAN 2% SQUARE SHALL GOVERN GOVERNING CODE:
  - 2009 INDIANA ELECTRICAL CODE

**GENERAL NOTES** 

- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAL LOAD OF THE VENEER ABOVE.
  VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS.
- LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES. MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A
  MOVEMENT JOINT SEPARATING THE VENEER
- SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION. HOUSE WRAP SHALL BE INSTALLED OVER
- SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE. WEEP HOLES WITH BRICK VENEER SHALL B
- INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE. ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE BEINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL

## GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE

SQUARE FOOTAGE - ELEVATION 'I	F'
1ST FLOOR	1484
2ND FLOOR	1668
TOTAL HEATED	3152
GARAGE	469
GARAGE STORAGE	+83
3-CAR FRONT ENTRY GARAGE	+206
PORCH	+123
OPT VERANDA	112
OPT FLEX SIDE BAY	+15
OPT BED #4 BATH	+62
OPT 4' EXT AT GATHERING RM	+78
OPT FULL BASEMENT	+1307
OPT. FINISHED BASEMENT	+744
OPT. FINISHED BASEMENT WITH BATH	+744
OPT. FINISHED BASEMENT WITH BATH AND BED	+744
SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE	

HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions			
DATE	C.O #	Description	Drafter



#### 2x4 EXTERIOR WALLS

MI HOMES -	COMMON ABBREVIATION	S ON PRINTS
1st - FIRST 2nd - SECOND	INCL - INCLUDED	SGD - SLIDING GLASS
ZIId - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM		SHWR - SHOWER
, ,	LDRY - LAUNDRY	SPF - SPRUCE PINE FIE
B/ - BOTTOM	LDRY - LAUNDRY LOC - LOCATION	SVC - SERVICE
BDR - BEDROOM		SYP - SOUTHERN
BRKFST - BREAKFAST		YELLOW PINE
	MANUFACTURER	
CATH - CATHEDRAL	MUD - MUDROOM	T/ - TOP
CONC CONCRETE	OO ON OFNITED	TEMP - TEMPERED
€ - CENTERLINE	OC - ON CENTER OH - OVERHANG	THK'D - THICKENED
DBL - DOUBLE	OPT - OPTIONAL	TYP - TYPICAL
DH - DOUBLE HUNG	OFT - OF HONAL	UNO - UNLESS NOTED
DIA - DIAMETER	PC - PULL CHAIN	OTHERWISE
DN - DOWN	PERF - PERFORATED	OTTENWISE
DW - DISH WASHER	PSF - PER SQUARE	VIF - VERIFY IN FIELD
	FOOT	
FD - FLOOR DRAIN		w/ - WITH
FDN - FOUNDATION	TREATED	WD - WOOD
FLR - FLOOR		WH - WATER HEATER
FPHB - FROST		WIC - WALK IN CLOSE
THOTEOTED	ዊ - PLATE	
HOSE BIB FTG - FOOTING	R. BATH - RETREAT	
ria-ruuiina	R. BATH - RETREAT BATH	
GWB - GYPSLIM WALL	REF - REFRIGERATOR	
	REQ'D - REQUIRED	
	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

	Sheet List Table
Sheet Number	Sheet Title
0.0F	Cover Sheet Indianapolis
1.0F	Front and Garage Elevations
1.1F	Rear and Side Elevations
1.2F	Front Elevation w/ Brick Options
2.0F	Slab Foundation
2.1F	Slab Foundation - Brick Wrap
2.2F	Full Basement Fdn
2.3F	Full Basement Fdn - Brick Wrap
2.4F	Finished Basement Plan
2.5F	Finished Basement With Bath Plan
2.6F	Finished Basement With Bath and Bed Plan
3.0F	1st Floor Subfloor
4.0F	1st Fl Plan - Slab
4.1F	1st Fl Plan - Basement
6.0F	2nd Fl Plan - Slab
6.1F	2nd Fl Plan - Basement
M1.0F	1st Fl MEP Plan - Slab
M1.1F	1st FI MEP Plan - Basement
M2.0F	2nd Fl MEP Plan - Slab
M2.1F	2nd Fl MEP Plan - Basement
7.0F	Roof Plan - Base Roof
8.0F	Section - Building at Slab
8.1F	Section - Building at Full Basement
8.2	Section - Misc
R1.0	Non-Structural Options
R2.0	Optional Garage Storage - Plans
R2.0.1	Optional Garage Storage - Brick Wrap - Plans
R2.1	Optional Garage Storage - Elevations
R3.0	Optional 3-Car Front Entry Garage - Plans
R3.0.1	Optional 3-Car Front Entry Garage - Brick Wrap - Plans
R3.1	Optional 3-Car Front Entry Garage - Elevations
R4.0	Optional 2-Car Side Entry Garage - Plans
R4.1	Optional 2-Car Side Entry Garage - Elevations
R5.0	Optional 4' Ext. At Gathering Rm - Plans
R5.1	Optional 4' Ext. At Gathering Rm - Plans
R5.2	Optional 4' Ext. At Gathering Rm - Elevations
R6.0	Optional 4' Ext. At Gathering Rm w/
110.0	Veranda - Plans
R6.1	Optional 4' Ext. At Gathering Rm w/ Veranda - Plans
R6.2	Optional 4' Ext. At Gathering Rm w/ Veranda - Elevations
R7.0	Optional Veranda
R7.1	Optional Veranda With Screen
R8.0	Optional Sunroom

☐ Shoot List Table

ued Date: 06/ BASE PLAN REVISION SERIES RESTIGE Glendale FINAL SET 06/17/22

Job #:

LSP Date: X/X/XX LSP By: SP Rev Sheet Title : Cover Sheet Indianapolis

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**ELEVATION - F** 



### OPT FLEX SIDE BAY FRONT ELEVATION **SCALE:** 1/4" = 1'-0"

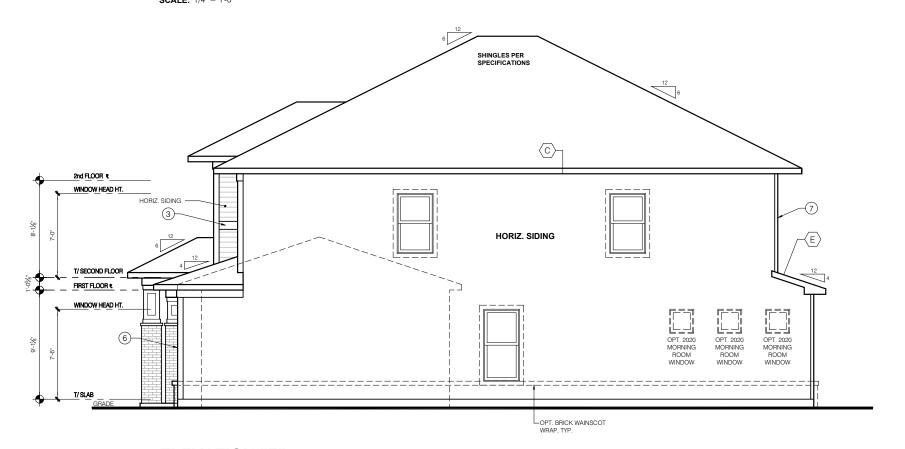
OPT. BRICK WAINSCOT WRAP, TYP.

SHOWN w/ ELEVATION 'A', OTHER ELEVATIONS

## ELEVATION "F" FRONT ELEVATION

SIDING PER PLAN -HOUSE WRAP COIL AND THROUGH FLASHING ALUMINUM COIL 6" TRIM FLASHING TUCKED AND TAPED UNDER HOUSE CAULKING EXTERIOR WALL SILL TO BE A MINIMUM OF EXTERIOR FRAME WALL WEEP HOLES @ 24"o. -PER PLAN THROUGH FLASHING (TUCK UNDER COIL

**BRICK WAINSCOT DETAIL** 



ELEVATION "F"

GARAGE SIDE ELEVATION

TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

(**5**) = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVSION

7 REAR CORNERS = 4"TRIM PER DIVISION

#### DIVISION NOTE:

TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATIO

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

ed Date: 06/1 ASE PLAN REVISION

SERIES

**PRESTIGE** 

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Glendale FINAL SET 06/17/22

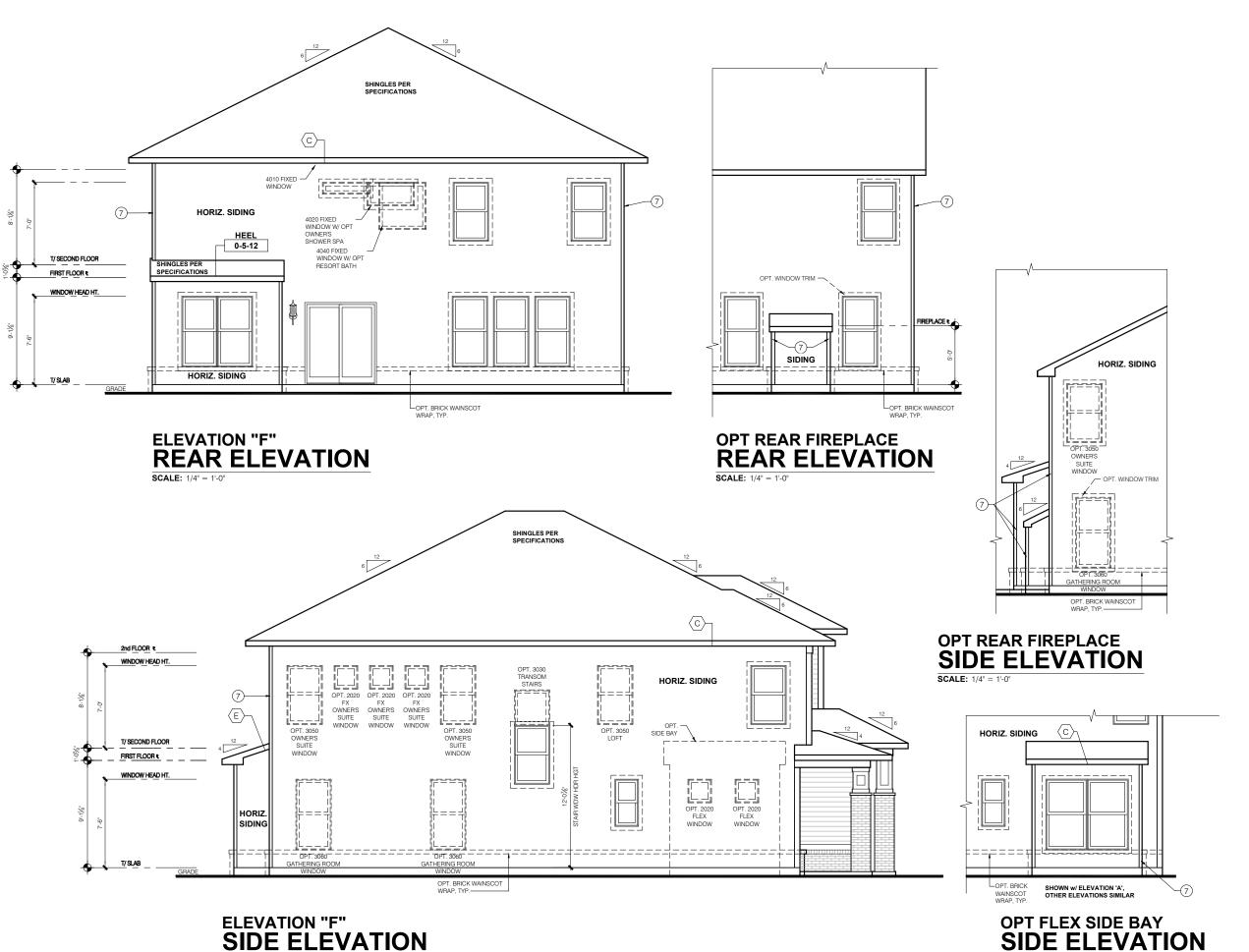
**PRINTS** 

SCALE

LSP Date: X/X/XX \_SP By:

SP Rev heet Title Front And Garage Elevations

Sheet



**SCALE:** 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ied Date: 06/1 ALL TRIM NOTED ON THE ELEVATIONS IS ASE PLAN REVISION NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL. 1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL (2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL) 3 = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL) **4**) = 10" TRIM M/I Homes Indianapolis Region Architecture Department 8425 Woodfield Crossing Blvd Indianapolis, IN 46240 Ph 317.255.9900 (**5**) = 12" TRIM (6) FRONT CORNERS = 6"TRIM PER DIVSION (7) REAR CORNERS = 4"TRIM PER DIVISION SERIES **DIVISION NOTE:** IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED. WINDOW GRIDS
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**SCALE:** 1/4" = 1'-0"

LSP By: \_SP Rev:

heet Title Rear And Side Elevations

Sheet

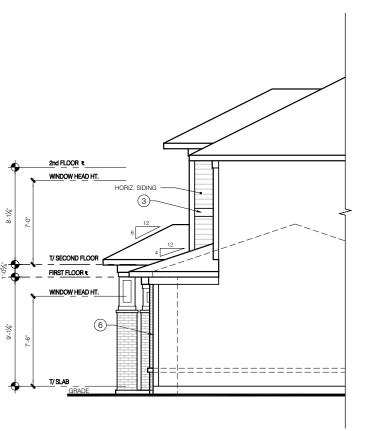
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# ELEVATION "F" BRICK OPTION FRONT ELEVATION

(C)-HORIZ. SIDING OPT. SIDE BAY الليا OPT. 2020 FLEX OPT. 2020 FLEX

ELEVATION "F"
BRICK OPTION
SIDE ELEVATION **SCALE:** 1/4" = 1'-0"



ELEVATION "F"
BRICK OPTION
GARAGE SIDE ELEVATION **SCALE:** 1/4" = 1'-0"

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Glendale FINAL SET 06/17/22

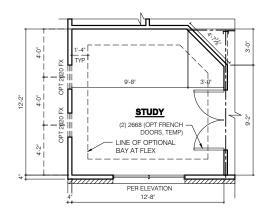
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LSP Date: X/X/XX \_SP By: \_SP Rev:

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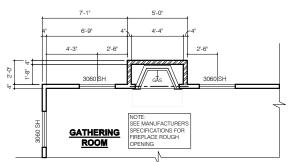
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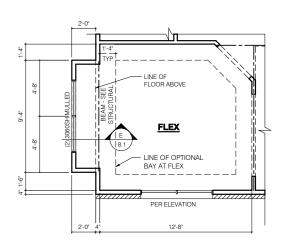


## FRAMING PLAN OPT STUDY

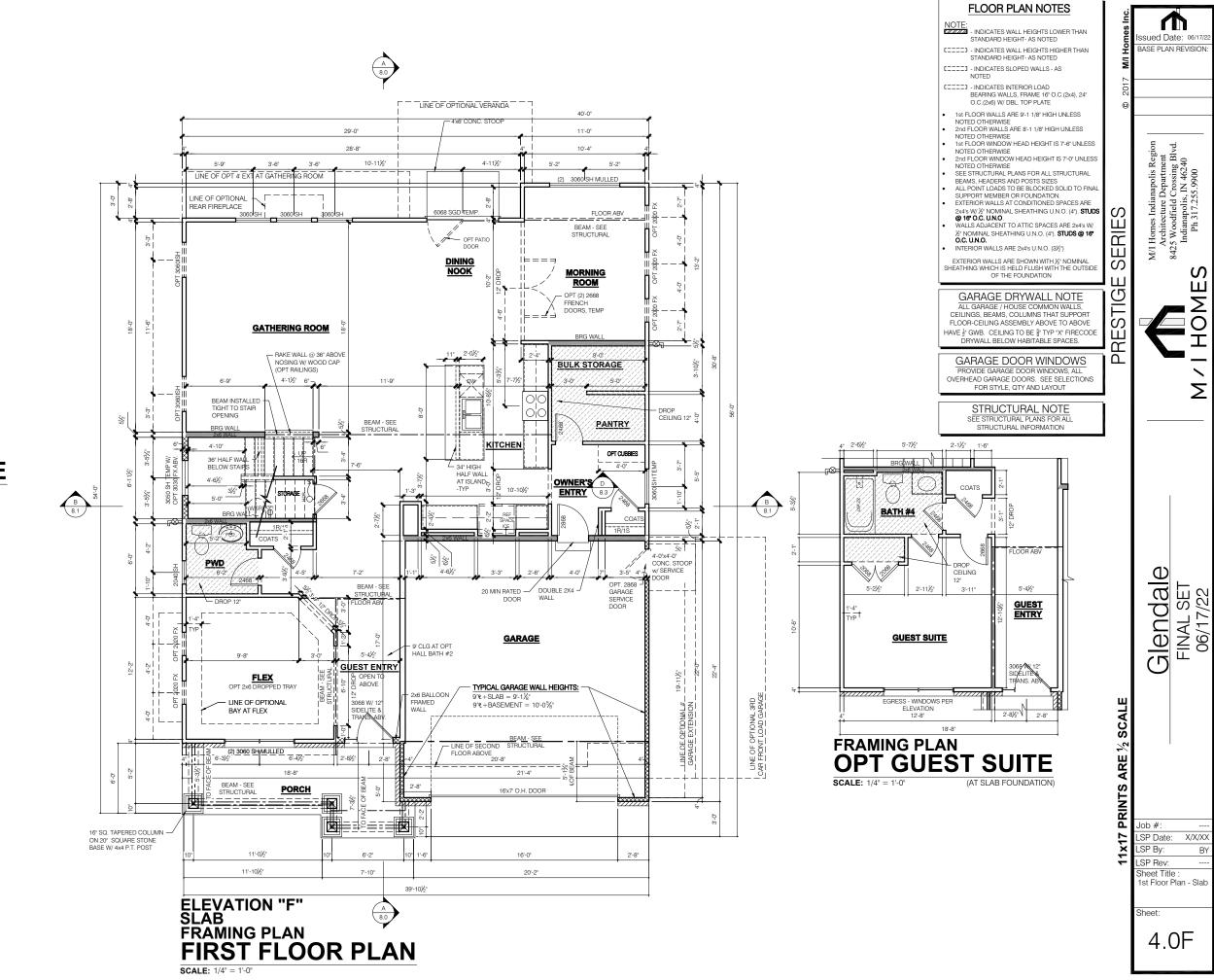
**SCALE:** 1/4" = 1'-0"



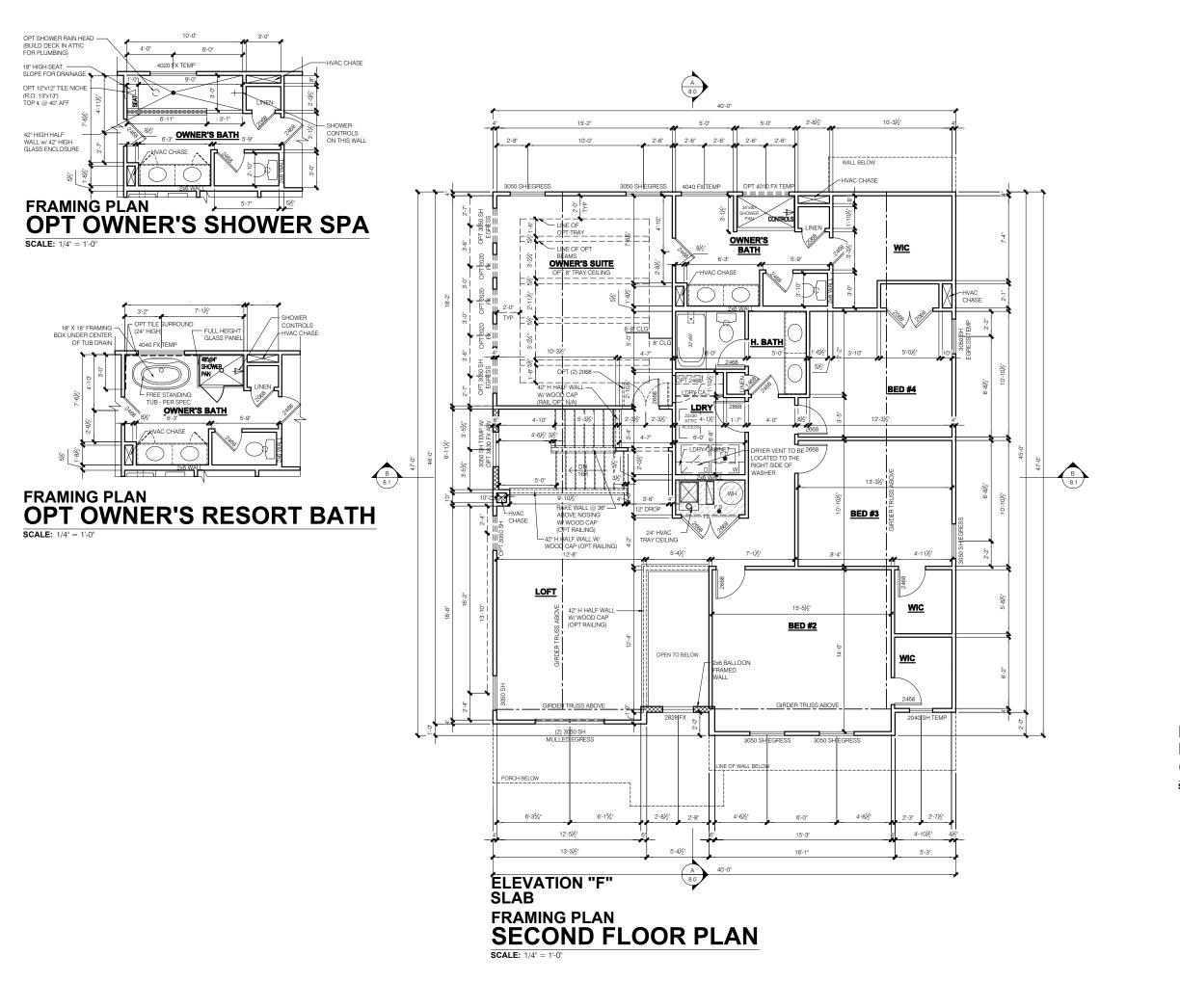
#### FRAMING PLAN **OPT REAR FIREPLACE SCALE:** 1/4" = 1'-0"



#### **FRAMING PLAN OPT FLEX SIDE BAY**



X/X/X)



FLOOR PLAN NOTES

NOTE: - INDICATES WALL HEIGHTS LOWER THAN

BASE PLAN REVISION

M/I Homes Indiana Architecture De 8425 Woodfield Cr Indianapolis, IP Ph 317.255.

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CTTTT - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

[\_\_\_\_] - INDICATES SLOPED WALLS - AS

C===3 - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE

NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE

2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS

NOTED OTHERWISE

NOTED OTHERWISE
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
BEAMS, HEADERS AND POSTS SIZES
ALL POINT LOADS TO BE BLOCKED SOLID TO FINA
SUPPORT MEMBER OR FOUNDATION.
EXTERIOR WALLS AT CONDITIONED SPACES ARE

EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/F. NOMINAL SHEATHING U.N.O. (4'). STUDS @ 16' O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/F. NOMINAL SHEATHING U.N.O. (4'). STUDS @ 16' O.C. U.N.O.

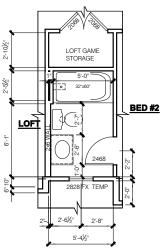
INTERIOR WALLS ARE 2x4's U.N.O. (3½")

EXTERIOR WALLS ARE SHOWN WITH ½" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE & GWB. CEILING TO BE & TYP "X" FIRECODE

DRYWALL BELOW HABITABLE SPACES. GARAGE DOOR WINDOWS OVERHEAD GARAGE DOORS. SEE SELECTION FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION



**ELEVATION "F"** FRAMING PLAN
OPT BED #2 BATH

**SCALE:** 1/4" = 1'-0"

Job #: LSP Date: X/X/XX SP By: SP Rev: Sheet Title 2nd Floor Plan - Slat

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Glendale FINAL SET 06/17/22

Sheet:

#### **GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER
  EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316. ENCLOSED, INSULATED RAFTER SPACES
- SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE
- INDIANA PLUMBING CODE

  ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES AROVE BE POSITIONED AS TO NOT ALLOW THE
- PASSAGE OF A 4" SPHERE.
  HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED TREAD, HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 21/4 INCHES IN CROSS SECTION DIMENSION OF AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR FOUIVALENT
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND
- THE ROOF SPACE.
  CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY  $\frac{7}{8}$ , CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2 % SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.

  MASONRY VENEER SUPPORTED BY WOOD
- OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE
- FOUNDATION.
  HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401 1 1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKELL
- WATERPROOFING SHALL BE PER SECTION. R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

#### GENERAL NOTES

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

SQUARE FOOTAGE - ELEV "F"			
1ST FLOOR	1475		
2ND FLOOR	1928		
TOTAL HEATED	3403		
FRONT PORCH	102		
GARAGE	656		
OPT. CARRIAGE GARAGE	+240		
OPT. GARAGE STORAGE	+75		
OPT. FULL BASEMENT	+1392		
OPT. FINISHED BASEMENT	+971		
OPT. FINISHED BASEMENT W/ BATH	+971		
OPT. FINISHED BASEMENT W/ BATH AND BED	+971		
NOOK BAY	+23		
MORNING ROOM	+137		
2 CAR SIDE ENTRY GARAGE (ADD TO GARAGE)	+25		
4FTGATHERING ROOM EXTENSION	+90		
4FT DEN/GUEST SUITE EXTENSION	+60		
OPT VERANDA (NON-HEATED)	+137		

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions			
DATE	C.O #	Description	Drafter



### 2x4 EXTERIOR WALLS

ONS ON PRINTS
SGD - SLIDING GLASS DOOR
SH - SINGLE HUNG SHWR - SHOWER
SPF - SPRUCE PINE FIR
SVC - SERVICE
SYP - SOUTHERN
YELLOW PINE
T/ - TOP
TEMP - TEMPERED
THK'D - THICKENED
TYP - TYPICAL
UNO - UNLESS NOTED
OTHERWISE
VIF - VERIFY IN FIELD
w/ - WITH
WD - WOOD
WH - WATER HEATER
WIC - WALK IN CLOSET



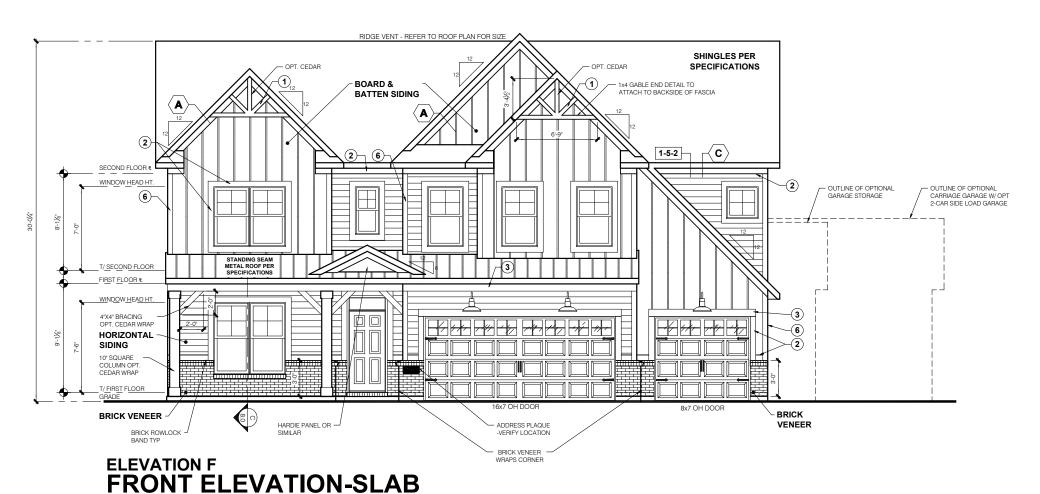
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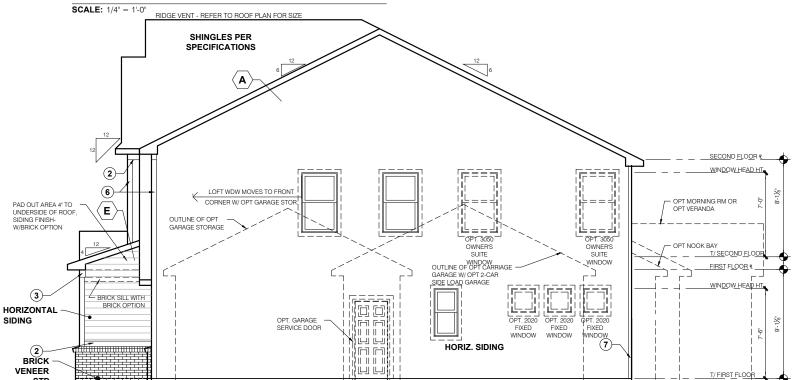
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Sheet:

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Elevation - F





ELEVATION F
GARAGE SIDE ELEVATION-SLAB

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FOR STYLE, QTY AND LAYOUT

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M// Homes Indianapolis

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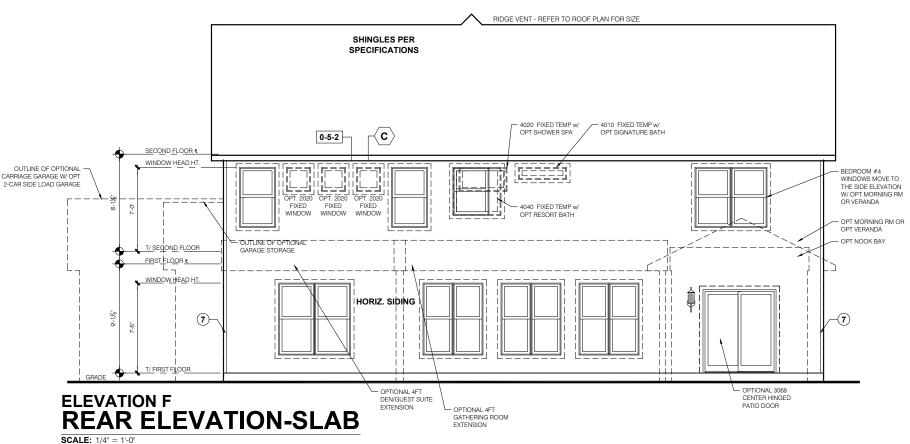
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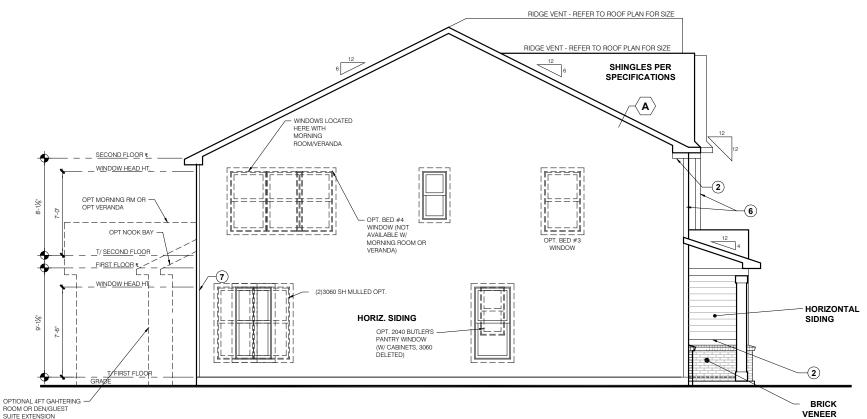
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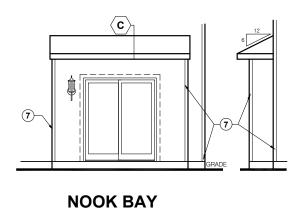
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Front and Garage
Elevations

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ELEVATION F
SIDE ELEVATION-SLAB



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ued Date: 06/17

BASE PLAN REVISION

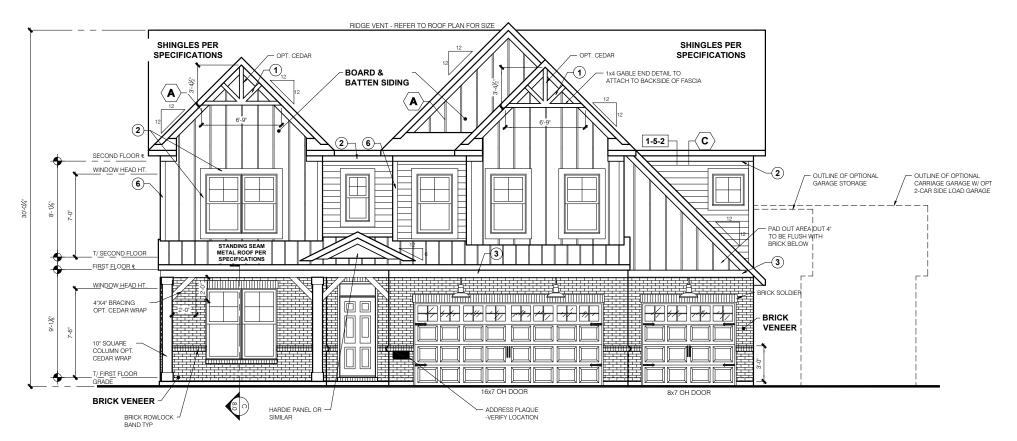
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11x17 PRINTS

Job #: LSP Date: \_SP By: SP Rev: ####

Sheet Title : Rear and Side Elevations





## **OPTIONAL BRICK FRONT** ELEVATION F-"FARMHOUSE" FRONT ELEVATION-BASEMENT

**SCALE:** 1/4" = 1'-0"

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OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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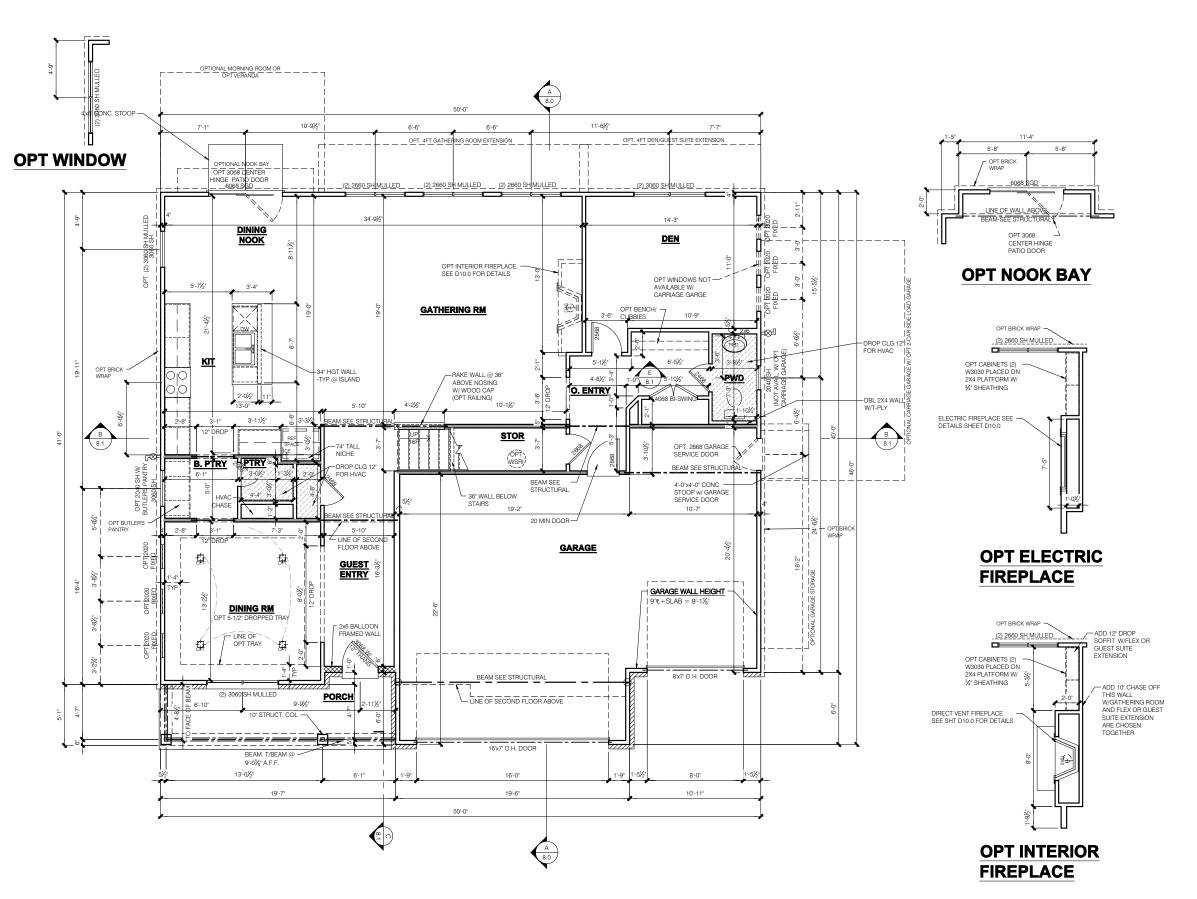
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heet Title : Front Elevation Material Opt

Sheet:

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ELEVATION "F"
FRAMING PLAN
FIRST FLOOR PLAN - SLAB **SCALE:** 1/4" = 1'-0"

FLOOR PLAN NOTES

NOTE: - INDICATES WALL HEIGHTS LOWER THAN

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED - INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

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NOI LD OTHERWISE 20 AF LOOR WINDOW HEAD HEIGHT IS 7-0' UNLESS NOTED OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION. EXTERIOR WALLS AT CONDITIONED SPACES ARE

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EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL CHEATHING WHICH IS HELD FLUSH WITH THE OUTSID

OF THE FOUNDATION

GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE ½" GWB. CEILING TO BE §" TYP "X" FIRECODE

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS

FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

ssued Date: 06/17 BASE PLAN REVISION

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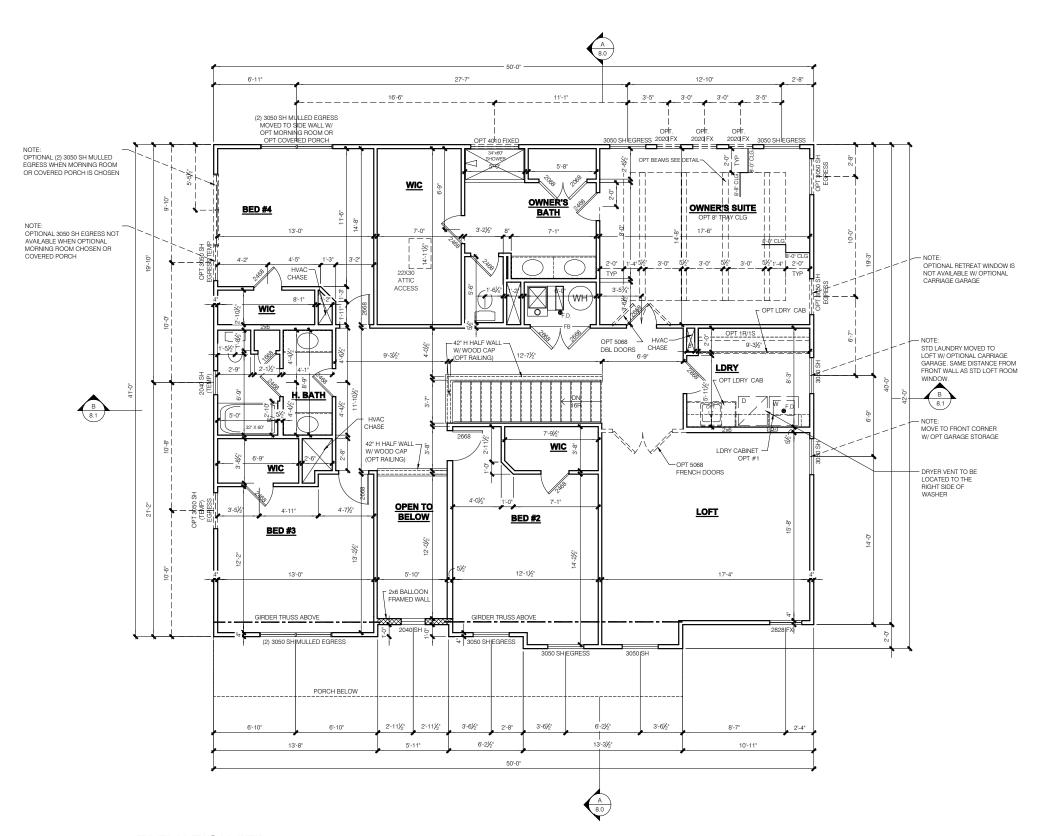
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ELEVATION "F"
FRAMING PLAN
SECOND FLOOR PLAN - SLAB **SCALE:** 1/4" = 1'-0"

FLOOR PLAN NOTES

STANDARD HEIGHT- AS NOTED



- INDICATES SLOPED WALLS - AS



- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- NOTED OTHERWISE
  2nd FLOOR WALLS ARE 8-1 1/8" HIGH UNLESS
  NOTED OTHERWISE
  1st FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS
  NOTED OTHERWISE
  2nd FLOOR WINDOW HEAD HEIGHT IS 7-0" UNLESS
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- BEAMS, HEADERS AND POSTS SIZES
  ALL POINT LOADS TO BE BLOCKED SOLID TO FINA
  SUPPORT MEMBER OR FOUNDATION.
  EXTERIOR WALLS AT CONDITIONED SPACES ARE
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- INTERIOR WALLS ARE 2x4's U.N.O. (31/2")

EXTERIOR WALLS ARE SHOWN WITH  $\frac{1}{2}$ " NOMINAL HEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

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CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE ½" GWB. CEILING TO BE §" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

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STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION ed Date: 06/17

SERIES

**PRESTIGE** 

M/I Homes Indianapolis Regio Architecture Department 8425 Woodfield Crossing Blvc Indianapolis, IN 46240 Ph 317.255,9900

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> Job #: LSP Date: LSP By:

LSP Rev: #### Sheet Title Second Floor Plan Slab

Sheet:

#### **GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER
  EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0 DEDUCT FOR EACH 90° ELBOW. LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
  CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE

### INDIANA PLUMBING CODE ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL

- SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8. ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A
- CLEAR HEIGHT OF OVER 30 INCHES. GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE BE POSITIONED AS TO NOT ALLOW THE
- PASSAGE OF A 4" SPHERE.
  HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED TREAD, HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 21/4 INCHES IN CROSS SECTION DIMENSION OF AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN %" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR FOUIVALENT
- OPENINGS BETWEEN THE GARAGE AND MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
  CHIMNEYS SHALL EXTEND AT LEAST 2 FEET
- HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED
- AIR WITHIN THE LIVING SPACE. RESISTANCE OF MADE ELECTRODES SHALL INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY  $\frac{7}{8}$ , CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.

  MASONRY VENEER SUPPORTED BY WOOD
- OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
  HOUSE WRAP SHALL BE INSTALLED OVER
- SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401 1 1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKELL
- WATERPROOFING SHALL BE PER SECTION. R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

#### **GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

SQUARE FOOTAGE - ELEV	"G"
1ST FLOOR	1475
2ND FLOOR	1928
TOTAL HEATED	3403
FRONT PORCH	118
GARAGE	656
OPT. CARRIAGE GARAGE	+240
OPT. GARAGE STORAGE	+75
OPT. FULL BASEMENT	+1392
OPT. FINISHED BASEMENT	+971
OPT. FINISHED BASEMENT W/ BATH	+971
OPT. FINISHED BASEMENT W/ BATH AND BED	+971
NOOK BAY	+23
MORNING ROOM	+137
2 CAR SIDE ENTRY GARAGE (ADD TO GARAGE)	+25
4FTGATHERING ROOM EXTENSION	+90
4FT DEN/GUEST SUITE EXTENSION	+60
OPT VERANDA (NON-HEATED)	+137

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE

Revisions			
DATE	C.O #	Description	Drafter



### 2x4 EXTERIOR WALLS

MI HOMES - COMMON ABBREVIATIONS ON PRINTS			
1st - FIRST 2nd - SECOND	INCL - INCLUDED	SGD - SLIDING GLASS DOOR	
ALUM - ALUMINUM	KIT - KITCHEN	SH - SINGLE HUNG SHWR - SHOWER	
	LDRY - LAUNDRY	SPF - SPRUCE PINE FIR	
B/ - BOTTOM BDR - BEDROOM	LOC - LOCATION	SVC - SERVICE SYP - SOUTHERN	
BRKFST - BREAKFAST	MANUF or MFR - MANUFACTURER	YELLOW PINE	
CATH - CATHEDRAL CONC CONCRETE	MUD - MUDROOM	T/ - TOP TEMP - TEMPERED	
€ - CENTERLINE	OC - ON CENTER OH - OVERHANG	THK'D - THICKENED TYP - TYPICAL	
DBL - DOUBLE	OPT - OPTIONAL		
DH - DOUBLE HUNG DIA - DIAMETER	PC - PULL CHAIN	UNO - UNLESS NOTED OTHERWISE	
DN - DOWN	PERF - PERFORATED PSF - PER SQUARE	VIE VEDIEV IN FIELD	
DW - DISH WASHER	FOOT	VIF - VERIFY IN FIELD	
FD - FLOOR DRAIN FDN - FOUNDATION	PT - PRESSURE TREATED	w/ - WITH WD - WOOD	
FLR - FLOOR	PTRY - PANTRY	WH - WATER HEATER	
FPHB - FROST PROTECTED HOSE BIB	PWD - POWDER ፂ - PLATE	WIC - WALK IN CLOSET	
FTG - FOOTING	R. BATH - RETREAT BATH		
GWB - GYPSUM WALL BOARD	REF - REFRIGERATOR REQ'D - REQUIRED RET - RETREAT		
H. BATH - HALL BATH	RI - ROUGH IN		
ILO - IN LIEU OF	SCH - SCHEDULE		



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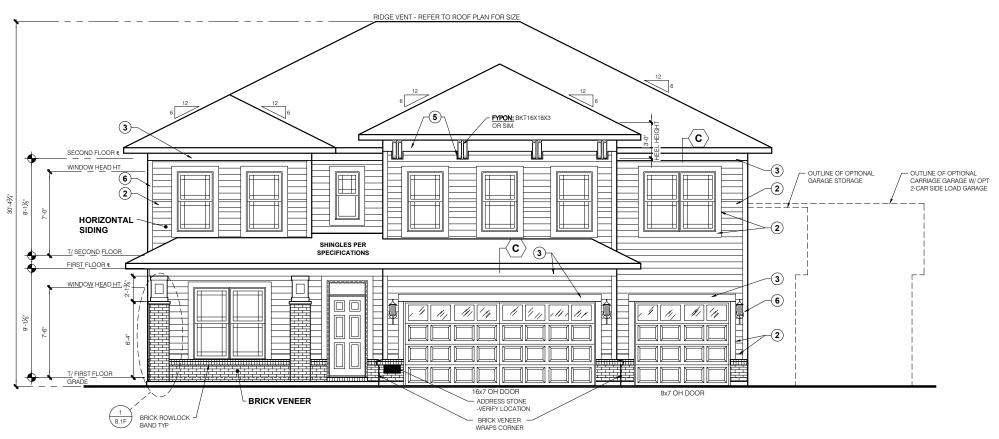
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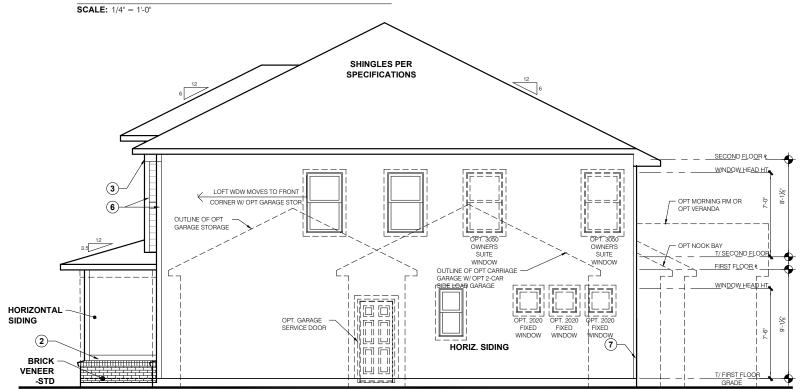
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Elevation - G



## ELEVATION G FRONT ELEVATION-SLAB



ELEVATION G
GARAGE SIDE ELEVATION-SLAB

TYPICAL EXTERIOR TRIM FINISH
THE TRIM NOTED ON THE ELEVATIONS IS

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES.
ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

**5** = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVISION

7 REAR CORNERS = 4"TRIM PER DIMISION

#### **DIVISION NOTE:**

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT RESTIGE SERIES

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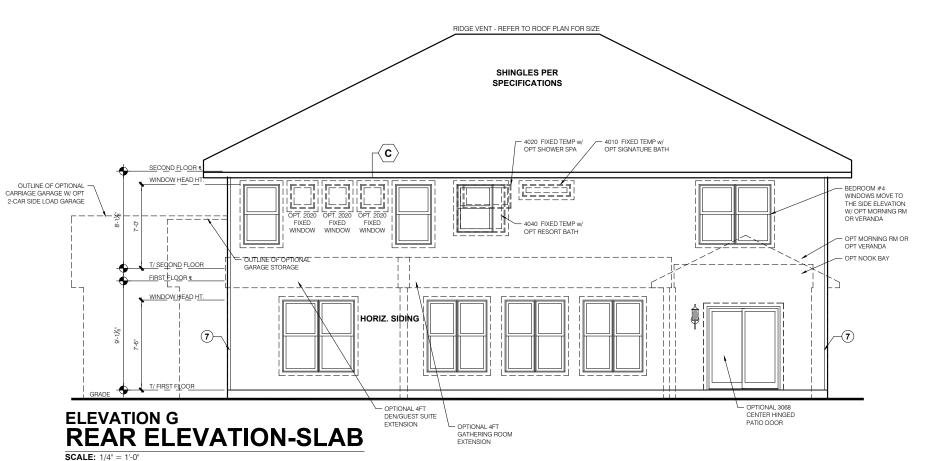
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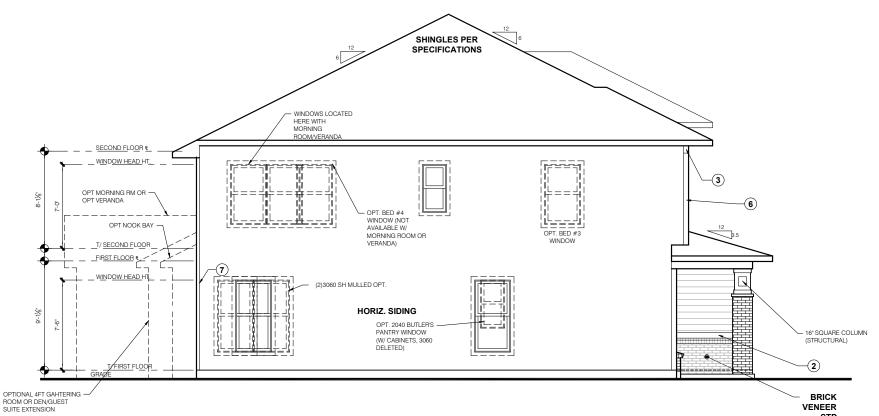
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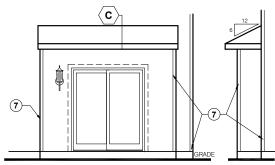
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Front and Garage
Elevations

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# GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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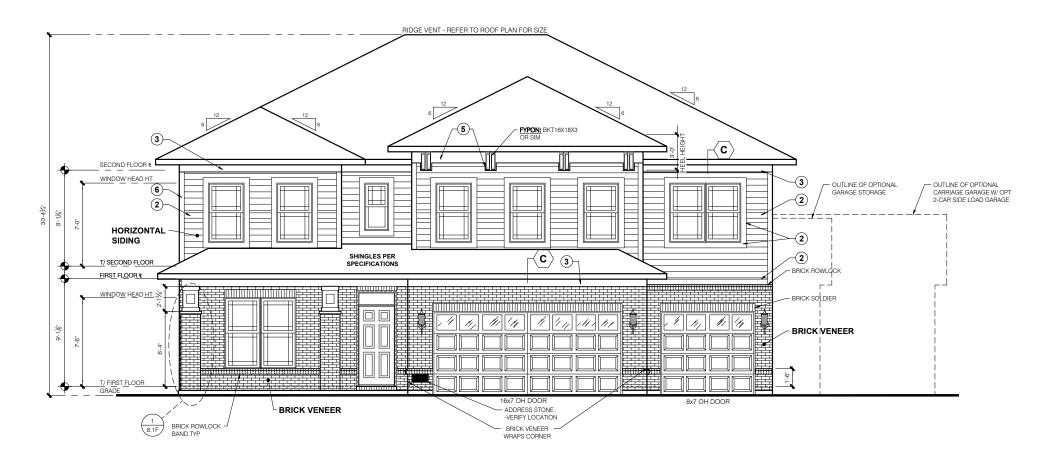
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Sheet Title : Rear and Side Elevations

ELEVATION G
SIDE ELEVATION-SLAB



#### **OPTIONAL BRICK FRONT ELEVATION G** FRONT ELEVATION-SLAB

#### TYPICAL EXTERIOR TRIM FINISH

PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

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#### **DIVISION NOTE:**

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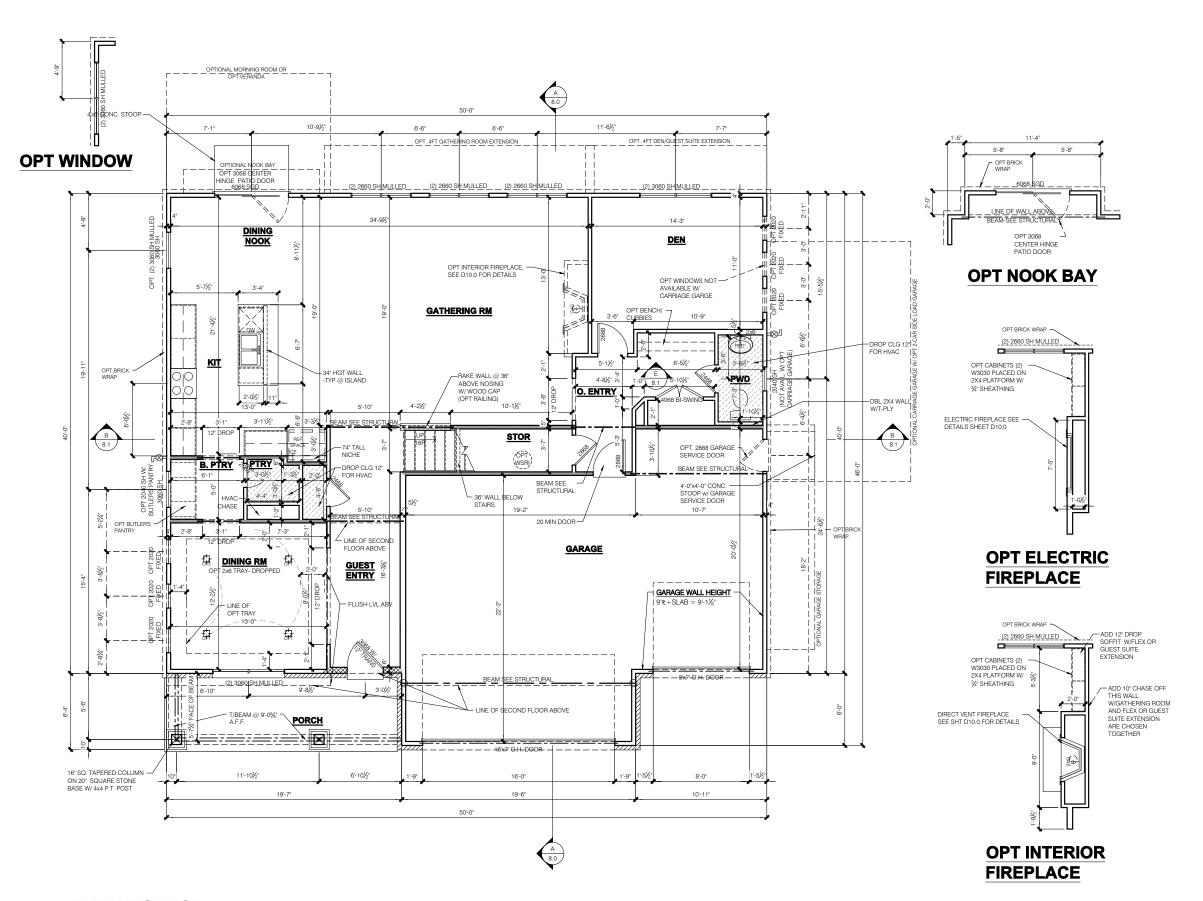
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Sheet Title : Front Elevation Material Opt

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ELEVATION "G"
FRAMING PLAN
FIRST FLOOR PLAN - SLAB **SCALE:** 1/4" = 1'-0"

FLOOR PLAN NOTES

NOTE:

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED - INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS

NOTED OTHERWISE 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS

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EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4'S W/ ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4'S W/  $\ensuremath{\mathcal{Y}}_{\!\!\!\!2}^*$  NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.

EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL CHEATHING WHICH IS HELD FLUSH WITH THE OUTSID

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GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT

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PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS

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STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION M/I Hor

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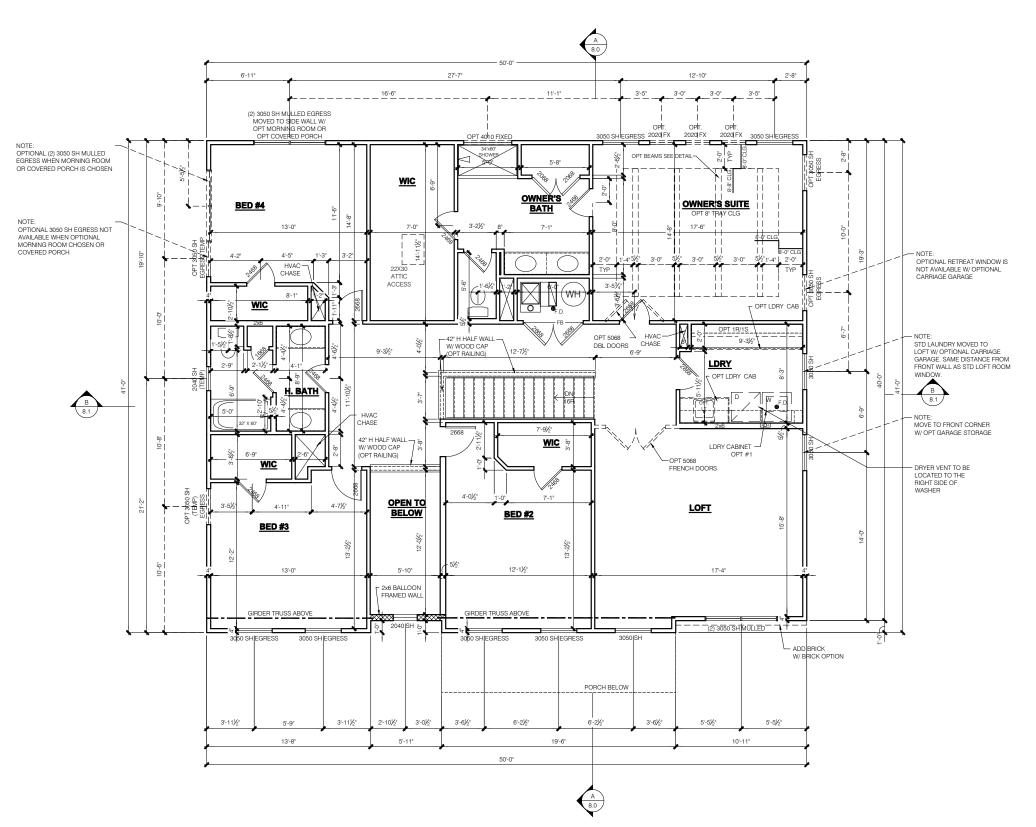
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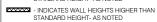
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ELEVATION "G"
FRAMING PLAN
SECOND FLOOR PLAN - SLAB **SCALE:** 1/4" = 1'-0"

FLOOR PLAN NOTES

STANDARD HEIGHT- AS NOTED



- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
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  NOTED OTHERWISE
  1st FLOOR WINDOW HEAD HEIGHT IS 7-6" UNLESS
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- INTERIOR WALLS ARE 2x4's U.N.O. (31/2")

EXTERIOR WALLS ARE SHOWN WITH  $\frac{1}{2}$ " NOMINAL HEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

#### GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS

CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE ½" GWB. CEILING TO BE §" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

## GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION ed Date: 06/17

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Sheet Title Second Floor Plan Slab

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- ALL BATHROOM EXHAUST FANS TO VENT TO
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION
- LOCATION PRIOR TO INSTALL.
  INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE
- SECTION 316. ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
- CROSS-VENTILATION OR VAPOR BARRIER ALL PLUMBING TO COMPLY WITH THE
- INDIANA PLUMBING CODE ANY WINDOW WITHIN 2-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, BAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1% INCHES BETWEEN THE WALL AND THE HANDBAIL THE HAND GRIE PORTION SHALL NOT BE MORE THAN 21/4
  INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN 5/4" TYPE 'X' GYPSUM BOARD OR FLOOR-CEILING ASSEMBLY. THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS
- THAN ½" GYPSUM BOARD OR EQUIVALENT. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20
- MINUTE FIRE RATED DOORS.
  FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- 13 CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF
- WEATHER STRIP ALL ATTIC ACCESSES
  SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION F3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION
- RESISTANT METAL TIES
  VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ½", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 NTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL B INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°
- 10. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND TH APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
  CONCRETE MASONRY FOUNDATION
- WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL

**TOTAL HEATED** 

FRONT PORCH

OPT FULL BASEMENT

OPT 3RD CAR FRONT LOAD

OPT 4' GARAGE EXTENSION

OPT BONUS ROOM w/ BATH

OPT FINISHED BASEMENT w/ BATH OPT FINISHED BASEMENT w/ BATH AND BED

OPT FINISHED BASEMENT

OPT DINING NOOK EXTENSION

OPT 4' EXTENSION TO OWNER'S SUITE

OPT GARAGE STORAGE

OPT MORNING ROOM

OPT BONUS ROOM

OPT VERANDA

**GARAGE** 

#### GENERAL NOTES

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIS BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

+598

+1035

		CON	Ov NS
2070		2x	4 E
2070	 		
435 99		MII	HOMES
1957		1st - FIRST 2nd - SECOND	
		ALUM - ALUMINU	JM
191		B/ - BOTTOM BDR - BEDROOM BRKFST - BREAK	
76		BHKF51 - BHEAK	FASI
89		CATH - CATHEDF CONC CONCRE • - CENTERLINE	
+27 +75		DDI DOUR! F	
+75 +161 +161 +542		DBL - DOUBLE DH - DOUBLE HU DIA - DIAMETER DN - DOWN DW - DISH WASH	
+542			ER

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**SQUARE FOOTAGE - ELEV "A"** 

Revisions				
DATE	C.O #	Description	Drafter	



## EXTERIOR WALLS

MI HOMES - COMMON ABBREVIATIONS ON PRINTS				
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS		
2nd - SECOND		DOOR		
2114 5255112	KIT - KITCHEN	SH - SINGLE HUNG		
ALUM - ALUMINUM	TATIONEIV	SHWR - SHOWER		
/ LEGIVI / LEGIVIII VOIVI	LDRY - LAUNDRY	SPF - SPRUCE PINE FIR		
B/ - BOTTOM	LOC - LOCATION	SVC - SERVICE		
BDR - BEDROOM	EGG EGGANGIV	SYP - SOUTHERN		
BRKEST - BREAKFAST	MANUE or MER -	YELLOW PINE		
BIIN 31 - BILLAN A31	MANUFACTURER	TELEOWFINE		
CATH - CATHEDRAL	MUD - MUDROOM	T/ - TOP		
CONC CONCRETE	WOD - WODI IOOW	TEMP - TEMPERED		
& - CENTERLINE	OC - ON CENTER	THK'D - THICKENED		
4 - CENTENLINE	OH - OVERHANG	TYP - TYPICAL		
DBL - DOUBLE	OPT - OPTIONAL	TTP - TTPICAL		
DH - DOUBLE HUNG	OFT - OFTIONAL	UNO - UNLESS NOTED		
DIA - DIAMETER	PC - PULL CHAIN			
DN - DOWN	PERF - PERFORATED	OTHERWISE		
DW - DISH WASHER	PSF - PER SQUARE	VIF - VERIFY IN FIELD		
DW - DISH WASHER	FOOT	VIF - VERIFY IN FIELD		
FD - FLOOR DRAIN	PT - PRESSURE	w/ - WITH		
FDN - FOUNDATION	TREATED	WD - WOOD		
FLR - FLOOR	PTRY - PANTRY	WH - WATER HEATER		
FPHB - FROST	PWD - POWDER	WIC - WALK IN CLOSET		
PROTECTED	R - PLATE	WIC - WALK IN CLOSET		
HOSE BIB	t-PLAIC			
FTG - FOOTING	R. BATH - RETREAT			
FIG-FOOTING	R. BATH - NETREAT			
GWB - GYPSUM WALL	REF - REFRIGERATOR			
	REQ'D - REQUIRED			
BOARD	RET - RETREAT			
LI BATH HALL BATH	REI - RETREAT RI - ROUGH IN			
H. BATH - HALL BATH	ni - KUUGH IN			
ILO - IN LIEU OF	SCH - SCHEDULE			

Sheet List Table				
Sheet Number	Sheet Title			
0.0A	Cover Sheet Indianapolis			
1.0A	Front and Garage Elevations			
1.1A	Rear and Side Elevations			
2.0A	Slab Fdn			
2.1A	Slab Fdn wBONUS			
2.2A	Slab Fdn - Brick Wrap			
2.3A	Slab Fdn wBONUS - Brick Wrap			
2.4A	Full Basement Fdn			
2.5A	Full Basement Fdn - Brick Wrap			
2.6A	Finished Basement			
2.7A	Finished Basement with Bath			
2.8A	Finished Bsmt with Bath and Bed			
3.0A	First Floor Subfloor			
4.0A	1st Fl Plan - Slab No Bonus			
4.1A	1st Fl Plan - Basement No Bonus			
4.2A	1st Fl Plan - Slab w Bonus			
4.3A	1st Fl Plan - Basement w Bonus			
4.4A	Floorplan Options			
M1.0A	1st Fl MEP Plan - Slab no Bonus			
M1.1A	1st MEP Plan - Basement no Bonus			
M1.2A	1st Fl MEP Plan - Slab w Bonus			
M1.3A	1st MEP Plan - Basement w Bonus			
M1.4	Floorplan Options MEP			
7.0A	Roof Plan - Base Roof			
8.0A	Section - Building Stair			
8.1A	Section - Building			
8.2A	Section - Building			
8.3A	Section - Misc			
R1.0	Opt Bonus - Plan			
R1.1	Opt Bonus - Elev			
R1.2	Opt Bonus - Elev			
R1.3	Opt Bonus - Elev			
R1.4	Opt Bonus - Elev			
R1.5	Opt Bonus - Roof			
R1.6	Opt Bonus - Roof			
R1.7	Opt Bonus - Roof			
R1.8	Opt Bonus - Roof			
R2.0	Opt Morning Room			
R3.0	3rd Car Plan			
R3.1	3rd Car Plan  3rd Car Elevation			
R4.0	Garage Storage Plan			
	9 9			
R4.1 R5.0	Garage Storage elevation			
	Garage Extension			
R6.0	Opt Veranda			
R6.1	Opt Veranda			
R6.2	Opt Veranda #2			
R6.3	Opt Veranda #2			
R6.4	Opt Veranda #2			
R6.5	Opt Veranda #2			
R7.0	Opt Lookout			
R7.1	Opt Lookout			
R8.0	Opt Walkout			
R8.1	Opt Walkout			

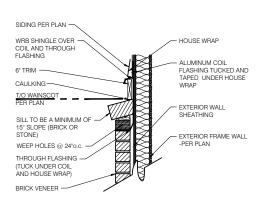
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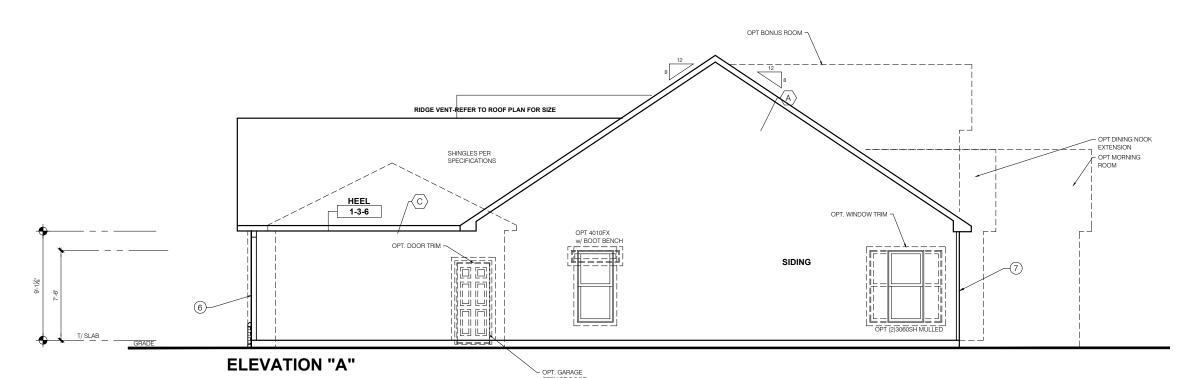
Elevation - A



**BRICK WAINSCOT DETAIL** 

# RIDGE VENT-REFER TO ROOF PLAN FOR SIZE SHINGLES PER SPECIFICATIONS -(2) -(2) T/ GARAGE & — 2" TRIM ON 8" TRIM PANELED BRICK ROWLOCK SILL - ADDRESS STONE

**ELEVATION "A"** 9' PLATE FRONT ELEVATION-SLAB



**GARAGE SIDE ELEVATION-SLAB** 

#### TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES.
ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

(1) = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

**(5)** = 12" TRIM

(6) FRONT CORNERS = 6' TRIM PER DIVSION

(7) REAR CORNERS = 4"TRIM PER DIVISION

#### **DIVISION NOTE:**

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL. THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

WINDOW GRIDS
-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION
ELEVATION DEPICTED IS A REPRESENTATIVE
SAMPLE WHICH WILL VARY BASED ON
FOUNDATION TYPE (SLAB OR BASEMENT) AND
FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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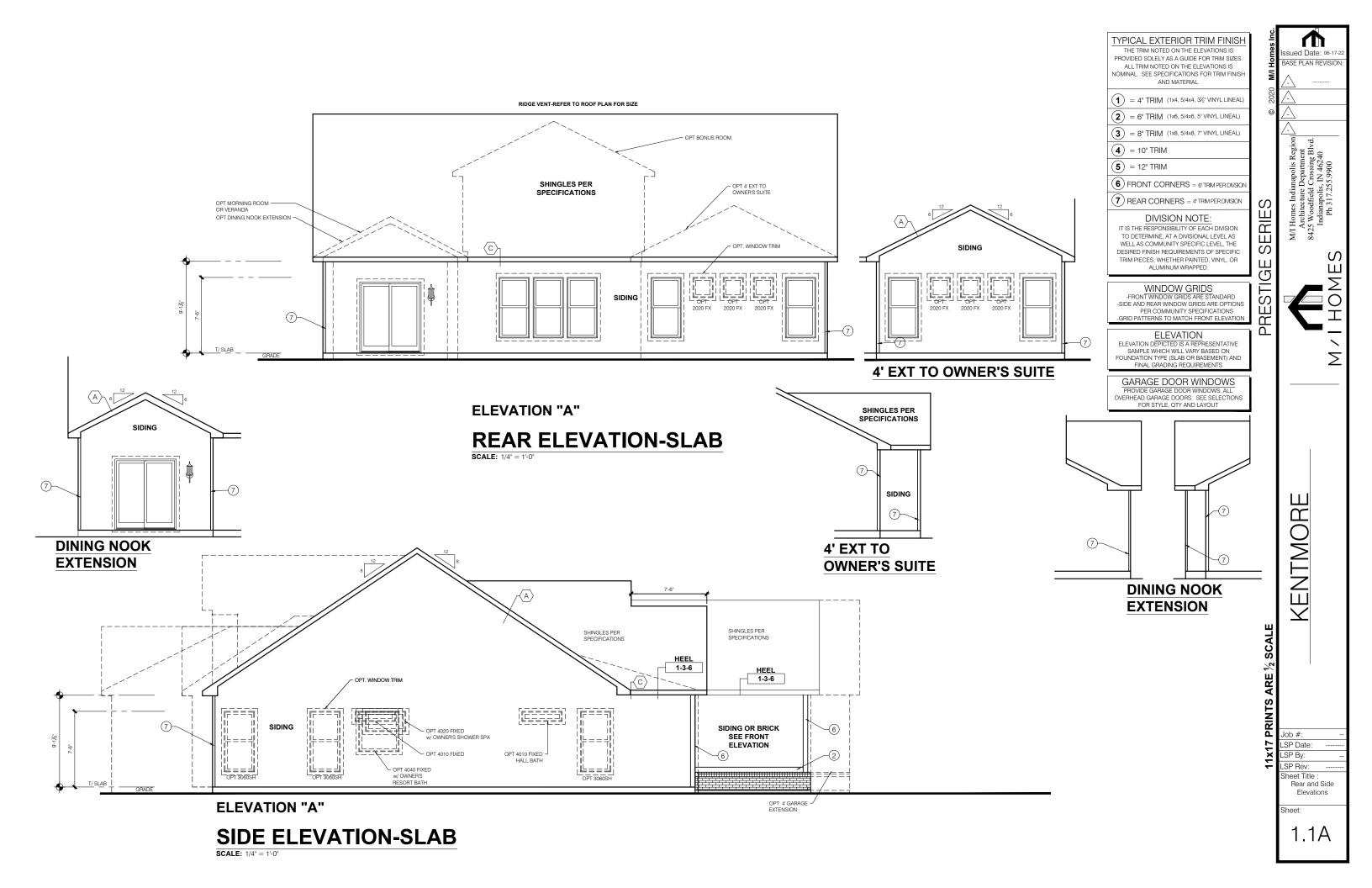
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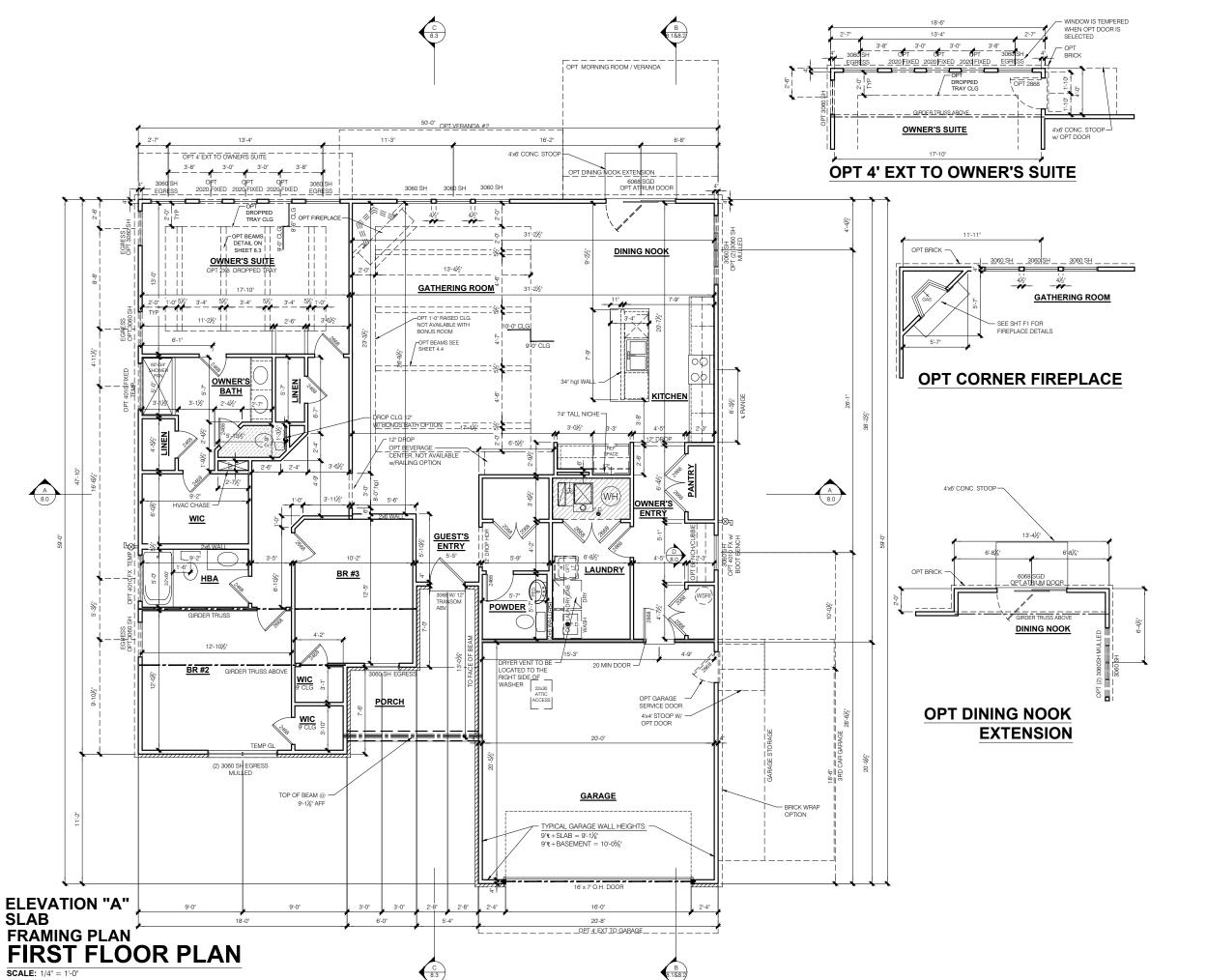
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heet Title Front and Garage Elevations

1.0A





NOTE: - INDICATES WALL HEIGHTS LOWER THAN

STANDARD HEIGHT- AS NOTED - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE
  2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
  NOTED OTHERWISE
- 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLES NOTED OTHERWISE

- NOTED OTHERWISE
  SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
  BEAMS, HEADERS AND POSTS SIZES
  ALL POINT LOADS TO BE BLOCKED SOLID TO FINAI
  SUPPORT MEMBER OR FOUNDATION.
  EXTERIOR WALLS AT CONDITIONED SPACES ARE
- 2x4's W/½" NOMINAL SHEATHING U.N.O. (4"). STUD @ 16" O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (31/2")

EXTERIOR WALLS ARE SHOWN WITH ½" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSID OF THE FOUNDATION

GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1 GWB. CEILING TO BE 8 TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, AL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

> STRUCTURAL NOTE STRUCTURAL INFORMATION

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SP Date:

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4.0A

- ALL BATHROOM EXHAUST FANS TO VENT TO
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW.
  CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE
- SECTION 316.
  ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
  CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE
- INDIANA PLUMBING CODE
  ANY WINDOW WITHIN 2"-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE
- TEMPERED PER CODE SECTION 210.8. ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALI BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
  HANDRAILS HAVE A MINIMUM AND MAXIMUM
- HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD, HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIF PORTION SHALL NOT BE MORE THAN 21/4
  INCHES IN CROSS SECTION DIMENSION OF AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING
- SURFACE. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN %" TYPE 'X' GYPSUM BOARD OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS
- THAN %" GYPSUM BOARD OR EQUIVALENT OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE BATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CU OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO STOIRIES, AND BETWEEN A TOP STORY AND
- THE ROOF SPACE.

  CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEFT HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 LLS. GAUGE BY 7/4" CORRUGATED. EACH TIE SHALL BE SPACE NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAL LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A
  MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER
  SUPPORTED BY HOT ROLLED STEEL OR THE
- FOUNDATION.
  HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
  WEEP HOLES WITH BRICK VENEER SHALL B
- INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°. CONCRETE FOUNDATION WALLS SHALL BE
- CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND TH APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKELL
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

#### GENERAL NOTES

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIS BETWEEN THE GENERAL STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



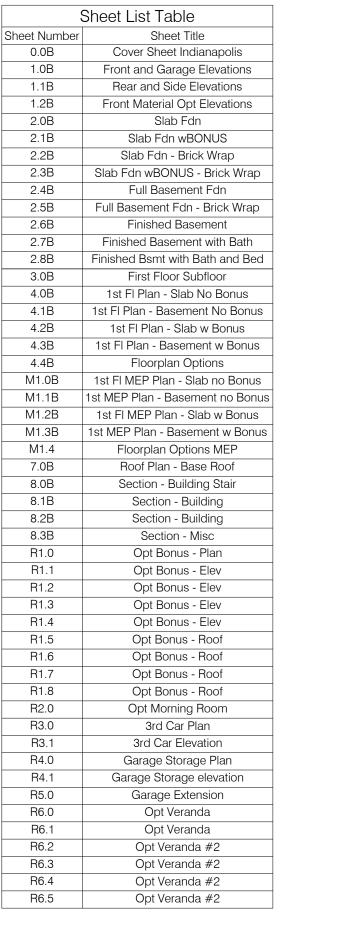
# 2x4 EXTERIOR WALLS

#### **SQUARE FOOTAGE - ELEV "B"** 1ST FLOOR 2070 TOTAL HEATED 2070 435 GARAGE 128 FRONT PORCH OPT FULL BASEMENT 1957 OPT 3RD CAR FRONT LOAD 191 OPT GARAGE STORAGE 76 OPT 4' GARAGE EXTENSION 89 OPT DINING NOOK EXTENSION +27 +75 OPT 4' EXTENSION TO OWNER'S SUITE OPT MORNING ROOM +161**OPT VERANDA** +161OPT BONUS ROOM +542 +598 OPT BONUS BOOM w/ BATH OPT FINISHED BASEMENT +1035 OPT FINISHED BASEMENT w/ BATH +1086 OPT FINISHED BASEMENT w/ BATH AND BED

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions				
DATE	C.O #	Description	Drafter	

1st - FIRST 2nd - SECOND	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER SPF - SPRUCE PINE FIF
B/ - BOTTOM	LOC - LOCATION	SVC - SERVICE
BDR - BEDROOM	200 200/11014	SYP - SOUTHERN
BRKFST - BREAKFAST	MANUF or MFR - MANUFACTURER	YELLOW PINE
CATH - CATHEDRAL	MUD - MUDROOM	T/ - TOP
CONC CONCRETE		TEMP - TEMPERED
L - CENTERLINE	OC - ON CENTER	THK'D - THICKENED
DDI DOUDIE	OH - OVERHANG OPT - OPTIONAL	TYP - TYPICAL
DBL - DOUBLE DH - DOUBLE HUNG	OPT - OPTIONAL	UNO - UNLESS NOTED
DIA - DIAMETER	PC - PULL CHAIN	OTHERWISE
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DW - DISH WASHER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
D - FLOOR DRAIN	PT - PRESSURE	w/ - WITH
DN - FOUNDATION	TREATED	WD - WOOD
-LR - FLOOR	PTRY - PANTRY	WH - WATER HEATER
PHB - FROST	PWD - POWDER	WIC - WALK IN CLOSET
PROTECTED HOSE BIB	r - PLATE	
FTG - FOOTING	R. BATH - RETREAT BATH	
GWB - GYPSUM WALL	REF - REFRIGERATOR	
BOARD	REQ'D - REQUIRED	
	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
O - IN LIEU OF	SCH - SCHEDULE	



SERII RESTIGE ENTMOR SCAL

**Elevation - B** 

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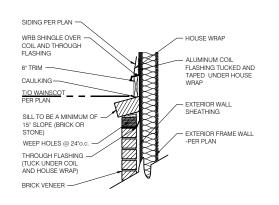
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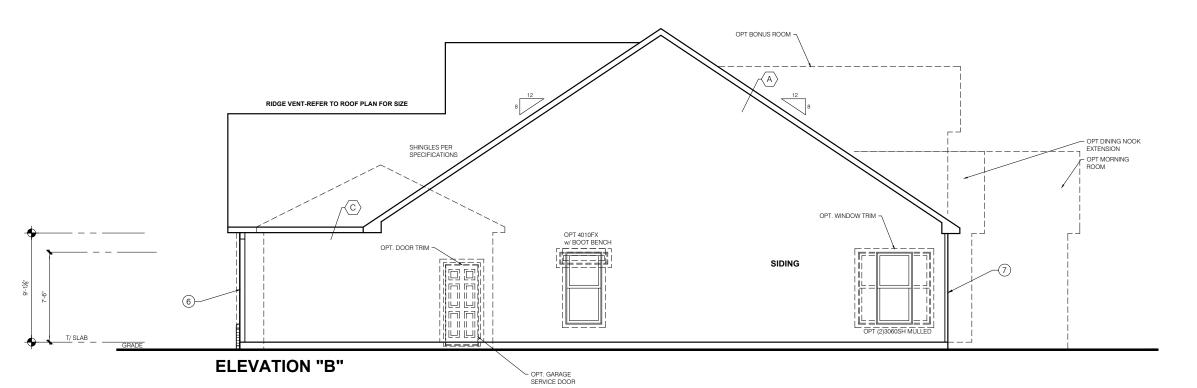
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**BRICK WAINSCOT DETAIL** 

# - BOARD & BATTEN SHINGLES PER SPECIFICATIONS - FYPON LV18X36 OPT. GARAGE STORAGE - OPT. 3-CAR FRONT SHINGLES PER SPECIFICATIONS BOARD & BATTEN 5 SIDING 3 T/FOUNDATION **ELEVATION "B"** 9' PLATE BRICK ROWLOCK SILL BRICK BETLIBNS - ADDRESS STONE

**FRONT ELEVATION SCALE:** 1/4" = 1'-0"



RIDGE VENT-REFER TO ROOF PLAN FOR SIZE

# **GARAGE SIDE ELEVATION-SLAB**

**SCALE:** 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH

PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE FLEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4**) = 10" TRIM

**(5**) = 12" TRIM

(6) FRONT CORNERS = 6' TRIM PER DIVSION

(7) REAR CORNERS = 4"TRIM PER DIVISION

#### **DIVISION NOTE:**

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL. THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL
OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

ENTMOR

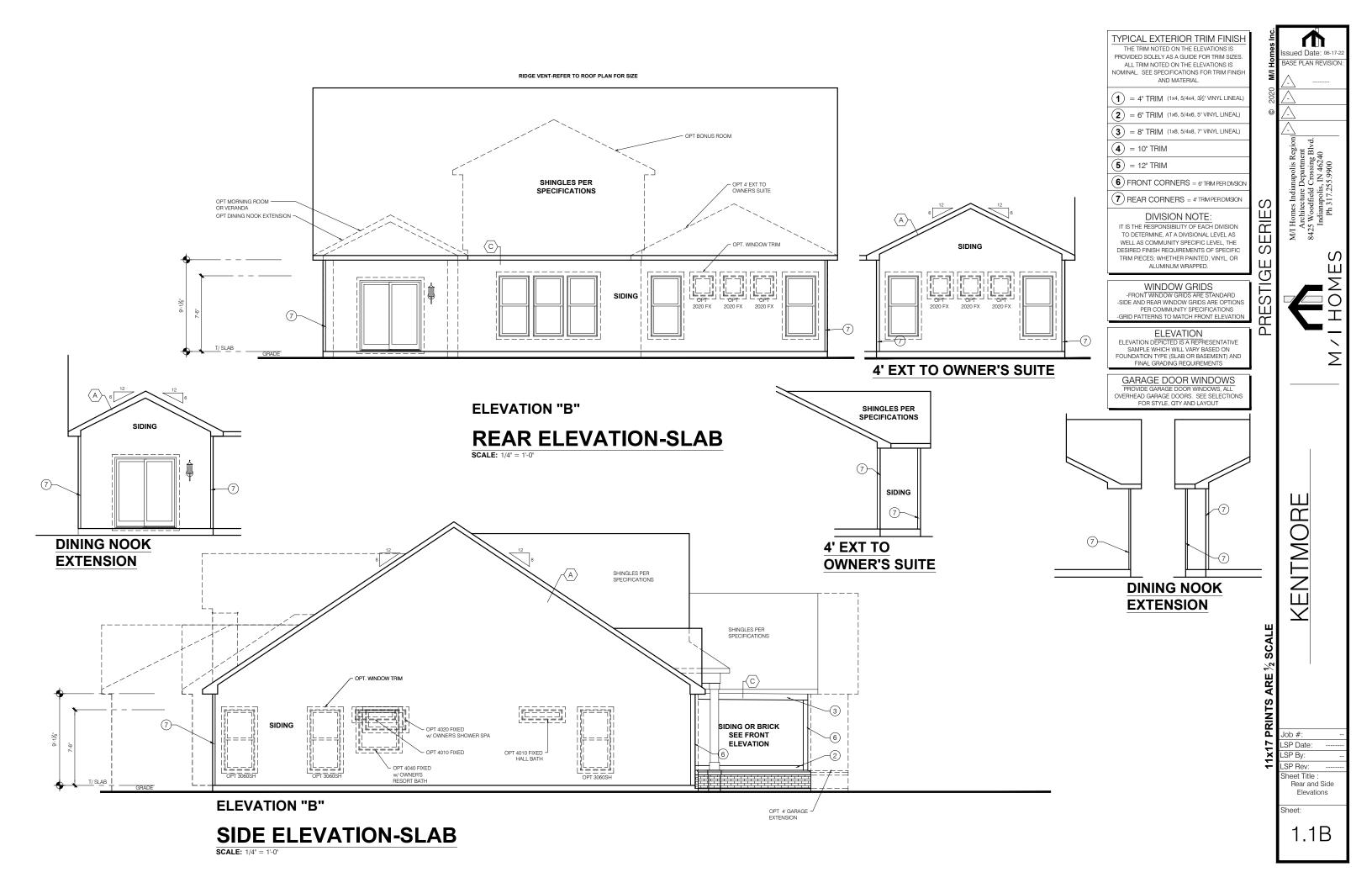
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\_SP Date: SP By: \_SP Rev:

heet Title Front and Garage Elevations

1.0B



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1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4** = 10" TRIM

**(5)** = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVSION

#### 7 REAR CORNERS = 4"TRIM PER DMSION

#### **DIVISION NOTE:**

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS
-PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION
ELEVATION DEPICTED IS A REPRESENTATIVE
SAMPLE WHICH WILL VARY BASED ON
FOUNDATION TYPE (SLAB OR BASEMENT) AND
FINAL GRADING REQUIREMENTS

#### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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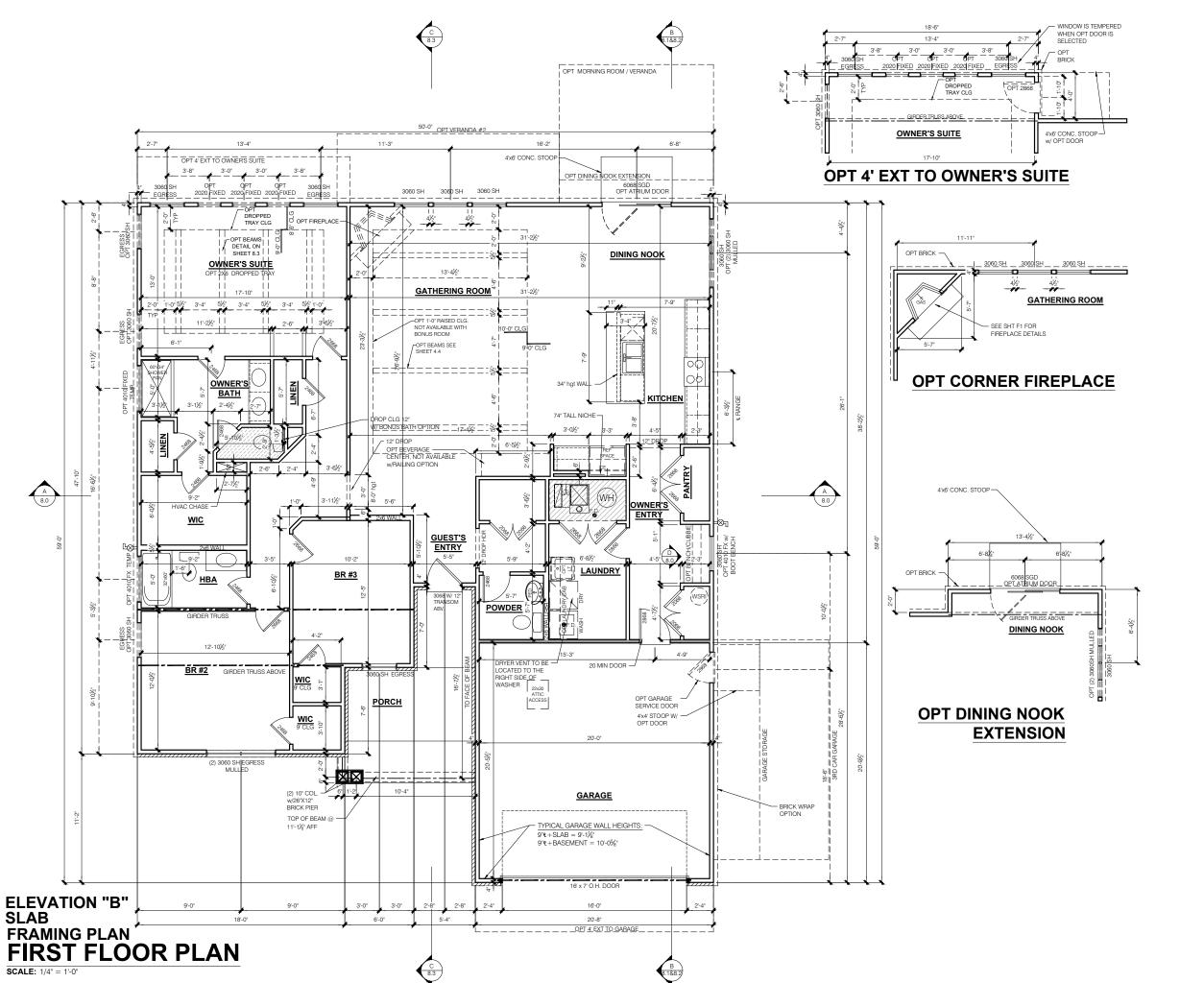
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11x17 PRINTS Job #: LSP Date: LSP By: LSP Rev:

Sheet Title : Front Material Opt Elevations

Sheet:

1.2B



NOTE: - INDICATES WALL HEIGHTS LOWER THAN

STANDARD HEIGHT- AS NOTED - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE
  2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
  NOTED OTHERWISE
- 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLES NOTED OTHERWISE

- NOTED OTHERWISE
  SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
  BEAMS, HEADERS AND POSTS SIZES
  ALL POINT LOADS TO BE BLOCKED SOLID TO FINAI
  SUPPORT MEMBER OR FOUNDATION.
  EXTERIOR WALLS AT CONDITIONED SPACES ARE
- 2x4's W/½' NOMINAL SHEATHING U.N.O. (4'). STUD @ 16° O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (31/2"

EXTERIOR WALLS ARE SHOWN WITH ½" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSID OF THE FOUNDATION

GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1 GWB. CEILING TO BE 8 TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, AL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

> STRUCTURAL NOTE STRUCTURAL INFORMATION

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SP Date: SP By: SP Rev:

Sheet Title : 1st Fl Plan - Slab No Bonus

Sheet:

4.0B

- ALL BATHROOM EXHAUST FANS TO VENT TO
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW.
  CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE
- SECTION 316.
  ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH
  CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE
- INDIANA PLUMBING CODE
  ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
  HANDRAILS HAVE A MINIMUM AND MAXIMUM
- HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD, HANDRAILS SHALL HAVE A SPACE PORTION SHALL NOT BE MORE THAN 21/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NO LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT, WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS
- THAN 1/2" GYPSUM BOARD OR EQUIVALENT OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE BATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CU OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO STOIRIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.

  13. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET
- HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH
  THE ROOF.

  14. WEATHER STRIP ALL ATTIC ACCESSES

  15. SMOKE ALARM LOCATIONS SHALL NOT BE
- PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ½°, CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2% SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.

  MASONRY VENEER SUPPORTED BY WOOD
- OR COLD FORMED STEEL SHALL HAVE A
  MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER
  SUPPORTED BY HOT ROLLED STEEL OR THE
- FOUNDATION.
  HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018
- INTERNATIONAL RESIDENTIAL CODE.
  WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°. 0. CONCRETE FOUNDATION WALLS SHALL BE
- CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
  CONCRETE MASONRY FOUNDATION
- WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL

#### GENERAL NOTES

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIS BETWEEN THE GENERAL STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

DENTIAL CODE.				
SQUARE FOOTAGE - ELEV "C"				
1ST FLOOR	2098			
TOTAL HEATED	2098			
GARAGE	435			
FRONT PORCH	104			
OPT FULL BASEMENT	1983			
	101			
OPT 3RD CAR FRONT LOAD	191			
OPT GARAGE STORAGE	76			
OPT 4' GARAGE EXTENSION	89			
OPT DINING NOOK EXTENSION	+27			
OPT 4' EXTENSION TO OWNER'S SUITE	+75			
OPT MORNING ROOM	+161			
OPT VERANDA	+161			
OPT BONUS ROOM	+542			
OPT BONUS ROOM w/ BATH	+598			
OPT FINISHED BASEMENT	+1035			
OPT FINISHED BASEMENT w/ BATH	+1086			
OPT FINISHED BASEMENT w/ BATH AND BED	+1246			

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions				
DATE	C.O #	Description	Drafter	



# 2x4 EXTERIOR WALLS

2nd - SECOND  ALUM - ALUMINUM  B/ - BOTTOM  BDR - BEDROOM  BRKFST - BREAKFAST	KIT - KITCHEN  LDRY - LAUNDRY  LOC - LOCATION  MANUF or MFR -	DOOR SH - SINGLE HUNG SHWR - SHOWER SPF - SPRUCE PINE F SVC - SERVICE SYP - SOUTHERN
B/ - BOTTOM BDR - BEDROOM BRKFST - BREAKFAST	LDRY - LAUNDRY LOC - LOCATION	SHWR - SHOWER SPF - SPRUCE PINE F SVC - SERVICE
B/ - BOTTOM BDR - BEDROOM BRKFST - BREAKFAST	LOC - LOCATION	SPF - SPRUCE PINE F SVC - SERVICE
BDR - BEDROOM BRKFST - BREAKFAST	LOC - LOCATION	SVC - SERVICE
BDR - BEDROOM BRKFST - BREAKFAST		
BRKFST - BREAKFAST	MANUE or MER -	
		YELLOW PINE
	MANUFACTURER	TEEEOWTINE
CATH - CATHEDRAL	MUD - MUDROOM	T/ - TOP
CONC CONCRETE		TEMP - TEMPERED
€ - CENTERLINE	OC - ON CENTER	THK'D - THICKENED
	OH - OVERHANG	TYP - TYPICAL
DBL - DOUBLE	OPT - OPTIONAL	
DH - DOUBLE HUNG		UNO - UNLESS NOTE
DIA - DIAMETER	PC - PULL CHAIN	OTHERWISE
DN - DOWN	PERF - PERFORATED	
DW - DISH WASHER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
FD - FLOOR DRAIN	PT - PRESSURE	w/ - WITH
FDN - FOUNDATION	TREATED	WD - WOOD
FLR - FLOOR	PTRY - PANTRY	WH - WATER HEATER
FPHB - FROST	PWD - POWDER	WIC - WALK IN CLOS
PROTECTED	R - PLATE	THE THERTINGEOU
HOSE BIB	2 . 2 2	
FTG - FOOTING	R. BATH - RETREAT	
	BATH	
GWB - GYPSUM WALL	REF - REFRIGERATOR	
BOARD	REQ'D - REQUIRED	
	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	

Sheet Title Cover Sheet Indianapolis Front and Garage Elevations Rear and Side Elevations Front Material Opt Elevations Slab Fdn Slab Fdn wBONUS Slab Fdn vBONUS Slab Fdn vBONUS - Brick Wrap Full Basement Fdn Full Basement Fdn Full Basement Fdn Full Basement Fdn - Brick Wrap Finished Basement Finished Basement Sinished Basement Finished Basement with Bath Finished Basement with Bath Finished Basement with Bonus 1st Fl Plan - Slab No Bonus 1st Fl Plan - Basement No Bonus 1st Fl Plan - Basement w Bonus 1st Fl MEP Plan - Slab no Bonus 1st Fl MEP Plan - Slab no Bonus
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1st FI MEP Plan - Slab no Bonus
1st MEP Plan - Basement no Bonus
1st FI MEP Plan - Slab w Bonus
1st MEP Plan - Basement w Bonus
Floorplan Options MEP
Roof Plan - Base Roof
Section - Building Stair
Section - Building
Section - Building
Section - Misc
Opt Bonus - Plan
Opt Bonus - Elev
Opt Bonus - Roof
Opt Bonus - Roof
Opt Bonus - Roof
Opt Bonus - Roof
Opt Morning Room
3rd Car Plan
3rd Car Elevation
Garage Storage Plan
Garage Storage elevation
Garage Extension
Opt Veranda
Opt Veranda
Opt Veranda #2

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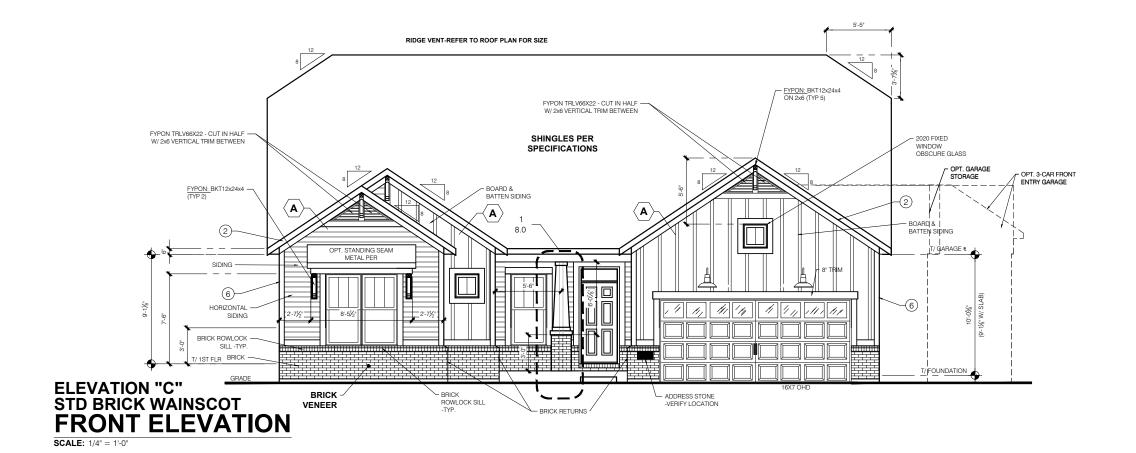
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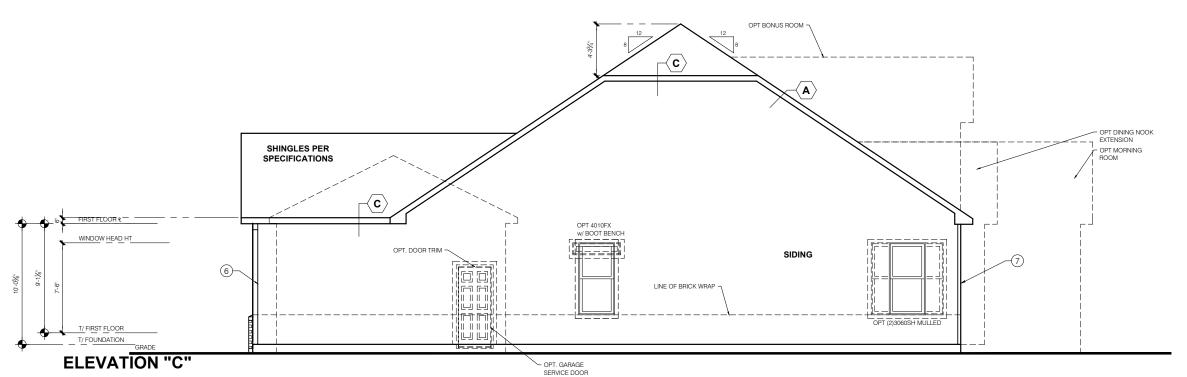
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**Elevation - C** 





**GARAGE SIDE ELEVATION SCALE:** 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH

PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISI AND MATERIAL.

(1) = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

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**4** = 10" TRIM

**5** = 12" TRIM

(6) FRONT CORNERS = 6"TRIM PER DIVSION

(7) REAR CORNERS = 4"TRIM PER DIMSION

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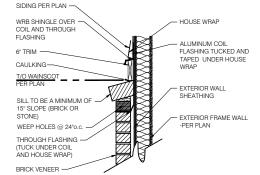
WINDOW GRIDS
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PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT





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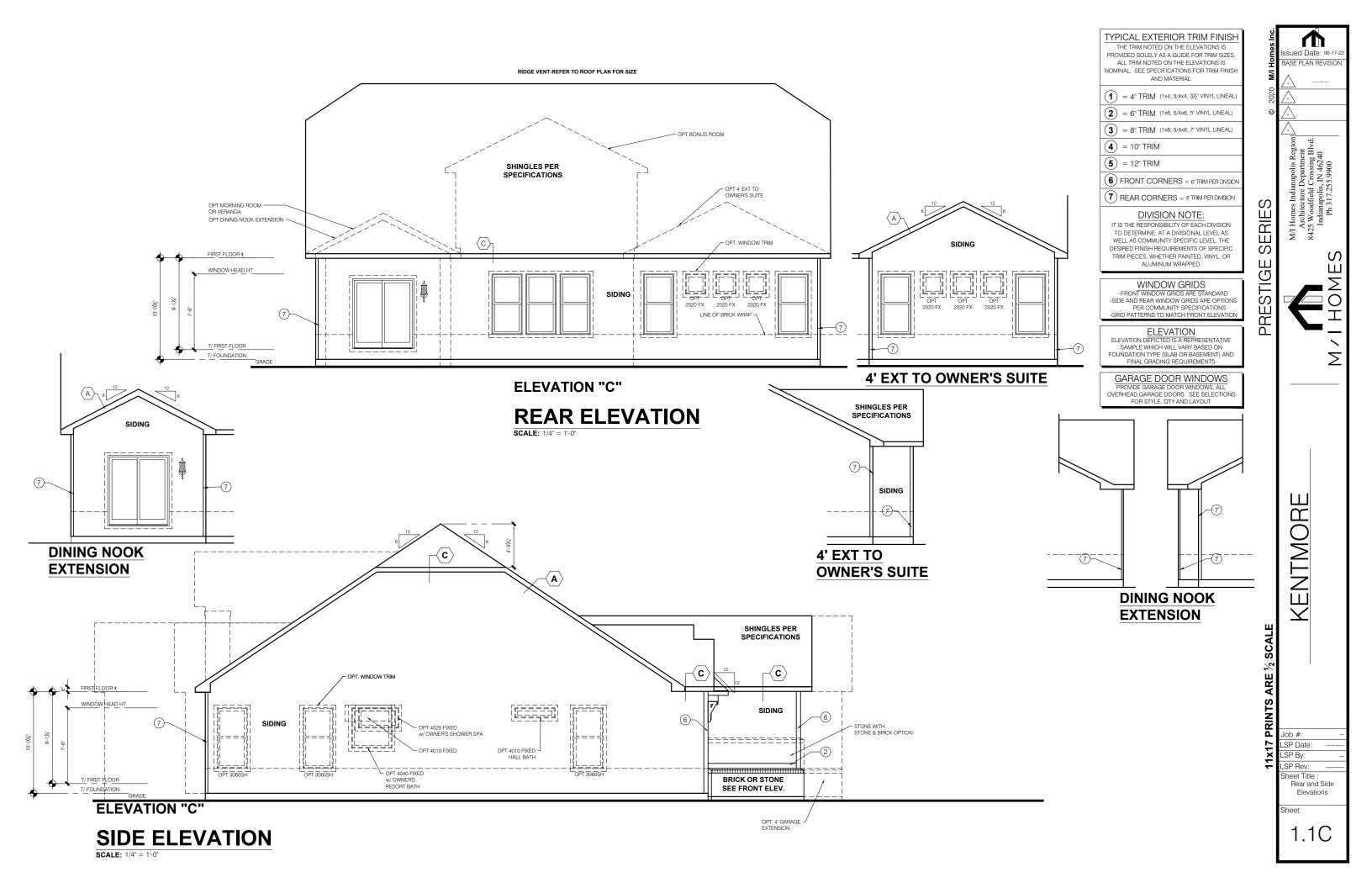
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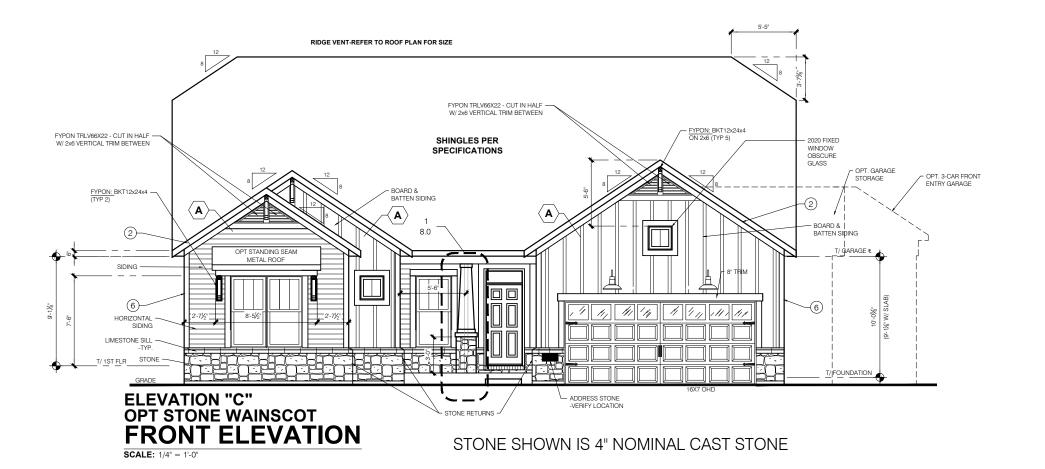
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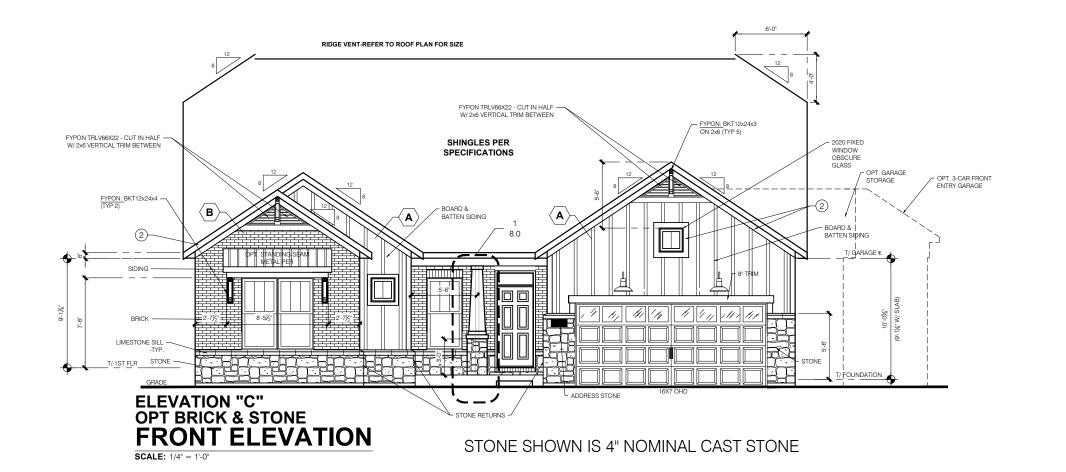
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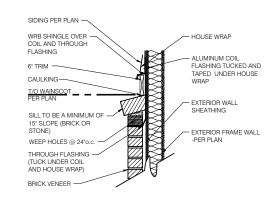
#### WINDOW GRIDS

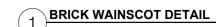
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#### GARAGE DOOR WINDOWS

OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT





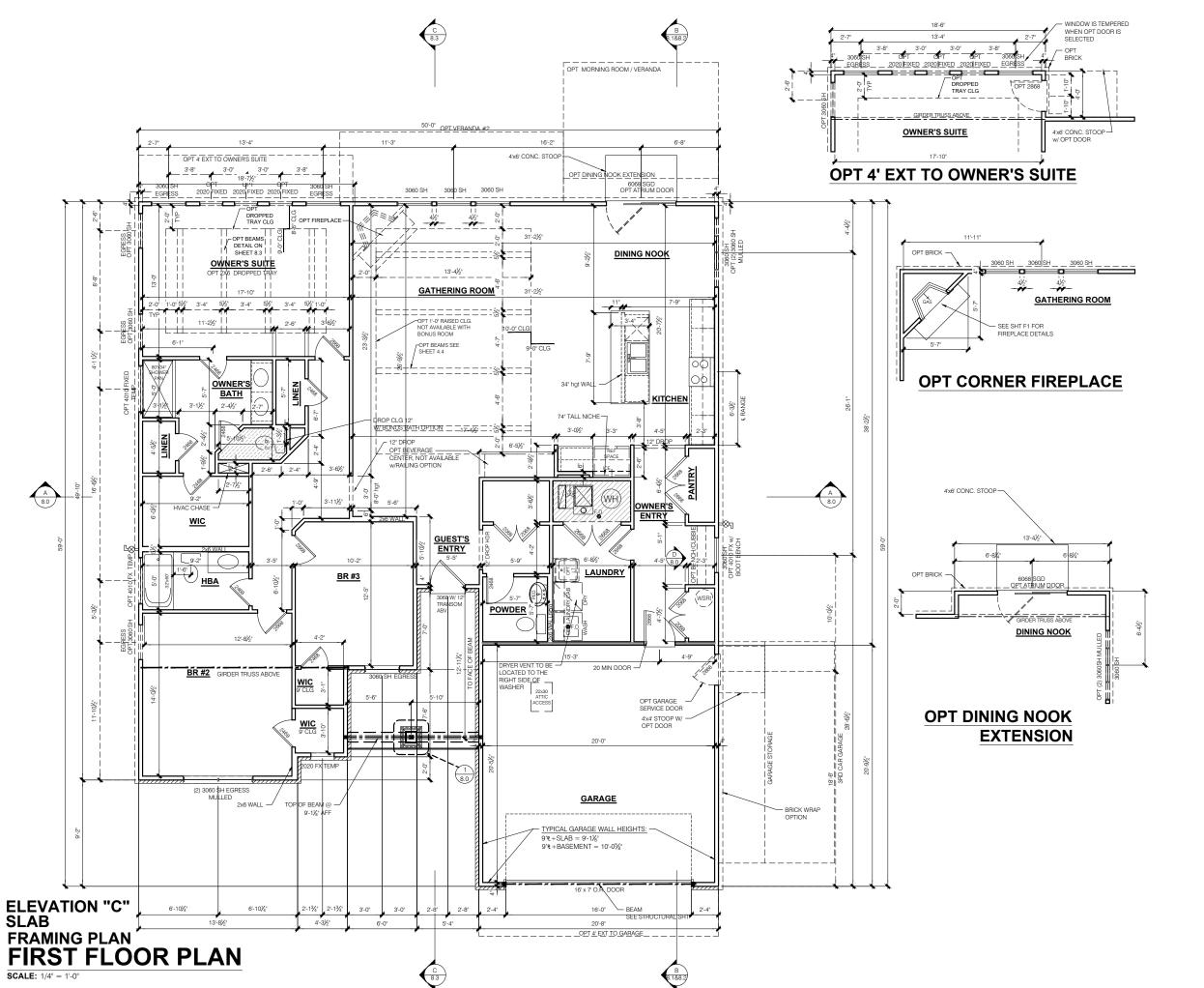
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Elevations

1.2C



TITLE:

\*\*INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED

- INDICATES WALL HEIGHTS HIGHER THAN

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- INDICATES SLOPED WALLS - AS NOTED

- INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
- 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLES
- NOTED OTHERWISE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
- SEE SINCULOMA PLANS-FOR ALLS HOUSTONAL
  BEAMS, HEADERS AND POSTS SIZES
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  EXTERIOR WALLS AT CONDITIONED SPACES ARE
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- WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W.
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.

GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE  $\frac{1}{2}$  GWB. CEILING TO BE  $\frac{5}{8}$  TYP "X" FIRECOD DRYWALL BELOW HABITABLE SPACES.

GARAGE DOOR WINDOWS OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

> STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALI STRUCTURAL INFORMATION

SERIES **PRESTIGE** 

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SP Date: SP By: SP Rev:

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Sheet:

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- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- 2. ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35-0" MAXIMUM WITH A 5-0" DEDUCT FOR EACH 90" ELBOW.

  CONTRACTOR TO VERIFY INSTALLATION
- LOCATION PRIOR TO INSTALL.

  3. INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- SECTION 316.
  4. ENCLOSED, INSULATED RAFTER SPACES
  SHALL BE PROVIDED WITH
- CROSS-VENTILATION OR VAPOR BARRIER.
  5. ALL PLUMBING TO COMPLY WITH THE
- INDIANA PLUMBING CODE

  6. ANY WINDOW WITHIN 2-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- 7. ATTIC ACCESS SHALL BE FRAMED NO LESS
  THAN 22 INCHES BY 30 INCHES HAVING A
  CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACE LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- 9. HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2½ INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE
- SURFACE.

  10. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN ½" TYPE X" GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS
- THAN ½' GYPSUM BOARD OR EQUIVALENT.

  11. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.

  12. FIRE STOPPING SHALL BE PROVIDED TO CUT
- FIRE STOPPING SHALL BE PROVIDED TO CU OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- 13. CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF
- WEATHER STRIP ALL ATTIC ACCESSES
   SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE I IVING SPACE.
- 16. RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

#### MASONRY VENEER NOTES

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION DESISTANT METAL TIES
- RESISTANT METAL TIES
  2. VENEER TIES SHALL BE SHEET METAL TIES
  NOT LESS THAN NO. 22 U.S. GAUGE BY ½",
  CORRUGATED. EACH TIE SHALL BE SPACED
  NOT MORE THAN 24 INCHES ON CENTER
  HORIZONTALLY AND VERCALLY AND SHALL
  SUPPORT NOT MORE THAN 2½ SQUARE
  FEET OF WALL AREA. THERE SHALL BE A
  MINIMUM OF 1" CLEAR SPACE BEHIND
  VENEER
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- 5. MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER
   SHEATHING IN ACCORDANCE WITH
   MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7:5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- 9. ALL BRICK SILLS TO BE SLOPED AWAY FROM
  THE HOUSE A MINIMUM OF 15°.

  10. HOUSE A MINIMUM OF 15°.

  11. HOUSE A MINIMUM OF 15°.

  12. HOUSE A MINIMUM OF 15°.

  13. HOUSE A MINIMUM OF 15°.
- 10. CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4), AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.

  11. CONCRETE MASONRY FOUNDATION
- 11. CONCRETE MASONRY FOUNDATION
  WATERPROOFING SHALL BE PER SECTION
  R406.2 OF THE 2020 INDIANA RESIDENTIAL
  CODE AND THE 2018 INTERNATIONAL
  RESIDENTIAL CODE.

#### GENERAL NOTES

- GENERAL STRUCTURAL AND
  ARCHITECTURAL NOTES ARE INTENDED TO
  AUGMENT THE DRAWINGS AND
  SPECIFICATIONS. SHOULD CONFLICTS EXIST
  BETWEEN THE GENERAL, STRUCTURAL OR
  ARCHITECTURAL NOTES AND THE
  DRAWINGS, THE STRICTEST PROVISION
  SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

SIDENTIAL CODE.	
SQUARE FOOTAGE - ELEV	"D"
1ST FLOOR	2125
TOTAL HEATED	2125
GARAGE	435
FRONT PORCH	107
OPT FULL BASEMENT	2009
OPT 3RD CAR FRONT LOAD	191
OPT GARAGE STORAGE	76
OPT 4' GARAGE EXTENSION	89
OPT DINING NOOK EXTENSION	+27
OPT 4' EXTENSION TO OWNER'S SUITE	+75
OPT MORNING ROOM	+161
OPT VERANDA	+161
OPT BONUS ROOM	+542
OPT BONUS ROOM w/ BATH	+598
OPT FINISHED BASEMENT	+1035
OPT FINISHED BASEMENT w/ BATH	+1086
OPT FINISHED BASEMENT w/ BATH AND BED	+1246

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions				
DATE	C.O #	Description	Drafter	

# M/I HOMES PRESENTS KENTMORE "Elevation D" Owner's Name CONSTRUCTION SET ADDRESS LOT #

## 2x4 EXTERIOR WALLS

MI HOMES - COMMON ABBREVIATIONS ON PRINTS		
1st - FIRST 2nd - SECOND	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM		SHWR - SHOWER
	LDRY - LAUNDRY	SPF - SPRUCE PINE FIR
B/ - BOTTOM	LOC - LOCATION	SVC - SERVICE
BDR - BEDROOM		SYP - SOUTHERN
BRKFST - BREAKFAST	MANUF or MFR -	YELLOW PINE
	MANUFACTURER	
CATH - CATHEDRAL	MUD - MUDROOM	T/ - TOP
CONC CONCRETE		TEMP - TEMPERED
€ - CENTERLINE	OC - ON CENTER	THK'D - THICKENED
	OH - OVERHANG	TYP - TYPICAL
DBL - DOUBLE	OPT - OPTIONAL	
DH - DOUBLE HUNG		UNO - UNLESS NOTED
DIA - DIAMETER	PC - PULL CHAIN	OTHERWISE
DN - DOWN	PERF - PERFORATED	
DW - DISH WASHER	PSF - PER SQUARE	VIF - VERIFY IN FIELD
	FOOT	
FD - FLOOR DRAIN	PT - PRESSURE	w/ - WITH
FDN - FOUNDATION	TREATED	WD - WOOD
FLR - FLOOR	PTRY - PANTRY	WH - WATER HEATER
FPHB - FROST	PWD - POWDER	WIC - WALK IN CLOSET
PROTECTED	R - PLATE	
HOSE BIB		
FTG - FOOTING	R. BATH - RETREAT	
	BATH REF - REFRIGERATOR	
GWB - GYPSUM WALL	REC'D - REQUIRED	
BOARD		
LI BATH HALL BATH	RET - RETREAT RI - ROUGH IN	
H. BATH - HALL BATH	ni - noudri IN	
ILO - IN LIFU OF	SCH - SCHEDULE	
I ILO - IN LILO OF	GOIT GOTTEDOLE	

Sheet List Table			
heet Number	Sheet Title		
0.0D	Cover Sheet Indianapolis		
1.0D	Front and Garage Elevations		
1.1D	Rear and Side Elevations		
2.0D	Slab Fdn		
2.1D	Slab Fdn wBONUS		
2.2D	Slab Fdn - Brick Wrap		
2.3D	Slab Fdn wBONUS - Brick Wrap		
2.4D	Full Basement Fdn		
2.4D 2.5D	Full Basement Fdn - Brick Wrap		
2.6D	Finished Basement		
2.0D 2.7D	Finished Basement with Bath		
2.8D	Finished Basement with Bath and Bed		
3.0D			
4.05	First Floor Subfloor		
4.0D	1st Fl Plan - Slab No Bonus		
4.1D	1st Fl Plan - Basement No Bonus		
4.2D	1st Fl Plan - Slab w Bonus		
4.3D	1st Fl Plan - Basement w Bonus		
4.4D	Floorplan Options		
M1.0D	1st Fl MEP Plan - Slab no Bonus		
M1.1D	1st MEP Plan - Basement no Bonus		
M1.2D	1st Fl MEP Plan - Slab w Bonus		
M1.3D	1st MEP Plan - Basement w Bonus		
M1.4	Floorplan Options MEP		
7.0D	Roof Plan - Base Roof		
8.0D	Section - Building Stair		
8.1D	Section - Building		
8.2D	Section - Building		
8.3D	Section - Misc		
8.4	Section - Misc		
R1.0			
R1.0	Opt Bonus - Plan Opt Bonus - Elev		
R1.2	Opt Bonus - Elev		
R1.3	Opt Bonus - Elev		
R1.4	Opt Bonus - Elev		
R1.5	Opt Bonus - Roof		
R1.6	Opt Bonus - Roof		
R1.7	Opt Bonus - Roof		
R1.8	Opt Bonus - Roof		
R2.0	Opt Morning Room		
R3.0	3rd Car Plan		
R3.1	3rd Car Elevation		
R4.0	Garage Storage Plan		
R4.1	Garage Storage elevation		
R5.0	Garage Extension		
R6.0	Opt Veranda		
R6.1	Opt Veranda		
R6.2	Opt Veranda #2		
R6.3	Opt Veranda #2		
R6.4	Opt Veranda #2		
R6.5	Opt Veranda #2		
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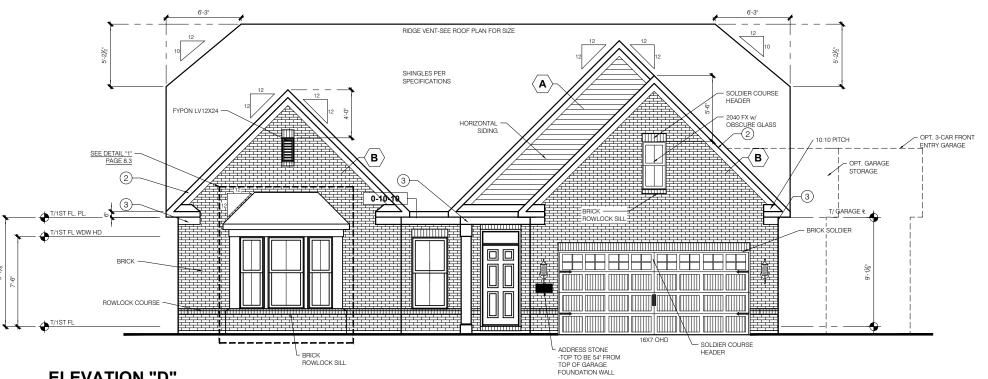
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LSP Date: ----LSP By:
LSP Rev: ----Sheet Title :
Cover Sheet

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Indianapolis

Elevation - D



ELEVATION "D"
FRONT ELEVATION

SCALE: 1/4" = 1'-0"

SHALLES FER
SHALLE

# **GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0

#### TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS
PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES.
ALL TRIM NOTED ON THE ELEVATIONS IS
NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH
AND MATERIAL.

1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL)

(2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)

(3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)

**4** = 10" TRIM

(**5**) = 12" TRIM

6 FRONT CORNERS = 6"TRIM PER DIVISION

7 REAR CORNERS = 4"TRIM PER DIMSION

#### DIVISION NOTE:

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS
PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATION

#### ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

# GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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KENTMORE

17 PRINTS ARE

TX1X PRINTS

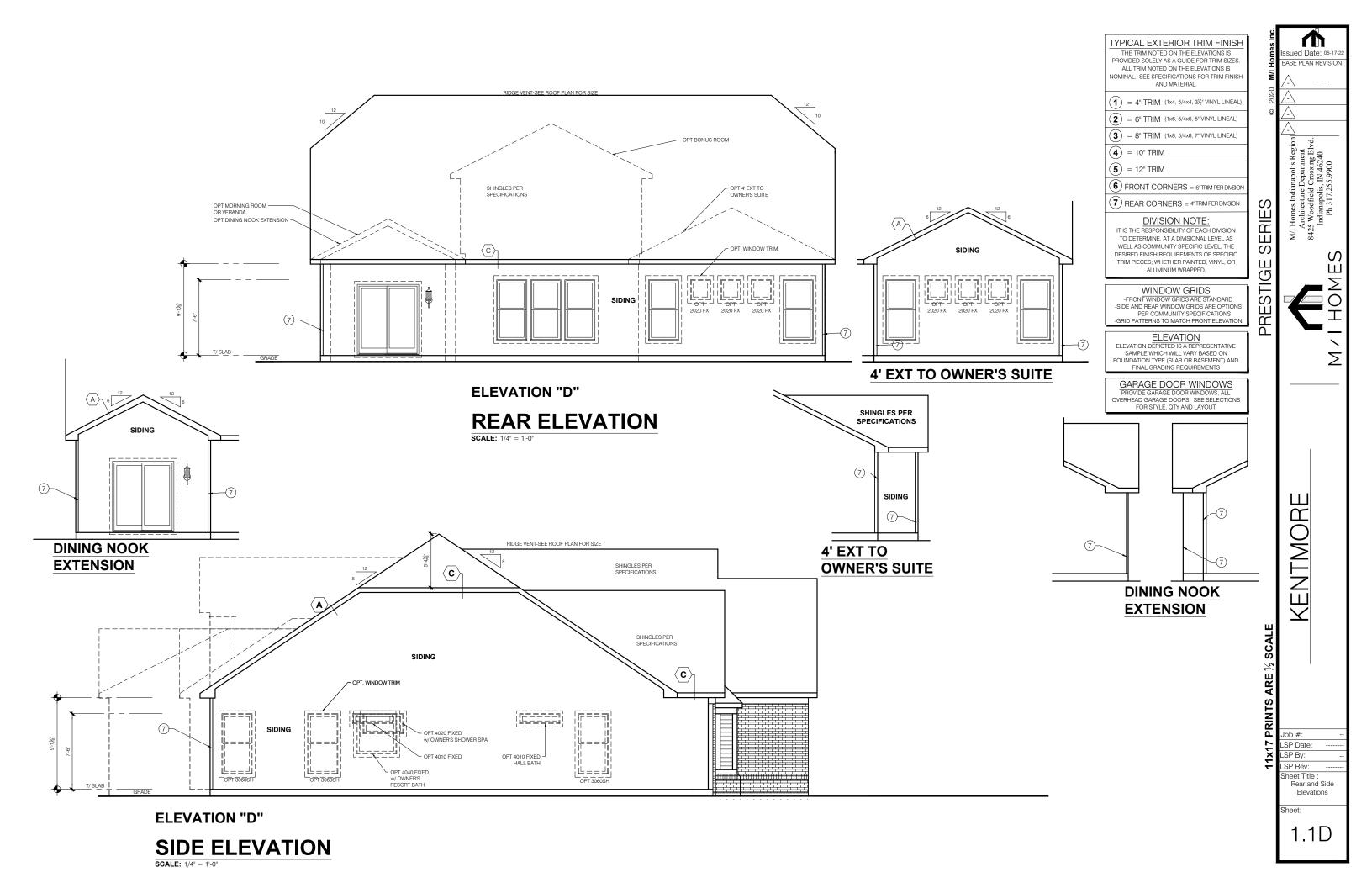
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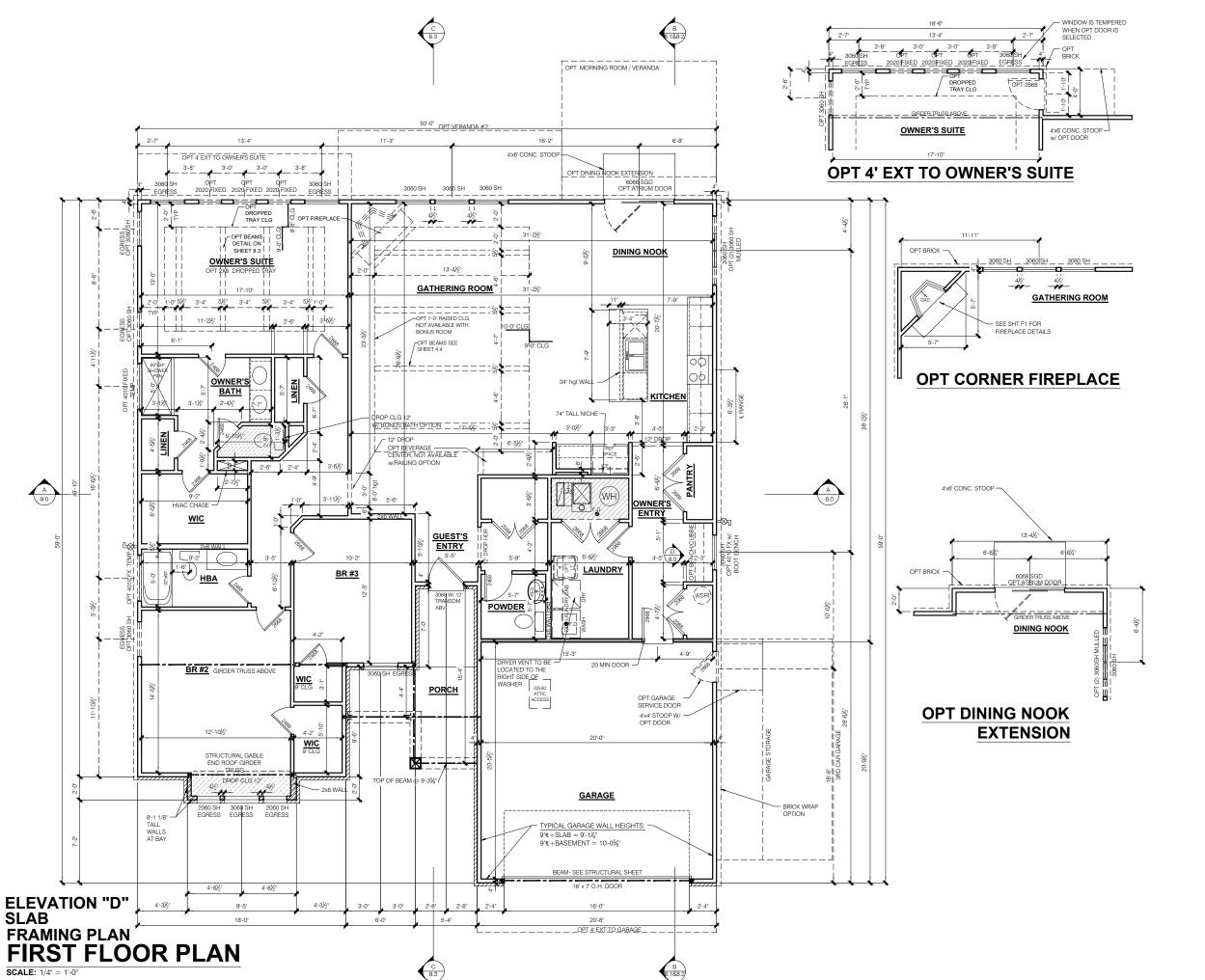
LSP Date: -LSP By: LSP Rev: -

Sheet Title : Front and Garage Elevations

Sheet:

1.0D





NOTE: THE NOTE OF THE NOTE OF

STANDARD HEIGHT- AS NOTED

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS NOTED - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE
  2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
  NOTED OTHERWISE
  1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS
- 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLES

- NOTELD OTHERWISE
  SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
  BEAMS, HEADERS AND POSTS SIZES
  ALL POINT LOADS TO BE BLOCKED SOLID TO FINA
  SUPPORT MEMBER OR FOUNDATION.
  EXTERIOR WALLS AT CONDITIONED SPACES ARE
- 2x4's W/½" NOMINAL SHEATHING U.N.O. (4"). STUD @ 16" O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/
- ½" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
- INTERIOR WALLS ARE 2x4's U.N.O. (3½")

EXTERIOR WALLS ARE SHOWN WITH ½" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

#### GARAGE DRYWALL NOTE

ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPOR FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1 GWB. CEILING TO BE 8 TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

#### GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, AL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STRUCTURAL NOTE SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION SERIES

**PRESTIGE** 

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SP Date: SP By: SP Rev: heet Title :

1st Fl Plan - Slab No Bonus

Sheet:

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- ALL BATHROOM EXHAUST FANS TO VENT TO
  THE OUTSIDE
- 2. ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35-0" MAXIMUM WITH A 5-0" DEDUCT FOR EACH 90" ELBOW.
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- SECTION 316.

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  WEATHER STRIP ALL ATTIC ACCESSES

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TOTAL HEATED	2070	
GARAGE	435	
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OPT FULL BASEMENT	1957	
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OPT 4' EXTENSION TO OWNER'S SUITE	+75	
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SQUARE FOOTAGES SHOWN AFFECT ONLY THE	BASE	

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

	Revisions				
DATE	C.O #	Description	Drafter		



# 2x4 EXTERIOR WALLS

MI HOMES - COMMON ABBREVIATIONS ON PRINTS		
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS
2nd - SECOND		DOOR
	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM		SHWR - SHOWER
	LDRY - LAUNDRY	SPF - SPRUCE PINE FIR
B/ - BOTTOM	LOC - LOCATION	SVC - SERVICE
BDR - BEDROOM		SYP - SOUTHERN
BRKFST - BREAKFAST	MANUF or MFR -	YELLOW PINE
	MANUFACTURER	
CATH - CATHEDRAL	MUD - MUDROOM	T/ - TOP
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	FOOT	
FD - FLOOR DRAIN	PT - PRESSURE	w/ - WITH
FDN - FOUNDATION	TREATED	WD - WOOD
FLR - FLOOR	PTRY - PANTRY	WH - WATER HEATER
FPHB - FROST	PWD - POWDER	WIC - WALK IN CLOSET
PROTECTED	R - PLATE	
HOSE BIB		
FTG - FOOTING	R. BATH - RETREAT	
	BATH	
GWB - GYPSUM WALL	REF - REFRIGERATOR	
BOARD	REQ'D - REQUIRED	
	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

Sheet List Table		
Sheet Number	Sheet Title	
0.0E	Cover Sheet Indianapolis	
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1.1E	Rear and Side Elevations	
1.2E	Front Material Opt Elevations	
2.0E	Slab Fdn	
2.1E	Slab Fdn wBONUS	
2.2E	Slab Fdn - Brick Wrap	
2.3E	Slab Fdn wBONUS - Brick Wrap	
2.4E	Full Basement Fdn	
2.5E	Full Basement Fdn - Brick Wrap	
2.6E	Finished Basement	
2.7E	Finished Basement with Bath	
2.8E	Finished Bamt with Bath and Bed	
3.0E	First Floor Subfloor	
4.0E	1st Fl Plan - Slab No Bonus	
4.0E 4.1E	1st Fl Plan - Slab No Bonus  1st Fl Plan - Basement No Bonus	
4.2E	1st Fl Plan - Slab w Bonus	
4.3E	1st Fl Plan - Basement w Bonus	
4.4E	Floorplan Options	
M1.0E	1st FI MEP Plan - Slab no Bonus	
M1.1E	1st MEP Plan - Basement no Bonus	
M1.2E	1st FI MEP Plan - Slab w Bonus	
M1.3E	1st MEP Plan - Basement w Bonus	
M1.4	Floorplan Options MEP	
7.0E	Roof Plan - Base Roof	
8.0E	Section - Building Stair	
8.1E	Section - Building	
8.2E	Section - Building	
8.3E	Section - Misc	
R1.0	Opt Bonus - Plan	
R1.1	Opt Bonus - Elev	
R1.2	Opt Bonus - Elev	
R1.3	Opt Bonus - Elev	
R1.4	Opt Bonus - Elev	
R1.5	Opt Bonus - Roof	
R1.6	Opt Bonus - Roof	
R1.0	Opt Bonus - Roof	
	•	
R1.8	Opt Bonus - Roof	
R2.0	Opt Morning Room	
R3.0	3rd Car Plan	
R3.1	3rd Car Elevation	
R4.0	Garage Storage Plan	
R4.1	Garage Storage elevation	
R5.0	Garage Extension	
R6.0	Opt Veranda	
R6.1	Opt Veranda	
R6.2	Opt Veranda #2	
R6.3	Opt Veranda #2	
R6.4	Opt Veranda #2	
R6.5	Opt Veranda #2	

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Elevation - E

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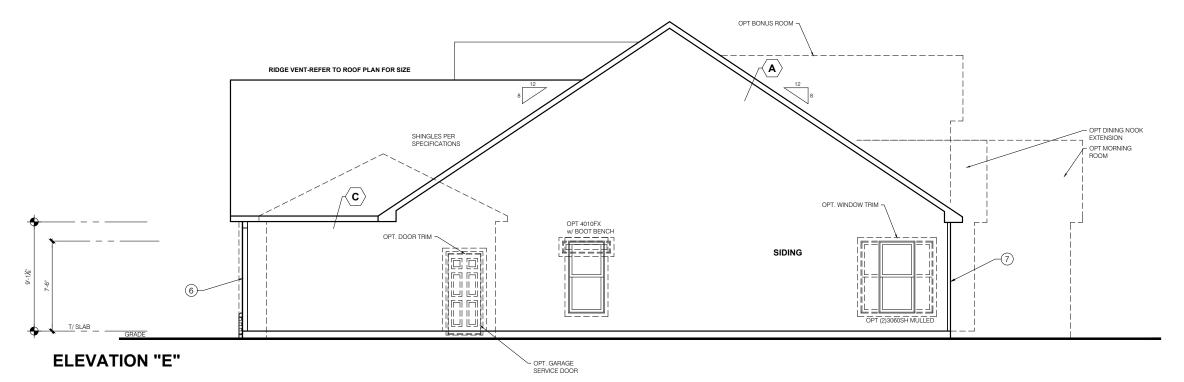
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# ELEVATION "E" STD BRICK WAINSCOT-SLAB FRONT ELEVATION

**SCALE:** 1/4" = 1'-0"



# **GARAGE SIDE ELEVATION-SLAB**

#### TYPICAL EXTERIOR TRIM FINISH

PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE FLEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- 1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL
- (2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- (3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- $(4) = 10^{\circ} \text{ TRIM}$
- **5** = 12" TRIM
- 6 FRONT CORNERS = 6"TRIM PER DIVSION
- (7) REAR CORNERS = 4"TRIM PER DIMISION

#### **DIVISION NOTE:**

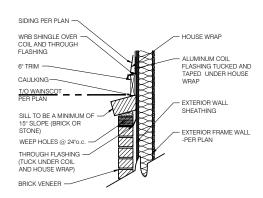
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL. THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS
PER COMMUNITY SPECIFICATIONS
-GRID PATTERNS TO MATCH FRONT ELEVATION

ELEVATION ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

GARAGE DOOR WINDOWS
PROVIDE GARAGE DOOR WINDOWS, ALL
OVERHEAD GARAGE DOORS. SEE SELECTIONS





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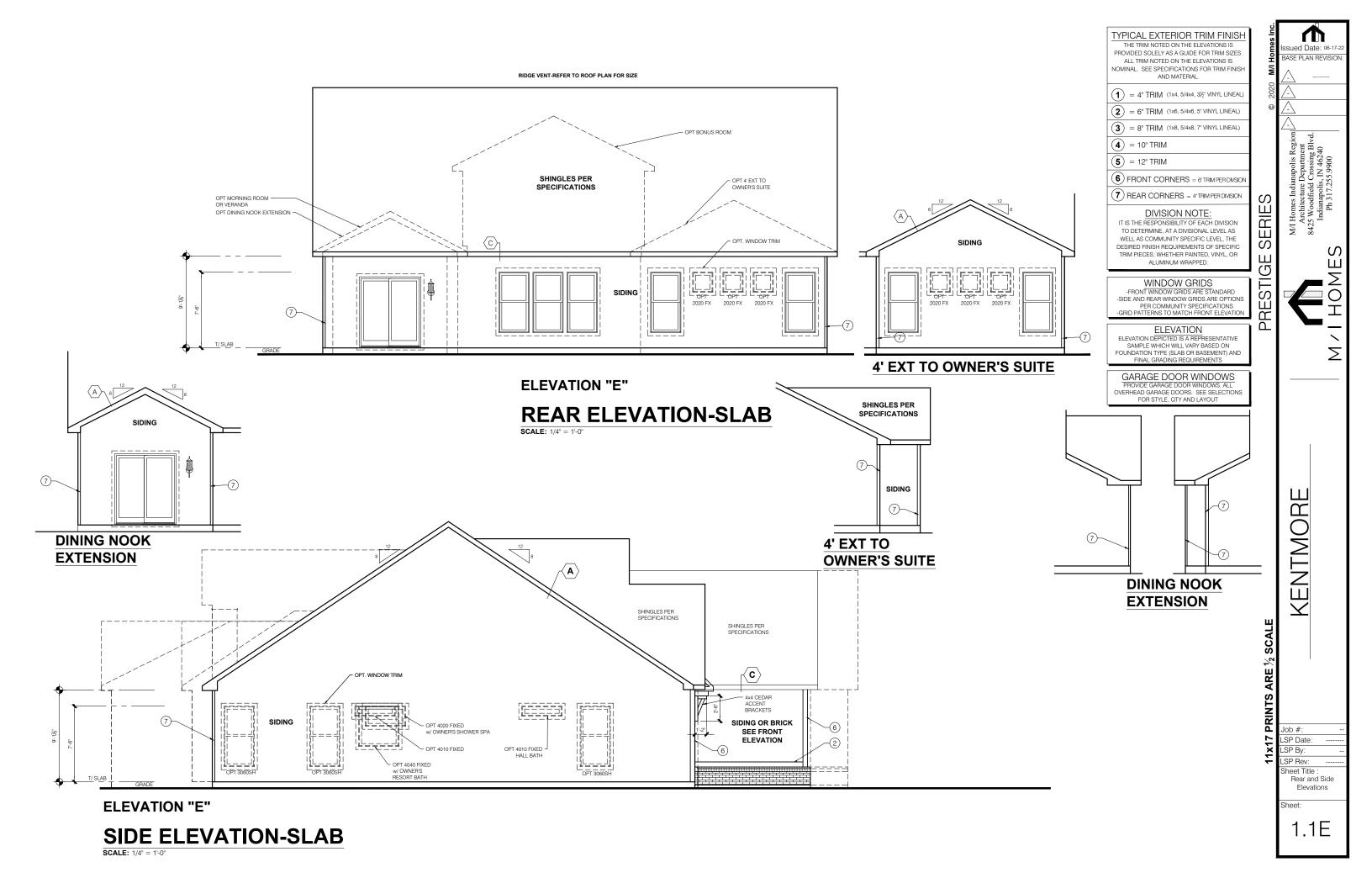
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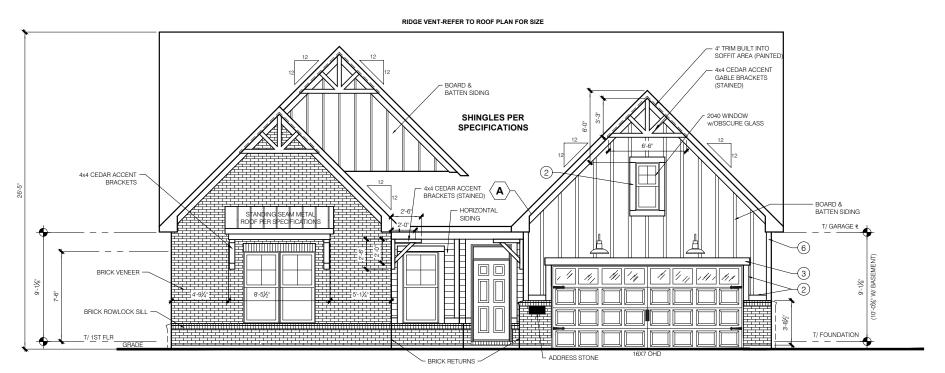
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## RIDGE VENT-REFER TO ROOF PLAN FOR SIZE TRIM BUILT INTO SOFFIT AREA (PAINTE 4x4 CEDAR ACCENT GABLE BRACKETS (STAINED) SHINGLES PER 2040 WINDOW w/OBSCURE GLASS 4x4 CEDAR ACCENT BRACKETS - 4x4 CEDAR ACCENT BRACKETS (STAINED) BOARD & BATTEN SIDING SIDING STONE VENEER T/ FOUNDATION

ADDRESS STONE

# ELEVATION "E" BRICK AND STONE OPTION FRONT ELEVATION



# ELEVATION "E" BRICK OPTION FRONT ELEVATION-SLAB

#### TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- 1 = 4" TRIM (1x4, 5/4x4, 3½" VINYL LINEAL
- (2) = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- (3) = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- (4) = 10" TRIM
- (**5**) = 12" TRIM
- (6) FRONT CORNERS = 6"TRIM PER DIVSION
- (7) REAR CORNERS = 4"TRIM PER DIVISION

#### **DIVISION NOTE:**

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

-FRONT WINDOW GRIDS ARE STANDARD
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS GRID PATTERNS TO MATCH FRONT ELEVATION

#### **ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTION FOR STYLE, QTY AND LAYOUT

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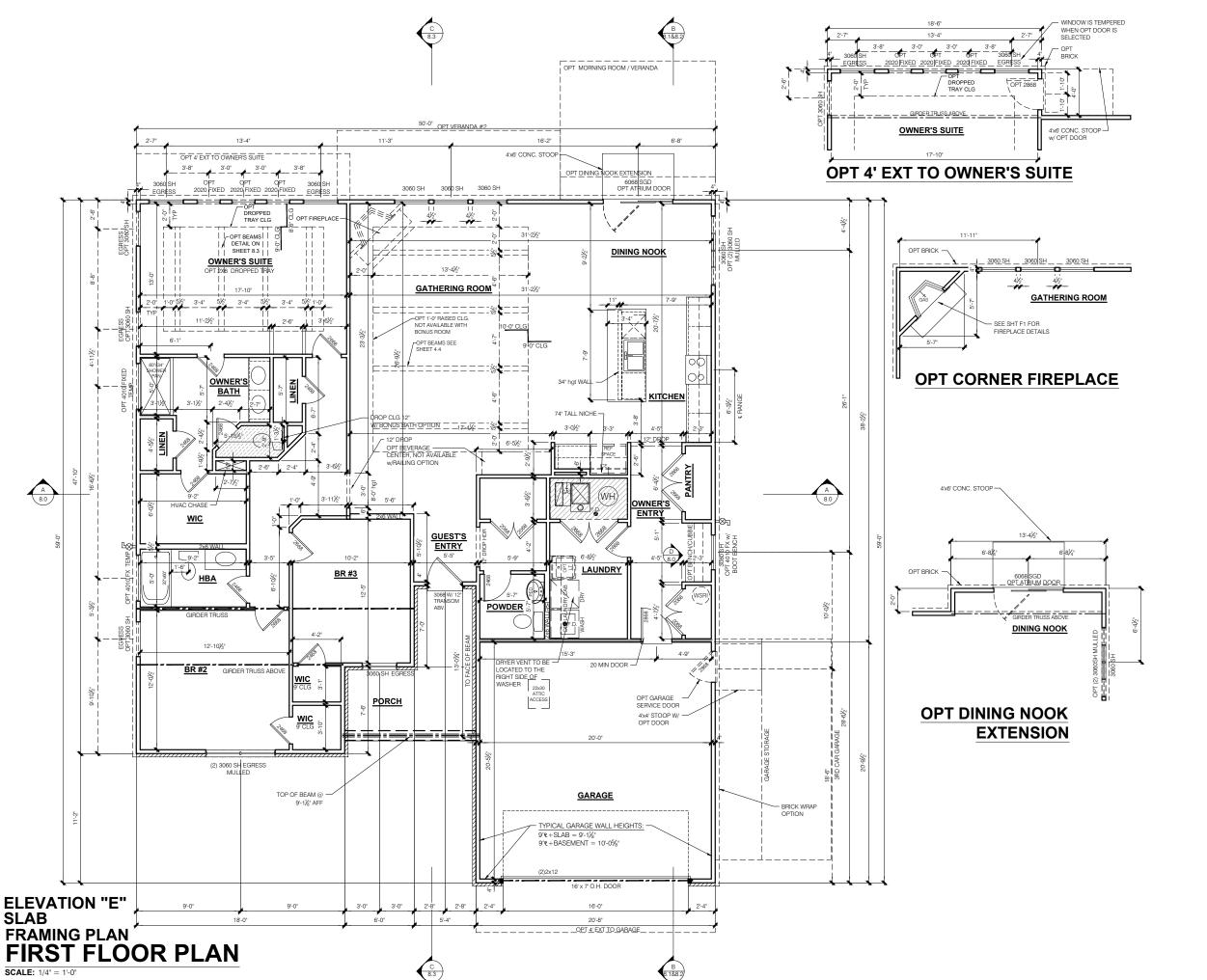
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NOTE:

- INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED

- INDICATES SLOPED WALLS - AS

BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE

- NOTED OTHERWISE
  SEE STRUCTURAL PLANS FOR ALL STRUCTURAL
  BEAMS, HEADERS AND POSTS SIZES
  ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL
  SUPPORT MEMBER OR FOUNDATION.
  EXTERIOR WALLS AT CONDITIONED SPACES ARE

- INTERIOR WALLS ARE 2x4's U.N.O. (31/2")

EXTERIOR WALLS ARE SHOWN WITH ½" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSID OF THE FOUNDATION

#### GARAGE DRYWALL NOTE ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPOR

GARAGE DOOR WINDOWS PROVIDE GARAGE DOOR WINDOWS, ALL

# OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

STANDARD HEIGHT- AS NOTED

- INDICATES INTERIOR LOAD

- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS
- NOTED OTHERWISE
  2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS
  NOTED OTHERWISE
- 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLES NOTED OTHERWISE

- EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/K\* NOMINAL SHEATHING U.N.O. (4\*). STUD @ 16\* O.C. U.N.O. WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ K\* NOMINAL SHEATHING U.N.O. (4\*). STUDS @ 16\* O.C. U.N.O.

FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 2" GWB. CEILING TO BE 5" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

STRUCTURAL NOTE

SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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1st Fl Plan - Slab No Bonus

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