

**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER. ALL PLUMBING TO COMPLY WITH THE **INDIANA PLUMBING CODE**
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2 1/2 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 1/2" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 7/8" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 1/4 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**M/I HOMES**  
PRESENTS  
**Ainsley II**  
Elevation G  
LAST NAME  
Construction Set  
06/17/2022

**2x4 EXTERIOR WALLS**

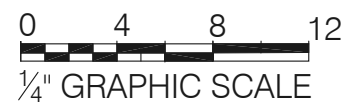
**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THKD - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

**SQUARE FOOTAGE - ELEV "G"**

1ST FLOOR	
2ND FLOOR	
<b>TOTAL HEATED</b>	<b>3245</b>
GARAGE	647
GARAGE STORAGE	+76
OPT FULL BASEMENT	+1509
OPT OFFICE	+242
NOOK BAY	+23
VERANDA / MORNING ROOM	+169
BEDROOM #2 BATH	+124
4' GATHERING ROOM EXTENSION	+83
4' FLEX EXTENSION	+51
3-CAR SIDE ENTRY GARAGE	+202
PORCH	+23

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.



**DIVISION ADDRESS**

M/I Homes of Indiana, L.P.  
8425 Woodfield Crossing Blvd.,  
Suite.100W  
Indianapolis, IN 46240  
Ph 317.255.9900

**Sheet List Table**

Sheet Number	Sheet Title
0.0G	Cover Sheet Indianapolis
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1.1G	Rear and Side Elevations
1.2G	Front Elevations with Brick-Stone
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2.1G	Slab Foundation Plan - Brick Wrap
2.2G	Poured Basement Foundation
2.3G	Poured Basement Foundation - Brick Wrap
2.4	Finished Basement Plan
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4.1G	First Floor Plan - Basement
4.2G	First Floor Plan - Options
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6.1G	Second Floor Plan - Basement
6.2G	Second Floor Plan - Options
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R4.1	2-Car Side Entry Elevations
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R5.2	3-Car Side Entry Elevations and Section
R6.0	Office Foundations - All
R6.1	Office Plans - Floor Plan & Joists Layout
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R9.0	4ft Gathering Room Extension - Foundations
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R10.1	4ft Gat Room Ext with Morning Room - Plans
R10.2	4ft Gat Room Ext with Morning Room - Elev
R11.0	4ft Flex Ext w 4ft Gat rm Ext & Morning Room - Fnd Plans
R11.1	4ft Flex Ext w 4ft Gat Rm Ext & Mrng Rm - Plans
R11.2	4ft Flex Ext with 4ft Gat Rm Ext & Mrng Room - Elevs
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R13.0	Walkout Basement
R14.0	Gathering Rm Ext - Lookout Walkout
R15.0	Gathering Rm Ext W Morning Rm - Lookout Walkout
R16.0	4ft Flex Ext - Lookout Walkout
R17.0	4ft Flex W Morning Rm - Lookout Walkout
R18.0	4ft Flex Gat Ext W Morning Rm - Lookout Walkout

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F2.0B	Foundation Plan
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S3.00	Roof Framing Plan
S4.00	Optional Framing Plan
S4.10	Optional Framing Plan
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S4.30	Optional Framing Plan
S4.40	Optional Framing Plan
S4.50	Optional Framing Plan
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SD.04	Foundation Details
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D4.7	Wall Section 2 Story - Basement
D10.0	Fireplace Details

Revisions			
DATE	C.O #	Description	Drafter

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**M/I HOMES**

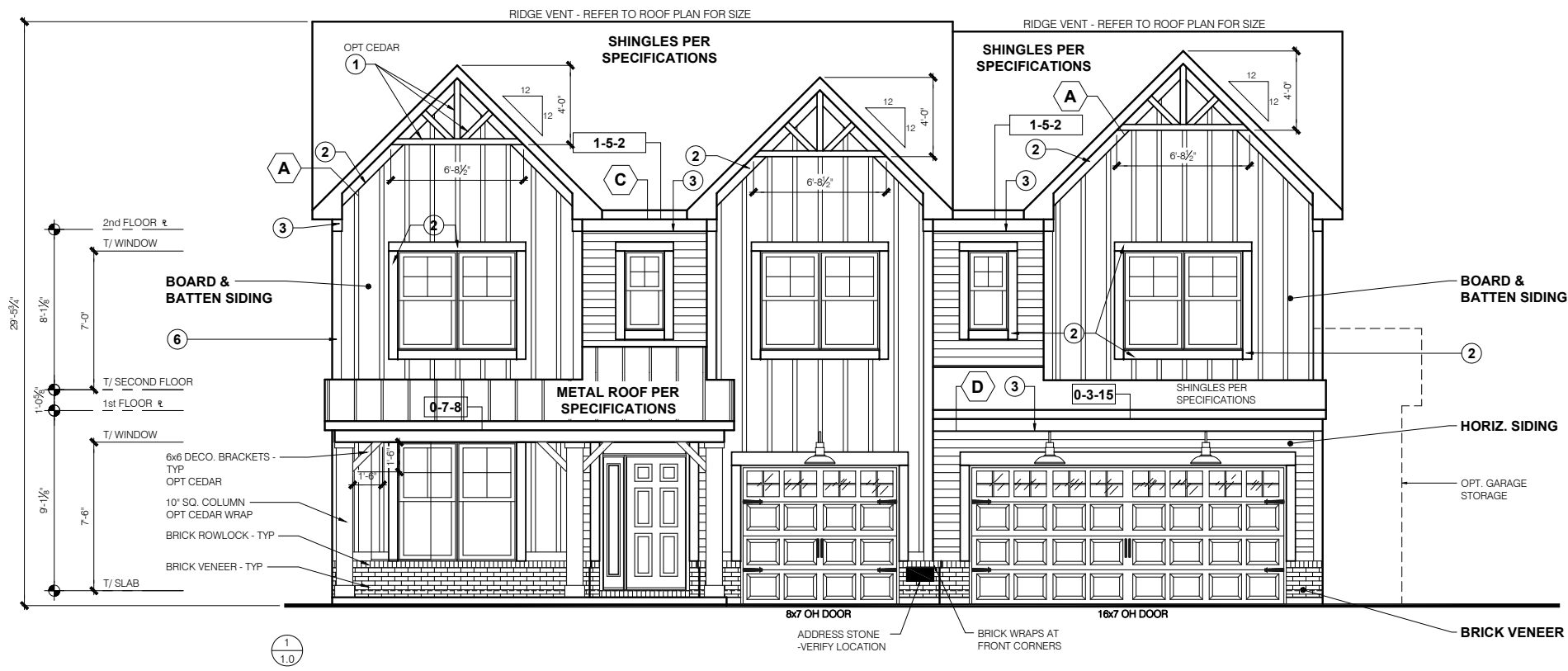
**AINSLEY II**  
FINAL SET  
6/17/2022

11x17 PRINTS ARE 1/2 SCALE

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LSP By: ---  
LSP Rev: ---  
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Cover Sheet  
Indianapolis

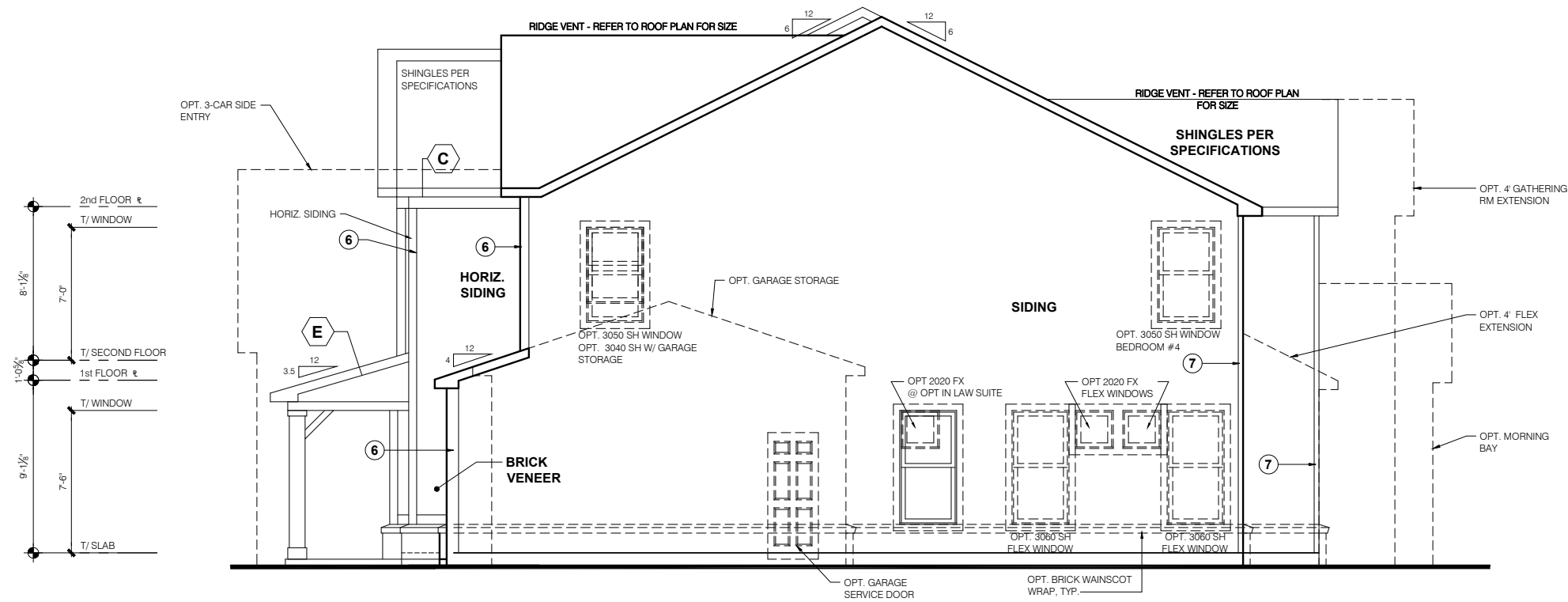
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Elevation - G



### ELEVATION "G"

SCALE: 1/4" = 1'-0"



### GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
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④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = ⑥ TRIM PER DIVISION
⑦	REAR CORNERS = ④ TRIM PER DIVISION
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<b>WINDOW GRIDS</b> -FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION	
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<b>GARAGE DOOR WINDOWS</b> PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT	

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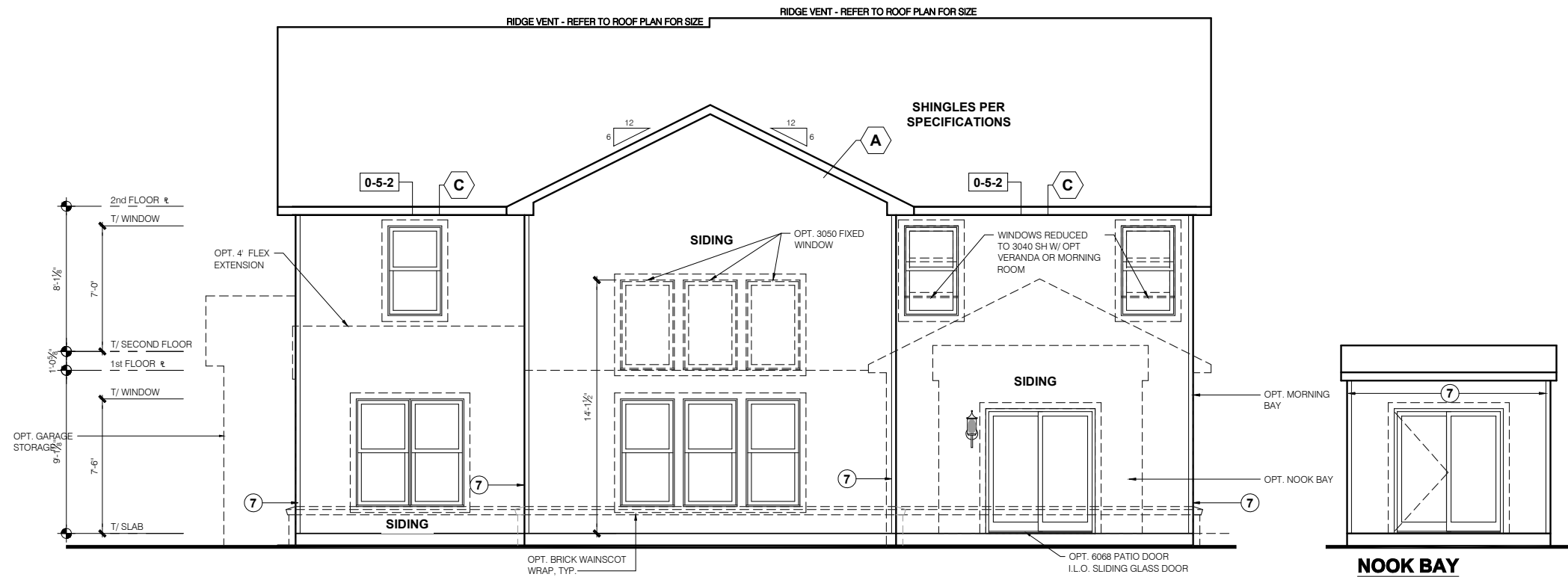
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11x17 PRINTS ARE 1/2" SCALE

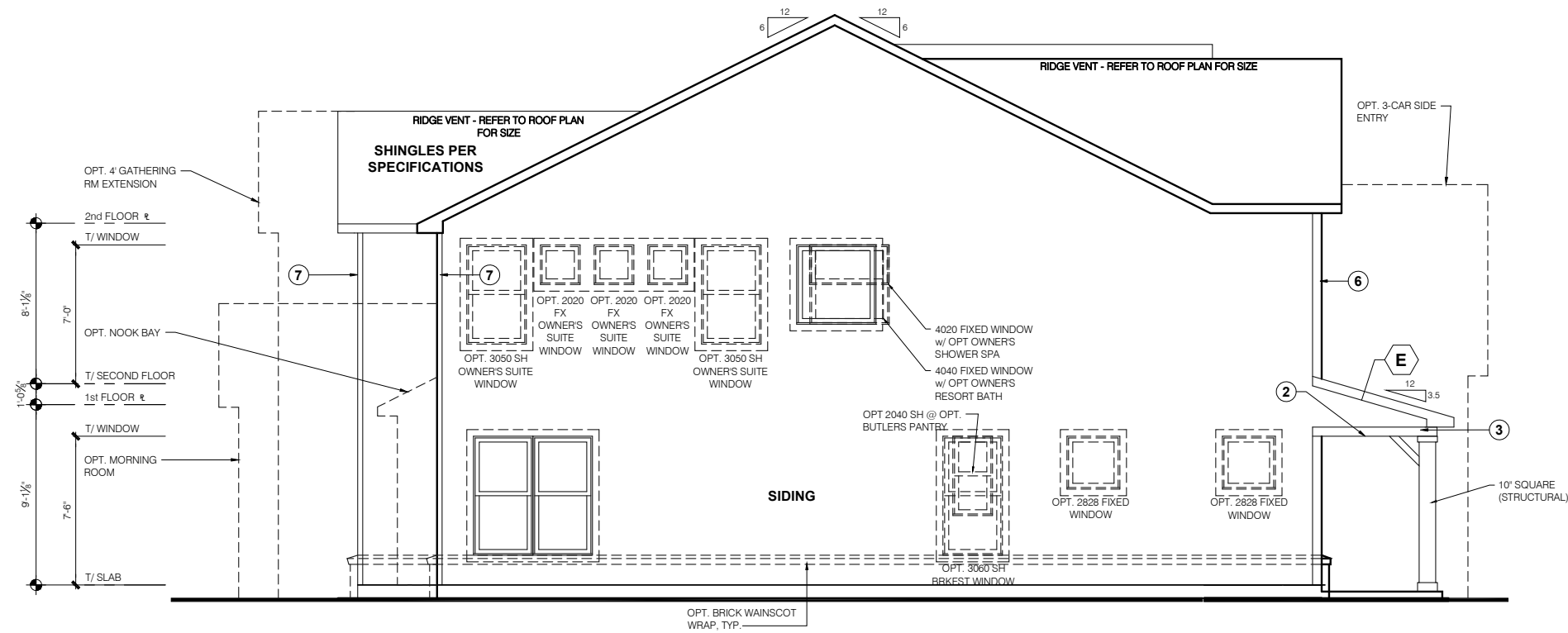
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Sheet Title:	Front and Garage Side Elevations
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### REAR ELEVATION

SCALE: 1/4" = 1'-0"



### SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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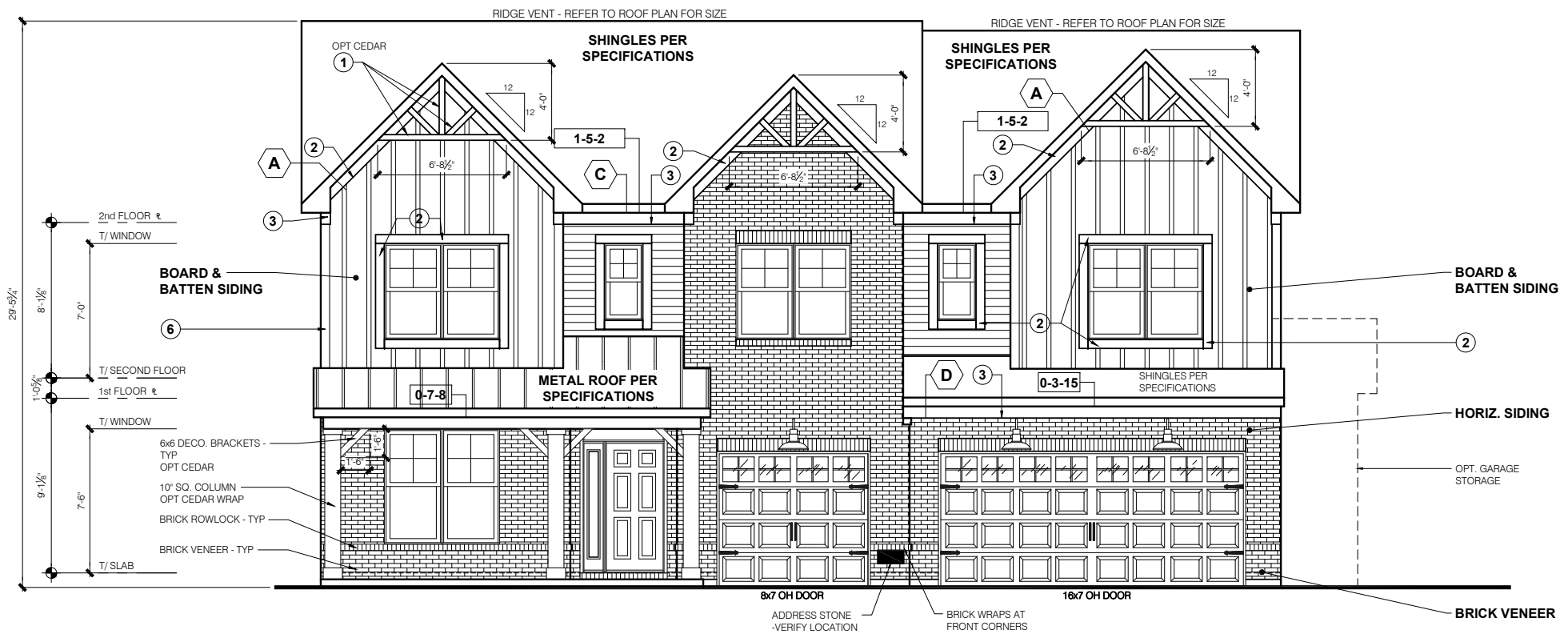
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FINAL SET  
6/17/2022

11x17 PRINTS ARE 1/2" SCALE

Job #:	Ainsley II
LSP Date:	----
LSP By:	----
LSP Rev:	----
Sheet Title:	Rear and Side Elevations
Sheet:	1.1G



**ELEVATION "G"**  
 SCALE: 1/4" = 1'-0"

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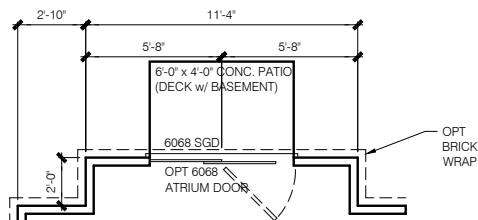
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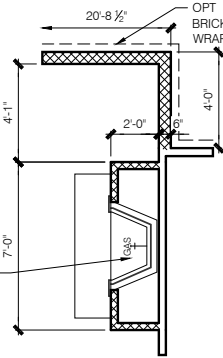
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 6/17/2022

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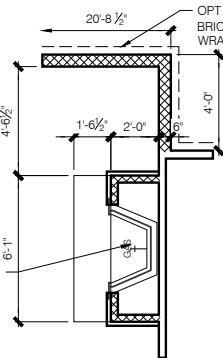
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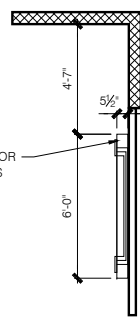
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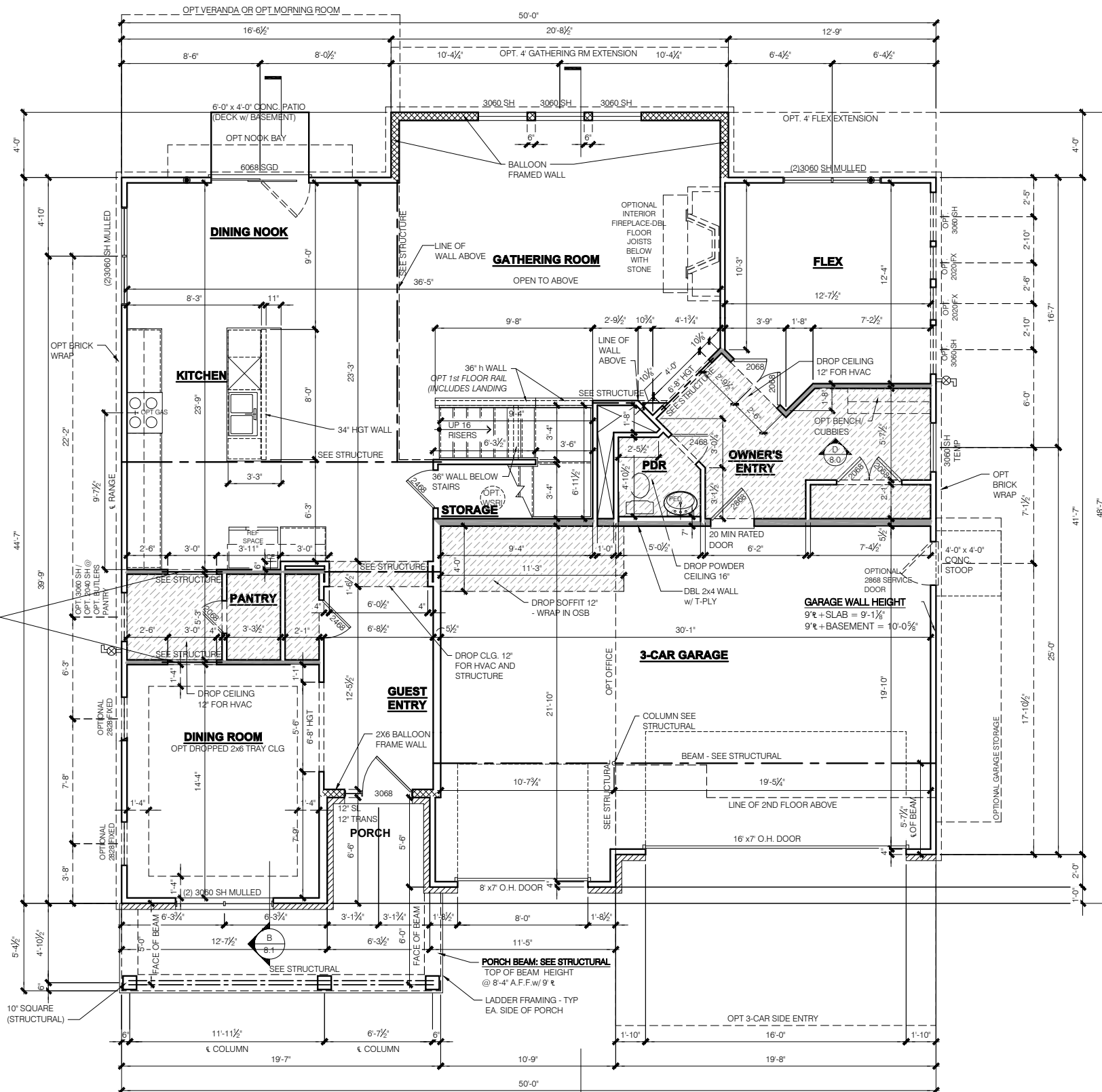
**OPT INTERIOR FIREPLACE - NO STONE**



**OPT INTERIOR FIREPLACE - WITH STONE**



**ELECTRIC FIREPLACE**



**ELEVATION "G" FRAMING PLAN SLAB FIRST FLOOR**

SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4") **STUDS @ 16" O.C. U.N.O.**
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4") **STUDS @ 16" O.C. U.N.O.**
  - INTERIOR WALLS ARE 2x4s U.N.O. (3 1/2")
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

**GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILING, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" G.W.B. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

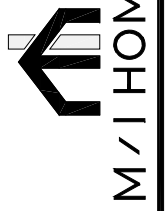
**STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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**AINSLEY II**  
FINAL SET  
6/17/2022

11x17 PRINTS ARE 1/2" SCALE

Job #: Ainsley II  
LSP Date: ---  
LSP By: ---  
LSP Rev: ---  
Sheet Title :  
First Floor Plan -  
Slab

Sheet:  
**4.0G**



**GENERAL ARCHITECTURAL NOTES**

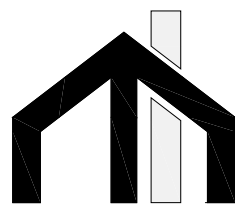
- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE **INDIANA PLUMBING CODE**
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2 1/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 3/4" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 3/4 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**M/I HOMES**

PRESENTS

**Ainsley II**

**Elevation H**

**LAST NAME**

**Construction Set**

**06/17/2022**

**2x4 EXTERIOR WALLS**

**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THK'D - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

SQUARE FOOTAGE - ELEV "H"	
1ST FLOOR	
2ND FLOOR	
<b>TOTAL HEATED</b>	<b>3245</b>
GARAGE	647
GARAGE STORAGE	+76
OPT FULL BASEMENT	+1509
OPT OFFICE	+242
NOOK BAY	+23
VERANDA / MORNING ROOM	+169
BEDROOM #2 BATH	+124
4' GATHERING ROOM EXTENSION	+83
4' FLEX EXTENSION	+51
3-CAR SIDE ENTRY GARAGE	+202
PORCH	+23

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.



**DIVISION ADDRESS**

M/I Homes of Indiana, L.P.  
8425 Woodfield Crossing Blvd.,  
Suite.100W  
Indianapolis, IN 46240  
Ph 317.255.9900

Sheet List Table	
Sheet Number	Sheet Title
0.0H	Cover Sheet Indianapolis
1.0H	Front and Garage Side Elevations
1.1H	Rear and Side Elevations
1.2H	Front Elevations with Brick-Stone
2.0H	Slab Foundation Plan
2.1H	Slab Foundation Plan - Brick Wrap
2.2H	Poured Basement Foundation
2.3H	Poured Basement Foundation - Brick Wrap
2.4	Finished Basement Plan
3.0H	First Floor Subfloor
4.0H	First Floor Plan - Slab
4.1H	First Floor Plan - Basement
4.2H	First Floor Plan - Options
6.0H	Second Floor Plan - Slab
6.1H	Second Floor Plan - Basement
6.2H	Second Floor Plan - Options
M1.0H	First Floor MEP Plan - Slab
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M2.1H	Second Floor MEP Plan - Basement
M2.2H	Second Floor Option MEP Plans
7.0H	Roof Plan
8.0H	Sections at Garage and Stairs
8.1H	Section at Family Room
R1.0	R1.0 Veranda
R1.1	Screened in Porch
R2.0	Morning Room
R3.0	Garage Storage - Brick
R4.0	2-Car Side Entry Plans - All
R4.1	2-Car Side Entry Elevations
R5.0	3-Car Side Entry Plans - All Brick
R5.1	3-Car Side Entry Plans - All
R5.2	3-Car Side Entry Elevations and Section
R6.0	Office Foundations - All
R6.1	Office Plans - Floor Plan & Joists Layout
R6.2	Office Elevations
R7.0	R9.0 4ft Flex Extension - Fnd Plans
R7.1	4ft Flex Extension - Plans
R7.2	4ft Flex Extension - Elevs
R8.0	4ft Flex Ext with Morning Room - Fnd Plans
R8.1	4ft Flex Ext with Morning Room - Plans
R8.2	4ft Flex Ext with Morning Room - Elevs
R9.0	4ft Gathering Room Extension - Foundations
R9.1	4ft Gathering Room Extension - Plans
R10.0	4ft Gat Rm Ext with Morning Rm - FND and Elev
R10.1	4ft Gat Room Ext with Morning Room - Plans
R10.2	4ft Gat Room Ext with Morning Room - Elev
R11.0	4ft Flex Ext w 4ft Gat rm Ext & Morning Room - Fnd Plans
R11.1	4ft Flex Ext w 4ft Gat Rm Ext & Mning Rm - Plans
R11.2	4ft Flex Ext with 4ft Gat Rm Ext & Mning Room - Elevs
R12.0	Lookout Basement
R13.0	Walkout Basement
R14.0	Gathering Rm Ext - Lookout Walkout
R15.0	Gathering Rm Ext W Morning Rm - Lookout Walkout
R16.0	4ft Flex Ext - Lookout Walkout
R17.0	4ft Flex W Morning Rm - Lookout Walkout
R18.0	4ft Flex Gat Ext W Morning Rm - Lookout Walkout

**Structural Drawing Index**

Number	Sheet Title
S0.10	Structural Notes
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F1.0B	Foundation Plan
F2.0	Foundation Plan
F2.0B	Foundation Plan
S1.00	1st Floor Framing Plan
S2.00	2nd Floor Framing Plan
S3.00	Roof Framing Plan
S4.00	Optional Framing Plan
S4.10	Optional Framing Plan
S4.20	Optional Framing Plan
S4.30	Optional Framing Plan
S4.40	Optional Framing Plan
S4.50	Optional Framing Plan
S4.60	Optional Framing Plan
S4.70	Optional Framing Plan
S4.80	Optional Framing Plan
S4.90	Optional Framing Plan
LB-1.0	Lateral Bracing Detail
SD.04	Foundation Details
SD.05	Foundation Details
D4.0	Wall Section Ranch - Slab
D4.1	Wall Section 2 Story - Slab
D4.6	Wall Section Ranch - Basement
D4.7	Wall Section 2 Story - Basement
D10.0	Fireplace Details

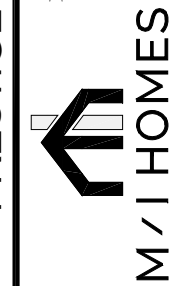
Revisions			
DATE	C.O #	Description	Drafter

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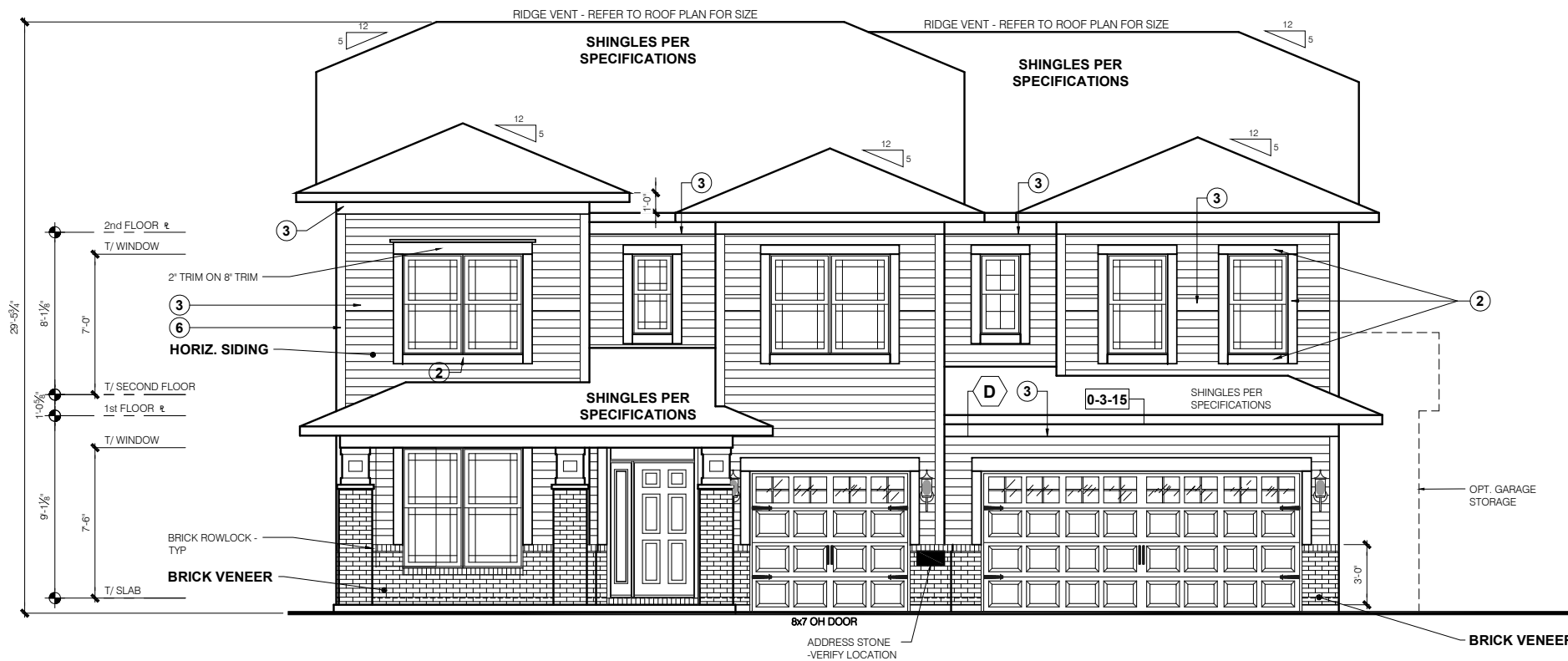


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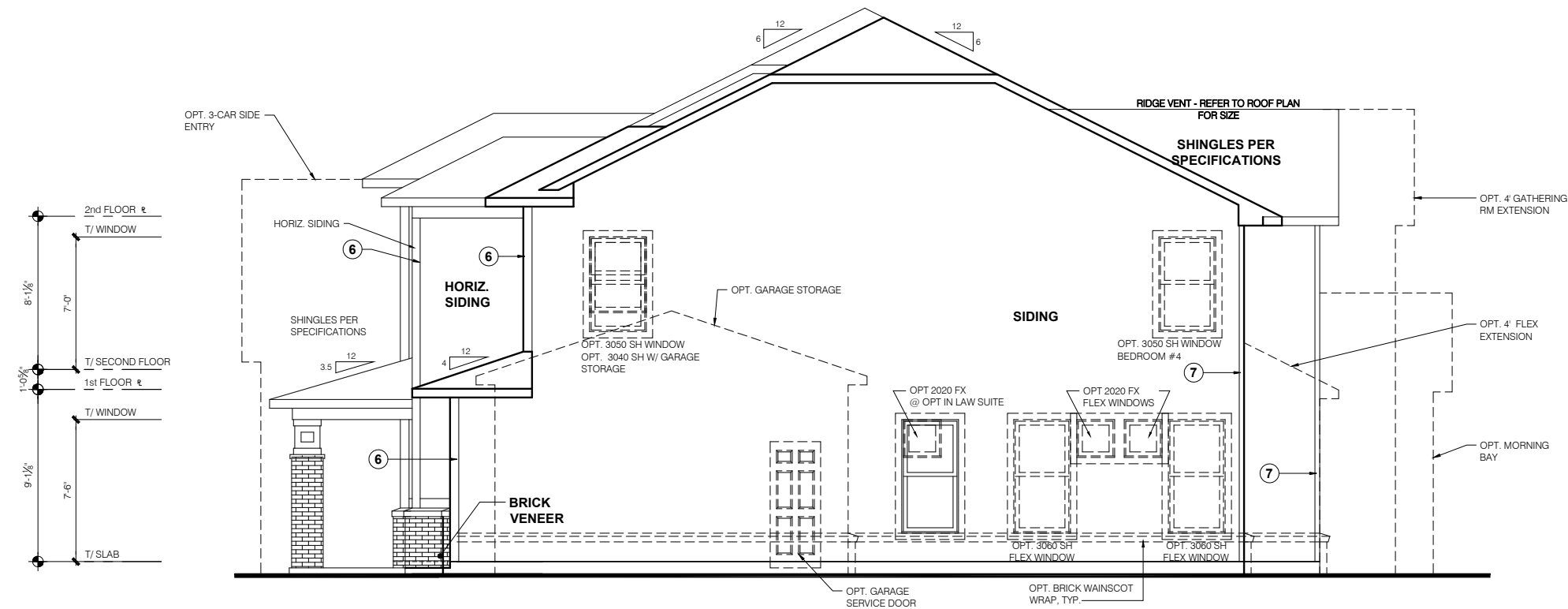
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LSP Date: ---  
LSP By: ---  
LSP Rev: ---  
Sheet Title :  
Cover Sheet  
Indianapolis  
Sheet:  
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Elevation - H



**ELEVATION "H"**  
SCALE: 1/4" = 1'-0"



**GARAGE SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = ⑥ TRIM PER DIVISION
⑦	REAR CORNERS = ④ TRIM PER DIVISION
<b>DIVISION NOTE:</b> IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	
<b>WINDOW GRIDS</b> -FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION	
<b>ELEVATION</b> ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS	
<b>GARAGE DOOR WINDOWS</b> PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT	

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④ ---

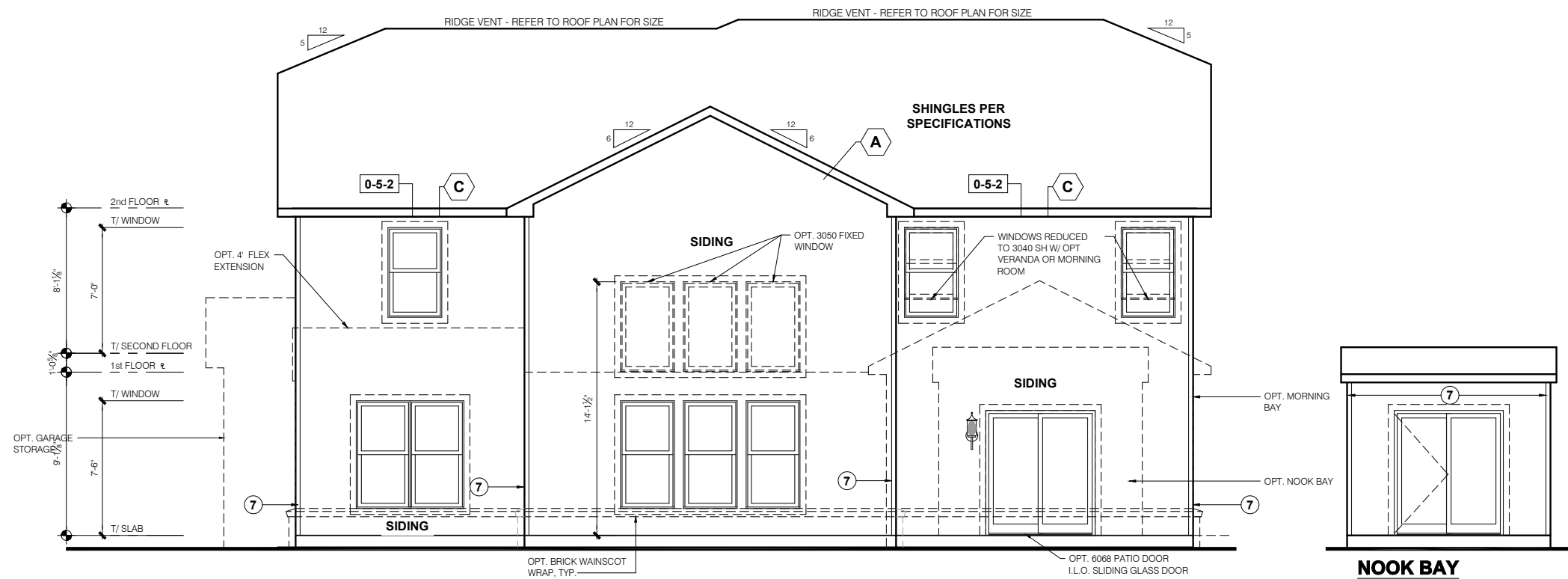
11x17 PRINTS ARE 1/2" SCALE

**AINSLY II**  
FINAL SET  
6/17/2022

Job #:	Ainsley II
LSP Date:	----
LSP By:	----
LSP Rev:	----
Sheet Title:	Front and Garage Side Elevations
Sheet:	

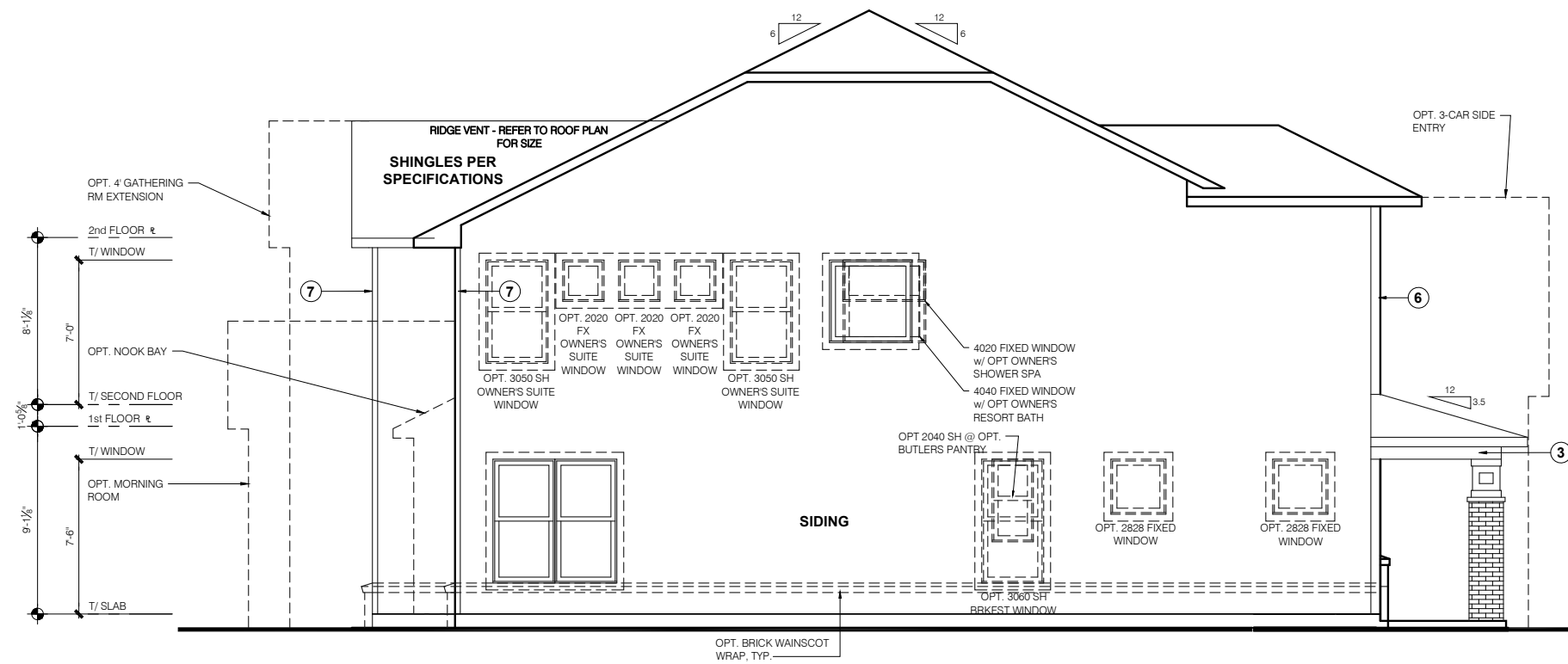
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### REAR ELEVATION

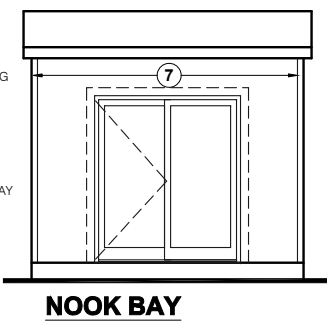
SCALE: 1/4" = 1'-0"



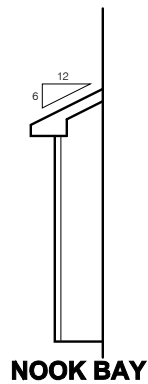
### SIDE ELEVATION

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
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<b>WINDOW GRIDS</b> -FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION	
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<b>GARAGE DOOR WINDOWS</b> PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT	



NOOK BAY



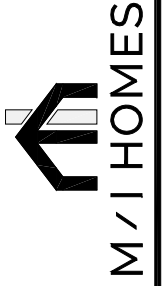
NOOK BAY

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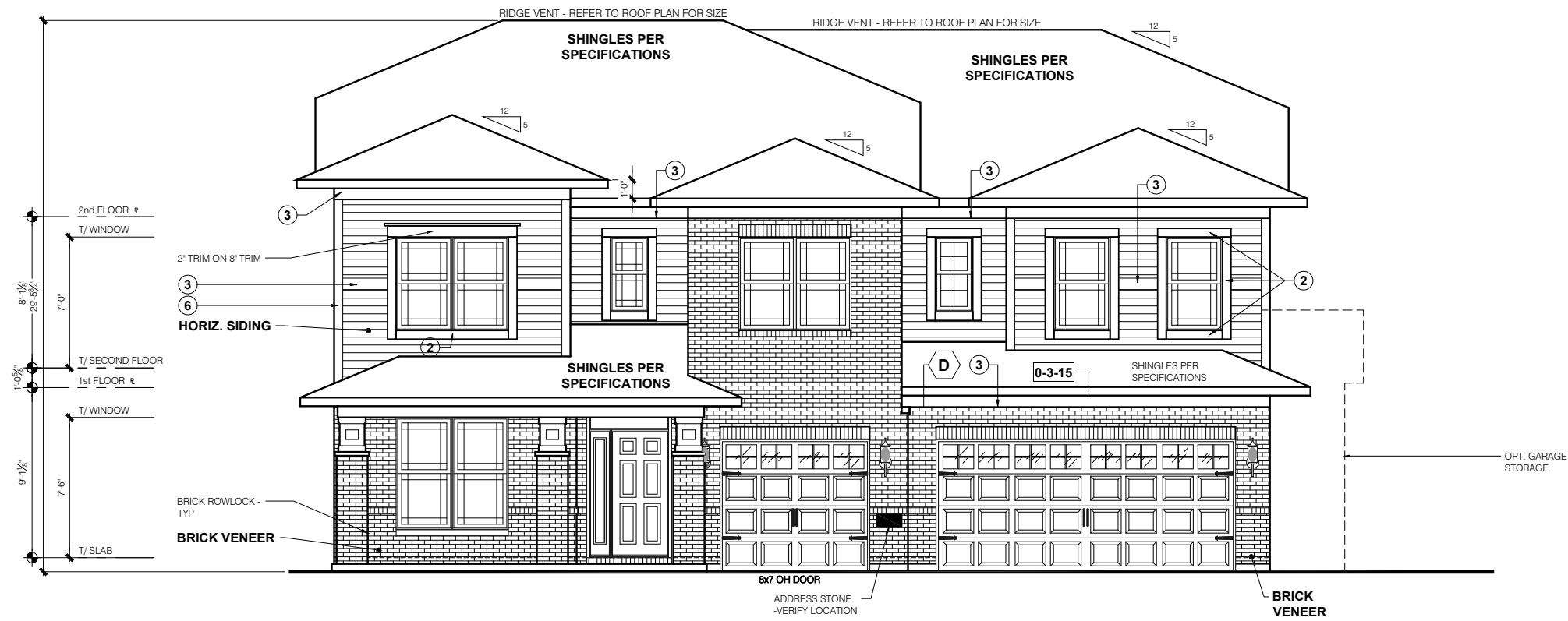
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11x17 PRINTS ARE 1/2" SCALE

Job #:	Ainsley II
LSP Date:	----
LSP By:	----
LSP Rev:	----
Sheet Title:	Rear and Side Elevations
Sheet:	1.1H



# ELEVATION "H"

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**  
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**WINDOW GRIDS**  
 -FRONT WINDOW GRIDS ARE STANDARD  
 -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
 -GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**  
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**GARAGE DOOR WINDOWS**  
 PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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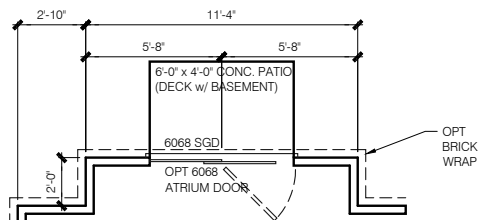
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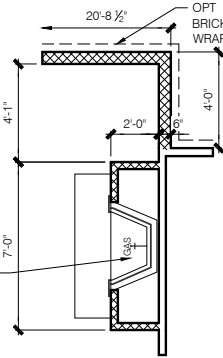
**AINSLY II**  
 FINAL SET  
 6/17/2022

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LSP Rev:	----
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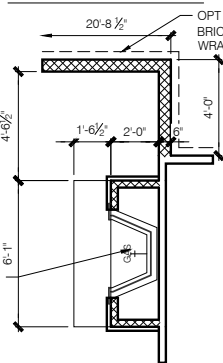
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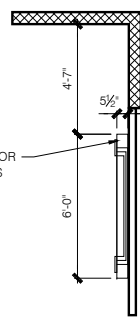
**NOOK BAY**



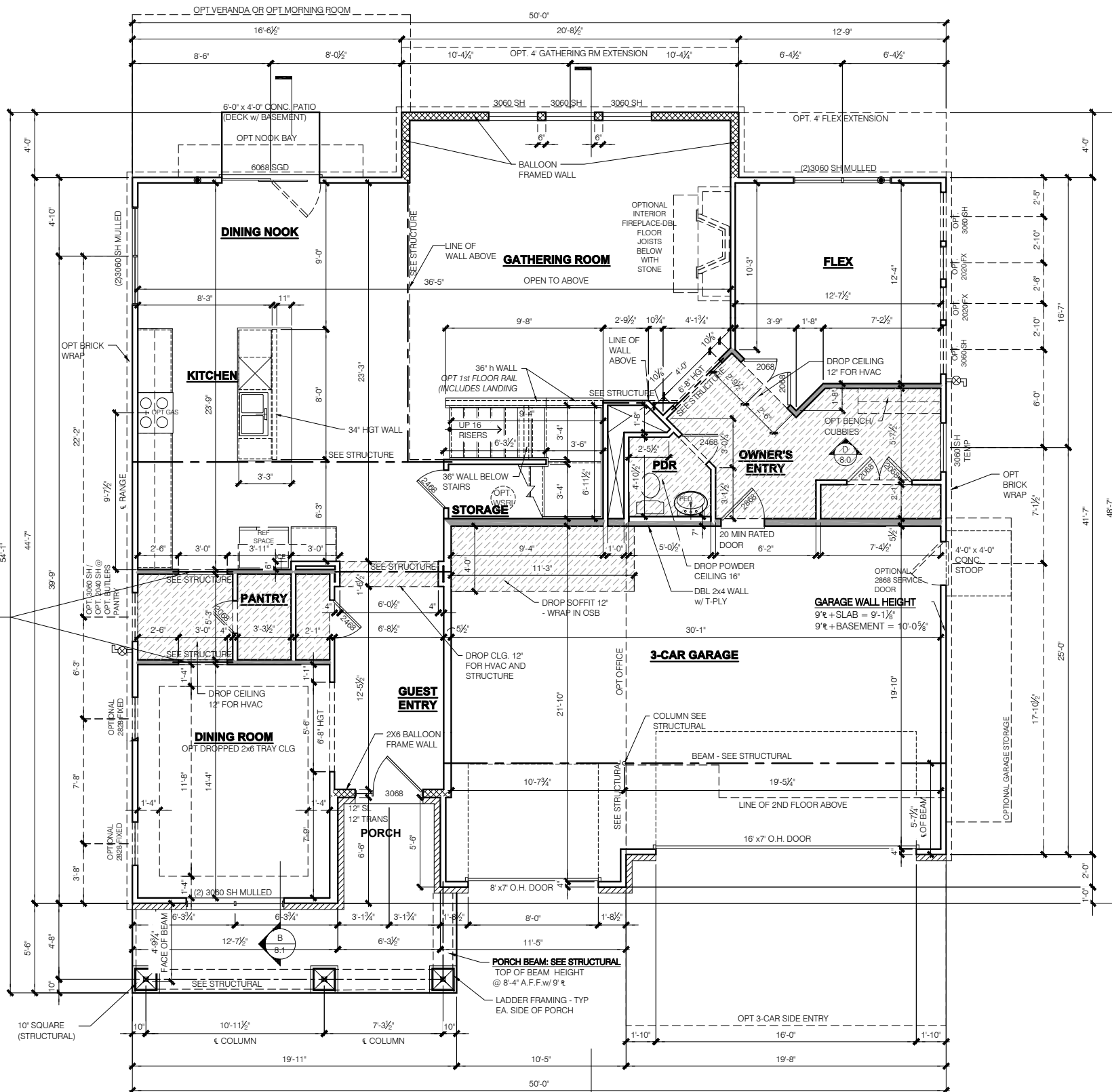
**OPT INTERIOR FIREPLACE - NO STONE**



**OPT INTERIOR FIREPLACE - WITH STONE**



**ELECTRIC FIREPLACE**



**ELEVATION "H" FRAMING PLAN SLAB FIRST FLOOR**

SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4") **STUDS @ 16" O.C. U.N.O.**
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4") **STUDS @ 16" O.C. U.N.O.**
  - INTERIOR WALLS ARE 2x4s U.N.O. (3 1/2")
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

**GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILING, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" GWB. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

**STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

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Issued Date: 06-17-22  
BASE PLAN REVISION:

1	---
2	---
3	---
4	---

M/I Homes Indianapolis Region  
Architecture Department  
8425 Woodfield Crossing Blvd.  
Indianapolis, IN 46240  
Ph 317.255.9900

**M/I HOMES**

**AINSLEY II**  
FINAL SET  
6/17/2022

Job #: Ainsley II  
LSP Date: ---  
LSP By: ---  
LSP Rev: ---  
Sheet Title :  
First Floor Plan -  
Slab  
Sheet:  
**4.0H**



**GENERAL ARCHITECTURAL NOTES**

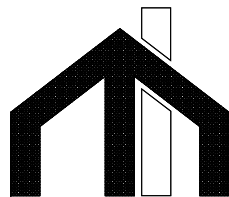
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**M/I HOMES**

Welcome to Better PRESENTS

**Cheswicke II**

**"Elevation A"**

**Owner's Name  
CONSTRUCTION SET  
ADDRESS  
LOT #**

**SQUARE FOOTAGE - ELEVATION 'A'**

1ST FLOOR	2264
<b>TOTAL HEATED</b>	<b>2264</b>
PORCH	20
GARAGE	417
GARAGE STORAGE	+80
3-CAR FRONT ENTRY GARAGE	+200
3-CAR SIDE ENTRY GARAGE	+200
OPT FULL BASEMENT	+2142
FINISHED BASEMENT	+1135
FINISHED BASEMENT w/BATH	+1184
FINISHED BASEMENT w/BEDROOM & BATH	+1184
VERANDA	+146
VERANDA #2	+122
DINING NOOK BAY	+22
MORNING ROOM	+131
OWNER'S SUITE EXTENSION	+67
BONUS ROOM	+502
BR 3 EXTENSION	+23

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THK'D - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

**Architectural Drawing Index**

Number	Sheet Title
0.0A	Cover Sheet Indianapolis
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1.1A	Rear and Side Elevations
2.1A	Slab Foundation
2.2A	Slab Foundation - w/Bonus
2.3A	Slab Foundation - Brick Wrap
2.4A	Slab Foundation - Brick Wrap w/Bonus
2.5A	Poured Full Basement
2.6A	Poured Full Basement - Brick Wrap
2.7	Opt Finished Basement
2.8	Opt Finished Basement w/Bath
2.9	Opt Finished Basement w/Bed & Bath
3.0A	First Floor Subfloor - Basement
4.0A	First Floor Plan - Slab
4.1A	First Floor Plan - Basement
4.2	First Floor Plan - Options
M1.0A	First Floor MEP Plan - Slab
M1.1A	First Floor MEP Plan - Basement
M1.2	First Floor MEP Plan - Options
7.0A	Roof Plan - Base Roof
8.0A	Sections A B
8.1A	Section C
R0.1	Opt Front Garage Extension
R1.0	Opt Garage Storage Elevations
R1.1	Opt Garage Storage Plans
R1.2	Opt Garage Storage Plans-Brick Wrap
R2.0	Opt 3 car Front Elevations
R2.1	Opt 3 car Front Plans
R2.2	Opt 3 car Front Plans-Brick Wrap
R3.0	Opt 2 car Side Elevations
R3.1	Opt 2 car Side Plans
R3.2	Opt 2 car Side Plans-Brick Wrap
R4.0	Opt 3 car Side Elevations
R4.1	Opt 3 car Side Plans
R4.2	Opt 3 car Side Plans-Brick Wrap
R5.0	Opt Bonus Room elev-sect
R5.1	Opt Bonus Room Plans
R5.2	Opt Bonus Room Electrical Plans
R5.3	Opt Bonus Room Roof Plan
R6.0	Opt Morning Room
R7.0	Optional Veranda
R8.0	Optional Veranda #2 Plans
R8.1	Optional Veranda #2 Plans
R8.2	Optional Veranda #2 Elevations
R9.0	Opt Look-out Basement
R9.1	Opt Look-out Basement
R10.0	Opt Walk-out Basement
R10.1	Opt Walk-out Basement

<b>Revisions</b>			
DATE	C.O #	Description	Drafter

PRESTIGE SERIES

11x17 PRINTS ARE 1/2" SCALE

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Issued Date: 6/17/22

BASE PLAN REVISION:

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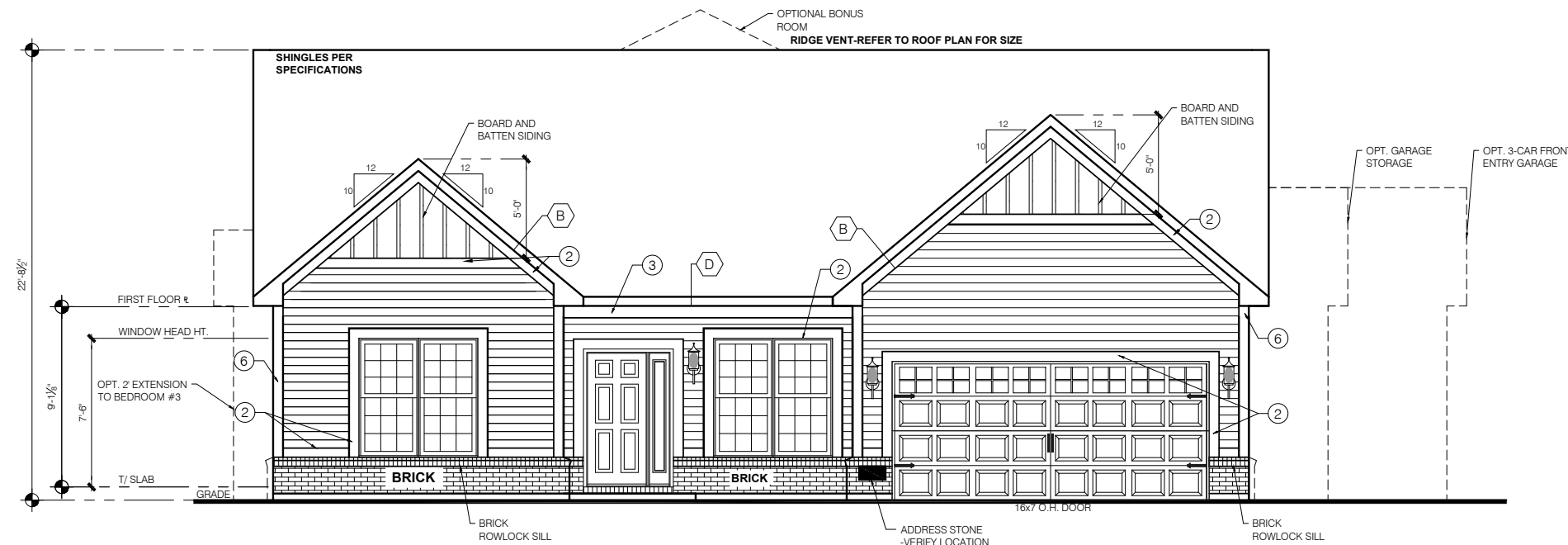
**CHESWICKE II**

M/I HOMES

Job #: --  
LSP Date: -----  
LSP By: --  
LSP Rev: --

Sheet Title :  
Cover Sheet  
Indianapolis

Sheet:  
**0.0A**



### ELEVATION A FRONT ELEVATION

SCALE: 1/4" = 1'-0"

#### TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- ① = 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
- ② = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
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- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 6" TRIM PER DIVISION
- ⑦ REAR CORNERS = 4" TRIM PER DIVISION

#### DIVISION NOTE:

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#### WINDOW GRIDS

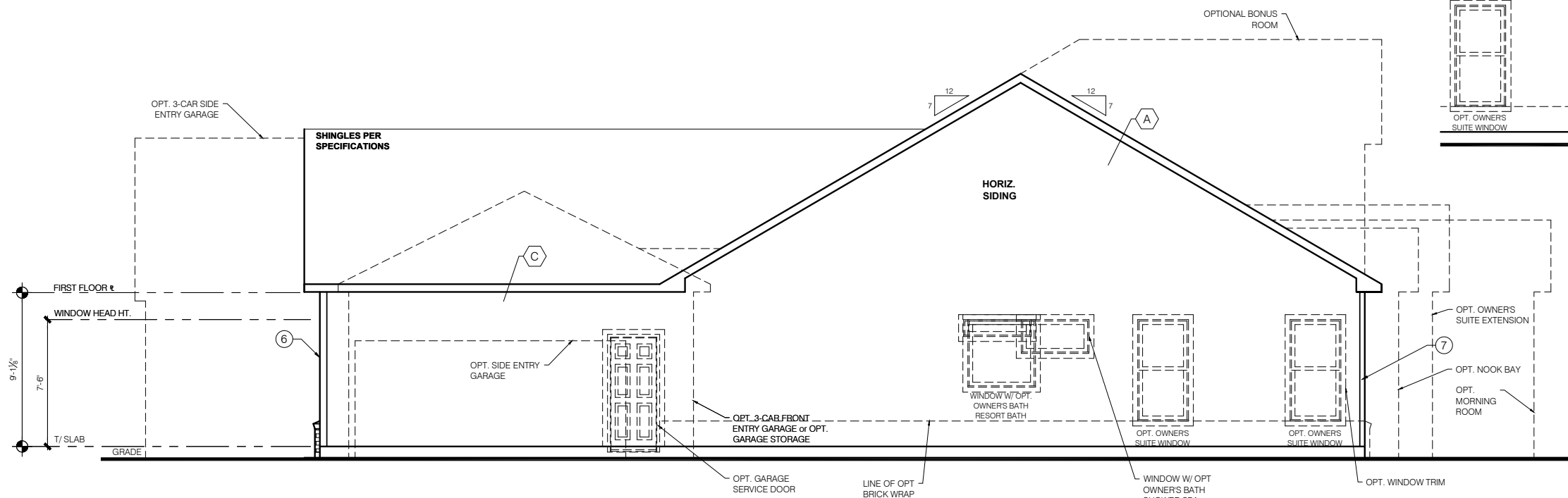
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
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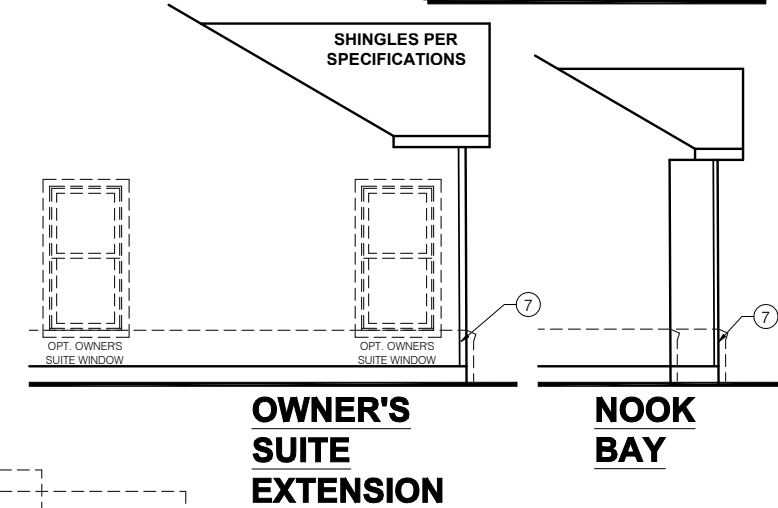
#### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



### ELEVATION A GARAGE SIDE ELEVATION

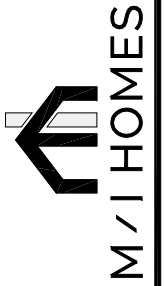
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PRESTIGE SERIES

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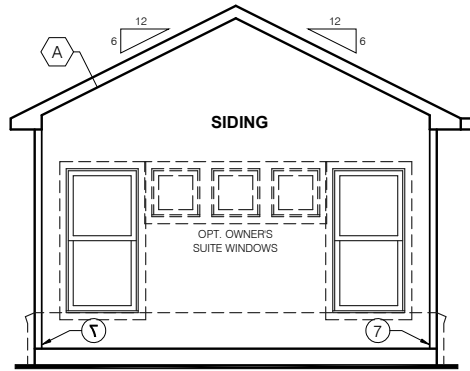


CHESWICKE II

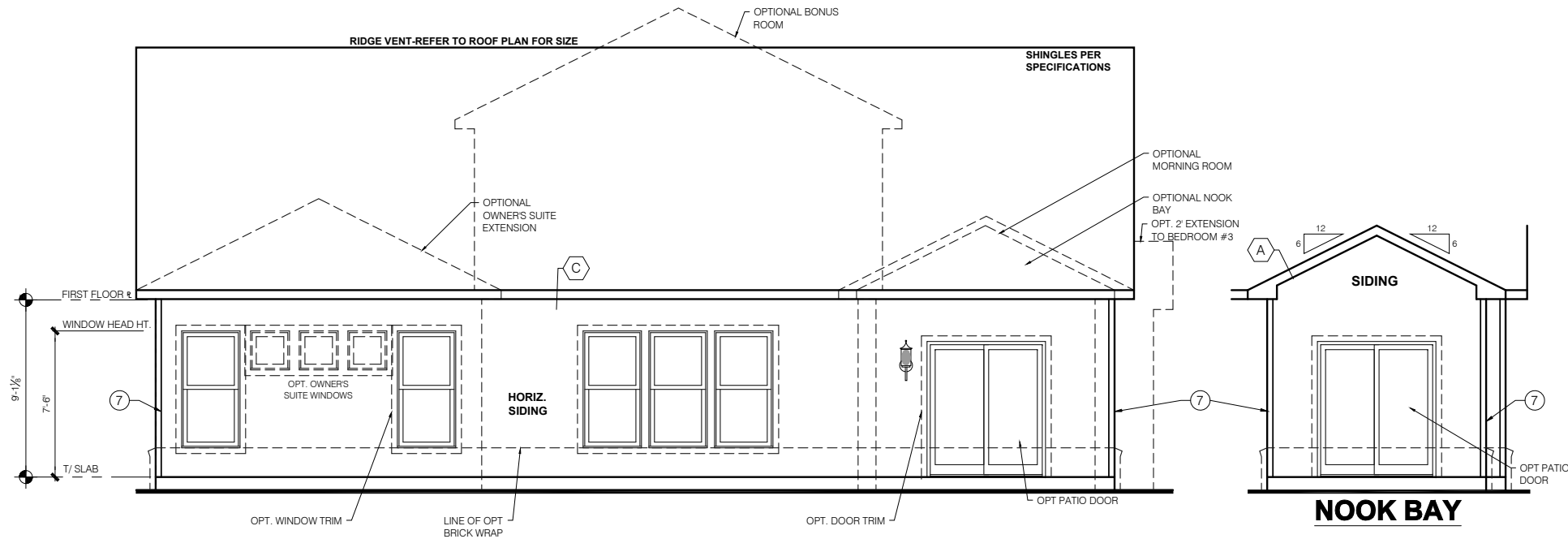
11x17 PRINTS ARE 1/2 SCALE

Job #: --  
LSP Date: --  
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LSP Rev: --  
Sheet Title :  
Front and Garage  
Elevations

Sheet:  
1.0A

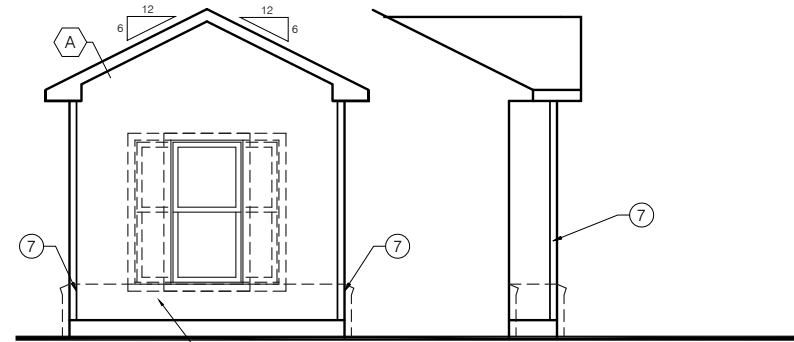


**4' EXT TO OWNER'S SUITE**

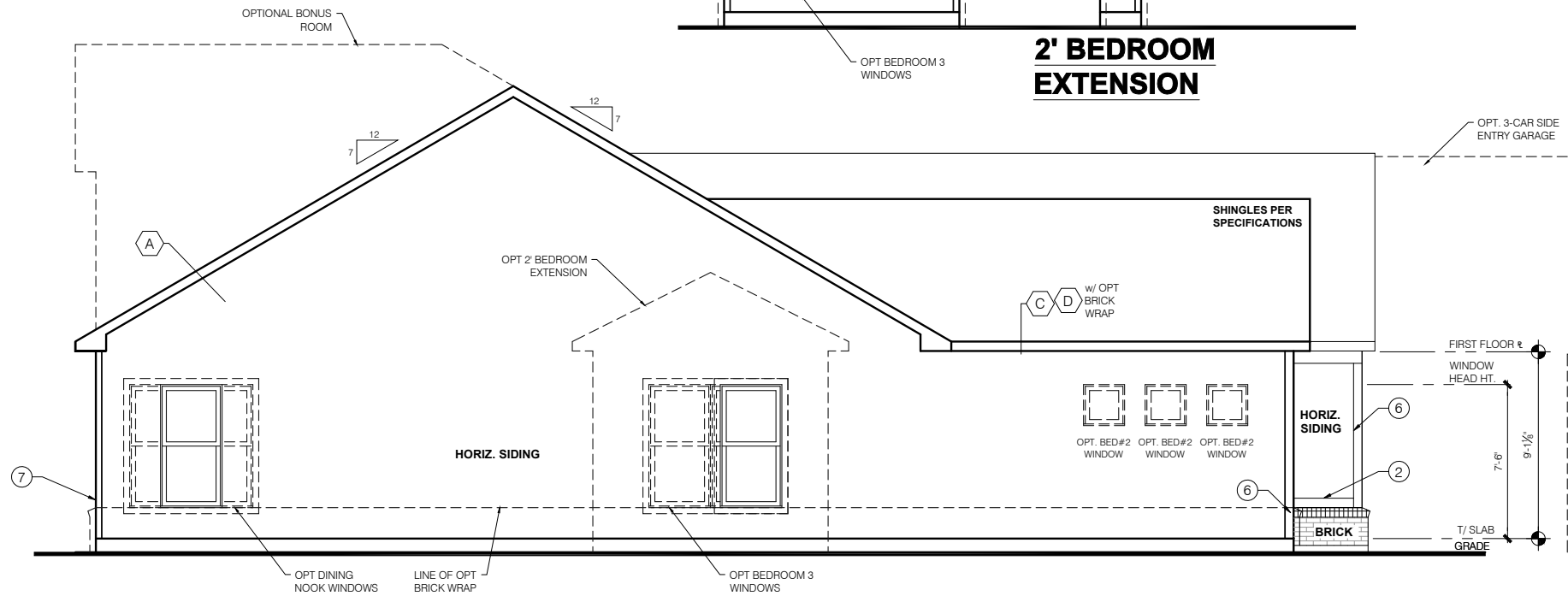


**ELEVATION A REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**2' BEDROOM EXTENSION**



**ELEVATION A SIDE ELEVATION**

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CHESWICKE II

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Job #: ---  
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Sheet Title :  
Rear and Side Elevations

Sheet:  
**1.1A**





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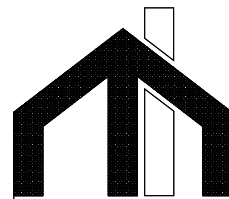
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**M/I HOMES**

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**"Elevation B"**

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B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THK'D - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
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**Architectural Drawing Index**

Number	Sheet Title
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1.1B	Rear and Side Elevations
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2.2B	Slab Foundation - w/Bonus
2.3B	Slab Foundation - Brick Wrap
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2.5B	Poured Full Basement
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R2.1	Opt 3 car Front Plans
R2.2	Opt 3 car Front Plans-Brick Wrap
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R3.1	Opt 2 car Side Plans
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R8.2	Optional Veranda #2 Elevations

<b>Revisions</b>			
DATE	C.O #	Description	Drafter

PRESTIGE SERIES

11x17 PRINTS ARE 1/2" SCALE

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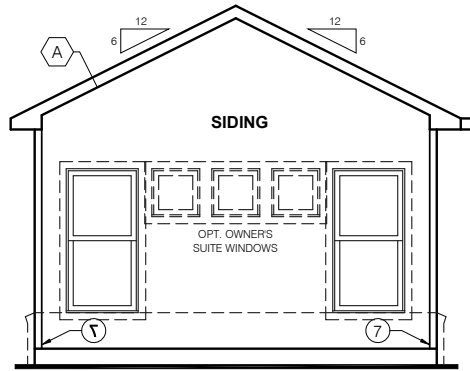
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Architecture Department  
8425 Woodfield Crossing Blvd.  
Indianapolis, IN 46240  
Ph 317.255.9900

**CHESWICKE II**

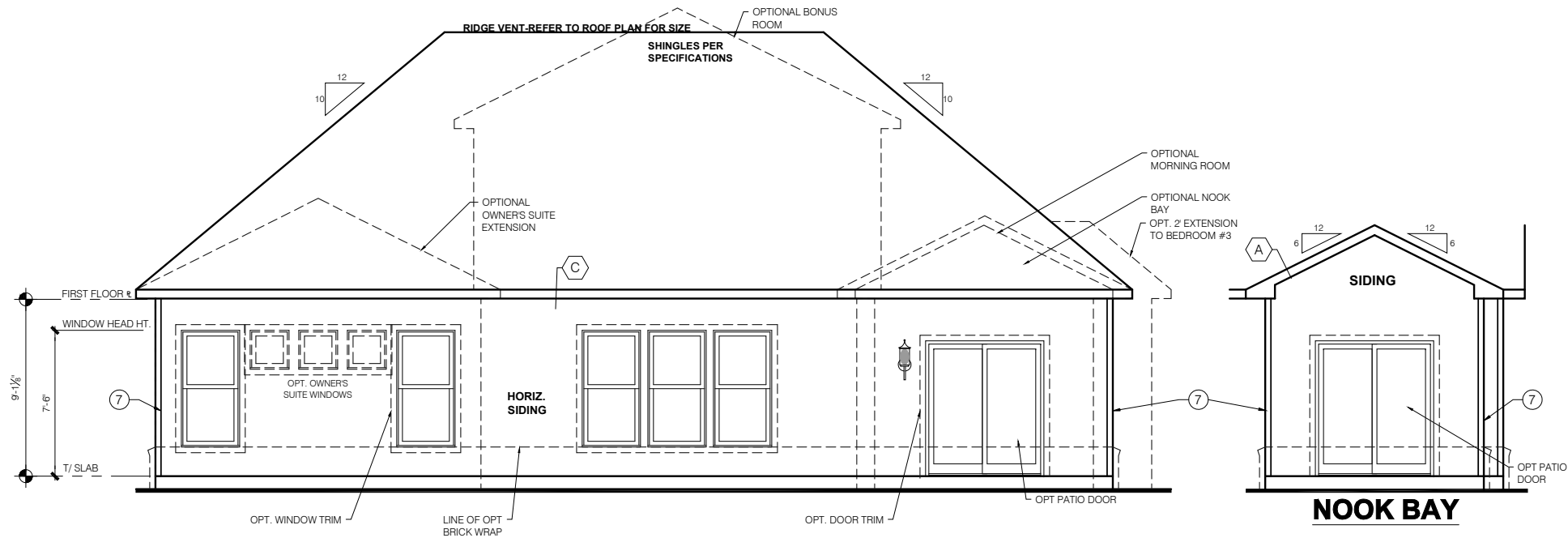
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LSP Rev: --  
Sheet Title :  
Cover Sheet  
Indianapolis  
Sheet:  
**0.0B**



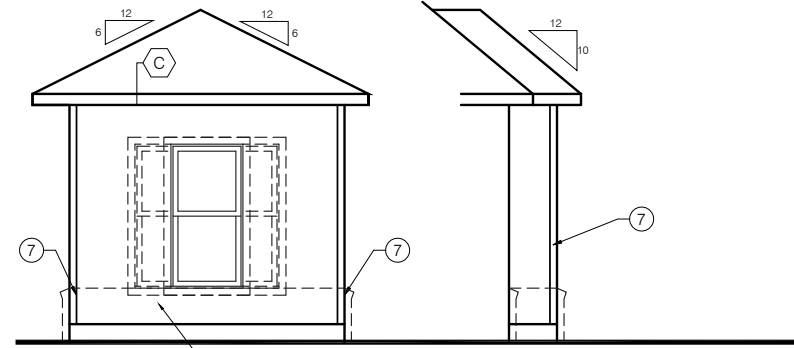


**4' EXT TO OWNER'S SUITE**

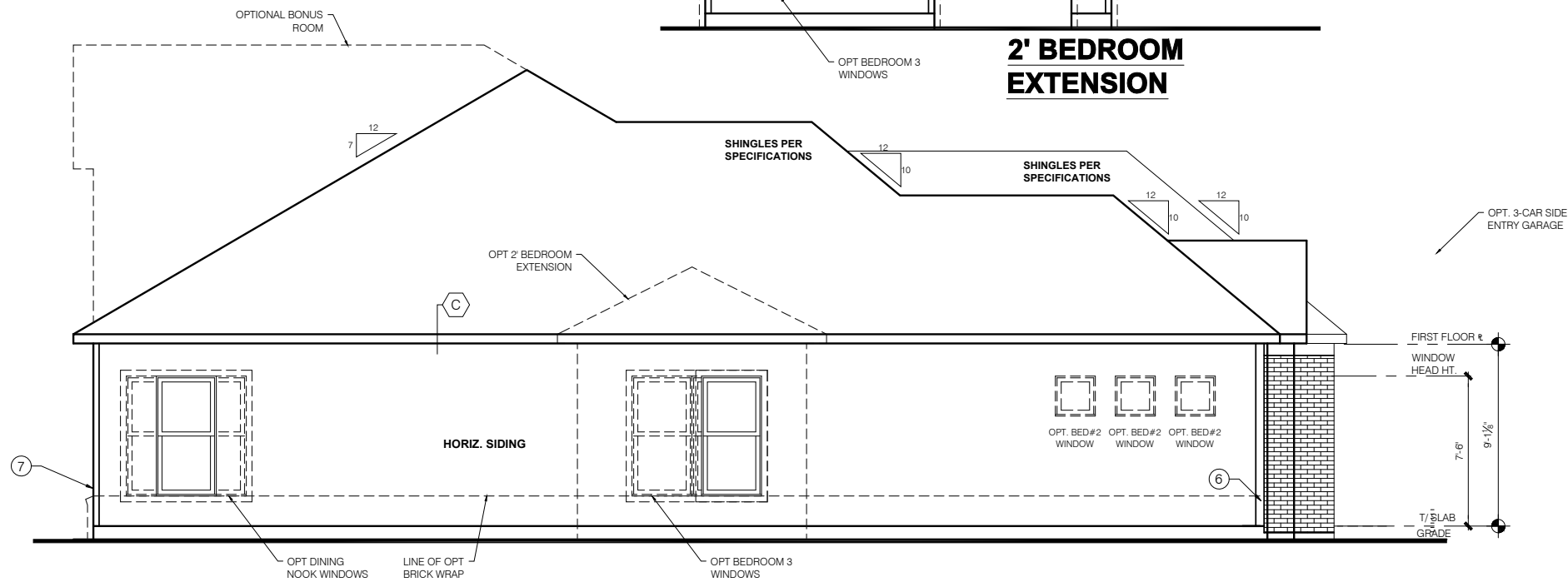


**ELEVATION B REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**2' BEDROOM EXTENSION**



**ELEVATION B SIDE ELEVATION**

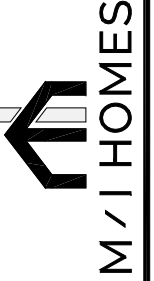
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PRESTIGE SERIES

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BASE PLAN REVISION:  
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Indianapolis, IN 46240  
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11x17 PRINTS ARE 1/2" SCALE

CHESWICKE II

Job #:  
LSP Date:  
LSP By:  
LSP Rev:  
Sheet Title:  
Rear and Side Elevations

Sheet:  
1.1B



**GENERAL ARCHITECTURAL NOTES**

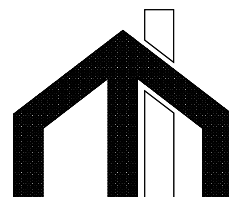
- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE **INDIANA PLUMBING CODE**
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2½ INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN ¾" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STAIRS, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET. BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ½", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2½ SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**M/I HOMES**

Welcome to Better PRESENTS

**Cheswicke II**

**"Elevation C"**

**Owner's Name  
CONSTRUCTION SET  
ADDRESS  
LOT #**

**SQUARE FOOTAGE - ELEVATION 'C'**

1ST FLOOR	2264
<b>TOTAL HEATED</b>	<b>2264</b>
PORCH	89
GARAGE	417
GARAGE STORAGE	+80
3-CAR FRONT ENTRY GARAGE	+200
3-CAR SIDE ENTRY GARAGE	+200
OPT FULL BASEMENT	+2142
FINISHED BASEMENT	+1135
FINISHED BASEMENT w/BATH	+1184
FINISHED BASEMENT w/BEDROOM & BATH	+1184
VERANDA	+146
VERANDA #2	+122
DINING NOOK BAY	+22
MORNING ROOM	+131
OWNER'S SUITE EXTENSION	+67
BONUS ROOM	+502
BR 3 EXTENSION	+23

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
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<b>Revisions</b>			
DATE	C.O #	Description	Drafter

PRESTIGE SERIES

11x17 PRINTS ARE ½ SCALE



Issued Date:6/17/22

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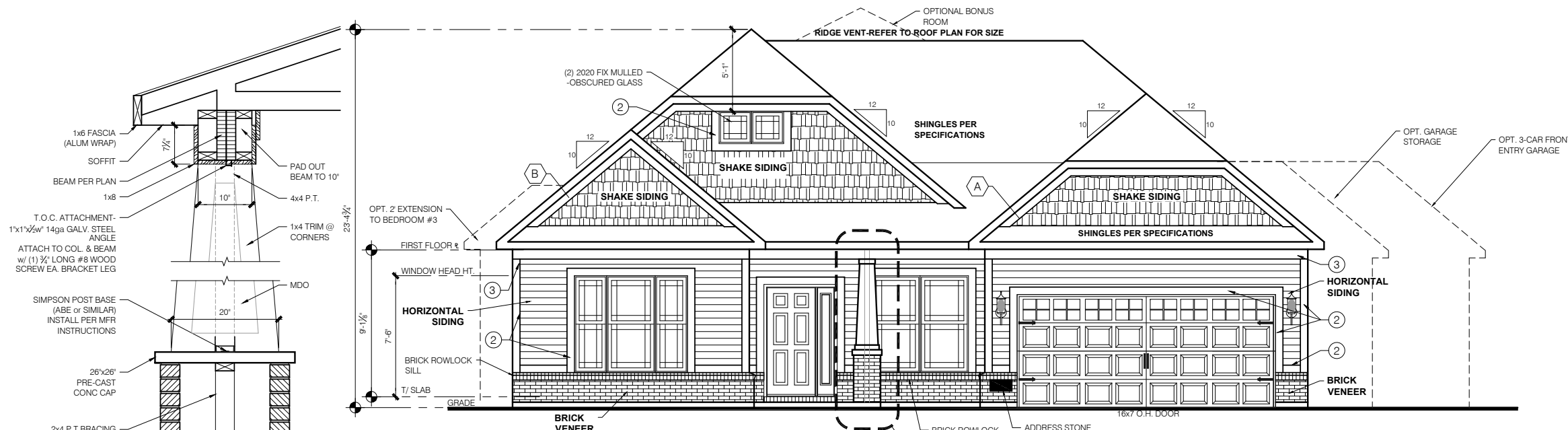
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LSP Rev: --  
Sheet Title :  
Cover Sheet  
Indianapolis

Sheet:

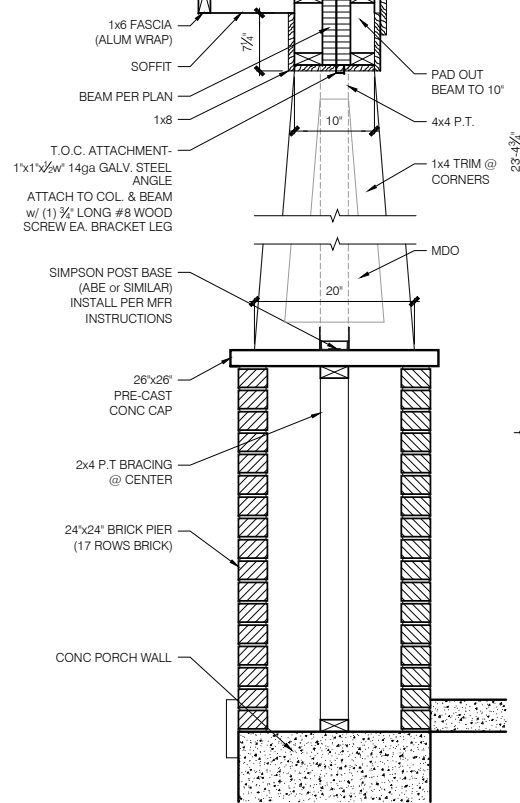
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**Elevation - C**



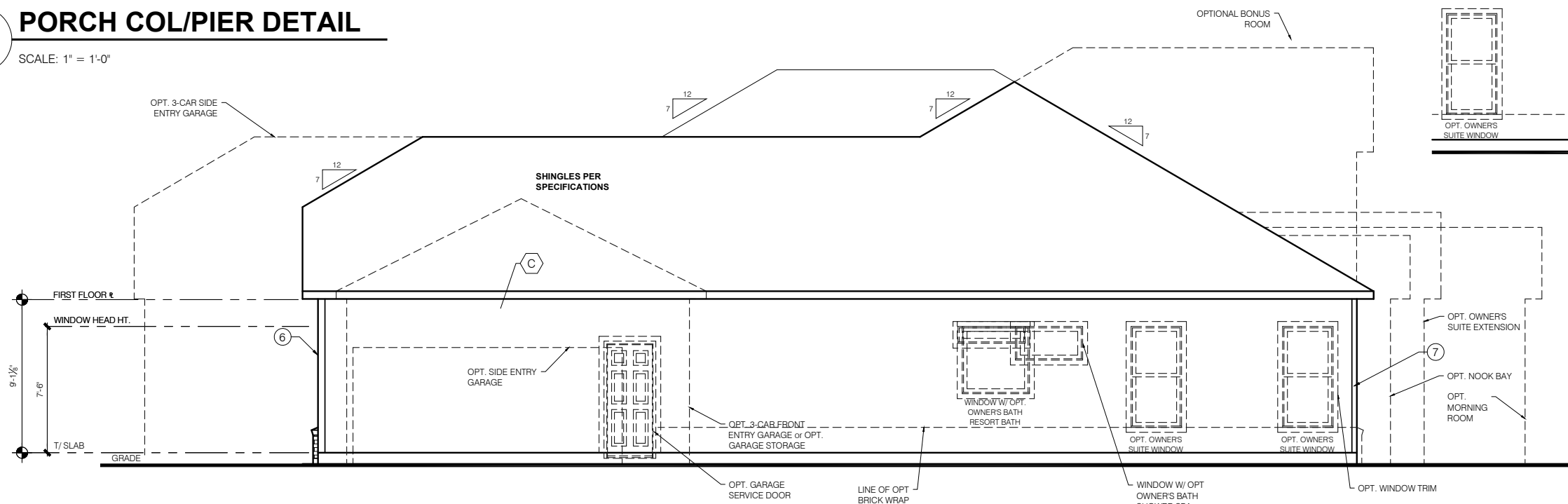
**ELEVATION C  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**2 PORCH COL/PIER DETAIL**

SCALE: 1" = 1'-0"



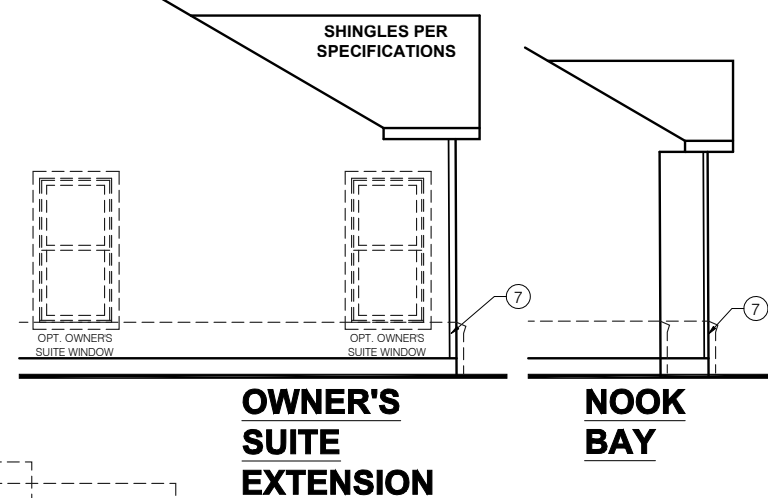
**ELEVATION C  
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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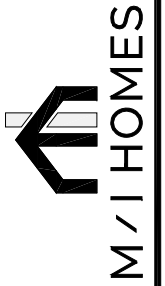
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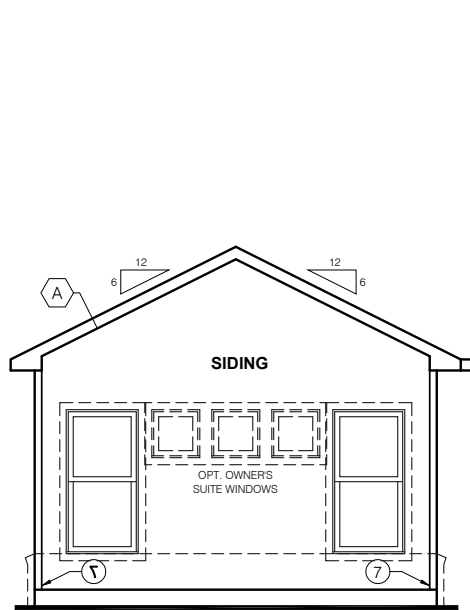


CHESWICKE II

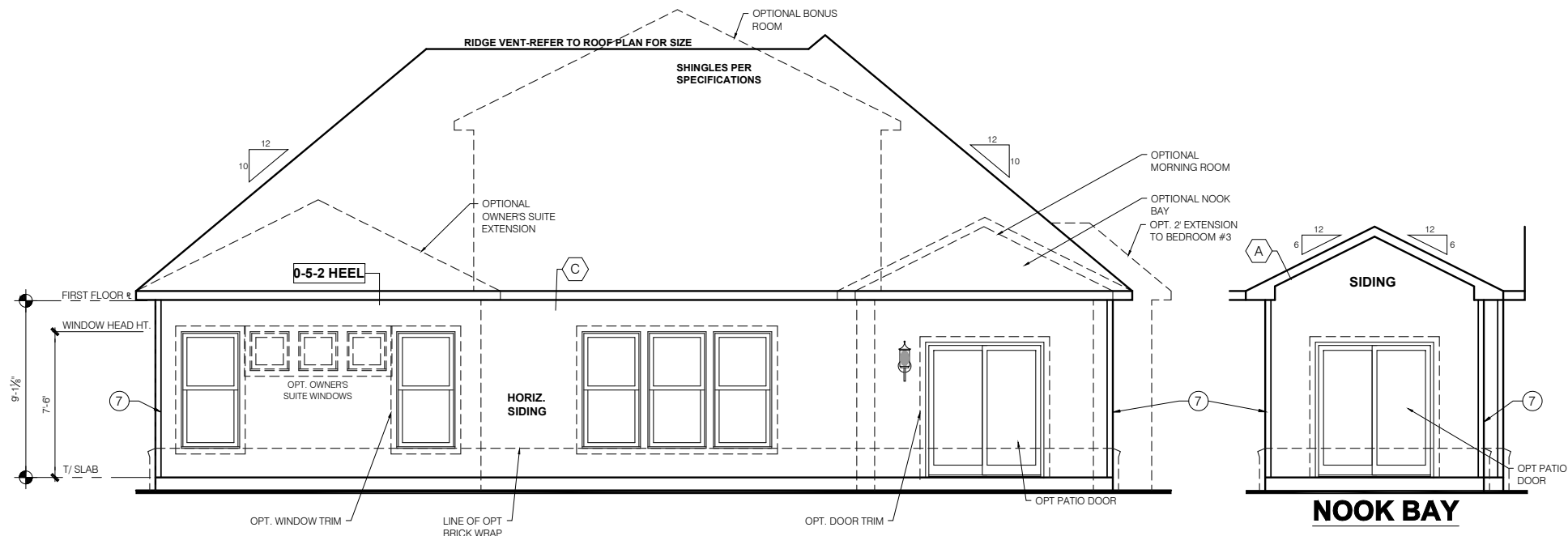
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Sheet:  
1.0C

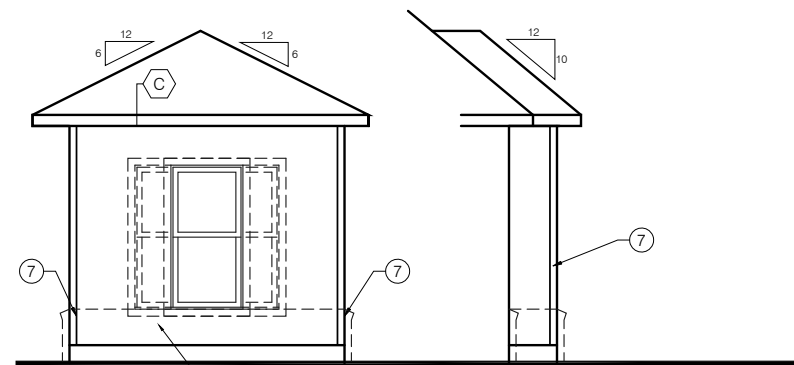


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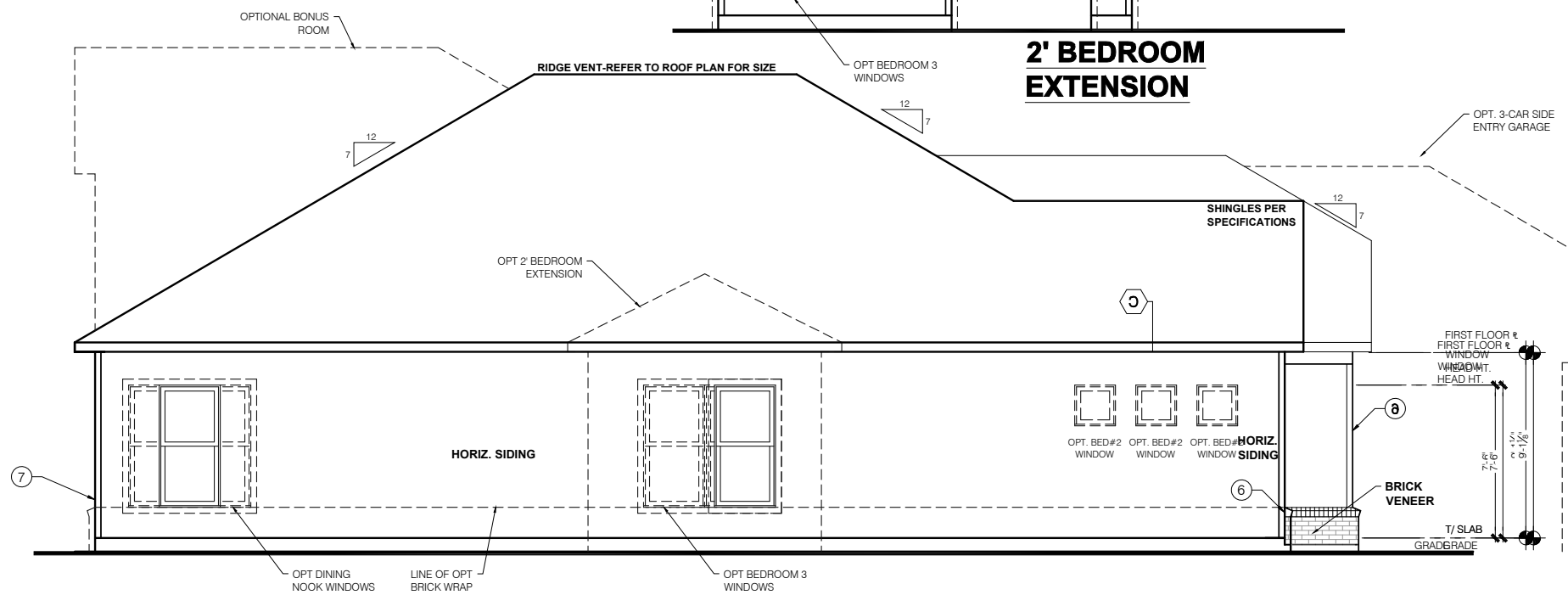


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SCALE: 1/4" = 1'-0"



**2' BEDROOM EXTENSION**



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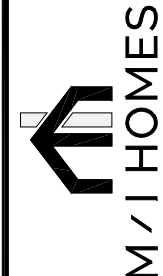
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PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

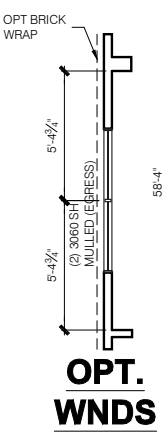
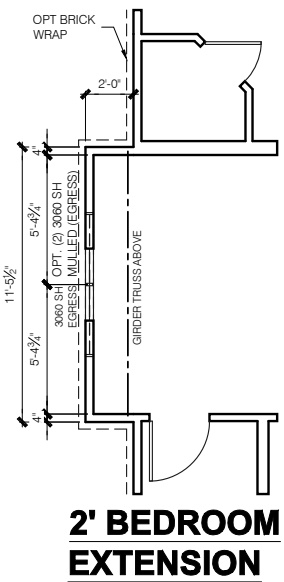
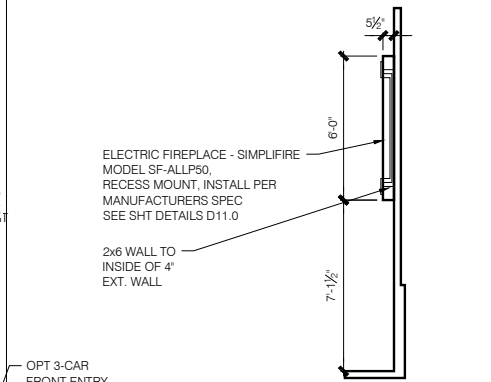
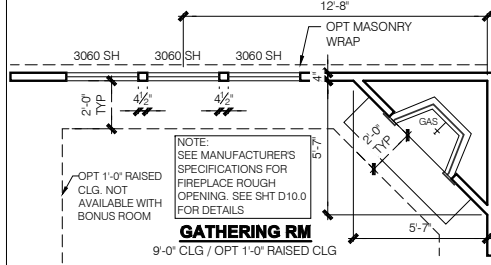
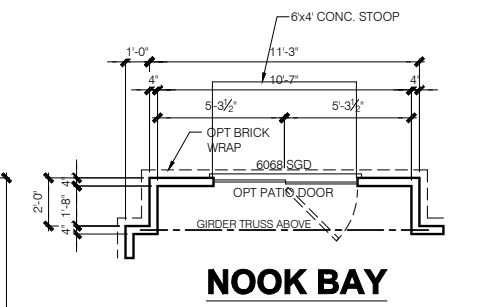
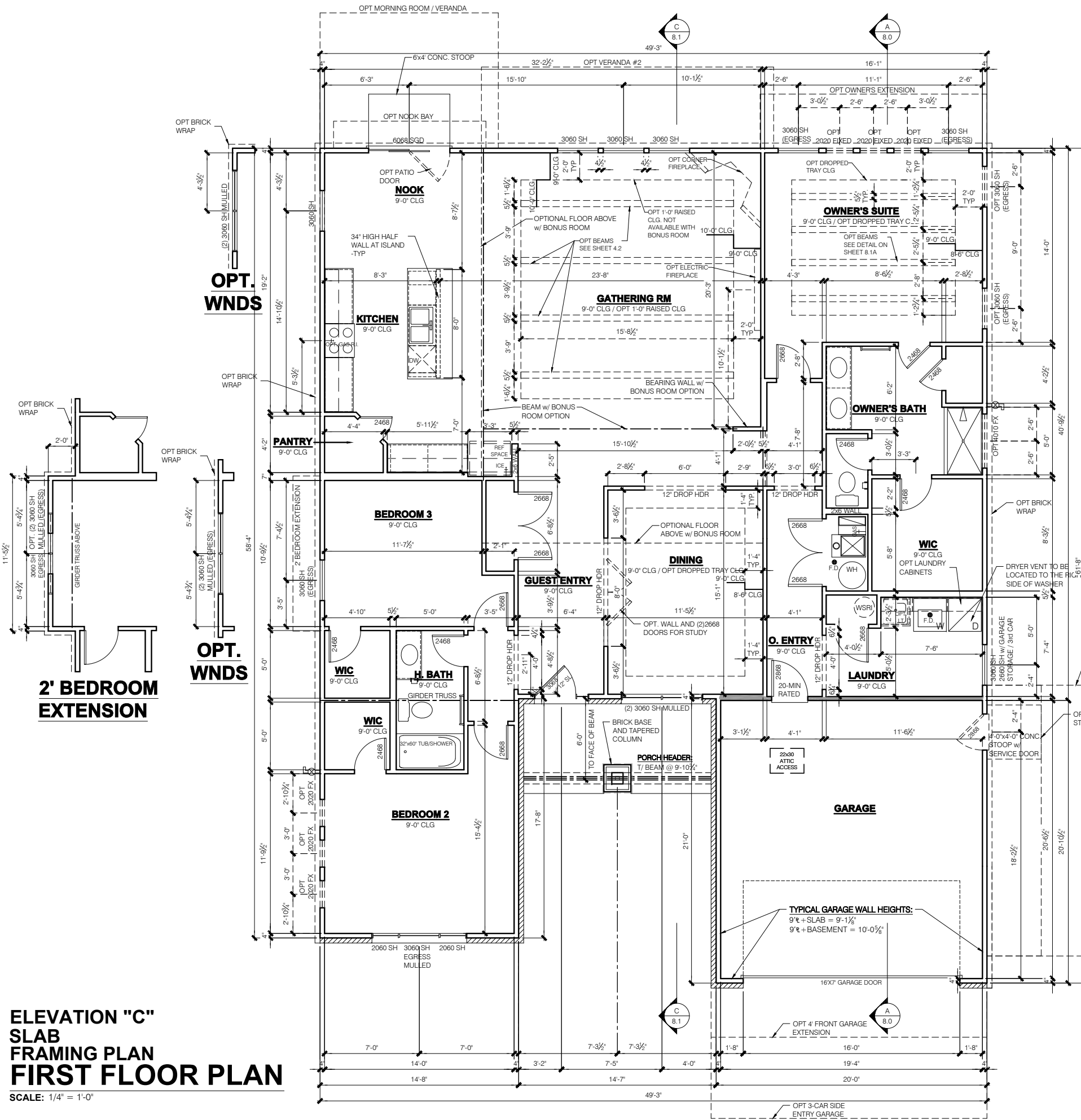
CHESWICKE II

Job #:	
LSP Date:	
LSP By:	
LSP Rev:	
Sheet Title:	Rear and Side Elevations

Sheet:  
**1.1C**

**ELEVATION "C"  
SLAB  
FRAMING PLAN  
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



- FLOOR PLAN NOTES**
- NOTE:
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE LOCATED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4s U.N.O. (3/2)
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" G.W.B. CEILING TO BE 5/8" TYP 'X' FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

**PRESTIGE SERIES**  
 11x17 PRINTS ARE 1/2" SCALE  
 M/I HOMES  
 CHESWICKE II  
 Job #: ---  
 LSP Date: ---  
 LSP By: ---  
 LSP Rev: ---  
 Sheet Title :  
 First Floor Plan -  
 Slab  
 Sheet:  
 4.0C

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 Ph 317.255.9900

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**GENERAL ARCHITECTURAL NOTES**

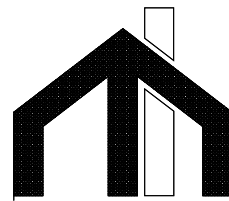
- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE **INDIANA PLUMBING CODE**
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2½ INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN ½" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET. BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ½", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2½ SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**M/I HOMES**

Welcome to Better PRESENTS

**Cheswicke II**

**"Elevation E"**

**Owner's Name  
CONSTRUCTION SET  
ADDRESS  
LOT #**

**SQUARE FOOTAGE - ELEVATION 'E'**

1ST FLOOR	2264
<b>TOTAL HEATED</b>	<b>2264</b>
PORCH	88
GARAGE	417
GARAGE STORAGE	+80
3-CAR FRONT ENTRY GARAGE	+200
3-CAR SIDE ENTRY GARAGE	+200
OPT FULL BASEMENT	+2142
FINISHED BASEMENT	+1135
FINISHED BASEMENT w/BATH	+1184
FINISHED BASEMENT w/BEDROOM & BATH	+1184
VERANDA	+146
VERANDA #2	+122
DINING NOOK BAY	+22
MORNING ROOM	+131
OWNER'S SUITE EXTENSION	+67
BONUS ROOM	+502
BR 3 EXTENSION	+23

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THK'D - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

**Architectural Drawing Index**

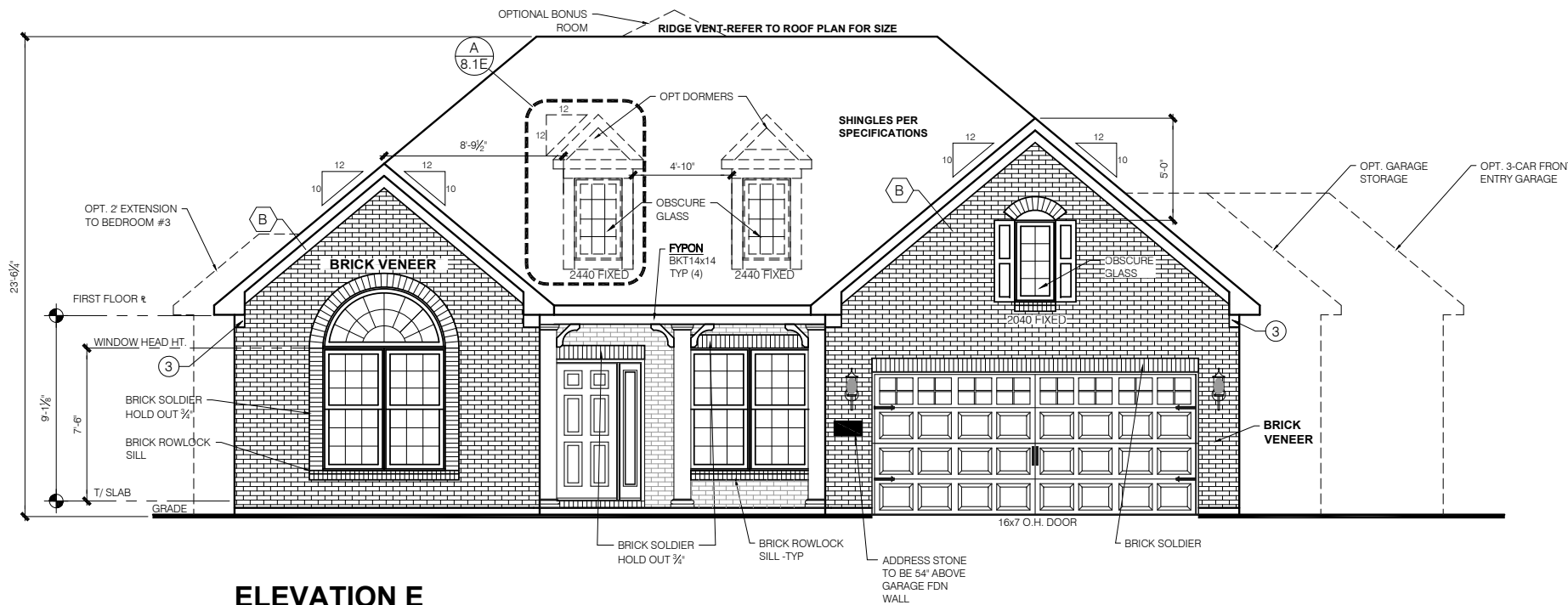
Number	Sheet Title
0.0E	Cover Sheet Indianapolis
1.0E	Front and Garage Elevations
1.1E	Rear and Side Elevations
1.2E	Front Elevation - Opt Brick & Stone
2.1E	Slab Foundation
2.2E	Slab Foundation - w/Bonus
2.3E	Slab Foundation - Brick Wrap
2.4E	Slab Foundation - Brick Wrap w/Bonus
2.5E	Poured Full Basement
2.6E	Poured Full Basement - Brick Wrap
2.7	Opt Finished Basement
2.8	Opt Finished Basement w/Bath
2.9	Opt Finished Basement w/Bed & Bath
3.0E	First Floor Subfloor - Basement
4.0E	First Floor Plan - Slab
4.1E	First Floor Plan - Basement
4.2	First Floor Plan - Options
M1.0E	First Floor MEP Plan - Slab
M1.1E	First Floor MEP Plan - Basement
M1.2	First Floor MEP Plan - Options
7.0E	Roof Plan - Base Roof
8.0E	Sections A B
8.1E	Section C
R0.1	Opt Front Garage Extension
R1.0	Opt Garage Storage Elevations
R1.1	Opt Garage Storage Plans
R1.2	Opt Garage Storage Plans-Brick Wrap
R2.0	Opt 3 car Front Elevations
R2.1	Opt 3 car Front Plans
R2.2	Opt 3 car Front Plans-Brick Wrap
R3.0	Opt 2 car Side Elevations
R3.1	Opt 2 car Side Plans
R3.2	Opt 2 car Side Plans-Brick Wrap
R4.0	Opt 3 car Side Elevations
R4.1	Opt 3 car Side Plans
R4.2	Opt 3 car Side Plans-Brick Wrap
R5.0	Opt Bonus Room elev-sect
R5.1	Opt Bonus Room Plans
R5.2	Opt Bonus Room Electrical Plans
R5.3	Opt Bonus Room Roof Plan
R6.0	Opt Morning Room
R7.0	Optional Veranda
R8.0	Optional Veranda #2 Plans
R8.1	Optional Veranda #2 Plans
R8.2	Optional Veranda #2 Elevations

<b>Revisions</b>			
DATE	C.O #	Description	Drafter

PRESTIGE SERIES

11x17 PRINTS ARE 1/2" SCALE

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**M/I HOMES**  
**CHESWICKE II**  
 Job #: --  
 LSP Date: -----  
 LSP By: --  
 LSP Rev: --  
 Sheet Title :  
 Cover Sheet  
 Indianapolis  
 Sheet:  
**0.0E**  
**Elevation - E**



**ELEVATION E  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
1	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
2	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
3	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
4	= 10" TRIM
5	= 12" TRIM
6	FRONT CORNERS = 6" TRIM PER DIVISION
7	REAR CORNERS = 4" TRIM PER DIVISION

DIVISION NOTE:	
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	

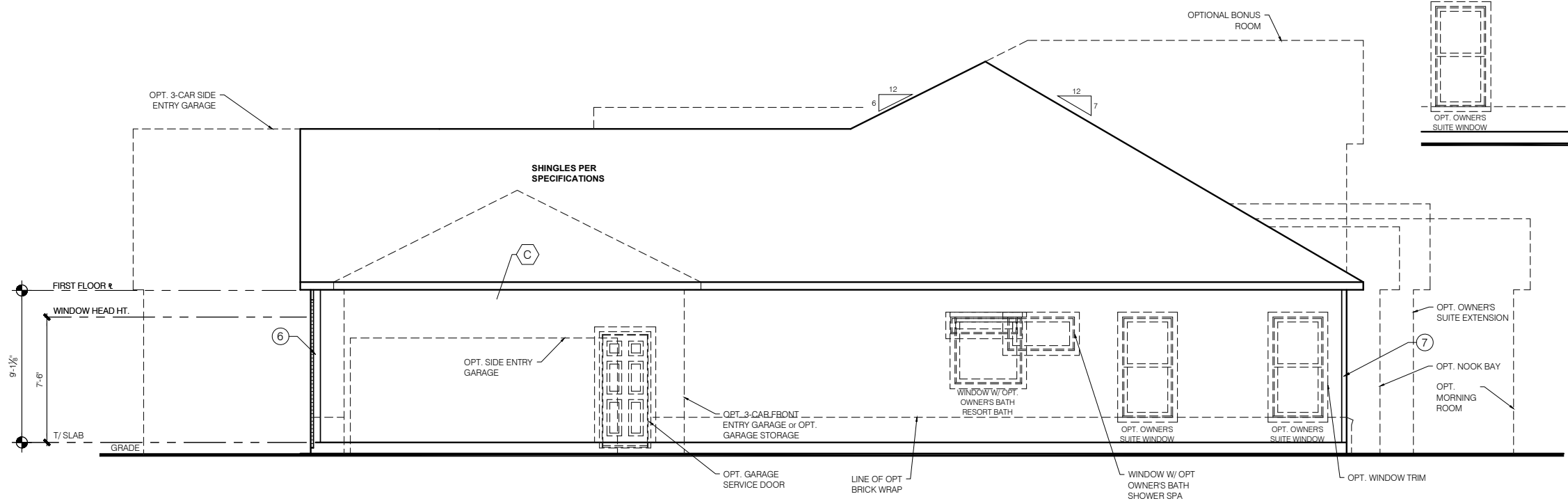
  

WINDOW GRIDS	
-FRONT WINDOW GRIDS ARE STANDARD	
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS	
-GRID PATTERNS TO MATCH FRONT ELEVATION	

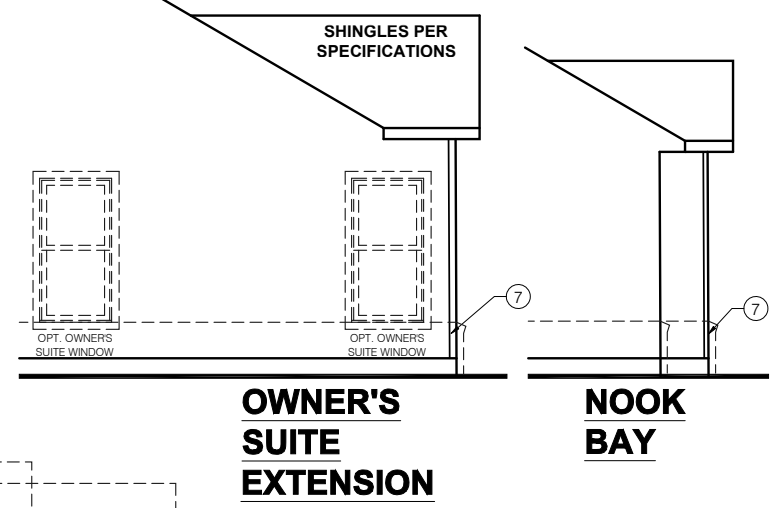
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**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



**ELEVATION E  
GARAGE SIDE ELEVATION**

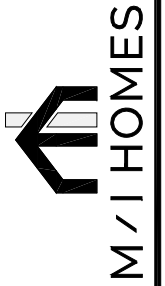
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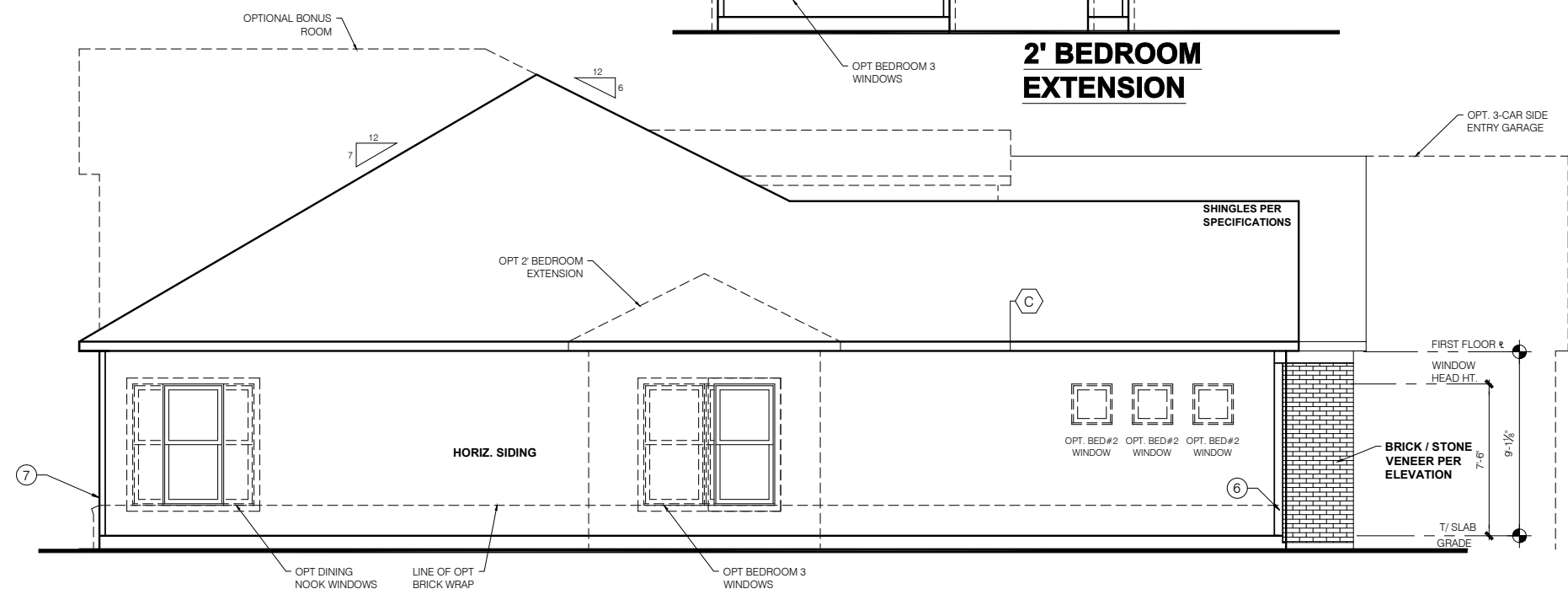
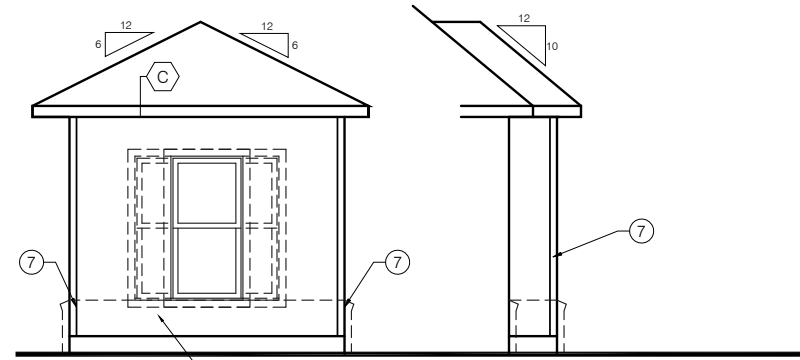
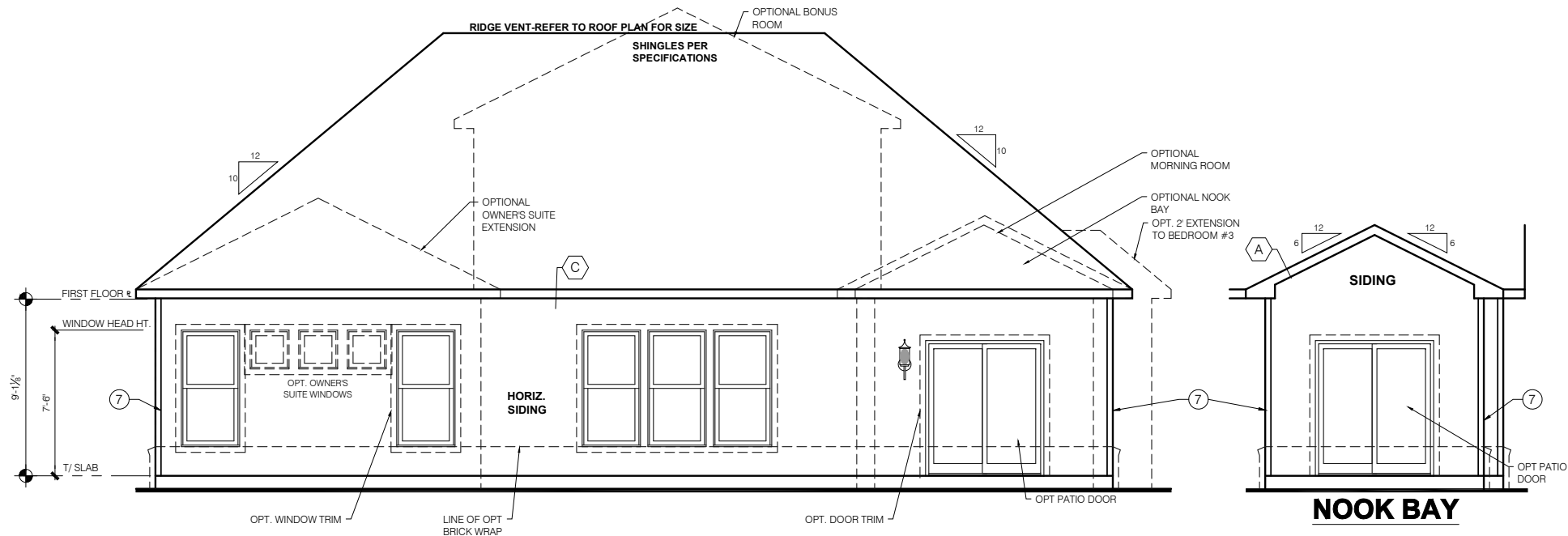
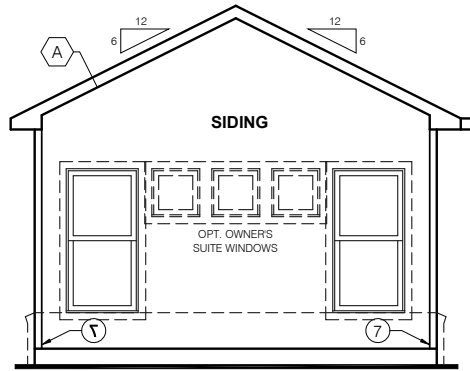


CHESWICKE II

11x17 PRINTS ARE 1/2 SCALE

Job #: --  
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LSP By: --  
LSP Rev: --  
Sheet Title :  
Front and Garage  
Elevations

Sheet:  
1.0E



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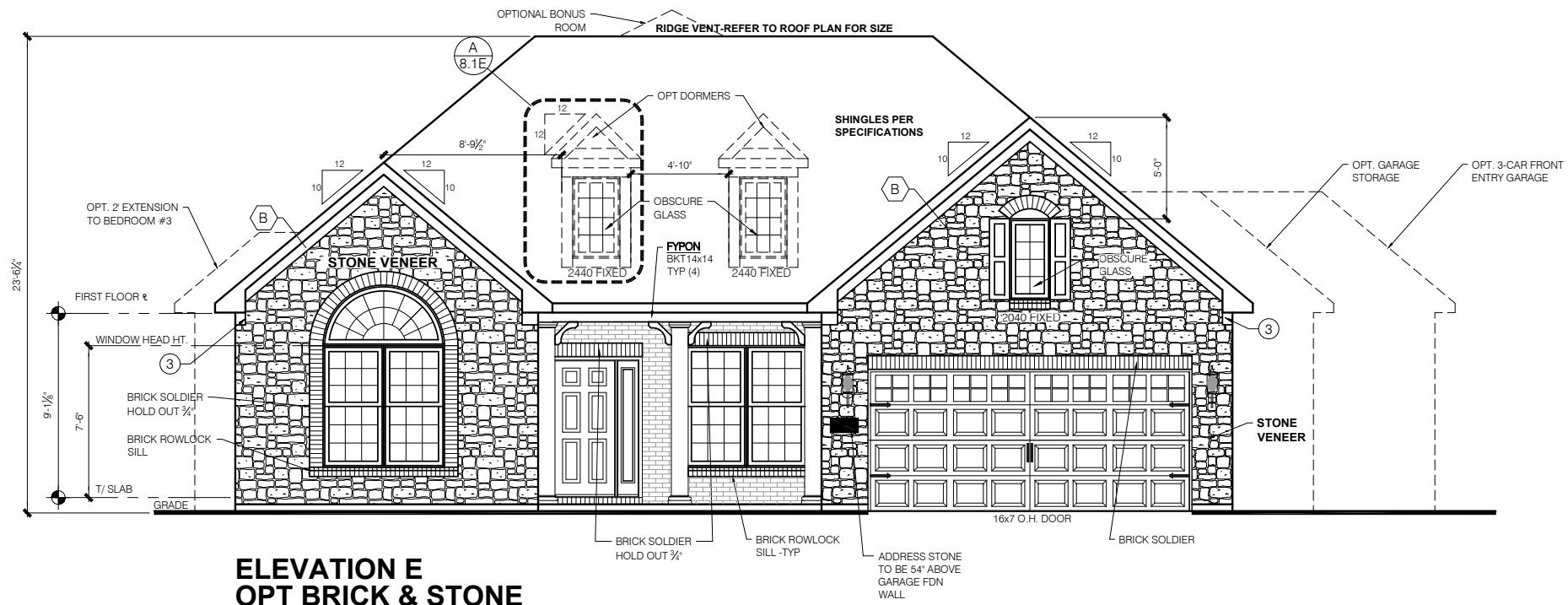
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Sheet: 1.1E

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**M/I HOMES**

**CHESWICKE II**



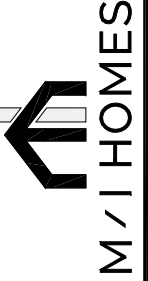
**ELEVATION E  
OPT BRICK & STONE  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

PRESTIGE SERIES

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CHESWICKE II



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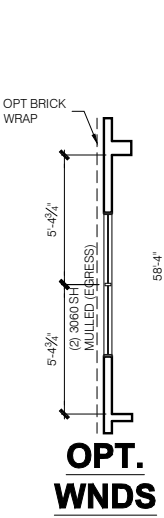
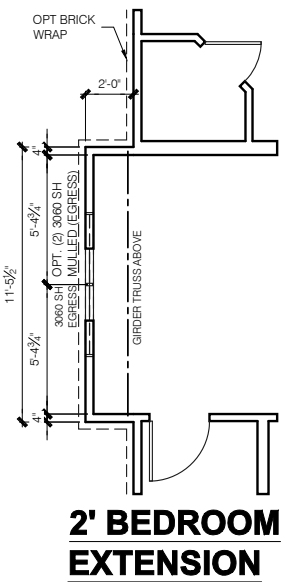
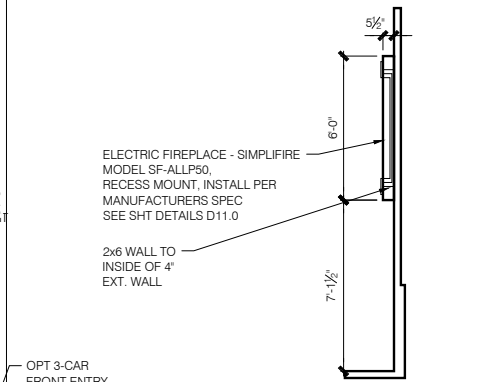
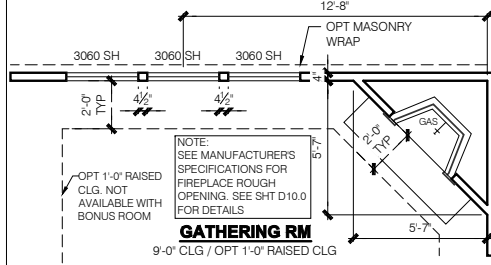
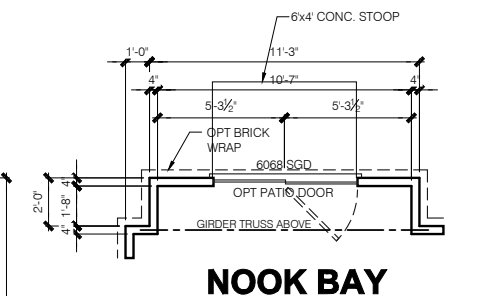
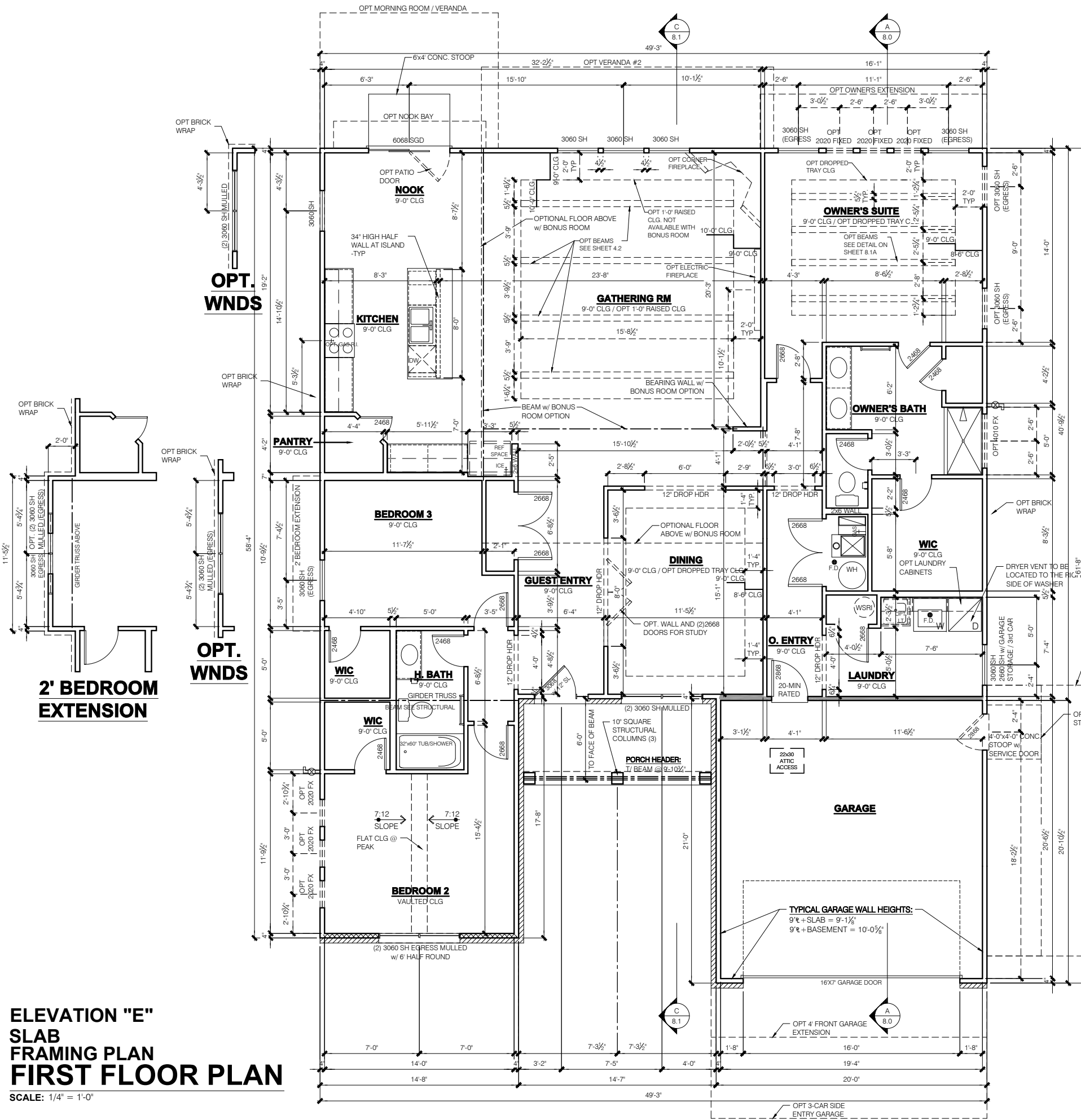
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LSP By: --  
LSP Rev: --  
Sheet Title :  
Front Elevation  
Opt Brick & Stone

Sheet:  
1.2E

# ELEVATION "E" SLAB FRAMING PLAN FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



- ### FLOOR PLAN NOTES
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
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  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). **STUDS @ 16" O.C. U.N.O.**
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). **STUDS @ 16" O.C. U.N.O.**
  - INTERIOR WALLS ARE 2x4s U.N.O. (3 1/2)
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- ### GARAGE DRYWALL NOTE
- ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" G.W.B. CEILING TO BE 5/8" TYP 'X' FIRECODE DRYWALL BELOW HABITABLE SPACES.
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- PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
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- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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 Prestige Series  
 11x17 PRINTS ARE 1/2 SCALE  
 CHESWICKE II  
 Job #: ---  
 LSP Date: ---  
 LSP By: ---  
 LSP Rev: ---  
 Sheet Title: First Floor Plan - Slab  
 Sheet: 4.0E

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**GENERAL ARCHITECTURAL NOTES**

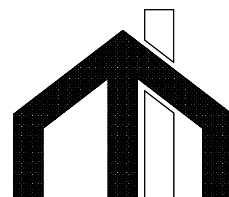
- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
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- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2½ INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN ½" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET. BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ½", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2½ SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**M/I HOMES**

Welcome to Better PRESENTS

**Cheswicke II**

**"Elevation G"**

**Owner's Name  
CONSTRUCTION SET  
ADDRESS  
LOT #**

**SQUARE FOOTAGE - ELEVATION 'G'**

1ST FLOOR	2271
<b>TOTAL HEATED</b>	<b>2271</b>
PORCH	111
GARAGE	417
GARAGE STORAGE	+80
3-CAR FRONT ENTRY GARAGE	+200
3-CAR SIDE ENTRY GARAGE	+200
OPT FULL BASEMENT	+2142
FINISHED BASEMENT	+1135
FINISHED BASEMENT w/BATH	+1184
FINISHED BASEMENT w/BEDROOM & BATH	+1184
VERANDA	+146
VERANDA #2	+122
DINING NOOK BAY	+22
MORNING ROOM	+131
OWNER'S SUITE EXTENSION	+67
BONUS ROOM	+502
BR 3 EXTENSION	+23

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THK'D - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

**Architectural Drawing Index**

NumbGr	Sheet Title
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1.1G	Rear and Side Elevations
1.2G	Front Elevation - Opt Brick & Stone
2.1G	Slab Foundation
2.2G	Slab Foundation - w/Bonus
2.3G	Slab Foundation - Brick Wrap
2.4G	Slab Foundation - Brick Wrap w/Bonus
2.5G	Poured Full Basement
2.6G	Poured Full Basement - Brick Wrap
2.7	Opt Finished Basement
2.8	Opt Finished Basement w/Bath
2.9	Opt Finished Basement w/Bed & Bath
3.0G	First Floor Subfloor - Basement
4.0G	First Floor Plan - Slab
4.1G	First Floor Plan - Basement
4.2	First Floor Plan - Options
M1.0G	First Floor MEP Plan - Slab
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M1.2	First Floor MEP Plan - Options
7.0G	Roof Plan - Base Roof
8.0G	Sections A B
8.1G	Section C
R0.1	Opt Front Garage Extension
R1.0	Opt Garage Storage Elevations
R1.1	Opt Garage Storage Plans
R1.2	Opt Garage Storage Plans-Brick Wrap
R2.0	Opt 3 car Front Elevations
R2.1	Opt 3 car Front Plans
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R3.0	Opt 2 car Side Elevations
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R5.0	Opt Bonus Room elev-sect
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R5.3	Opt Bonus Room Roof Plan
R6.0	Opt Morning Room
R7.0	Optional Veranda
R8.0	Optional Veranda #2 Plans
R8.1	Optional Veranda #2 Plans
R8.2	Optional Veranda #2 Elevations

<b>Revisions</b>			
DATE	C.O #	Description	Drafter

PRESTIGE SERIES

11x17 PRINTS ARE ½ SCALE

Issued Date: 6/17/22  
 BASE PLAN REVISION:

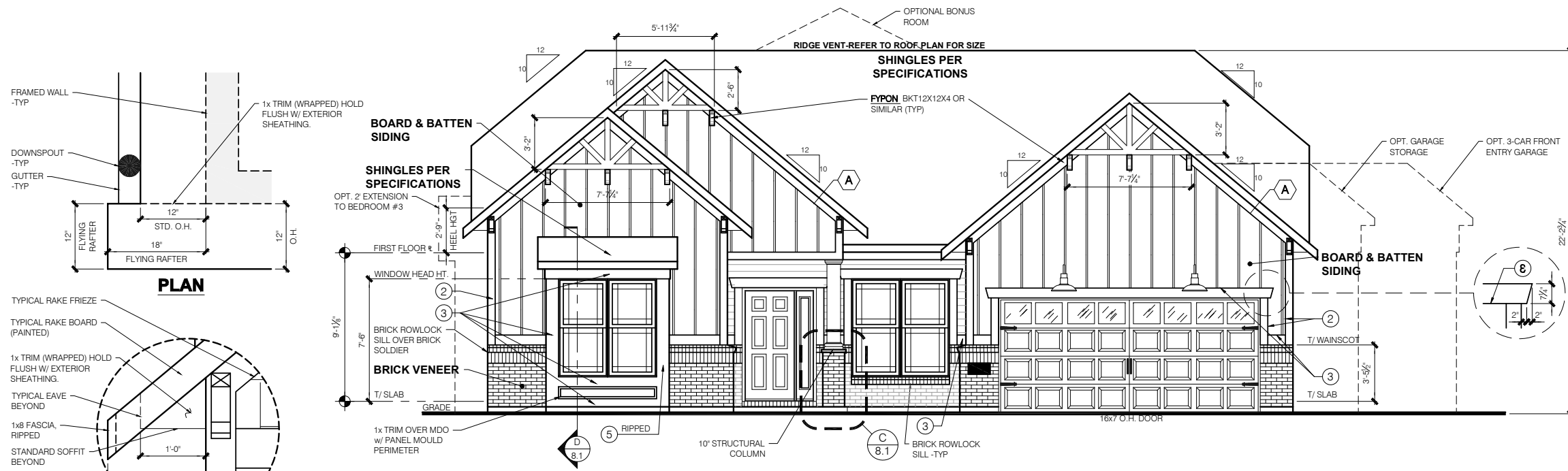
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**M/I HOMES**

**CHESWICKE II**

Job #: --  
 LSP Date: -----  
 LSP By: --  
 LSP Rev: --  
 Sheet Title :  
 Cover Sheet  
 Indianapolis  
 Sheet:  
**0.0G**

**Elevation - G**



**ELEVATION "G"  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**1 FLYING RAFTER DETAIL**

SCALE: 1" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- 1 = 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
- 2 = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- 3 = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- 4 = 10" TRIM
- 5 = 12" TRIM
- 6 FRONT CORNERS = 6" TRIM PER DIVISION
- 7 REAR CORNERS = 4" TRIM PER DIVISION

**DIVISION NOTE:**

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

**WINDOW GRIDS**

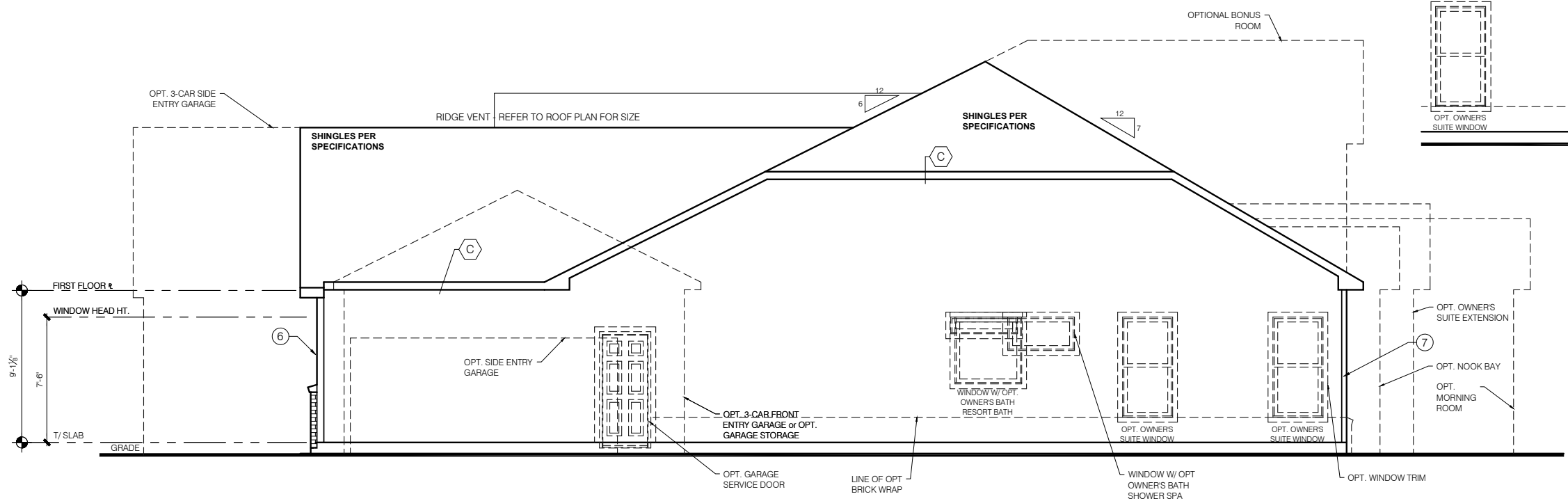
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

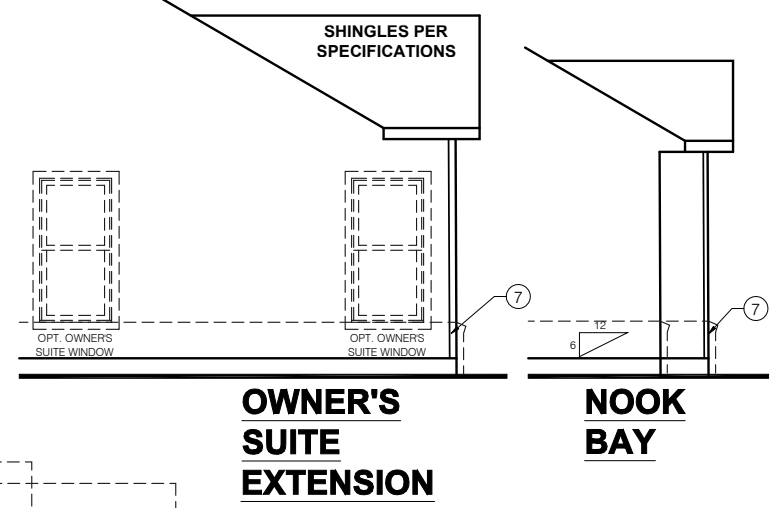
**GARAGE DOOR WINDOWS**

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



**ELEVATION "G"  
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**OWNER'S SUITE EXTENSION**

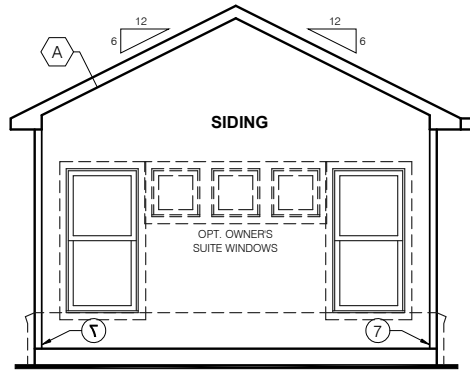
**NOOK BAY**

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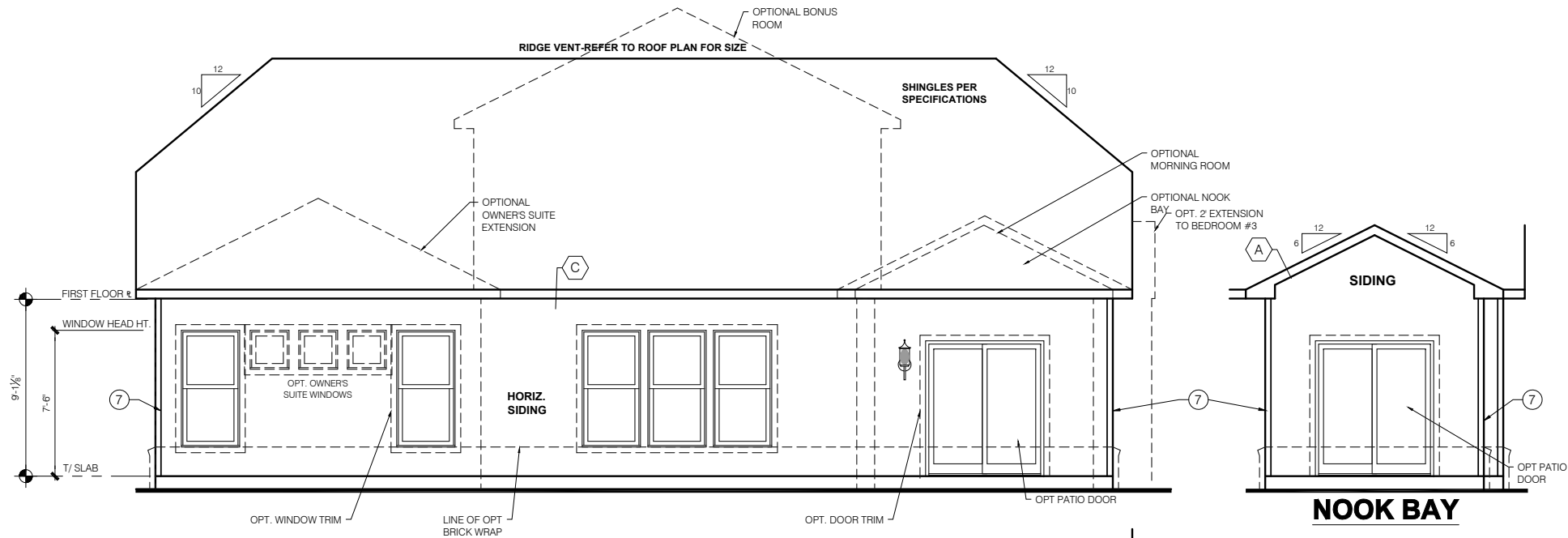
**PRESTIGE SERIES**  
**CHESWICKE II**  
 11x17 PRINTS ARE 1/2 SCALE

Issued Date: 6/17/22  
 BASE PLAN REVISION:

Job #:	--
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LSP Rev:	---
Sheet Title:	Front and Garage Elevations
Sheet:	1.0G

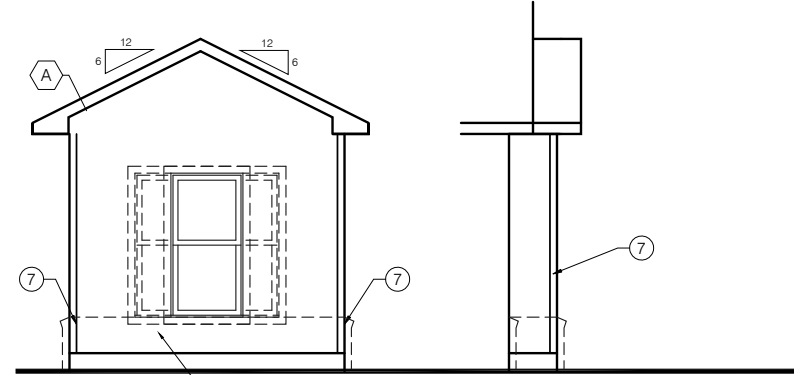


**4' EXT TO OWNER'S SUITE**

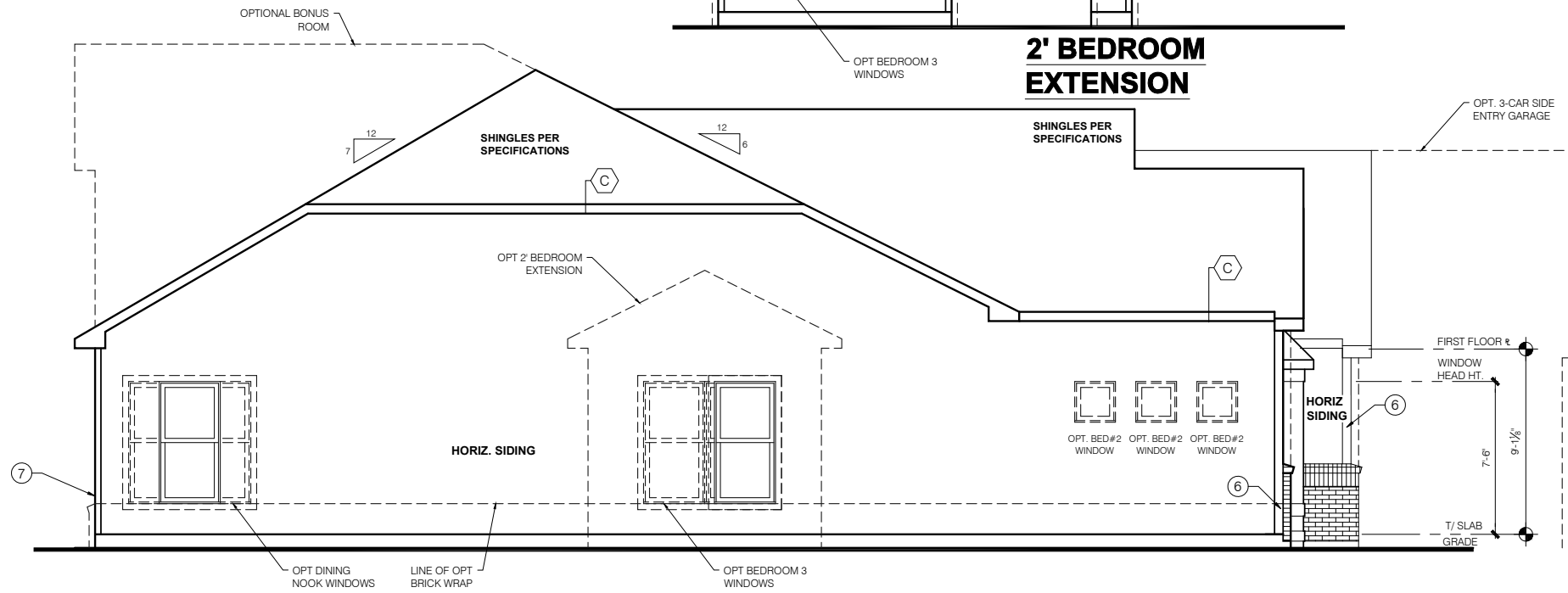


**ELEVATION "G" REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**2' BEDROOM EXTENSION**



**ELEVATION "G" SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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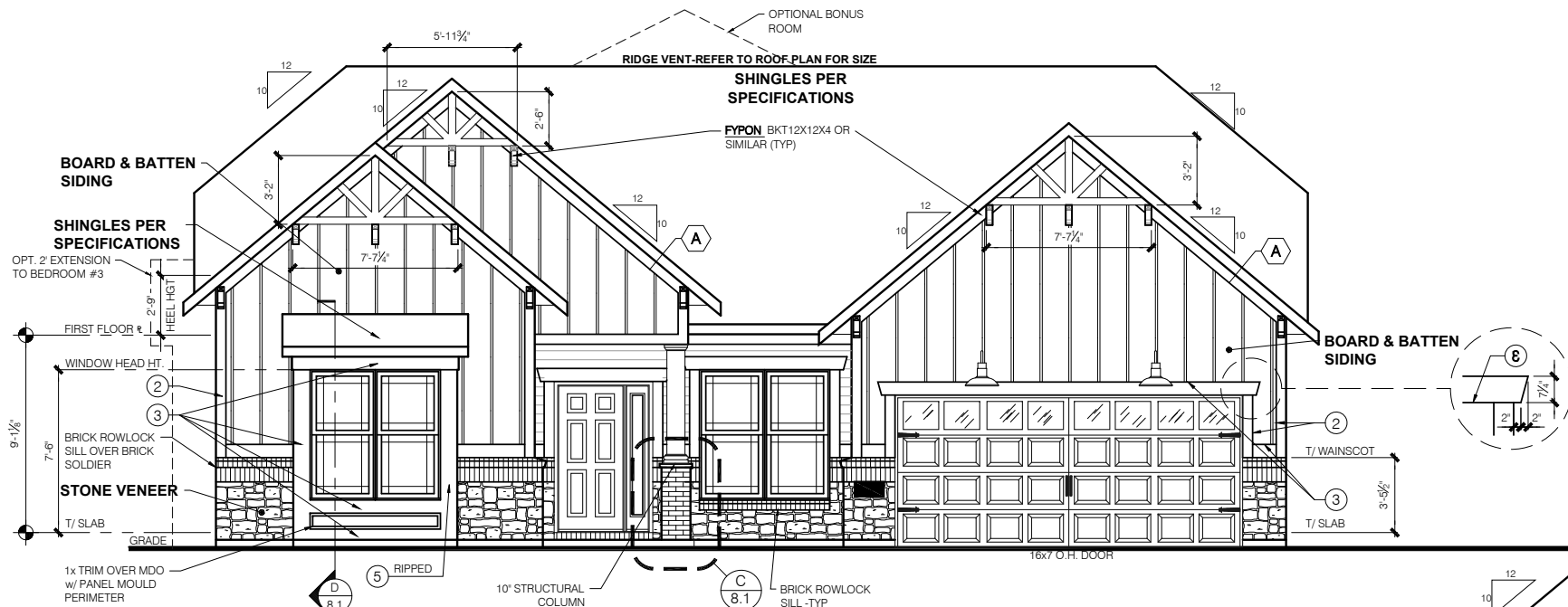
11x17 PRINTS ARE 1/2 SCALE

CHESWICKE II

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LSP Date: -----  
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Sheet Title :  
Rear and Side  
Elevations

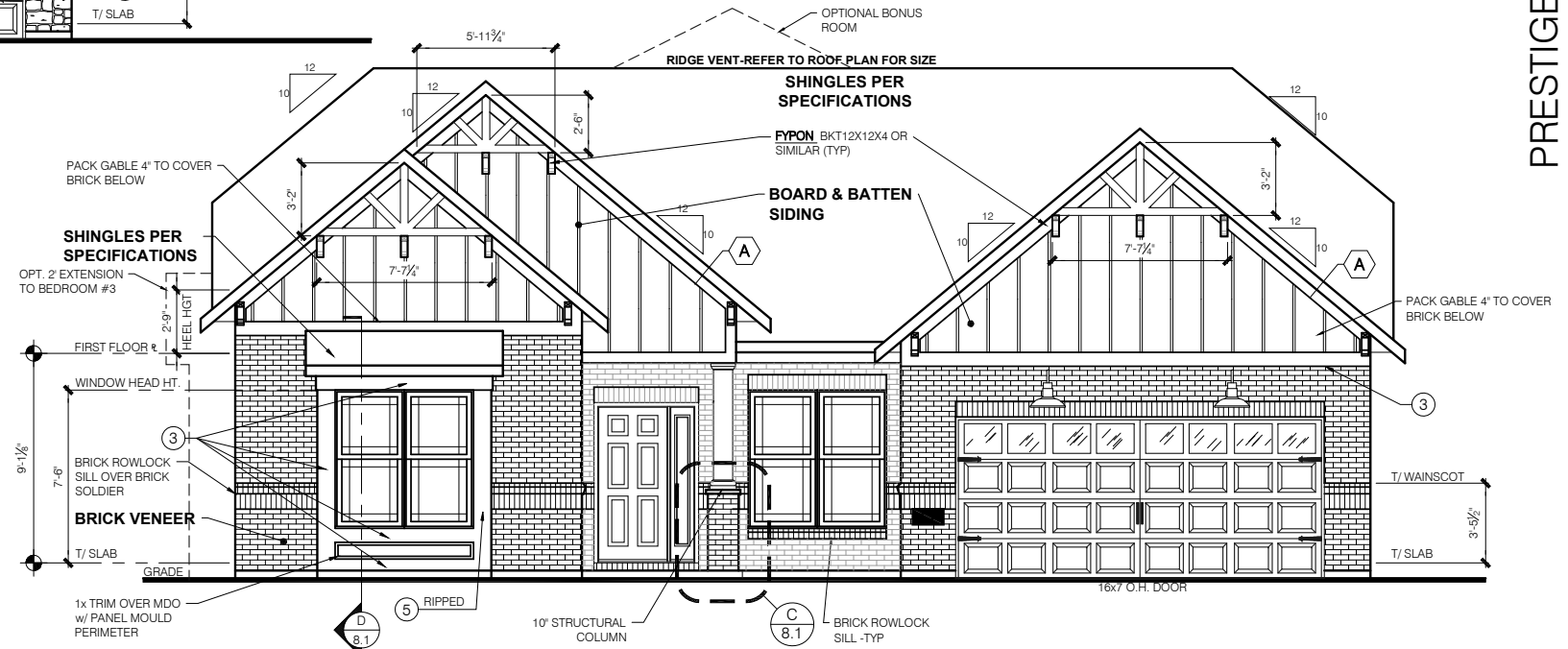
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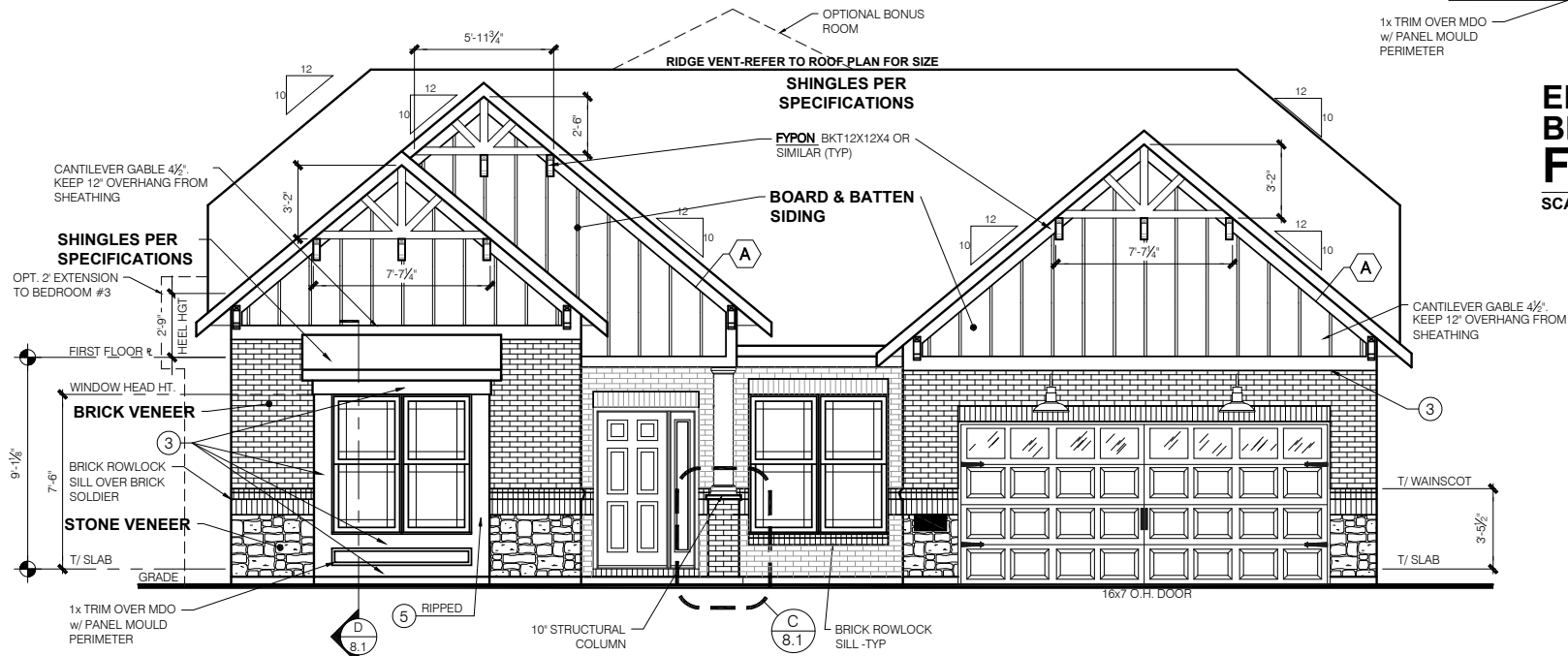
**ELEVATION "G"  
STONE WAINSCOT  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



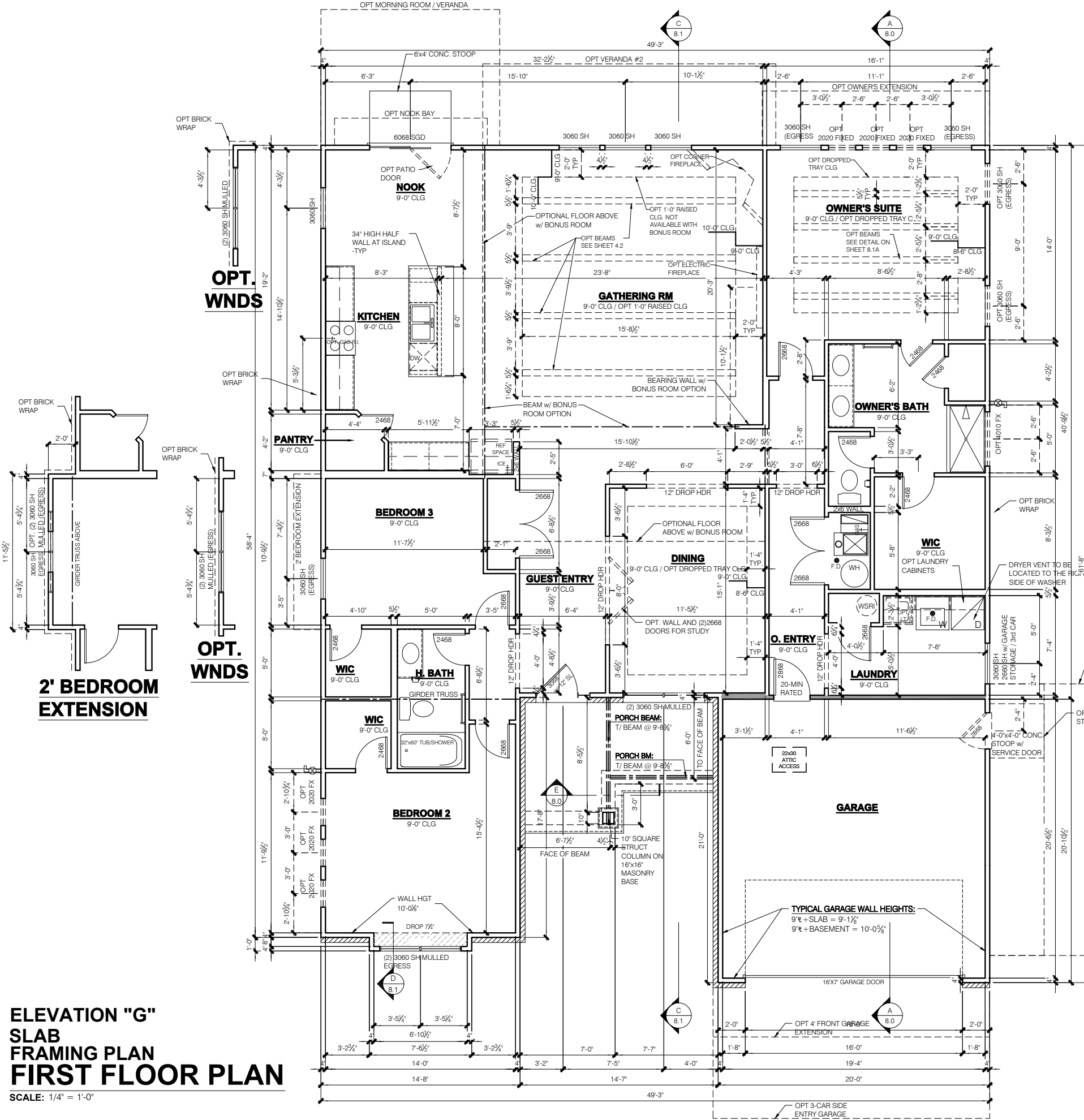
**ELEVATION "G"  
BRICK FRONT  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "G"  
BRICK & STONE FRONT  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "G"  
 SLAB  
 FRAMING PLAN  
 FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
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11x17 PRINTS ARE 1/2 SCALE

**CHESWICKE II**

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**4.0G**

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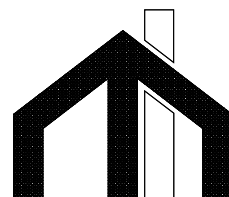
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- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN ½" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET. BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ½", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2½ SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**M/I HOMES**

Welcome to Better PRESENTS

**Cheswicke II**

**"Elevation H"**

**Owner's Name  
CONSTRUCTION SET  
ADDRESS  
LOT #**

**SQUARE FOOTAGE - ELEVATION 'H'**

1ST FLOOR	2264
<b>TOTAL HEATED</b>	<b>2264</b>
PORCH	88
GARAGE	417
GARAGE STORAGE	+80
3-CAR FRONT ENTRY GARAGE	+200
3-CAR SIDE ENTRY GARAGE	+200
OPT FULL BASEMENT	+2142
FINISHED BASEMENT	+1135
FINISHED BASEMENT w/BATH	+1184
FINISHED BASEMENT w/BEDROOM & BATH	+1184
VERANDA	+146
VERANDA #2	+122
DINING NOOK BAY	+22
MORNING ROOM	+131
OWNER'S SUITE EXTENSION	+67
BONUS ROOM	+502
BR 3 EXTENSION	+23

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THK'D - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

**Architectural Drawing Index**

Number	Sheet Title
0.0H	Cover Sheet Indianapolis
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1.1H	Rear and Side Elevations
1.2H	Front Elevation - Opt Brick & Stone
2.1H	Slab Foundation
2.2H	Slab Foundation - w/Bonus
2.3H	Slab Foundation - Brick Wrap
2.4H	Slab Foundation - Brick Wrap w/Bonus
2.5H	Poured Full Basement
2.6H	Poured Full Basement - Brick Wrap
2.7	Opt Finished Basement
2.8	Opt Finished Basement w/Bath
2.9	Opt Finished Basement w/Bed & Bath
3.0H	First Floor Subfloor - Basement
4.0H	First Floor Plan - Slab
4.1H	First Floor Plan - Basement
4.2	First Floor Plan - Options
M1.0H	First Floor MEP Plan - Slab
M1.1H	First Floor MEP Plan - Basement
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7.0H	Roof Plan - Base Roof
8.0H	Sections A B
8.1H	Section C
R0.1	Opt Front Garage Extension
R1.0	Opt Garage Storage Elevations
R1.1	Opt Garage Storage Plans
R1.2	Opt Garage Storage Plans-Brick Wrap
R2.0	Opt 3 car Front Elevations
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R3.1	Opt 2 car Side Plans
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R5.0	Opt Bonus Room elev-sect
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R6.0	Opt Morning Room
R7.0	Optional Veranda
R8.0	Optional Veranda #2 Plans
R8.1	Optional Veranda #2 Plans
R8.2	Optional Veranda #2 Elevations

<b>Revisions</b>			
DATE	C.O #	Description	Drafter

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

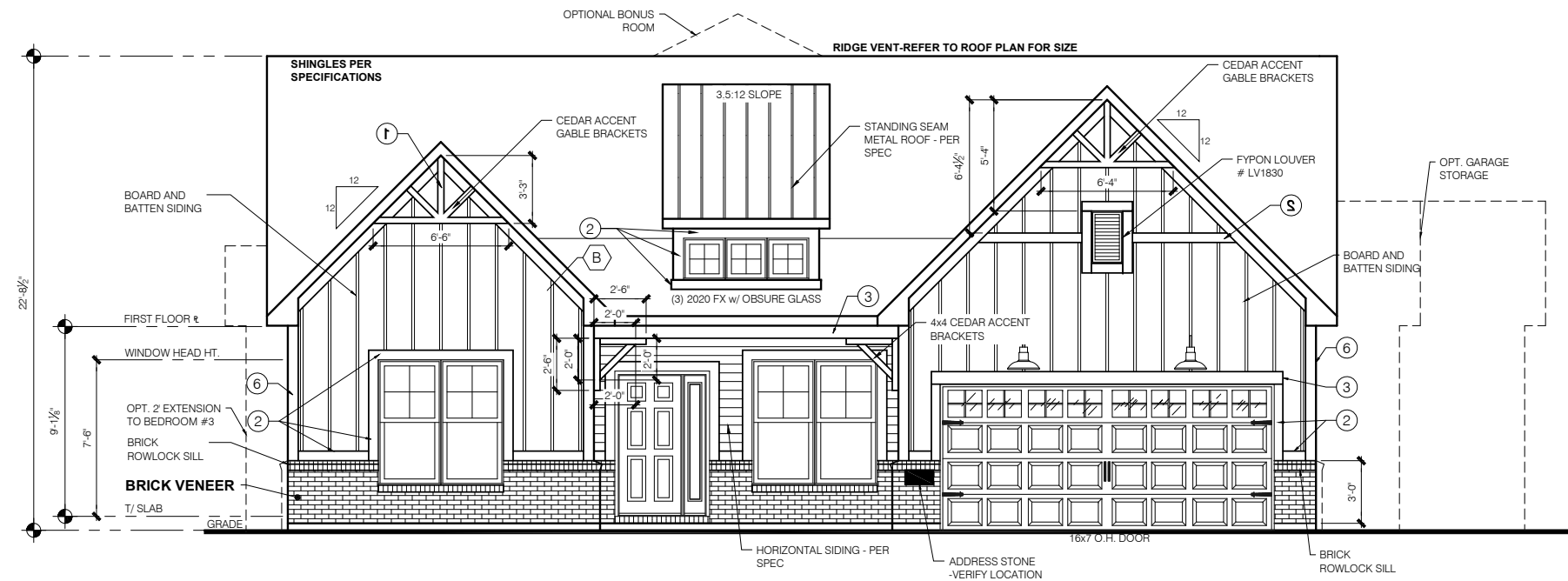
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**CHESWICKE II**

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Job #: --  
LSP Date: -----  
LSP By: --  
LSP Rev: --  
Sheet Title :  
Cover Sheet  
Indianapolis  
Sheet:  
**0.0H**



### ELEVATION H FRONT ELEVATION

SCALE: 1/4" = 1'-0"

#### TYPICAL EXTERIOR TRIM FINISH

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- ① = 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
- ② = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- ③ = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 6" TRIM PER DIVISION
- ⑦ REAR CORNERS = 4" TRIM PER DIVISION

#### DIVISION NOTE:

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

#### WINDOW GRIDS

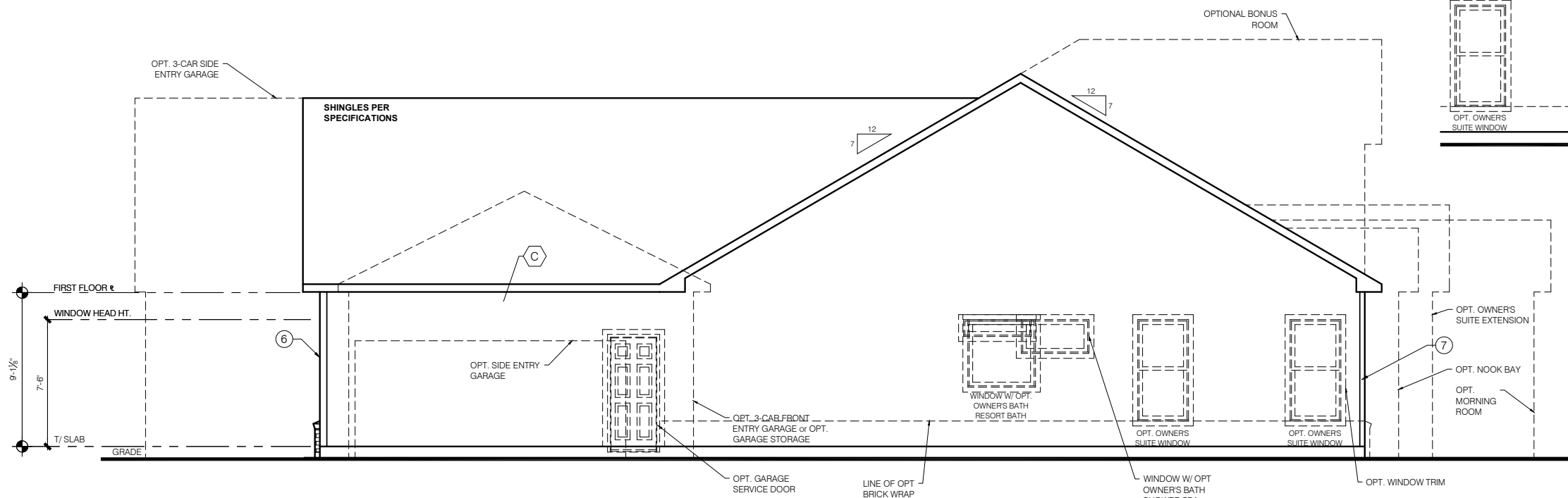
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

#### ELEVATION

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

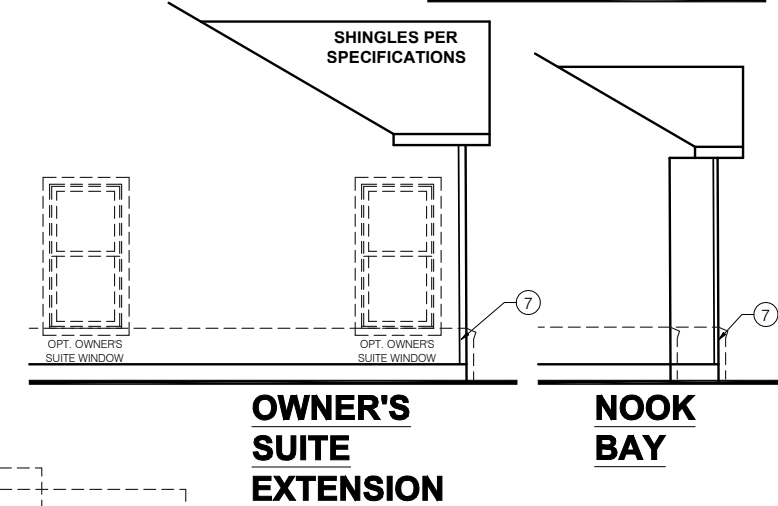
#### GARAGE DOOR WINDOWS

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



### ELEVATION H GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"



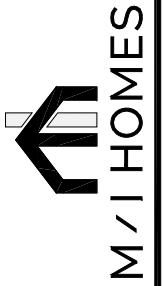
### OWNER'S SUITE EXTENSION

### NOOK BAY

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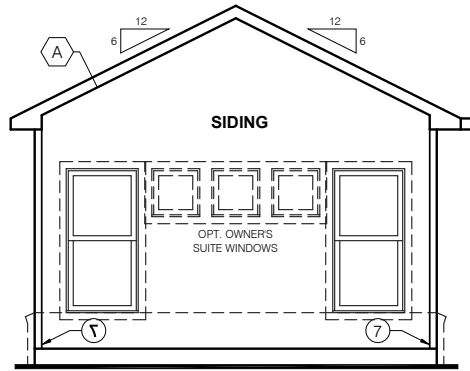


CHESWICKE II

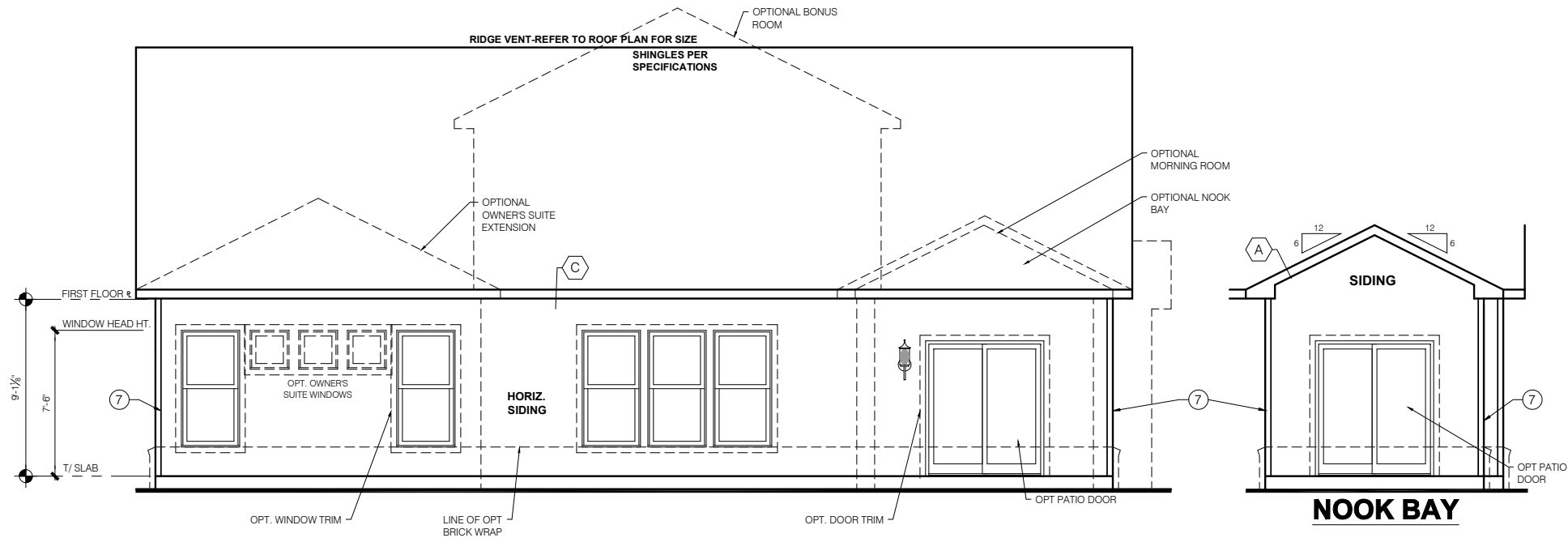
11x17 PRINTS ARE 1/2 SCALE

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LSP Date: ---  
LSP By: ---  
LSP Rev: ---  
Sheet Title :  
Front and Garage Elevations

Sheet:  
**1.0H**

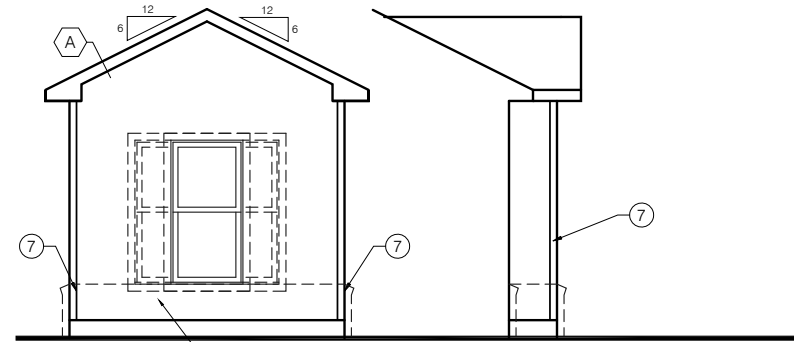


**4' EXT TO OWNER'S SUITE**

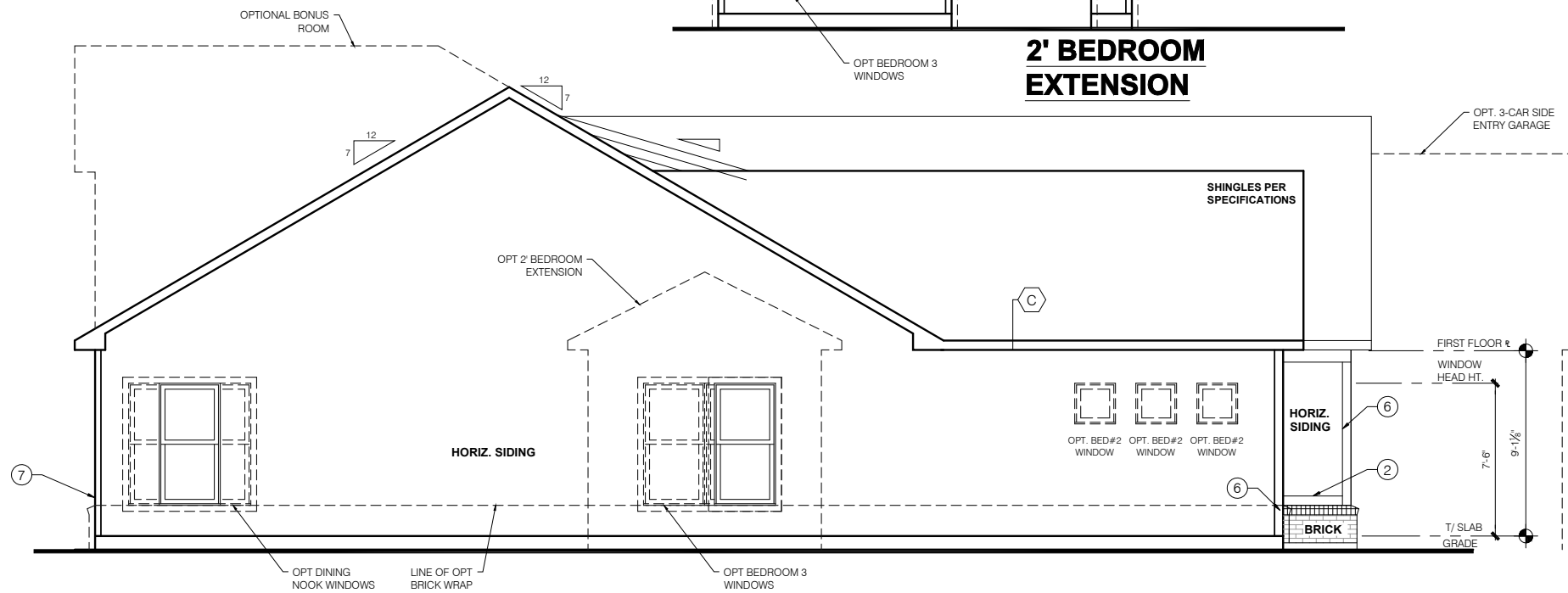


**ELEVATION H REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**2' BEDROOM EXTENSION**



**ELEVATION H SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

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**WINDOW GRIDS**

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-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

**GARAGE DOOR WINDOWS**

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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M/I HOMES

11x17 PRINTS ARE 1/2 SCALE

CHESWICKE II

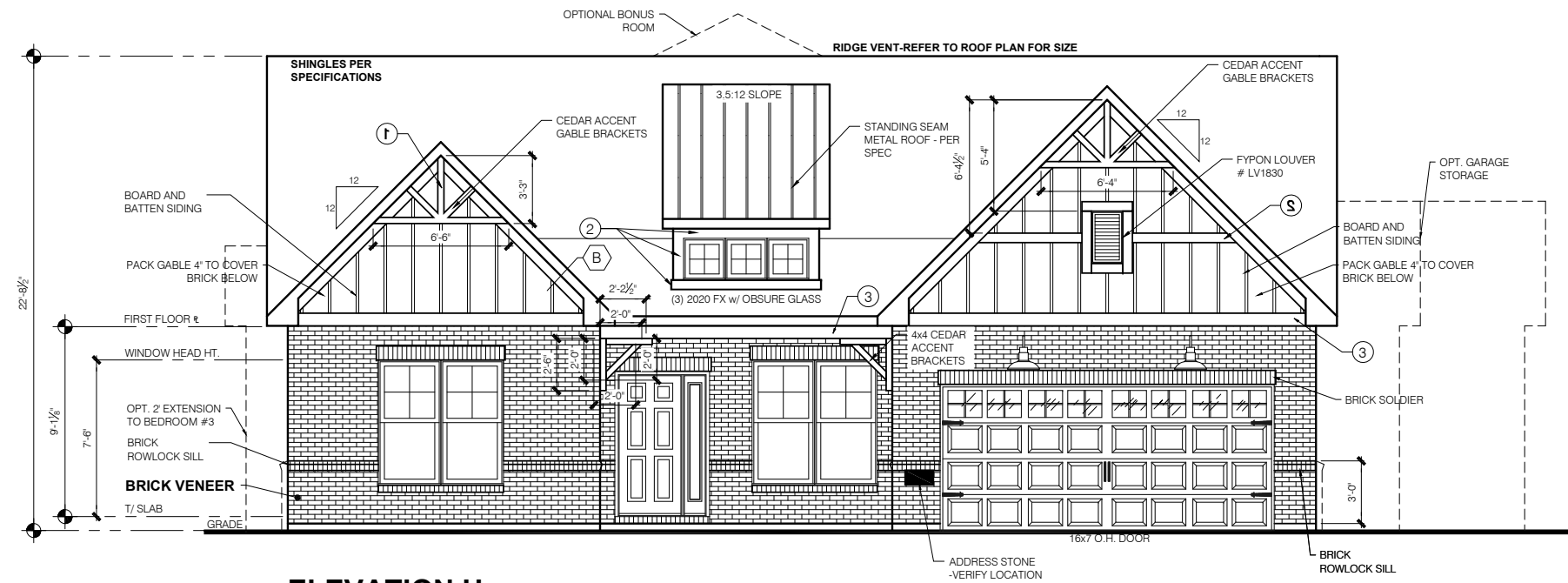
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LSP Date: ----  
LSP By: --  
LSP Rev: --  
Sheet Title :  
Rear and Side  
Elevations

Sheet:

1.1H

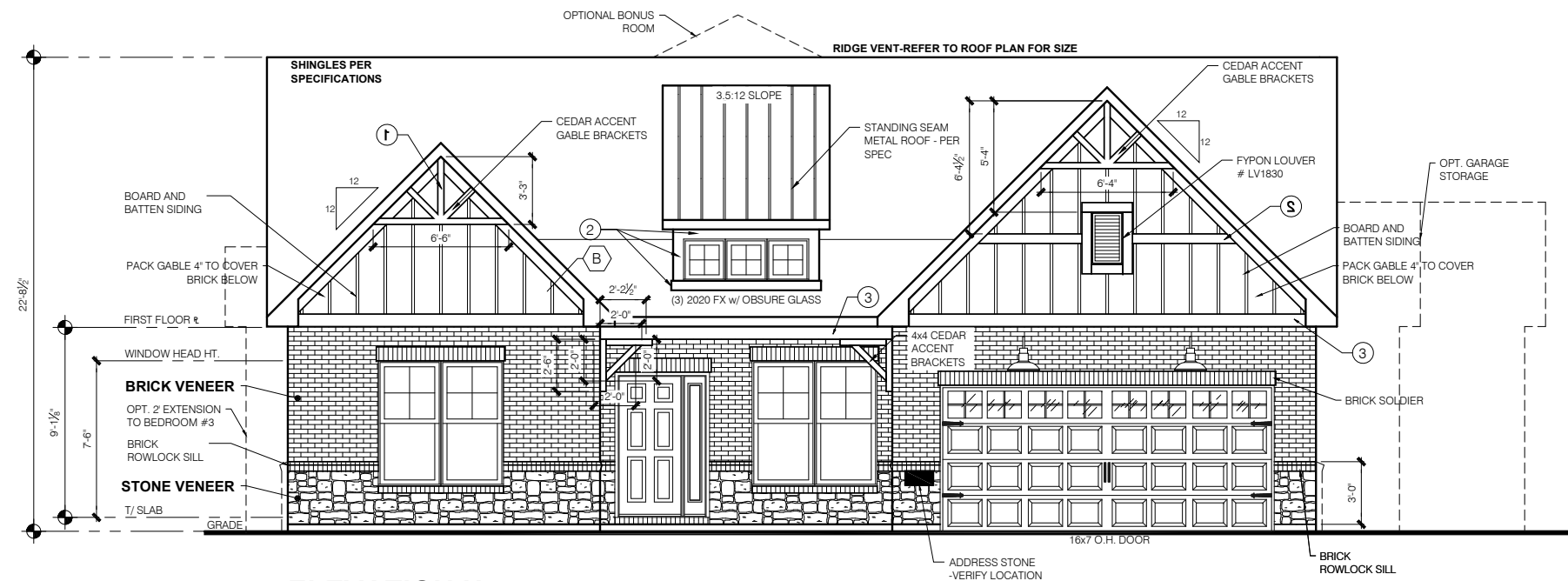
Issued Date: 6/17/22  
BASE PLAN REVISION:

1	--
2	--
3	--
4	--
5	--



**ELEVATION H  
OPT BRICK  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

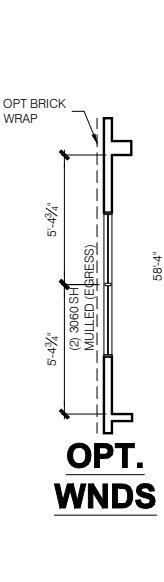
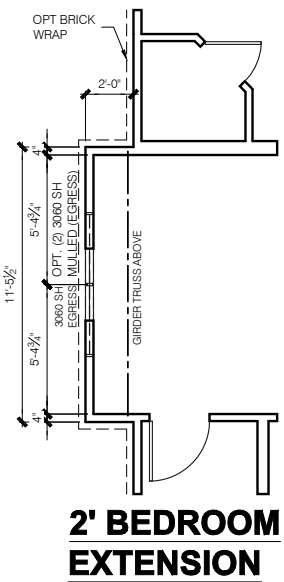
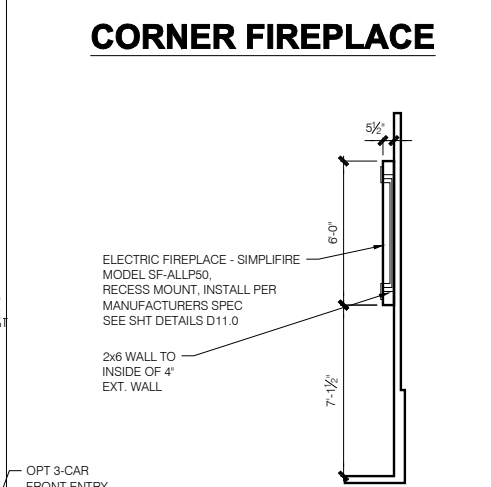
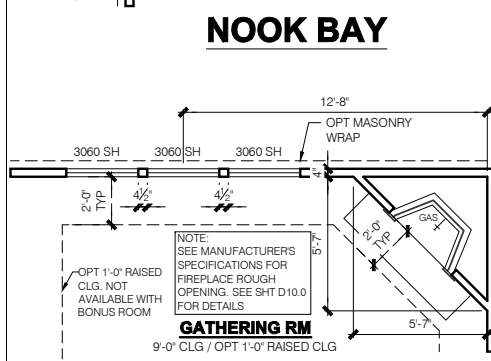
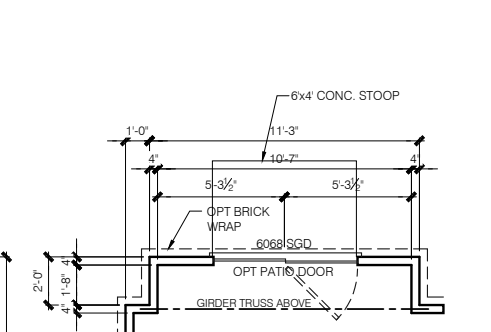
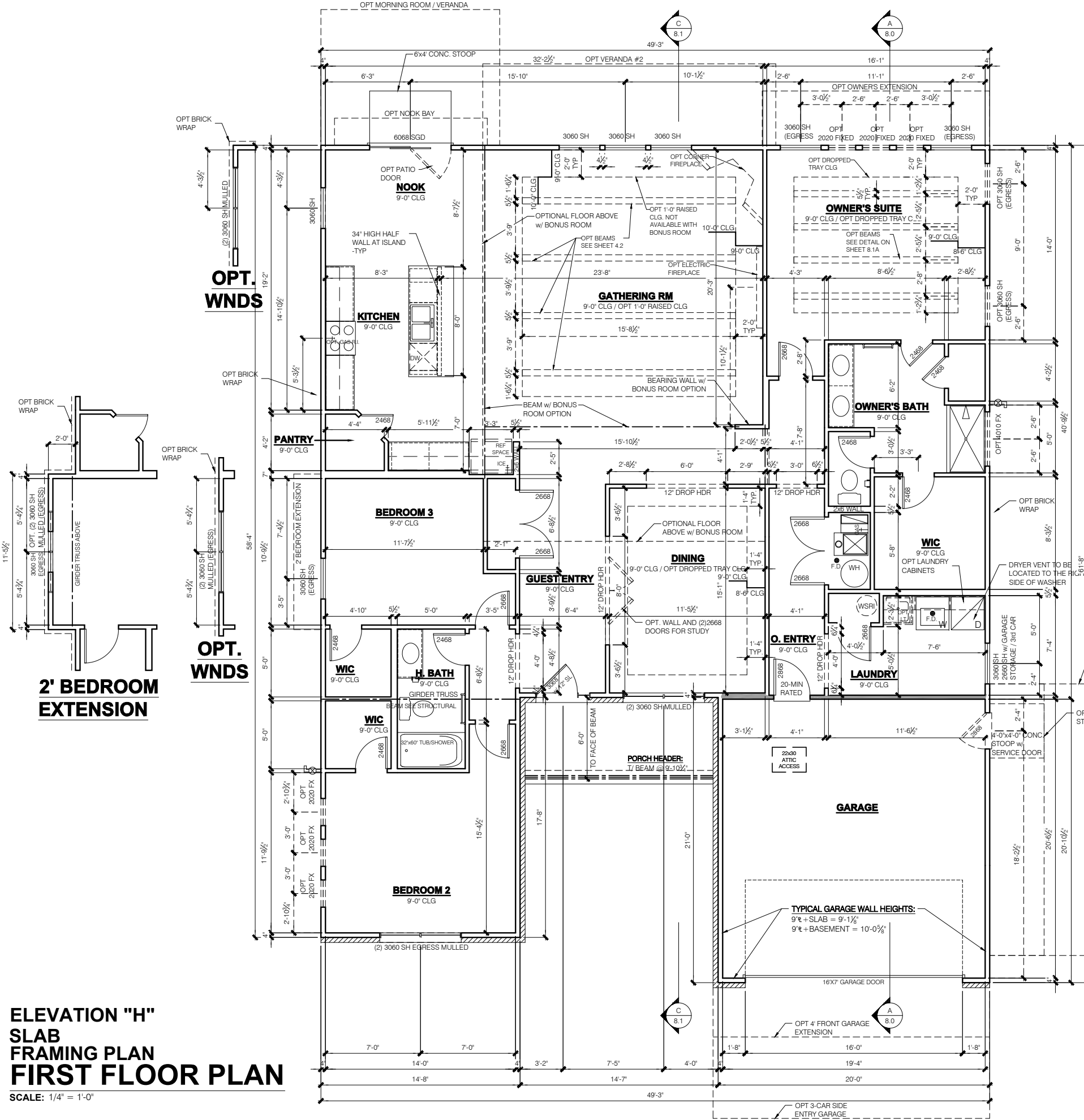


**ELEVATION H  
OPT BRICK & STONE  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

# ELEVATION "H" SLAB FRAMING PLAN FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



- ### FLOOR PLAN NOTES
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE LOCATED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). **STUDS @ 16" O.C. U.N.O.**
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). **STUDS @ 16" O.C. U.N.O.**
  - INTERIOR WALLS ARE 2x4s U.N.O. (3 1/2)
  - EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- ### GARAGE DRYWALL NOTE
- ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" G.W.B. CEILING TO BE 5/8" TYP 'X' FIRECODE DRYWALL BELOW HABITABLE SPACES.
- ### GARAGE DOOR WINDOWS
- PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- ### STRUCTURAL NOTE
- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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**CHESWICKE II**  
 11x17 PRINTS ARE 1/2" SCALE  
 Job #: ---  
 LSP Date: ---  
 LSP By: ---  
 LSP Rev: ---  
 Sheet Title :  
 First Floor Plan -  
 Slab  
 Sheet:  
**4.0H**

**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
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- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**M/I HOMES**  
PRESENTS  
**Drake**  
"Elevation F"  
Owner's Name  
**CONSTRUCTION SET**  
**ADDRESS**  
**LOT #**  
**2x4 EXTERIOR WALLS**

SQUARE FOOTAGE - ELEVATION 'F'	
1ST FLOOR	1260
2ND FLOOR	1635
<b>TOTAL HEATED</b>	<b>2895</b>
FRONT PORCH	127
3-CAR GARAGE	656
GARAGE STORAGE	+79
OPT VERANDA	140
OPT VERANDA #2	90
OPT FLEX SIDE BAY	+19
OPT 4' EXT AT GATHERING RM & EXT DINING	+99
OPT 4' EXT AT GATHERING RM & MORNING RM	-210
OPT 4' EXT AT GATHERING RM	+72
OPT 2' EXT AT DINING NOOK	+28
OPT FULL BASEMENT	+1254
OPT PARTIAL BASEMENT	-1065
OPT. FINISHED BASEMENT	+109
OPT. FINISHED BASEMENT w/ BATH	+109
OPT. FINISHED BASEMENT w/ BATH & BED	+133

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

MI HOMES - COMMON ABBREVIATIONS ON PRINTS		
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THKD - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

Sheet List Table			
Sheet Number	Sheet Title	R8.0	Opt Ext. Gathering & Dining Room - Fnd_Bsmt
0.0F	Cover Sheet		
1.0F	Front And Garage Elevations	R8.1	Opt Ext. Gathering & Dining Room - Plans
1.01F	Front Elevation Brick Garage		
1.02F	Rear and Side Elevations	R8.2	Opt Ext. Gathering & Dining Room - Elevation
1.1F	Front And Garage Elevation- 2 Car Sideload		
1.11F	Front Elevation Brick-Sideload	R9.0	Opt Ext. Gathering & Morning Room - Fnd_Bsmt
1.12F	Garage and Side Elevation- 3 Car Sideload		
2.0F	Slab Foundation	R9.1	Opt Ext. Gathering & Morning Room - Plans
2.01F	Slab Foundation-Sideload		
2.02F	Slab Foundation-3 Car Sideload	R9.2	Opt Ext. Gathering & Morning Room - Elevation
2.03F	Slab Foundation wBrick		
2.04F	Slab Foundation wBrick-Sideload	R10.0	Opt Veranda #2 - Fnd_Bsmt
2.05F	Slab Foundation wBrick-3 Car Sideload	R10.1	Opt Veranda #2 - Plans
2.1F	Poured Full Basement	R10.2	Opt Veranda #2 - Elevation
2.11F	Poured Full Basement-Sideload	R10.3	Opt Veranda #2 - Opt. Screen Porch
2.12F	Poured Full Basement-3 Car Sideload		
2.13F	Poured Full Basement wBrick	R11.0	Opt Morning Room w/ Veranda #2 - Fnd_Bsmt
2.14F	Poured Full Basement wBrick-Sideload		
2.15F	Poured Full Basement wBrick-3 Car Sl	R11.1	Opt Morning Room w/ Veranda #2 - Plans
2.2F	Finished Basement Plan		
2.21F	Finished Basement Plan With Bath	R11.2	Opt Morning Room w/ Veranda #2- Elevation
2.22F	Finished Basement Plan With Bath and Bed		
3.0F	1st Floor Subfloor	R12.0	Opt Veranda w/ Veranda #2 - Fnd_Bsmt
4.0F	1st Floor Plan - Slab		
4.01F	1st Floor Plan - Slab-Sideload	R12.1	Opt Veranda w/ Veranda #2 - Plans
4.02F	1st Floor Plan - Slab-3 Car Sideload	R12.2	Opt Veranda w/ Veranda #2- Elevation
4.1F	1st Floor Plan - Basement	R12.3	Opt Veranda w/ Veranda #2 - Opt Screen Porch
4.11F	1st Floor Plan - Basement-Sideload		
4.12F	1st Floor Plan - Basement-3 Car Sideload		
4.2F	1st Floor Options	R13.0	Opt Gathering Rm Ext / Morning Rm / Veranda #2 - Fnd_Bsmt
6.0F	2nd Floor Plan		
6.1F	2nd Floor Options	R13.1	Opt Gathering Rm Ext / Morning Rm / Veranda #2 - Plans
M1.0F	1st Floor Plan - Slab Electrical		
M1.01F	1st Floor Plan - Slab Electrical-Sideload	R13.2	Opt Gathering Rm Ext / Morning Rm / Veranda #2- Elevation
M1.02F	1st Floor Plan - Slab Electrical-3 Car Sl		
M1.1F	1st Floor Plan - Basement Electrical		
M1.11F	1st Floor Plan - Basement Electrical-Sl		
M1.12F	1st Floor Plan - Bsmt Electrical-3 Car		
M1.2F	1st Floor Options Electrical		
M2.0F	2nd Floor Plan - Electrical		
M2.1F	2nd Floor Options Electrical		
7.0F	Roof Plan - Base Roof		
7.01F	Roof Plan - Base Roof -3 Car Sideload		
8.0F	Slab Cross Section A-B		
8.1F	Full Bsmt Cross Section A-B		
R1.0	Opt Veranda - Fnd_Bsmt		
R1.1	Opt Veranda - Plans		
R1.2	Opt Veranda - Elevation		
R1.3	Opt Screened Porch- Elevation		
R2.0F	Opt 'F' Garage Storage - Plans		
R2.01F	Opt 'F' Garage Storage - Fnd Plans		
R2.1F	Opt 'F' Garage Storage - Elevations		
R5.0	Opt 4' Ext at Gathering Rm - Fnd_Bsmt		
R5.1	Opt 4' Ext At Gathering Rm - Plans		
R5.2	Opt 4' Ext At Gathering Rm - Elevation		
R6.0	Opt 2' Ext at Dining Nook - Fnd_Bsmt		
R6.1	Opt 2' Ext At Dining Nook - Plans		
R6.2	Opt 2' Ext At Dining Nook - Elevation		
R7.0	Opt Morning Room - Fnd_Bsmt		
R7.1	Opt Morning Room - Plans		
R7.2	Opt Morning Room - Elevation		

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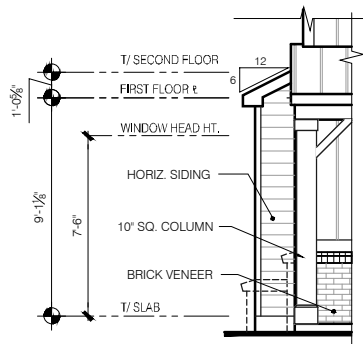
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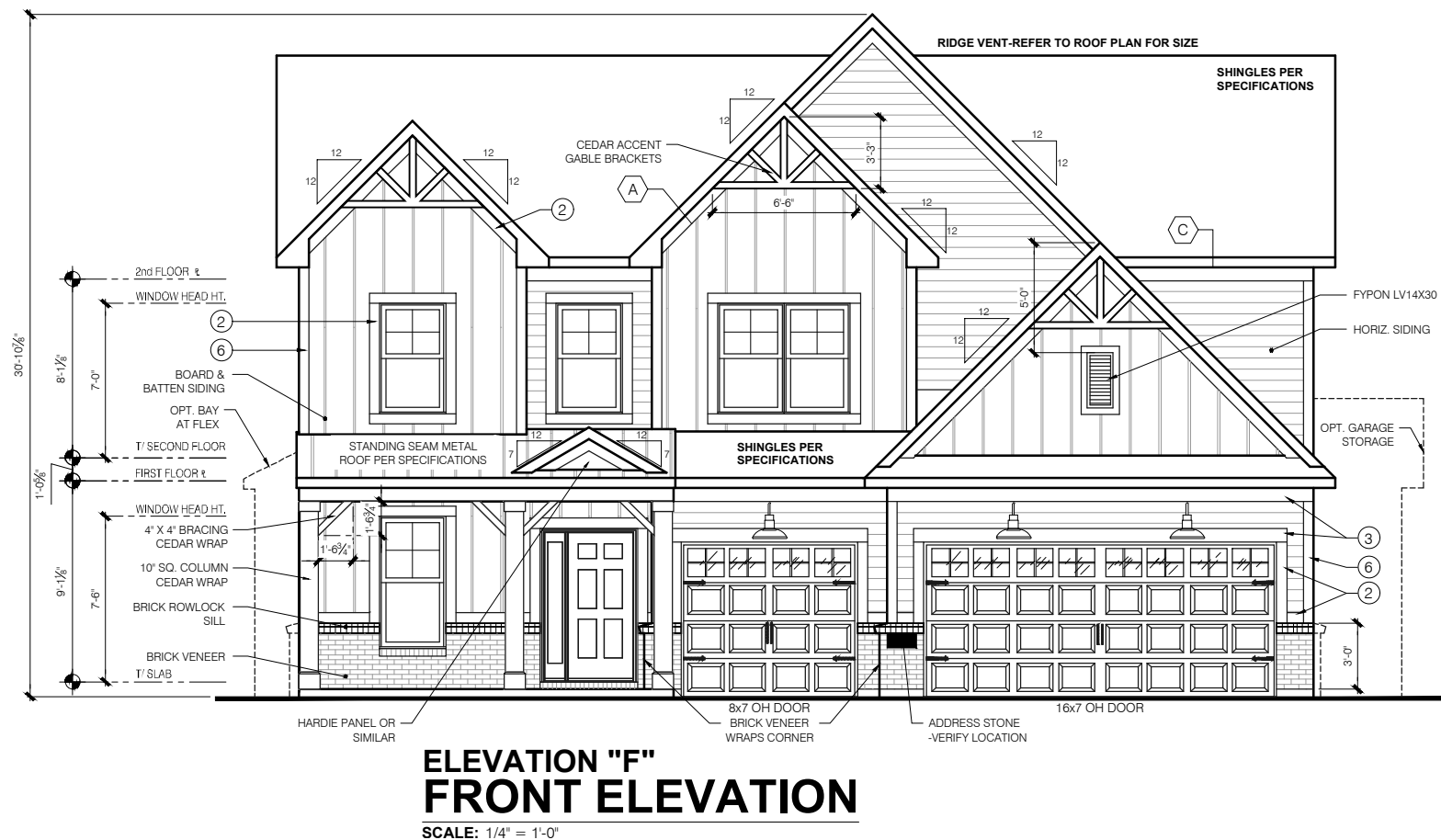
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LSP By: BY  
LSP Rev: ---  
Sheet Title :  
Cover Sheet  
Sheet:  
**0.0F**

Drake  
FINAL SET  
06/17/22





**OPT FLEX SIDE BAY  
FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**  
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

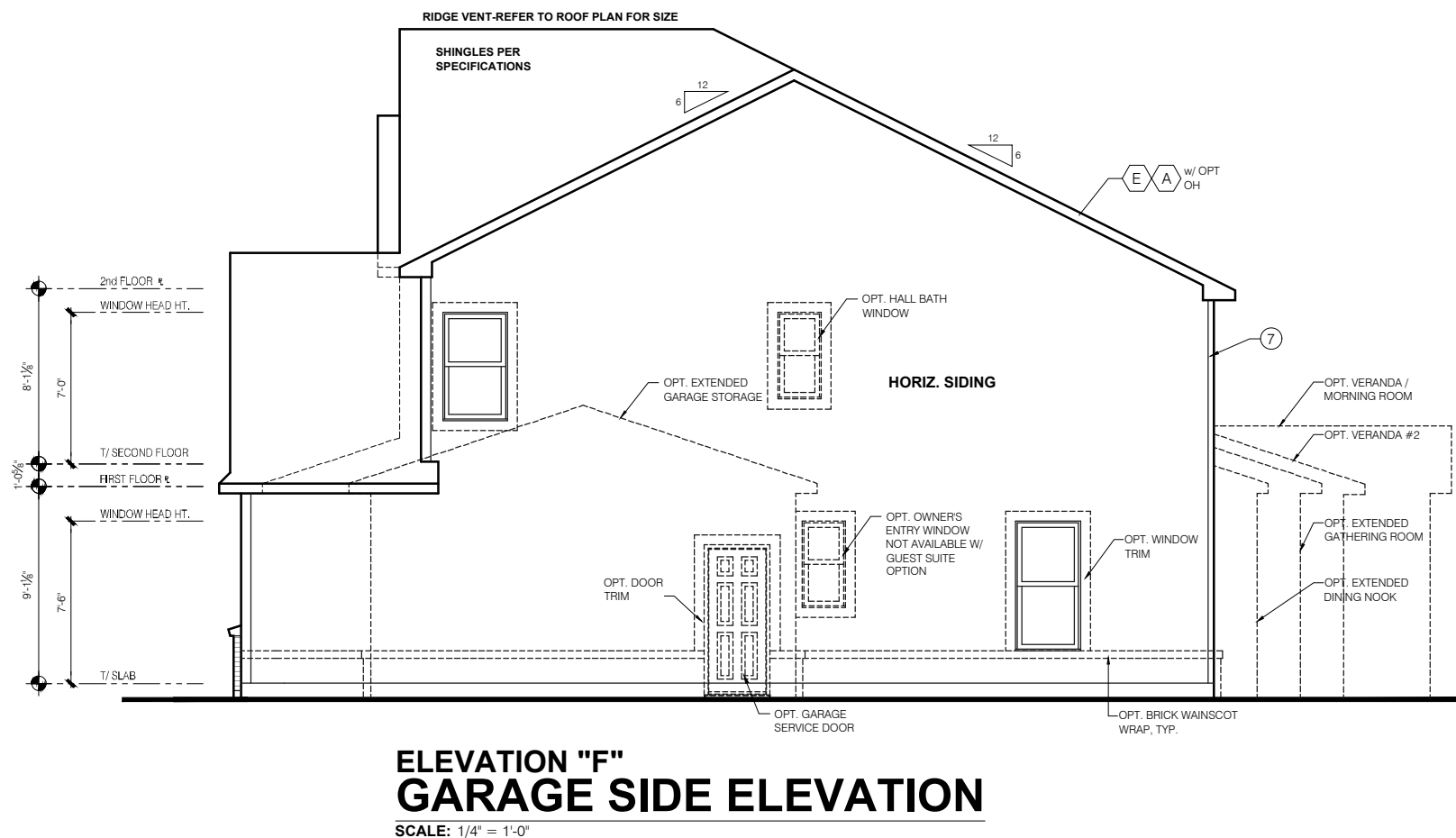
①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 6" TRIM PER DIVISION
⑦	REAR CORNERS = 4" TRIM PER DIVISION

**DIVISION NOTE:**  
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

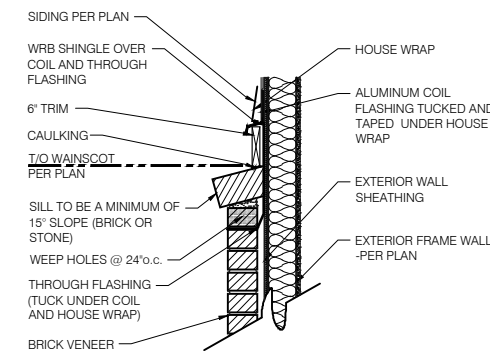
**WINDOW GRIDS**  
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**  
ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



**ELEVATION "F"  
GARAGE SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 BRICK WAINSCOT DETAIL**  
SCALE: 1" = 1'-0"

PRESTIGE SERIES

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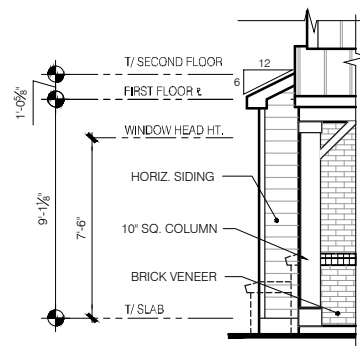
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11x17 PRINTS ARE 1/2 SCALE

Drake  
FINAL SET  
06/17/22

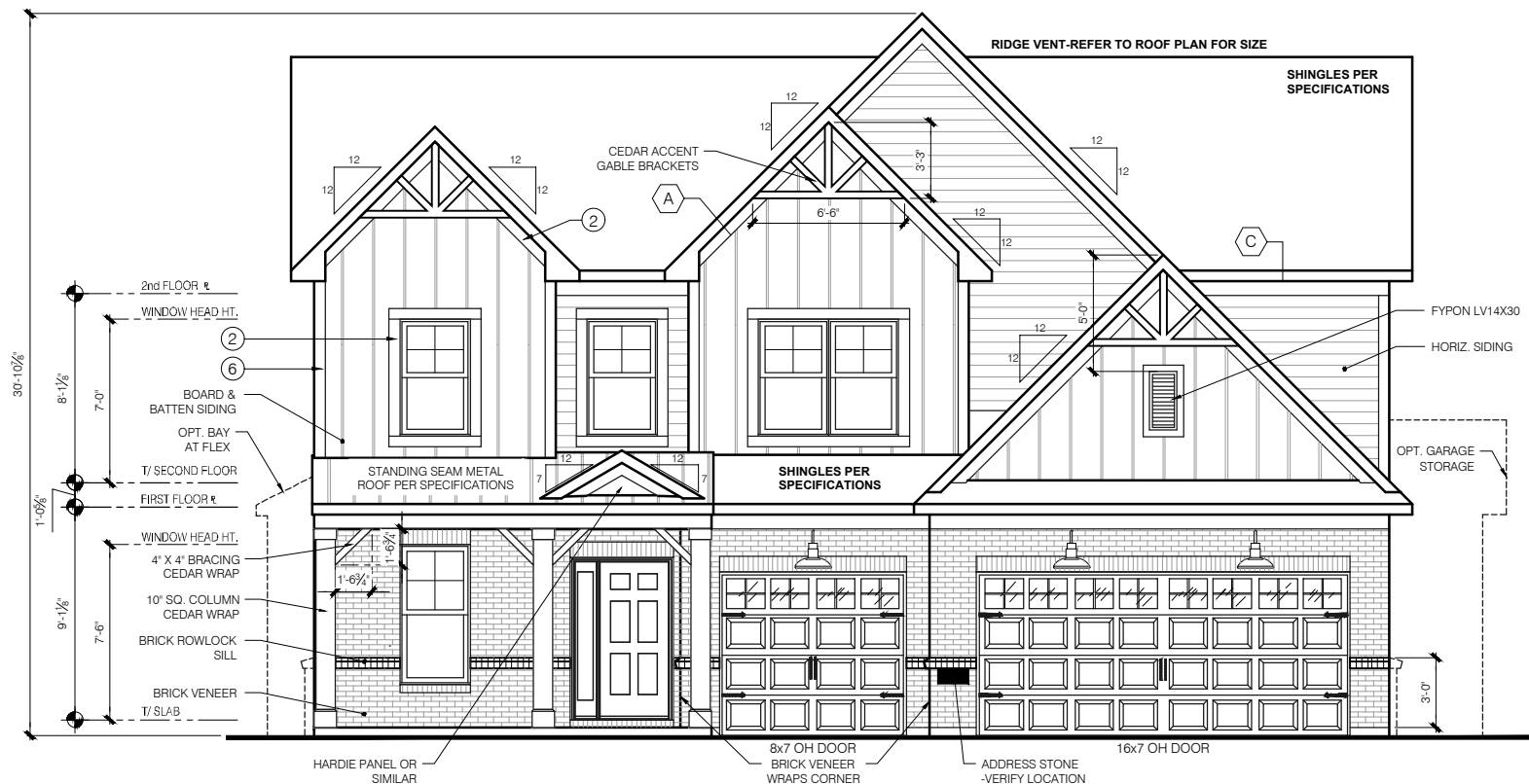
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LSP By: BY  
LSP Rev: ---  
Sheet Title :  
Front And Garage Elevations

Sheet:  
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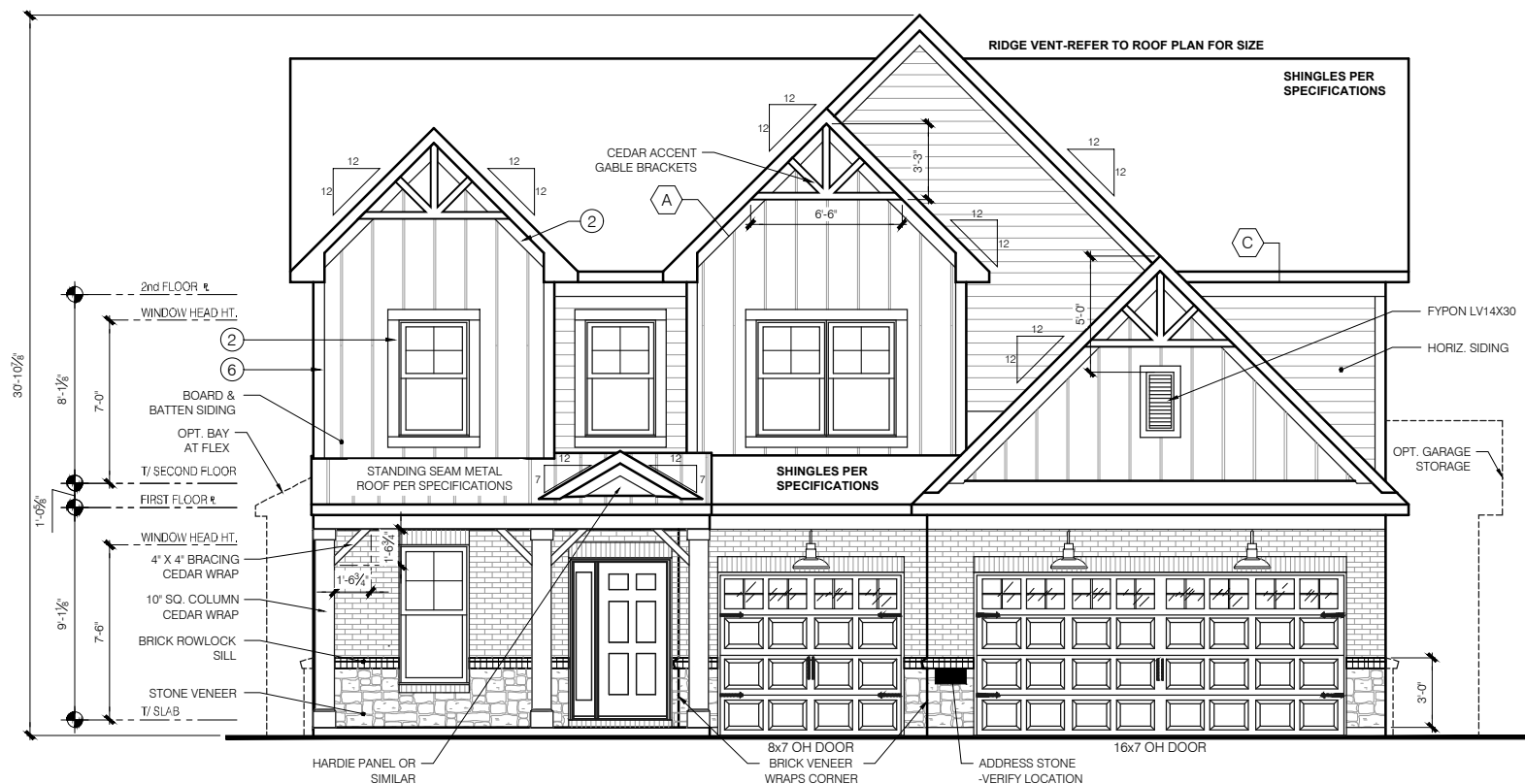
**OPT FLEX SIDE BAY  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
FRONT ELEVATION W/ BRICK**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
FRONT ELEVATION W/ BRICK AND STONE**

SCALE: 1/4" = 1'-0"

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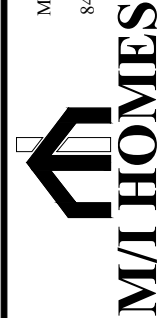
**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

PRESTIGE SERIES

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△ 2	---
△ 3	---
△ 4	---

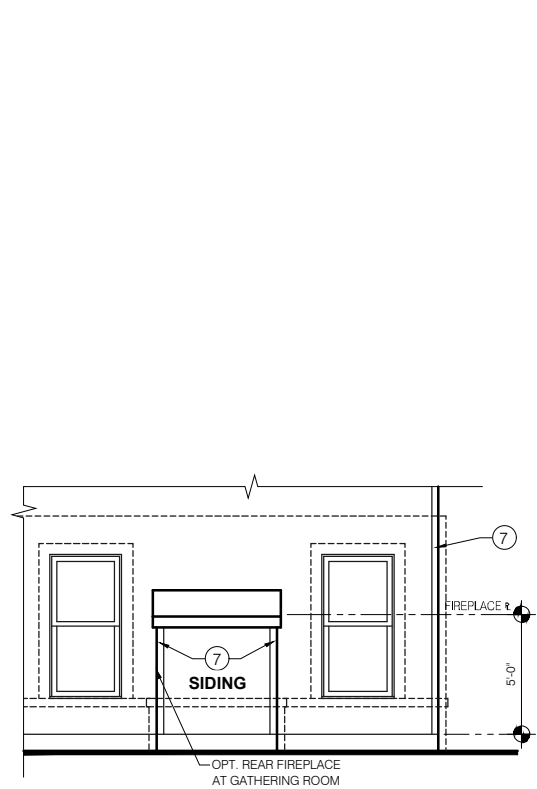
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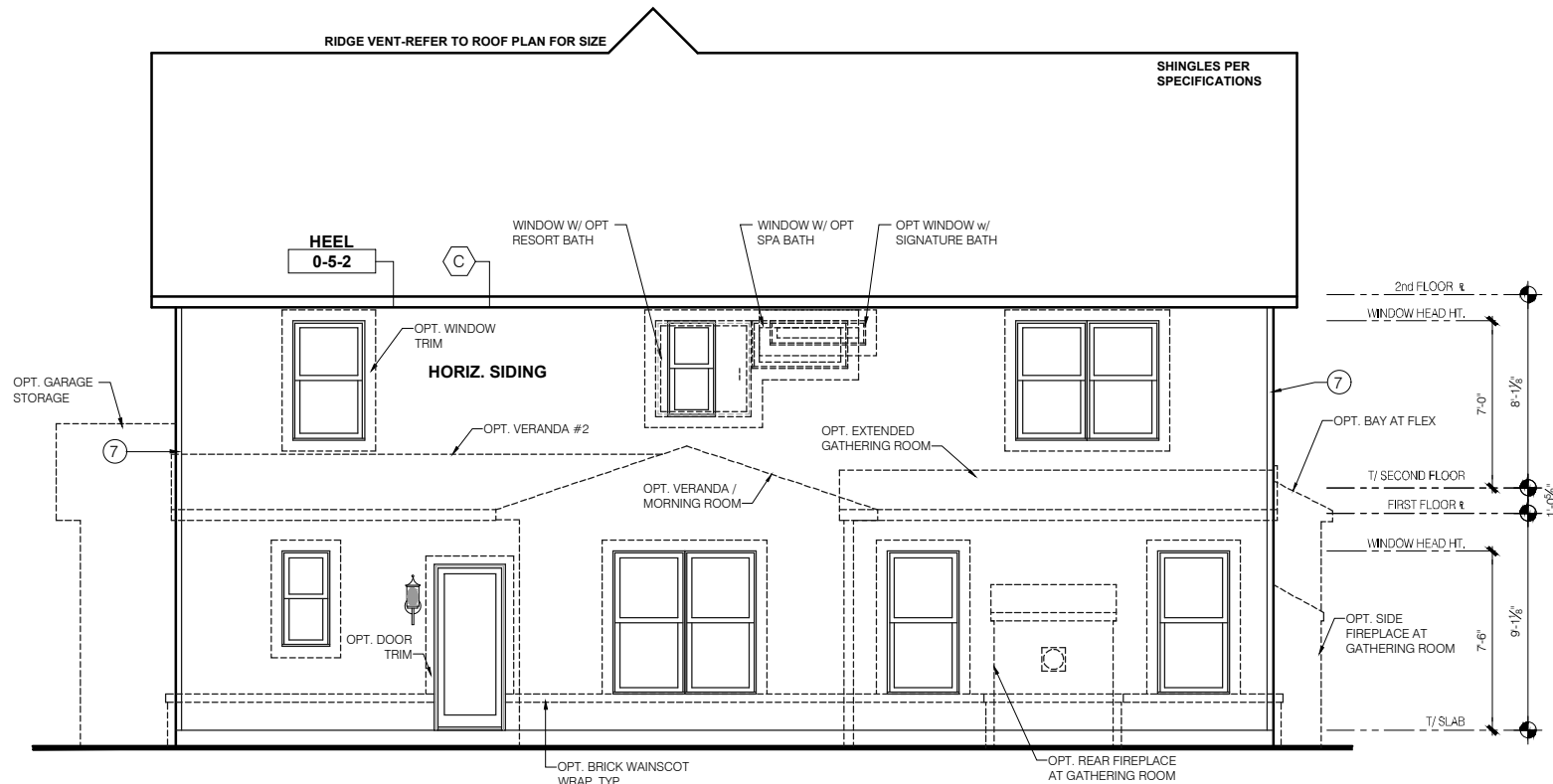
11x17 PRINTS ARE 1/2" SCALE

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LSP By:	BY
LSP Rev:	---
Sheet Title:	Front Elevation Brick Garage
Sheet:	1.01F



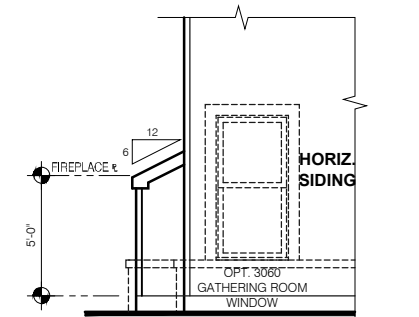
**OPT REAR FIREPLACE REAR ELEVATION**

SCALE: 1/4" = 1'-0"



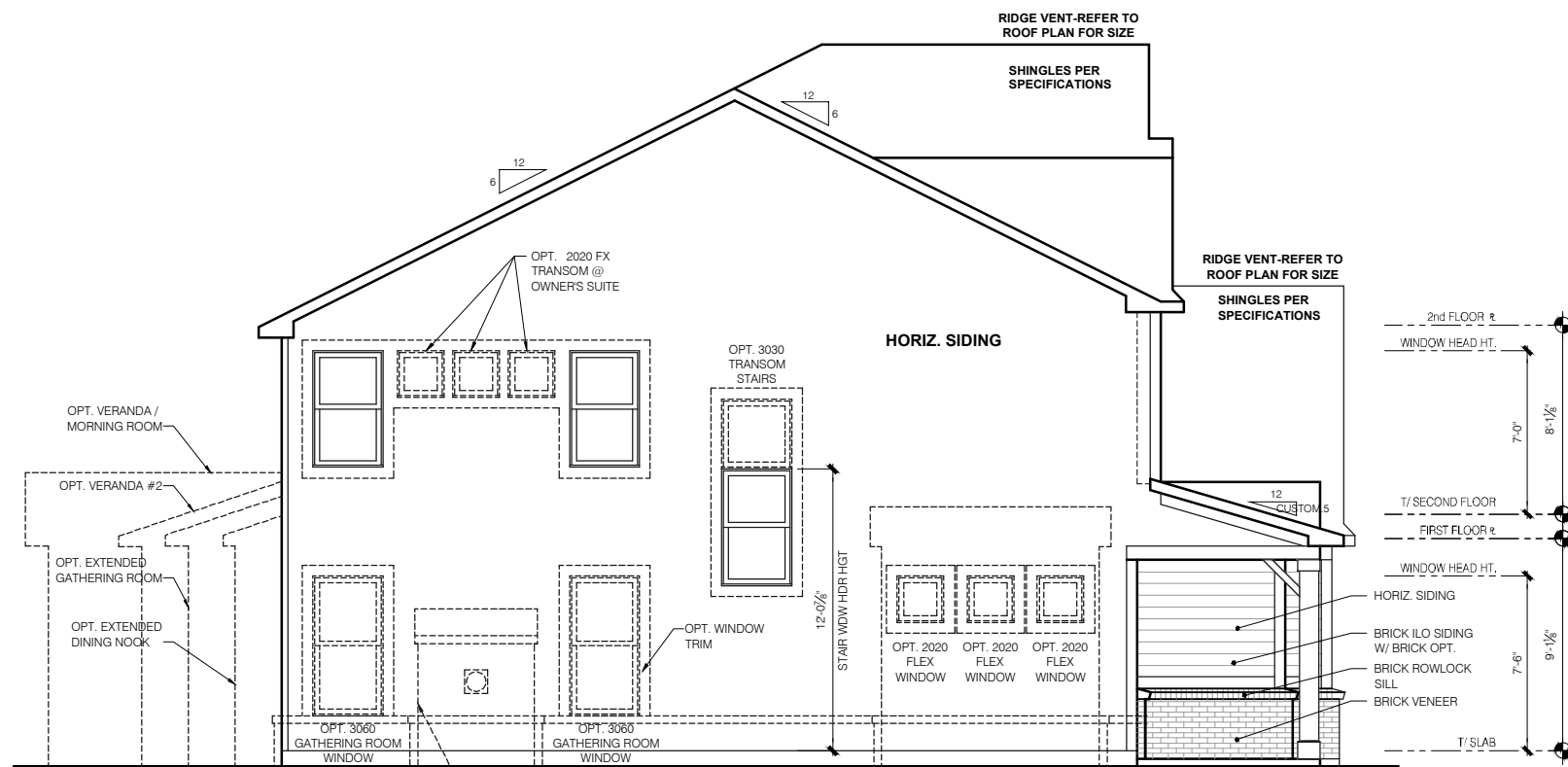
**ELEVATION "F" REAR ELEVATION**

SCALE: 1/4" = 1'-0"



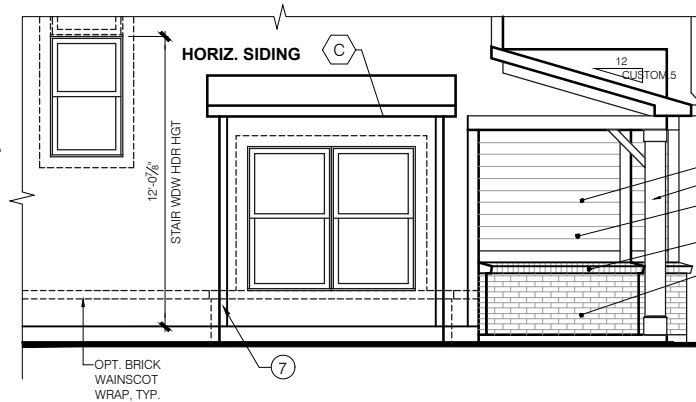
**OPT REAR FIREPLACE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



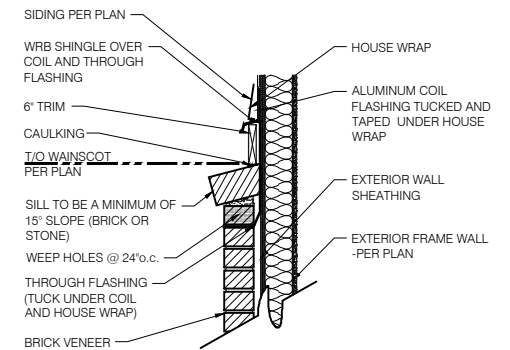
**ELEVATION "F" SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**OPT FLEX SIDE BAY SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**1 BRICK WAINSCOT DETAIL**

SCALE: 1" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**  
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- ① = 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
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**WINDOW GRIDS**

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**ELEVATION**

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**GARAGE DOOR WINDOWS**

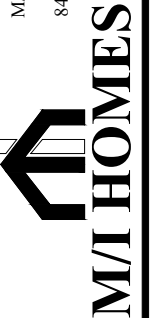
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

PRESTIGE SERIES

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Issued Date:	06/17/22
BASE PLAN REVISION:	
1	---
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3	---
4	---

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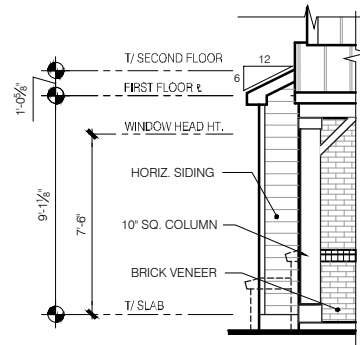
Drake  
FINAL SET  
06/17/22

11x17 PRINTS ARE 1/2 SCALE

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LSP By: BY  
LSP Rev: ---  
Sheet Title :  
Rear and Side Elevations

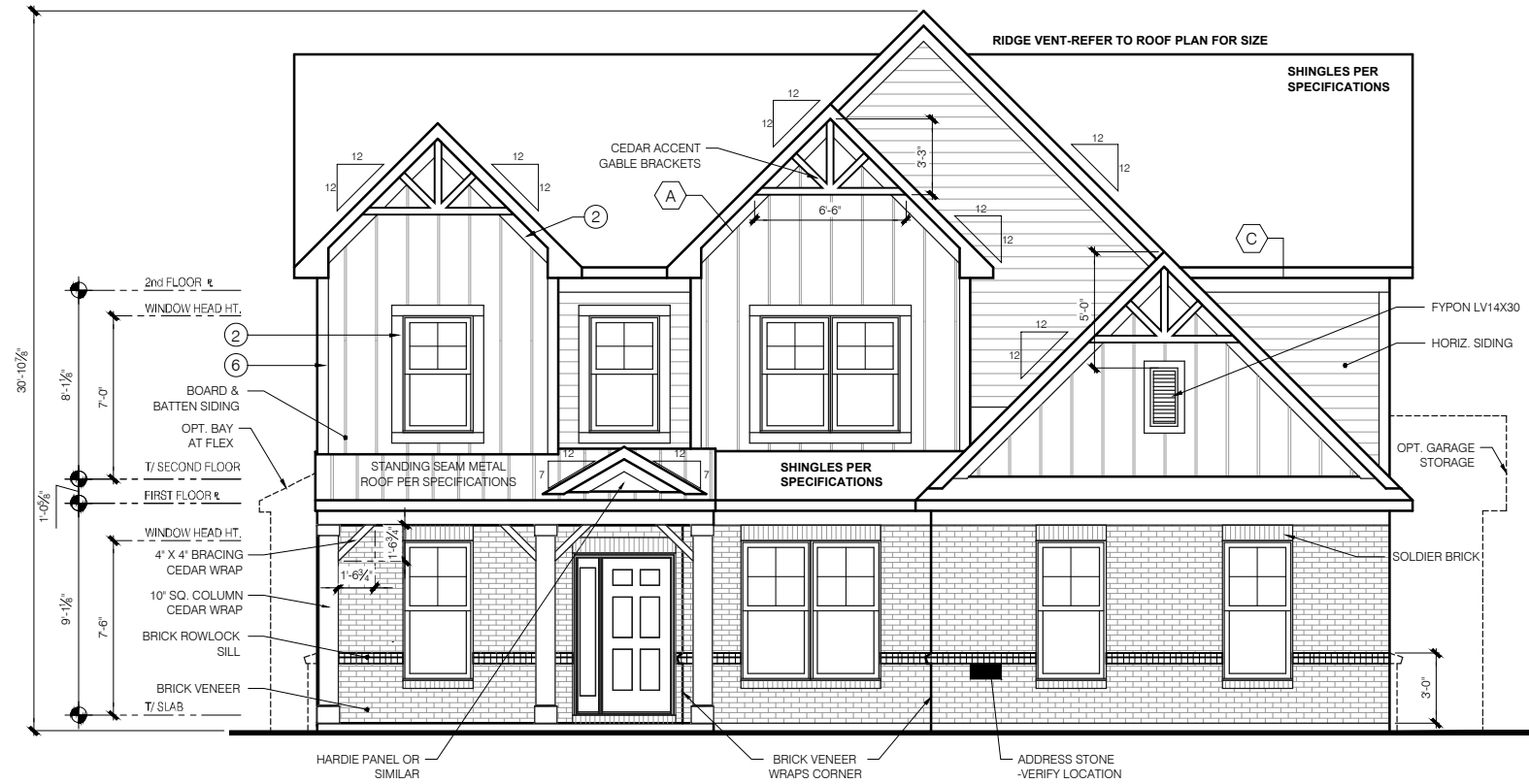
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**OPT FLEX SIDE BAY  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
FRONT ELEVATION W/ BRICK - SIDELOAD**

SCALE: 1/4" = 1'-0"



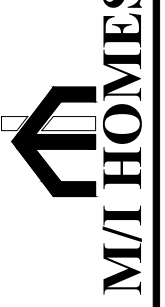
**ELEVATION "F"  
FRONT ELEVATION W/ BRICK AND STONE - SIDELOAD**

SCALE: 1/4" = 1'-0"

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1	---
2	---
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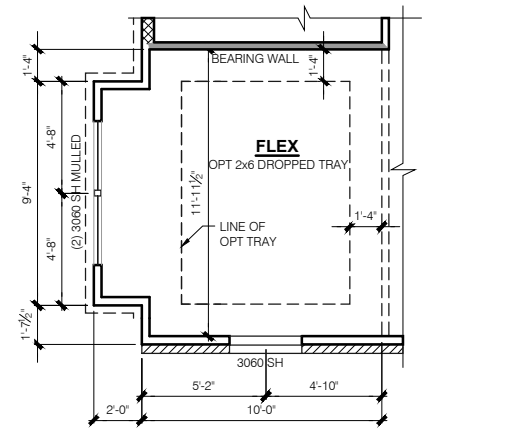
PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

Drake  
FINAL SET  
06/17/22

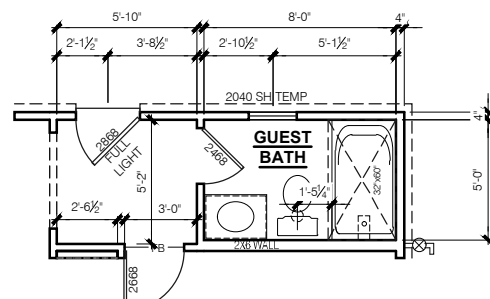
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Sheet:	1.11F

1.11F



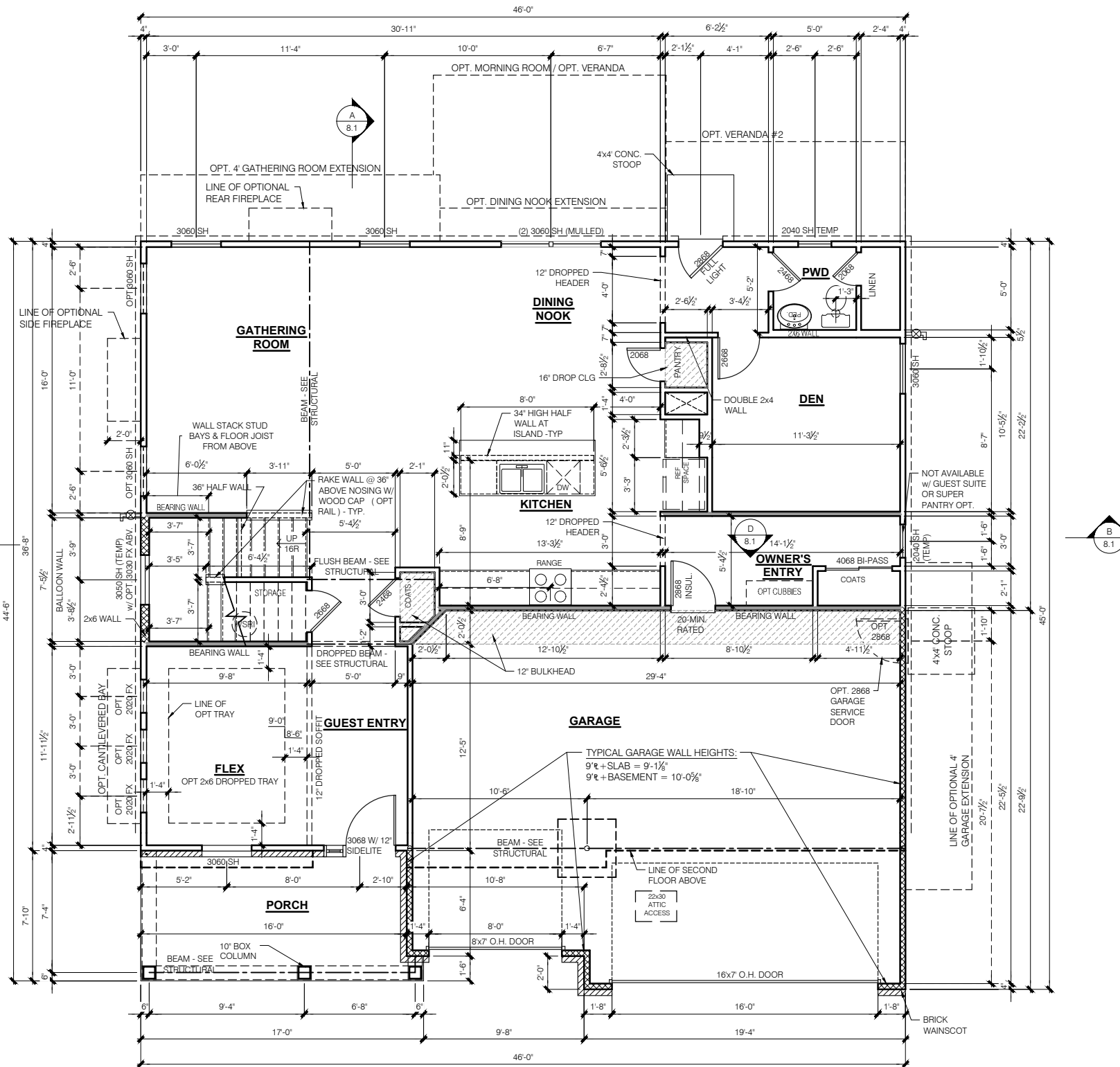
**FRAMING PLAN  
OPT FLEX SIDE BAY**

SCALE: 1/4" = 1'-0"



**FRAMING PLAN  
OPT FULL BATH**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
SLAB  
FRAMING PLAN  
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4's U.N.O. (3/2")
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

**GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" GWB. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

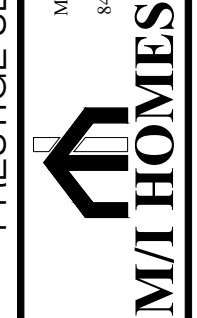
**STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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Architecture Department  
8425 Woodfield Crossing Blvd.  
Indianapolis, IN 46240  
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PRESTIGE SERIES

11x17 PRINTS ARE 1/2" SCALE

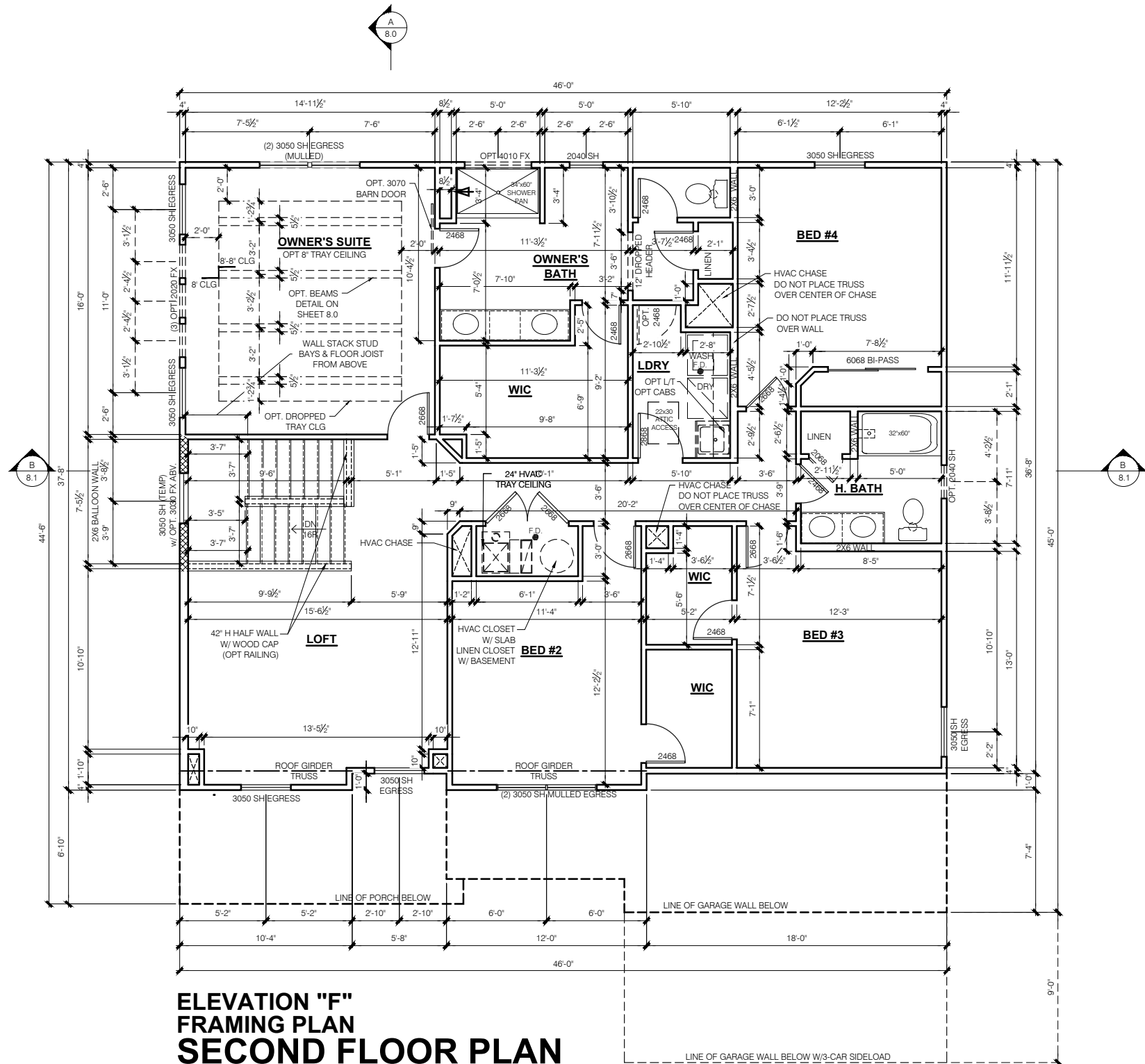
Drake  
FINAL SET  
06/17/22

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LSP Date:	X/XX/XX
LSP By:	BY
LSP Rev:	---
Sheet Title:	

1st Floor Plan - Slab

Sheet:

4.0F



**ELEVATION "F"  
FRAMING PLAN  
SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4"). STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4s U.N.O. (3/2")
  - EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILING, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" GWB. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

Job #: ---  
LSP Date: X/XX/XX  
LSP By: BY  
LSP Rev: ---  
Sheet Title :  
2nd Floor Plan  
Sheet:  
6.0F

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**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2 1/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 1/2" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOIRIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 1/8", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERCALLY AND SHALL SUPPORT NOT MORE THAN 2 1/2 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**M/I HOMES**  
PRESENTS  
**Drake**  
"Elevation G"  
Owner's Name  
**CONSTRUCTION SET**  
**ADDRESS**  
**LOT #**  
**2x4 EXTERIOR WALLS**

SQUARE FOOTAGE - ELEVATION 'G'	
1ST FLOOR	1260
2ND FLOOR	1633
<b>TOTAL HEATED</b>	<b>2893</b>
FRONT PORCH	107
3-CAR GARAGE	617
GARAGE STORAGE	+79
OPT VERANDA	140
OPT VERANDA #2	90
OPT FLEX SIDE BAY	+19
OPT 4' EXT AT GATHERING RM & EXT DINING	+99
OPT 4' EXT AT GATHERING RM & MORNING RM	210
OPT 4' EXT AT GATHERING RM	+72
OPT 2' EXT AT DINING NOOK	+28
OPT FULL BASEMENT	+1254
OPT PARTIAL BASEMENT	1065
OPT, FINISHED BASEMENT	+109
OPT, FINISHED BASEMENT w/ BATH	+109
OPT, FINISHED BASEMENT w/ BATH & BED	+133

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.


MI HOMES - COMMON ABBREVIATIONS ON PRINTS		
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THKD - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

Sheet List Table			
Sheet Number	Sheet Title	Sheet Number	Sheet Title
0.0D	Cover Sheet	R10.0	Opt Veranda #2 - Fnd_Bsmt
1.0G	Front And Garage Elevations	R10.1	Opt Veranda #2 - Plans
1.01G	Front Elevation Brick Garage	R10.2	Opt Veranda #2 - Elevation
1.1G	Rear and Side Elevations	R10.3	Opt Veranda #2 - Opt. Screen Porch
1.2G	2 CarSideLoad Front And Garage Elevations	R11.0	Opt Morning Room w/ Veranda #2 - Fnd_Bsmt
1.21G	2 CarSideLoad Front And Garage Brick Elevations	R11.1	Opt Morning Room w/ Veranda #2 - Plans
2.0G	Slab Foundation	R11.2	Opt Morning Room w/ Veranda #2- Elevation
2.01G	Slab Foundation - 2 Car SideLoad	R12.0	Opt Veranda w/ Veranda #2 - Fnd_Bsmt
2.02G	Slab Foundation wBrick - 2 Car SideLoad	R12.1	Opt Veranda w/ Veranda #2 - Plans
2.1G	Poured Full Basement	R12.2	Opt Veranda w/ Veranda #2- Elevation
2.11G	Poured Full Basement - 2 Car SideLoad	R12.3	Opt Veranda w/ Veranda #2 - Opt Screen Porch
2.12G	Poured Full Basement wBrick	R13.0	Opt Gathering Rm Ext / Morning Rm / Veranda #2 - Fnd_Bsmt
2.13G	Poured Full Bsmt wBrick - 2 Car SideLoad	R13.1	Opt Gathering Rm Ext / Morning Rm / Veranda #2 - Plans
2.2G	Finished Basement Plan	R13.2	Opt Gathering Rm Ext / Morning Rm / Veranda #2- Elevation
2.21G	Finished Basement Plan With Bath		
2.22G	Finished Basement Plan With Bath and Bed		
3.0G	1st Floor Subfloor		
4.0G	1st Floor Plan - Slab		
4.01G	1st Floor Plan - 2 Car SideLoad - Slab		
4.1G	1st Floor Plan - Basement		
4.11G	1st Floor Plan - 2 Car SideLoad Bsmt		
4.2G	1st Floor Options		
6.0G	2nd Floor Plan		
6.1G	2nd Floor Options		
M1.0G	1st Floor Plan - Slab Electrical		
M1.1G	1st Floor Plan - Basement Electrical		
M1.2G	1st Floor Options Electrical		
M2.0G	2nd Floor Plan - Electrical		
M2.1G	2nd Floor Options Electrical		
7.0G	Roof Plan - Base Roof		
8.0G	Slab Cross Section A-B		
8.1G	Full Bsmt Cross Section A-B		
R1.0	Opt Veranda - Fnd_Bsmt		
R1.1	Opt Veranda - Plans		
R1.2	Opt Veranda - Elevation		
R1.3	Opt Screened Porch- Elevation		
R2.0G	Opt 'G' Garage Storage - Plans		
R2.0.1G	Opt 'G' Garage Storage - Fnd Plans		
R2.1G	Opt 'G' Garage Storage - Elevations		
R5.0	Opt 4' Ext at Gathering Rm - Fnd_Bsmt		
R5.1	Opt 4' Ext At Gathering Rm - Plans		
R5.2	Opt 4' Ext At Gathering Rm - Elevation		
R6.0	Opt 2' Ext at Dining Nook - Fnd_Bsmt		
R6.1	Opt 2' Ext At Dining Nook - Plans		
R6.2	Opt 2' Ext At Dining Nook - Elevation		
R7.0	Opt Morning Room - Fnd_Bsmt		
R7.1	Opt Morning Room - Plans		
R7.2	Opt Morning Room - Elevation		
R8.0	Opt Ext. Gathering & Dining Room - Fnd_Bsmt		
R8.1	Opt Ext. Gathering & Dining Room - Plans		
R8.2	Opt Ext. Gathering & Dining Room - Elevation		
R9.0	Opt Ext. Gathering & Morning Room - Fnd_Bsmt		
R9.1	Opt Ext. Gathering & Morning Room - Plans		
R9.2	Opt Ext. Gathering & Morning Room - Elevation		

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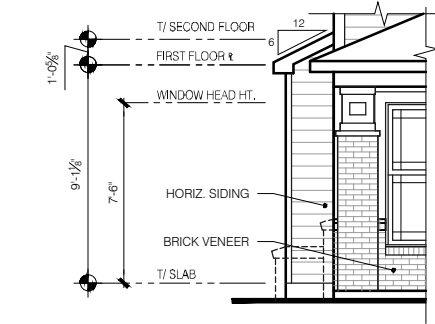
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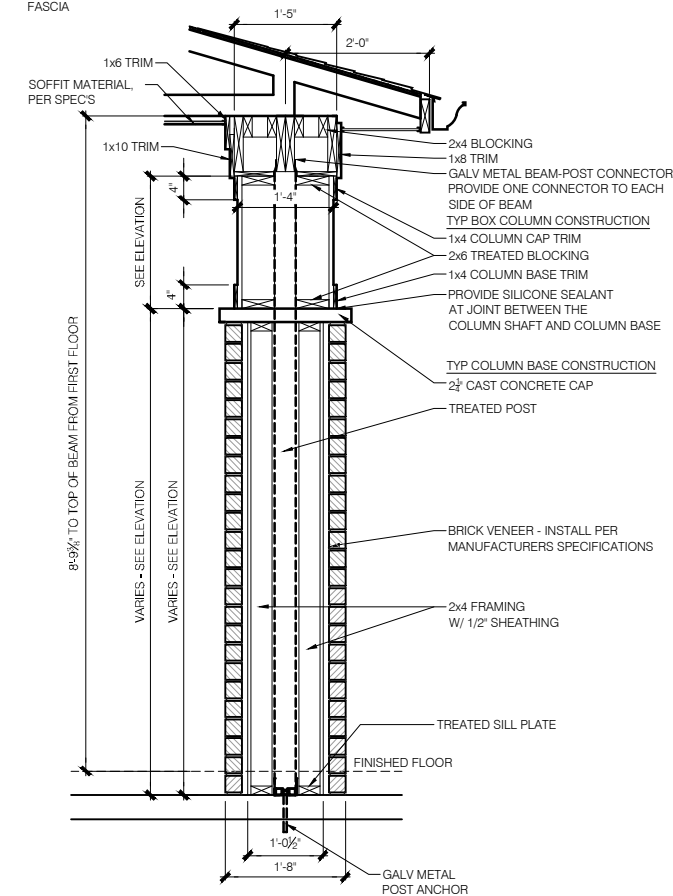


### OPT FLEX SIDE BAY FRONT ELEVATION

SCALE: 1/4" = 1'-0"

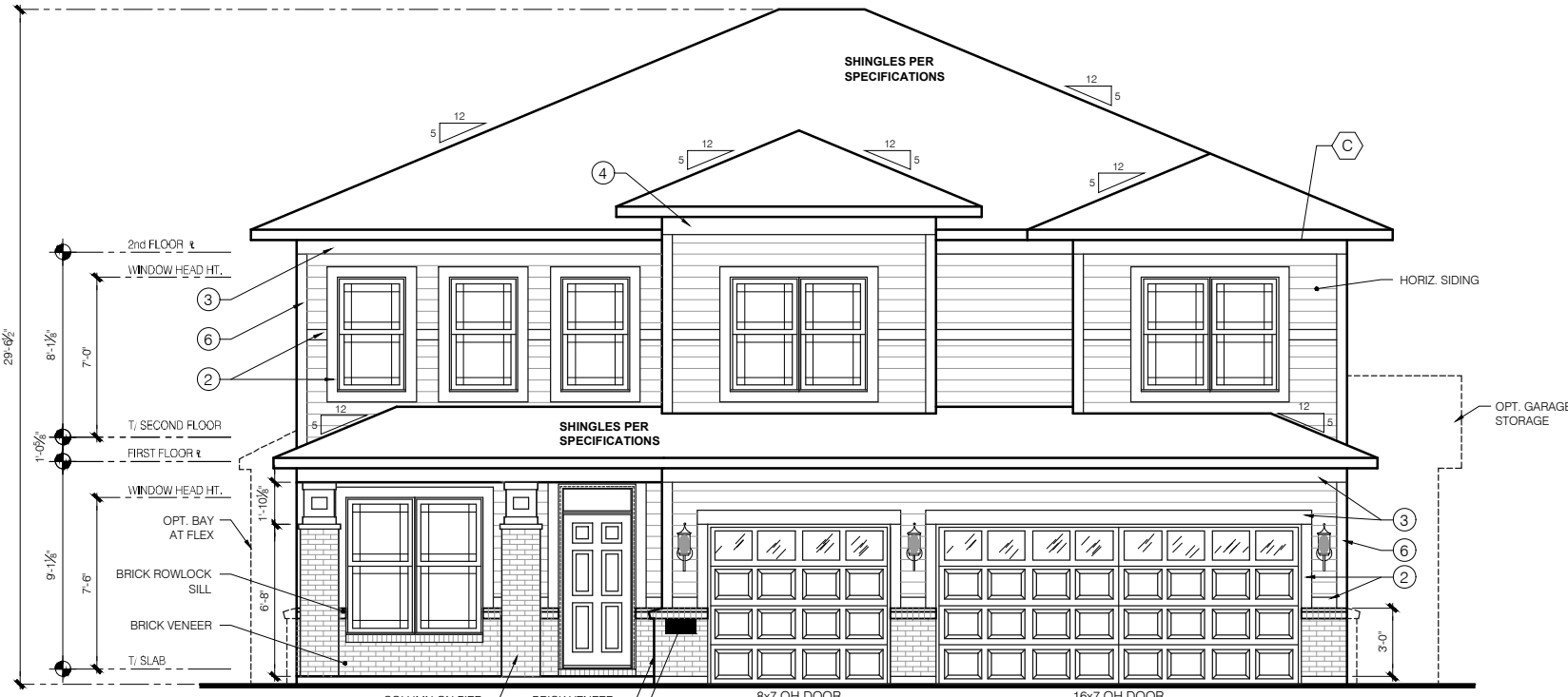
**NOTES**

1. ROOF PITCH AT PORCH VARIES VERIFY WITH SPECIFIC ELEVATION AND ADJUST TRUSS DESIGN AS REQUIRED
2. WHEN ADJUSTING FOR PORCH ROOF PITCH CHANGES, ADJUST TRUSS END-STAND AS NEEDED TO ALLOW FOR THE PORCH FASCIA TO STAY ALIGNED WITH THE MAIN HOUSE FASCIA
3. STRUCTURAL HEADER MAY VARY - SEE STRUCTURAL INFORMATION BY OTHERS - ADJUST TRUSS END-STAND AS NEEDED TO ALLOW FOR THE PORCH FASCIA TO STAY ALIGNED WITH THE MAIN HOUSE FASCIA



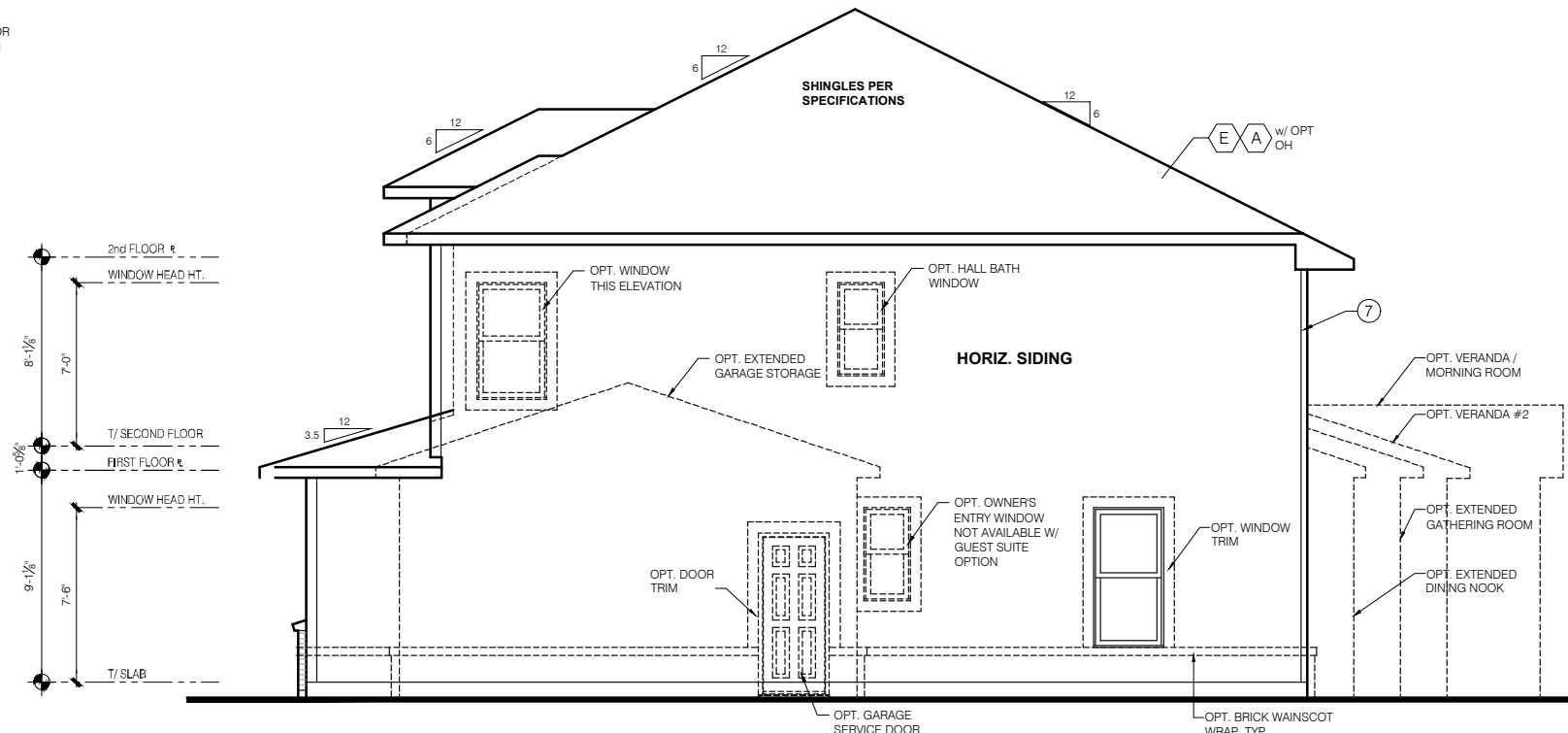
### COLUMN DETAIL

SCALE: 3/4" = 1'-0"



### ELEVATION "G" FRONT ELEVATION

SCALE: 1/4" = 1'-0"



### ELEVATION "G" GARAGE SIDE ELEVATION

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**  
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

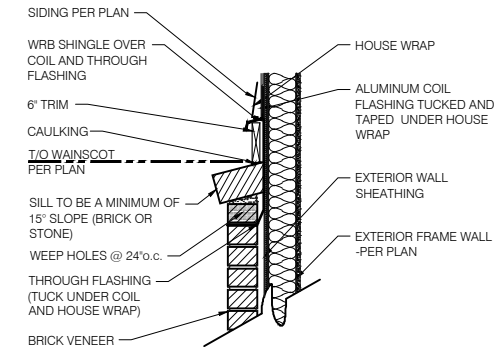
- ① = 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
- ② = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- ③ = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 6" TRIM PER DIVISION
- ⑦ REAR CORNERS = 4" TRIM PER DIVISION

**DIVISION NOTE:**  
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

**WINDOW GRIDS**  
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**  
ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



### 1 BRICK WAINSCOT DETAIL

SCALE: 1" = 1'-0"

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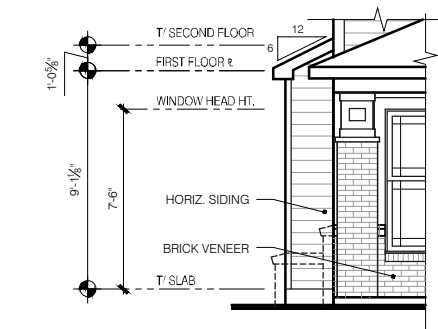
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Sheet Title :  
Front And Garage Elevations

Sheet:

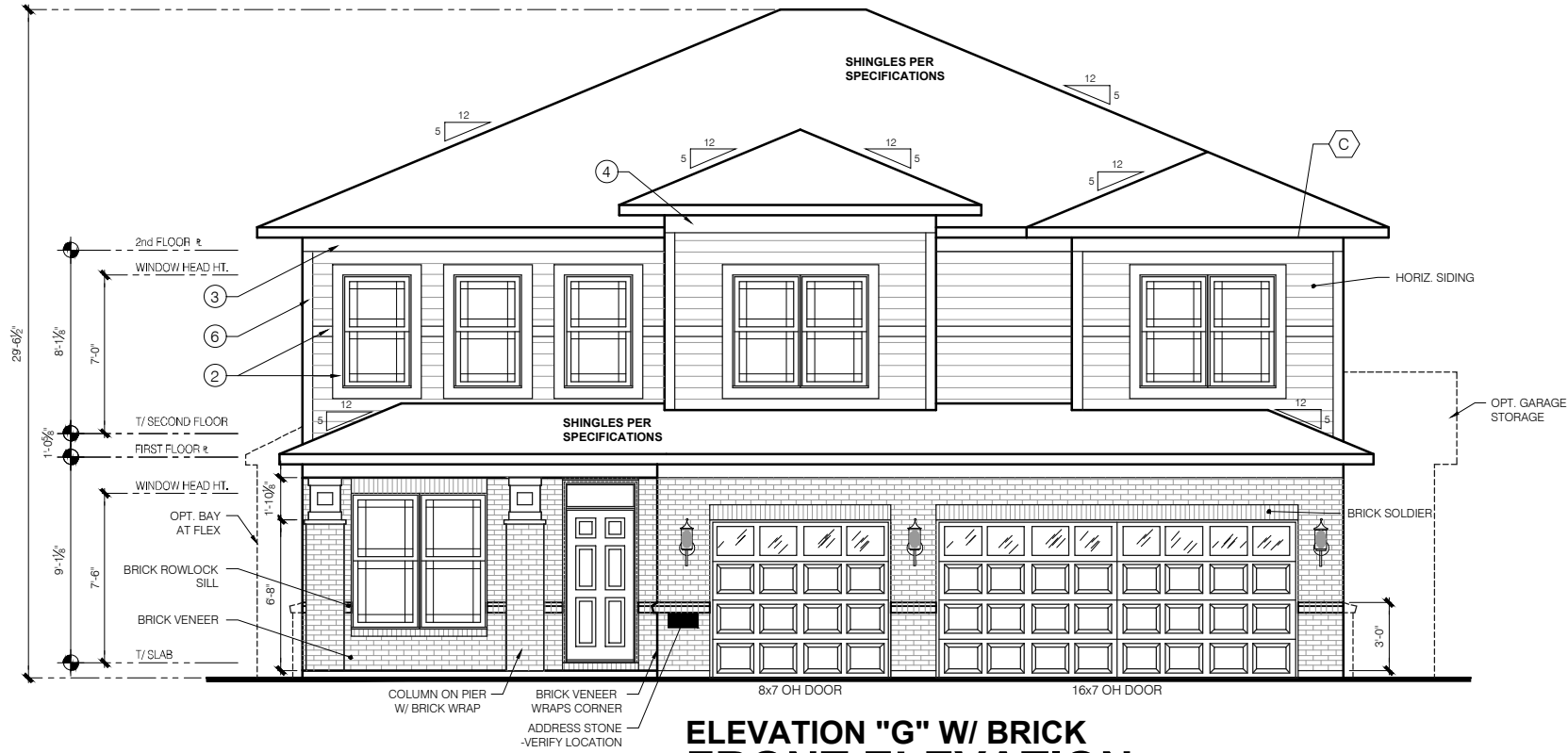
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**OPT FLEX SIDE BAY  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "G" W/ BRICK  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**

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- ① = 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
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**ELEVATION**

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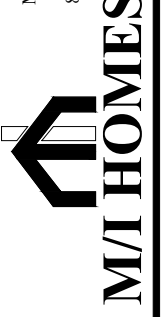
**GARAGE DOOR WINDOWS**

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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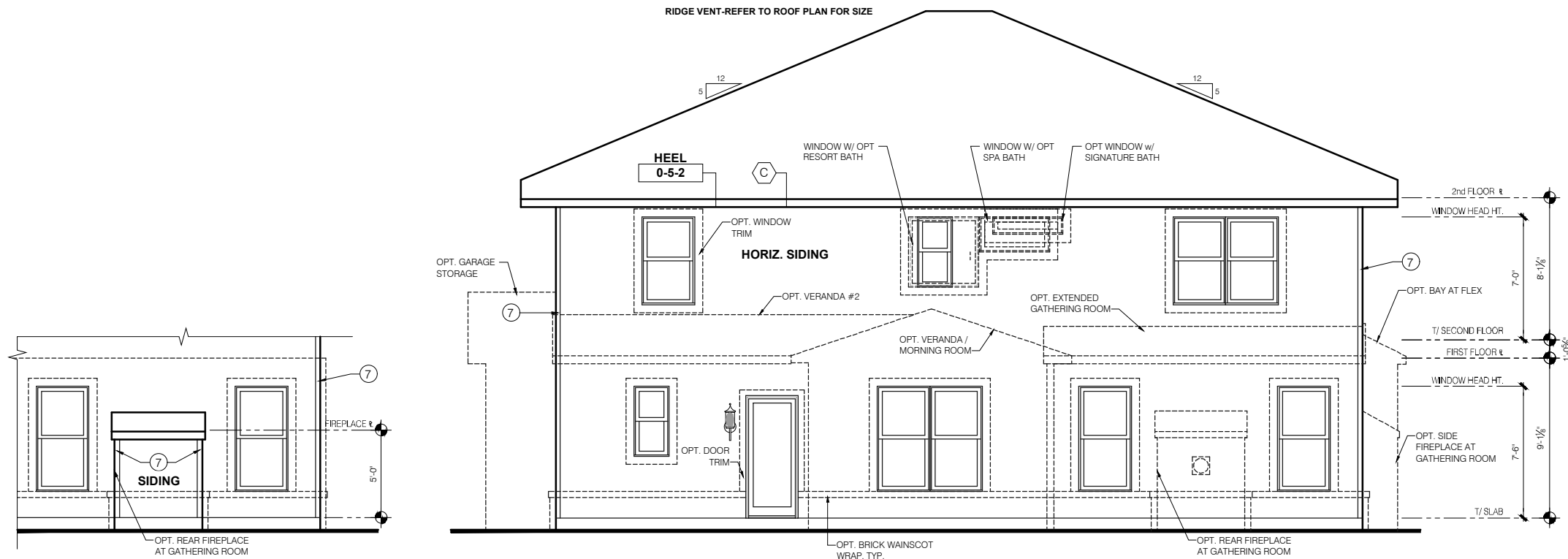
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11x17 PRINTS ARE 1/2 SCALE

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Job #:	---
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Sheet Title:	Front And Garage Elevations Brick

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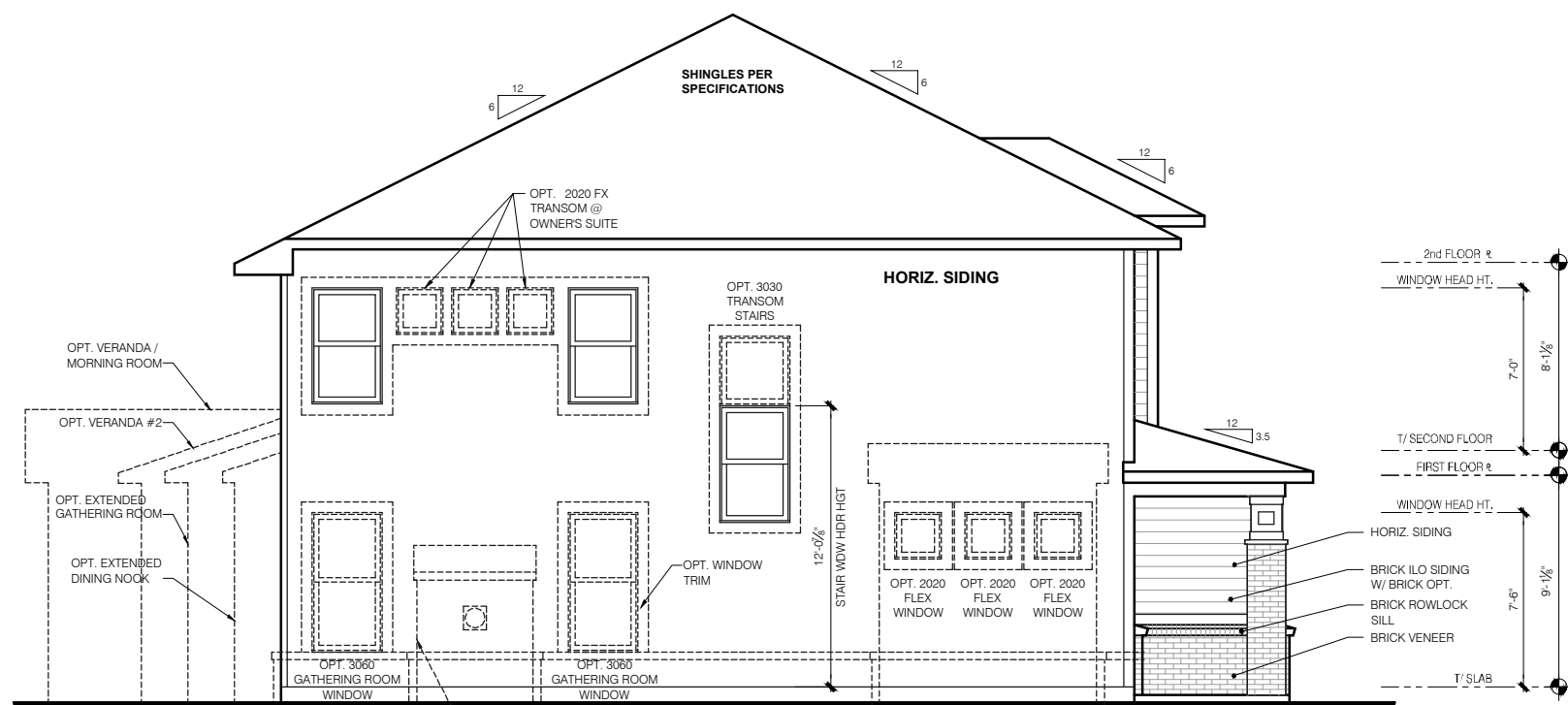


**OPT REAR FIREPLACE  
REAR ELEVATION**

SCALE: 1/4" = 1'-0"

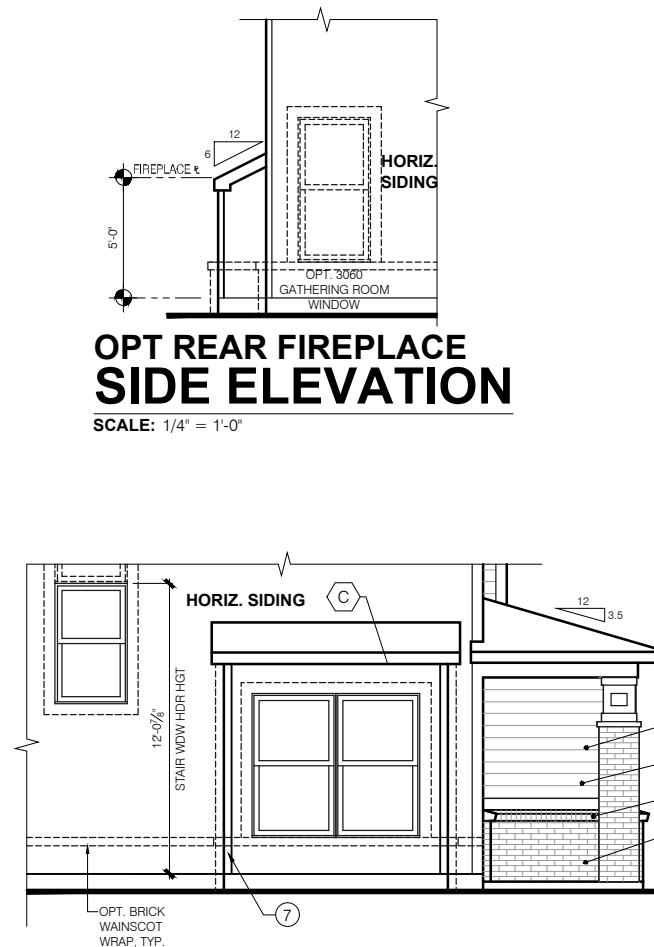
**ELEVATION "G"  
REAR ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "G"  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

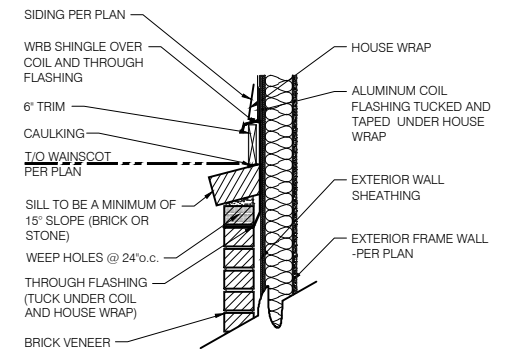


**OPT REAR FIREPLACE  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**OPT FLEX SIDE BAY  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**1 BRICK WAINSCOT DETAIL**

SCALE: 1" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**  
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- ① = 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
- ② = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- ③ = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 6" TRIM PER DIVISION
- ⑦ REAR CORNERS = 4" TRIM PER DIVISION

**DIVISION NOTE:**  
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

**WINDOW GRIDS**  
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

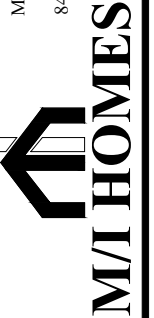
**ELEVATION**  
ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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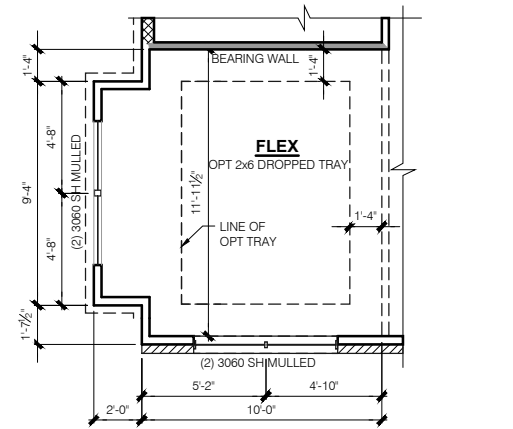
Drake  
FINAL SET  
06/17/22

11x17 PRINTS ARE 1/2 SCALE

Job #: ---  
LSP Date: X/XX/XX  
LSP By: BY  
LSP Rev: ---  
Sheet Title :  
Rear and Side Elevations

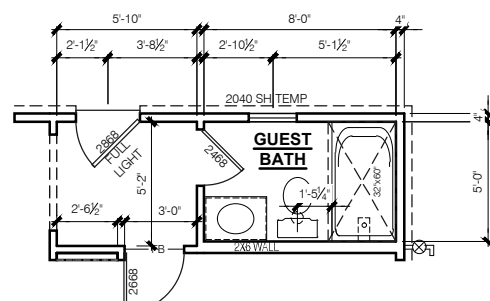
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1.1G



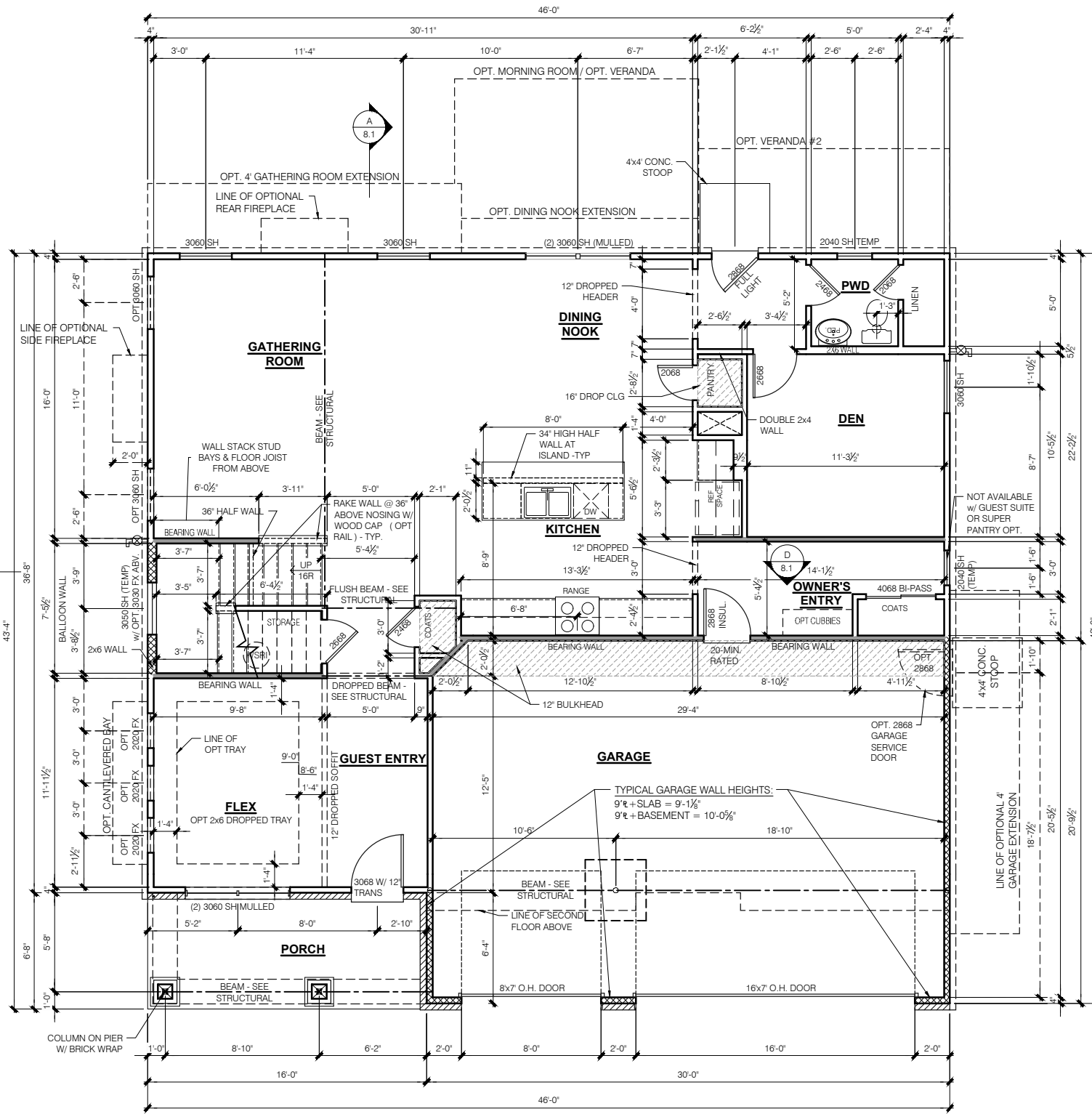
**FRAMING PLAN  
OPT FLEX SIDE BAY**

SCALE: 1/4" = 1'-0"



**FRAMING PLAN  
OPT FULL BATH**

SCALE: 1/4" = 1'-0"



**ELEVATION "G"  
SLAB  
FRAMING PLAN  
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4s U.N.O. (3/2)
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

**GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 3/8" GWB. CEILING TO BE 5/8" TYP "X" FIRE RATED DRYWALL BELOW HABITABLE SPACES.

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

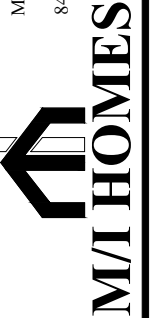
**STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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1	---
2	---
3	---
4	---

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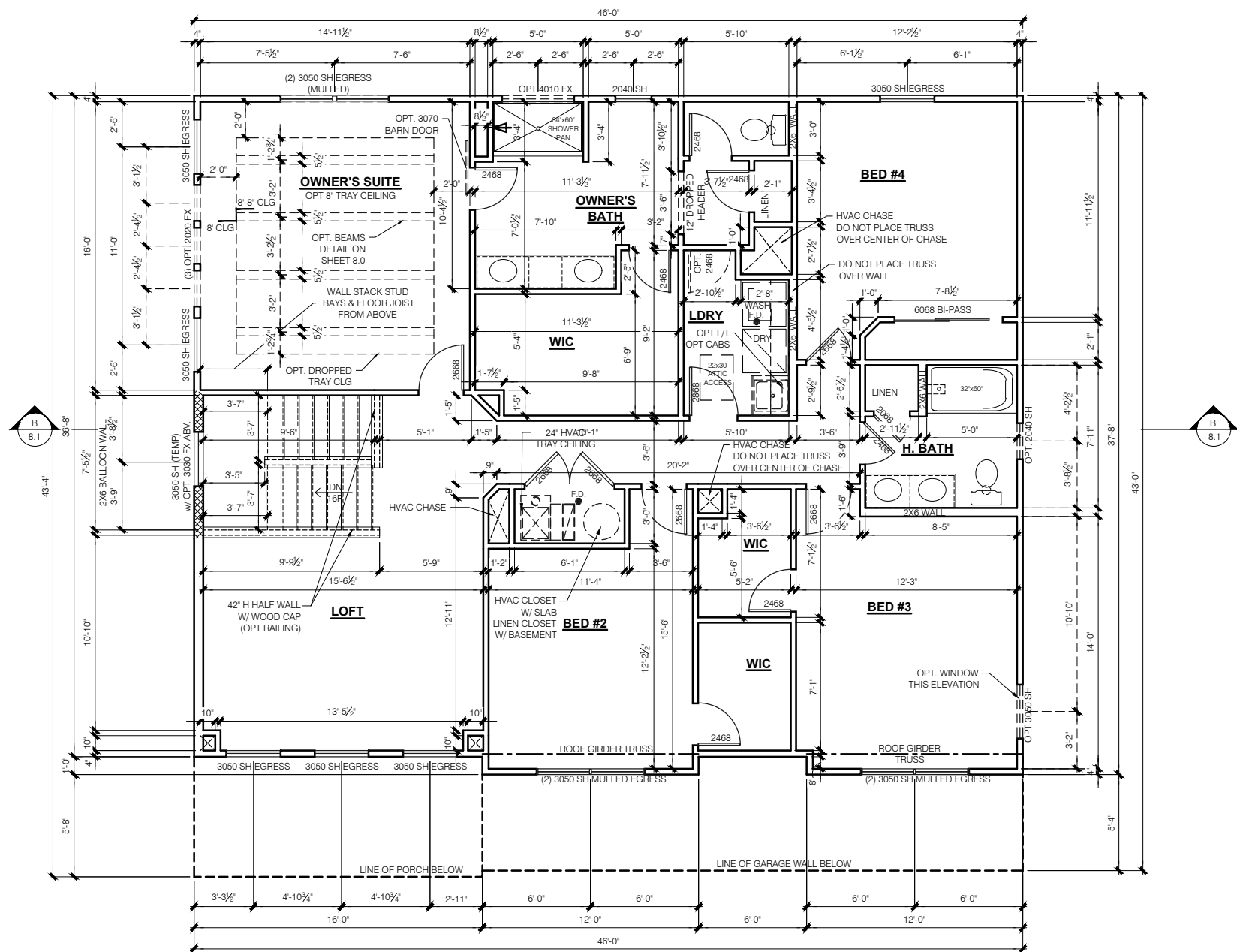
Drake  
FINAL SET  
06/17/22

11x17 PRINTS ARE 1/2 SCALE

Job #:	---
LSP Date:	X/XX/XX
LSP By:	BY
LSP Rev:	---
Sheet Title:	1st Floor Plan - Slab

Sheet:

4.0G



**ELEVATION "G"  
FRAMING PLAN  
SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
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  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4). STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4s U.N.O. (3 1/2)
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" G.W.B. CEILING TO BE 5" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

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1 ---  
2 ---  
3 ---  
4 ---

**Drake**  
FINAL SET  
06/17/22

Job #: ---  
LSP Date: X/XX/XX  
LSP By: BY  
LSP Rev: ---  
Sheet Title :  
2nd Floor Plan  
Sheet:  
**6.0G**

**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER. ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2 1/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 3/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 1/4" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 3/8 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**MI HOMES**  
PRESENTS  
**Glendale**  
Elevation "E"  
Owner's Name  
**CONSTRUCTION SET**  
**06/17/2022**

**2x4 EXTERIOR WALLS**

MI HOMES - COMMON ABBREVIATIONS ON PRINTS

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
€ - CENTERLINE	OPT - OPTIONAL	THKD - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	€ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQD - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

**Sheet List Table**

Sheet Number	Sheet Title
0.0E	Cover Sheet Indianapolis
1.0E	Front and Garage Elevations
1.1E	Rear and Side Elevations
1.2E	Front Elevation w/ Brick Options
2.0E	Slab Foundation
2.1E	Slab Foundation - Brick Wrap
2.2E	Full Basement Fdn
2.3E	Full Basement Fdn - Brick Wrap
2.4E	Finished Basement Plan
2.5E	Finished Basement With Bath Plan
2.6E	Finished Basement With Bath and Bed Plan
3.0E	1st Floor Subfloor
4.0E	1st Fl Plan - Slab
4.1E	1st Fl Plan - Basement
6.0E	2nd Fl Plan - Slab
6.1E	2nd Fl Plan - Basement
M1.0E	1st Fl MEP Plan - Slab
M1.1E	1st Fl MEP Plan - Basement
M2.0E	2nd Fl MEP Plan - Slab
M2.1E	2nd Fl MEP Plan - Basement
7.0E	Roof Plan - Base Roof
8.0E	Section - Building at Slab
8.1E	Section - Building at Full Basement
8.2	Section - Misc
R1.0	Non-Structural Options
R2.0	Optional Garage Storage - Plans
R2.0.1	Optional Garage Storage - Brick Wrap - Plans
R2.1	Optional Garage Storage - Elevations
R3.0	Optional 3-Car Front Entry Garage - Plans
R3.0.1	Optional 3-Car Front Entry Garage - Brick Wrap - Plans
R3.1	Optional 3-Car Front Entry Garage - Elevations
R4.0	Optional 2-Car Side Entry Garage - Plans
R4.1	Optional 2-Car Side Entry Garage - Elevations
R5.0	Optional 4' Ext. At Gathering Rm - Plans
R5.1	Optional 4' Ext. At Gathering Rm - Plans
R5.2	Optional 4' Ext. At Gathering Rm - Elevations
R6.0	Optional 4' Ext. At Gathering Rm w/ Veranda - Plans
R6.1	Optional 4' Ext. At Gathering Rm w/ Veranda - Plans
R6.2	Optional 4' Ext. At Gathering Rm w/ Veranda - Elevations
R7.0	Optional Veranda
R7.1	Optional Veranda With Screen
R8.0	Optional Sunroom

**SQUARE FOOTAGE - ELEVATION 'E'**

1ST FLOOR	1484
2ND FLOOR	1688
TOTAL HEATED	3152
GARAGE	469
GARAGE STORAGE	+83
3-CAR FRONT ENTRY GARAGE	+206
PORCH	+156
OPT VERANDA	112
OPT FLEX SIDE BAY	+15
OPT BED #4 BATH	+82
OPT 4' EXT AT GATHERING RM	+78
OPT FULL BASEMENT	+1307
OPT. FINISHED BASEMENT	+744
OPT. FINISHED BASEMENT WITH BATH	+744
OPT. FINISHED BASEMENT WITH BATH AND BED	+744

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**Revisions**

DATE	C.O #	Description	Drafter

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06/17/22

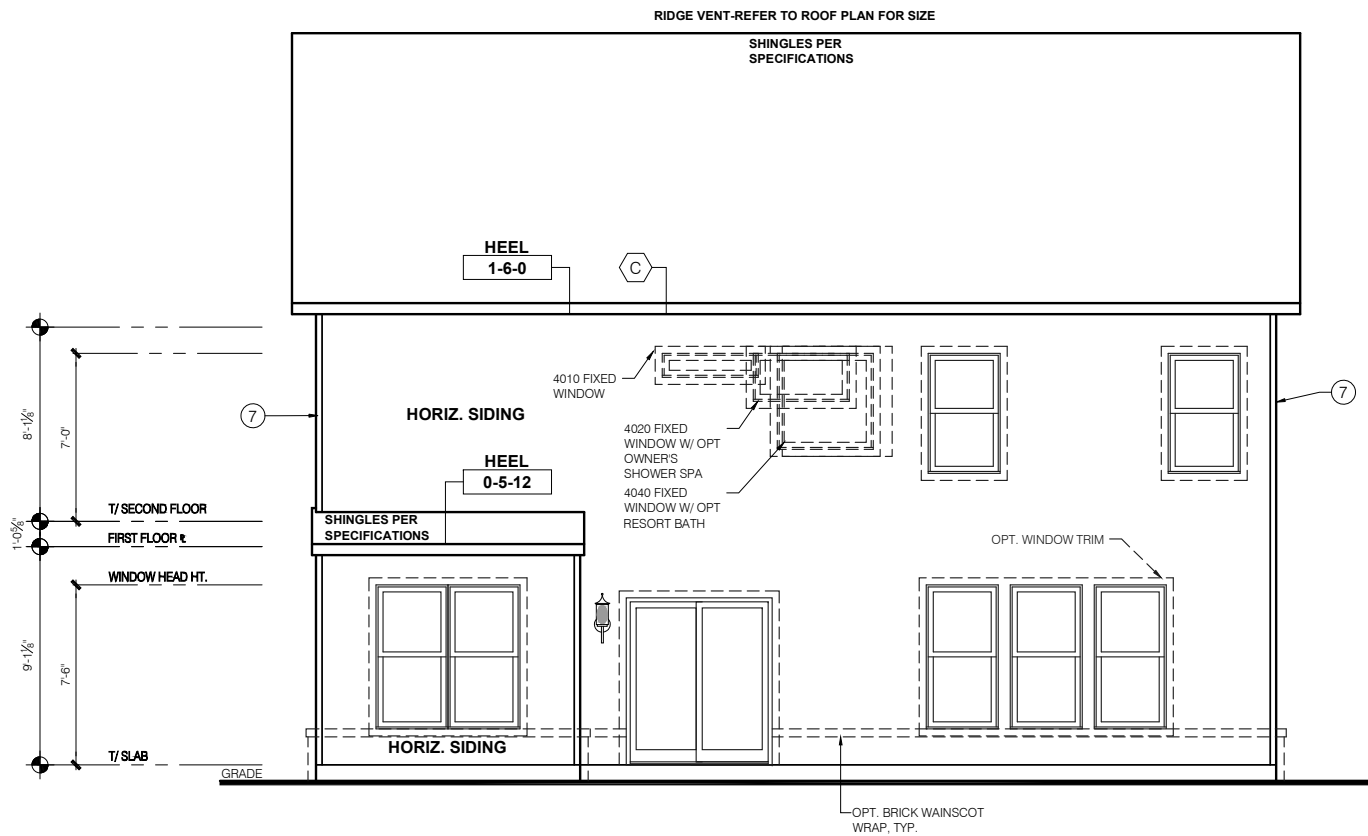
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LSP Rev: ----  
Sheet Title :  
Cover Sheet  
Indianapolis

Sheet:  
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11x17 PRINTS ARE 1/2" SCALE

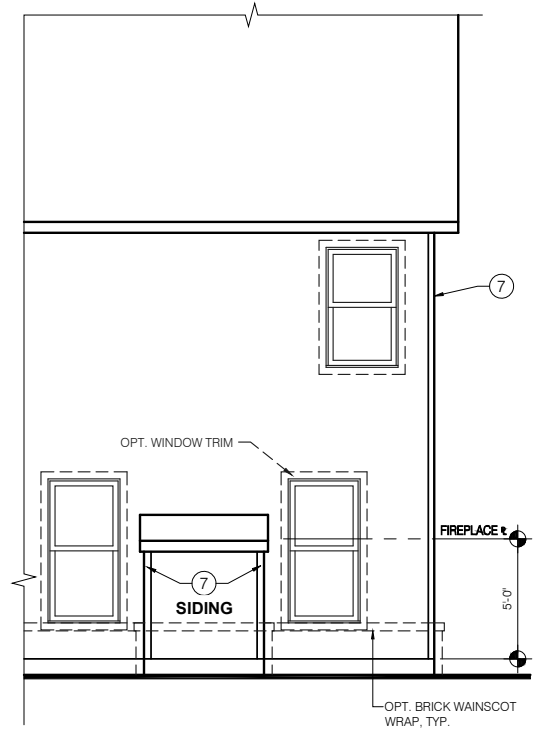
ELEVATION - E





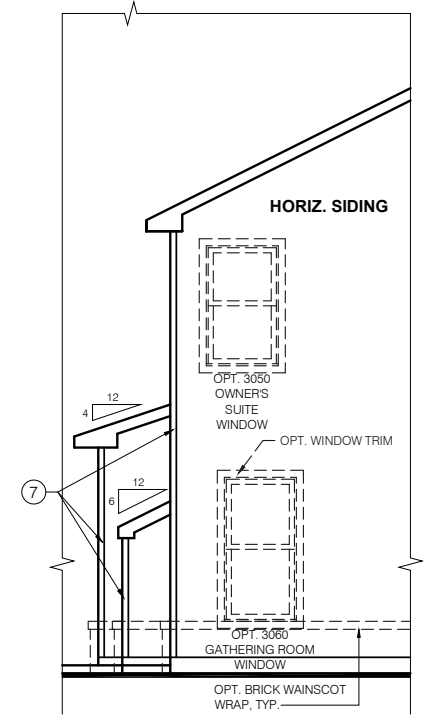
**ELEVATION "E"  
REAR ELEVATION**

SCALE: 1/4" = 1'-0"



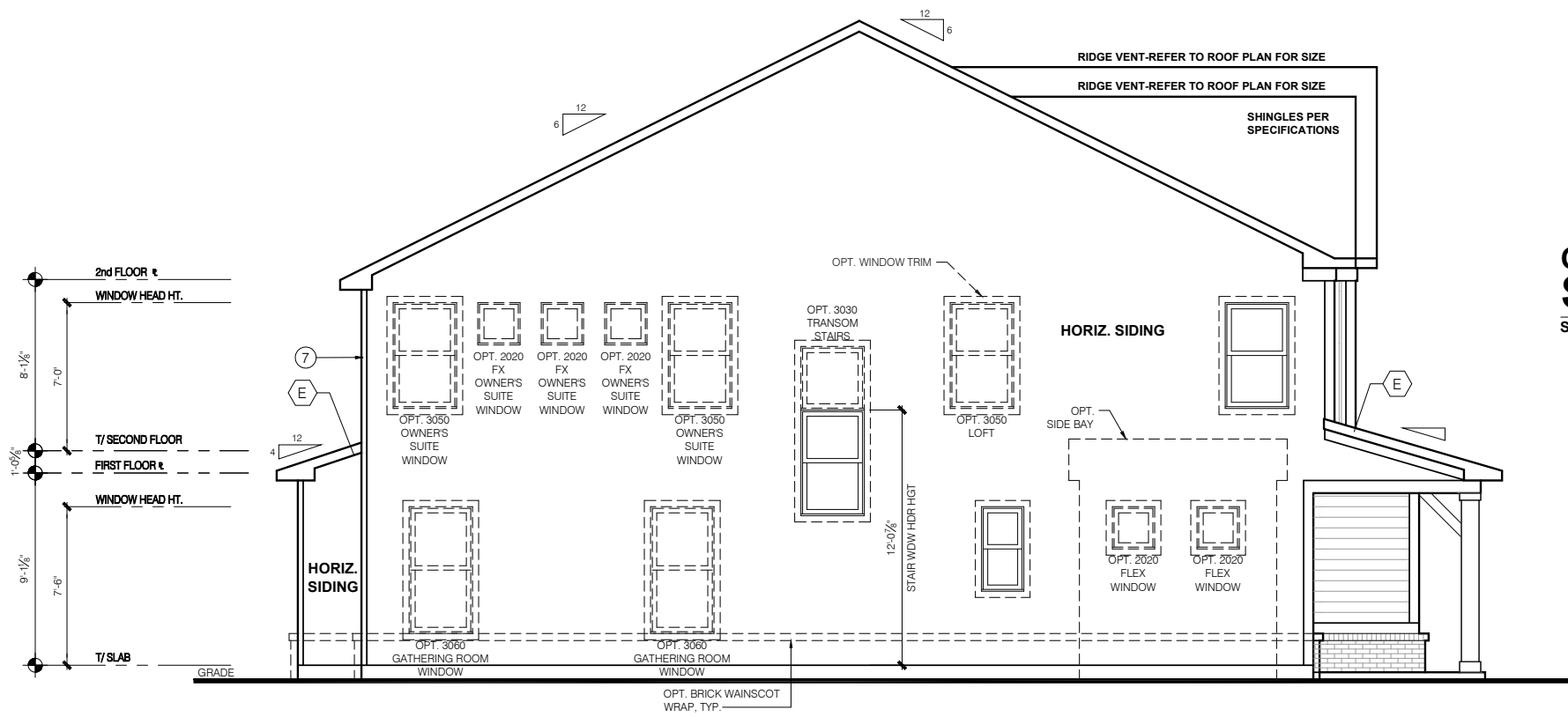
**OPT REAR FIREPLACE  
REAR ELEVATION**

SCALE: 1/4" = 1'-0"



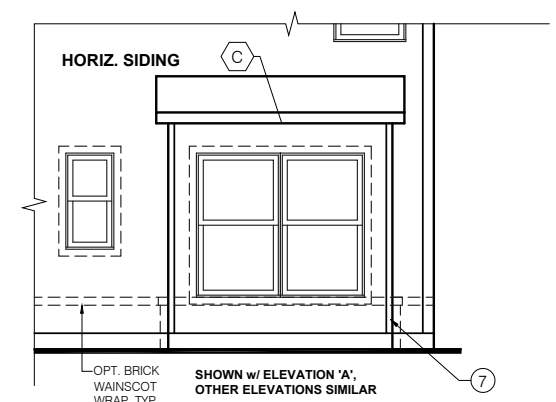
**OPT REAR FIREPLACE  
SIDE ELEVATION**

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**ELEVATION "E"  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**OPT FLEX SIDE BAY  
SIDE ELEVATION**

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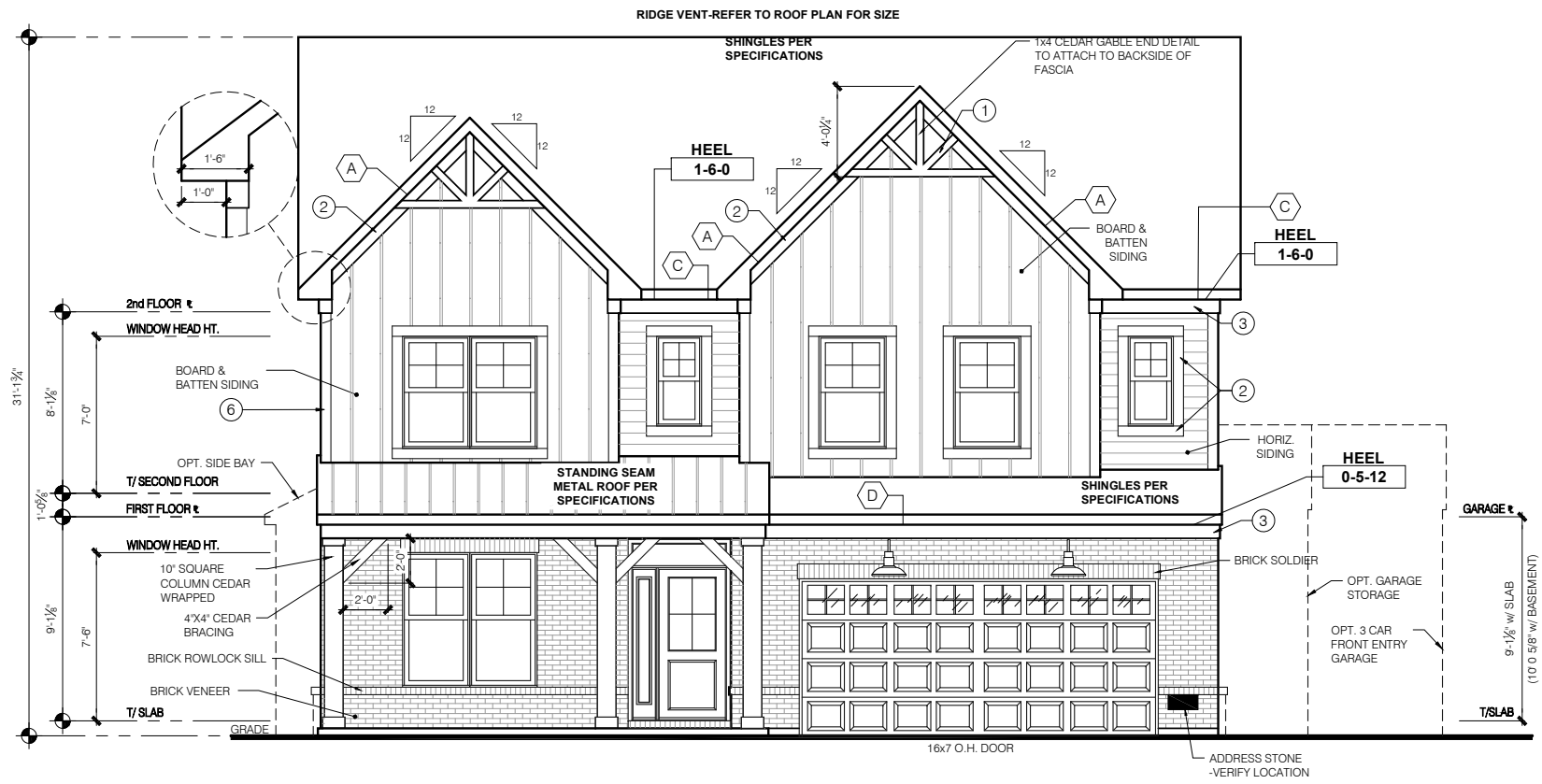
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Glendale  
FINAL SET  
06/17/22

11x17 PRINTS ARE 1/2" SCALE

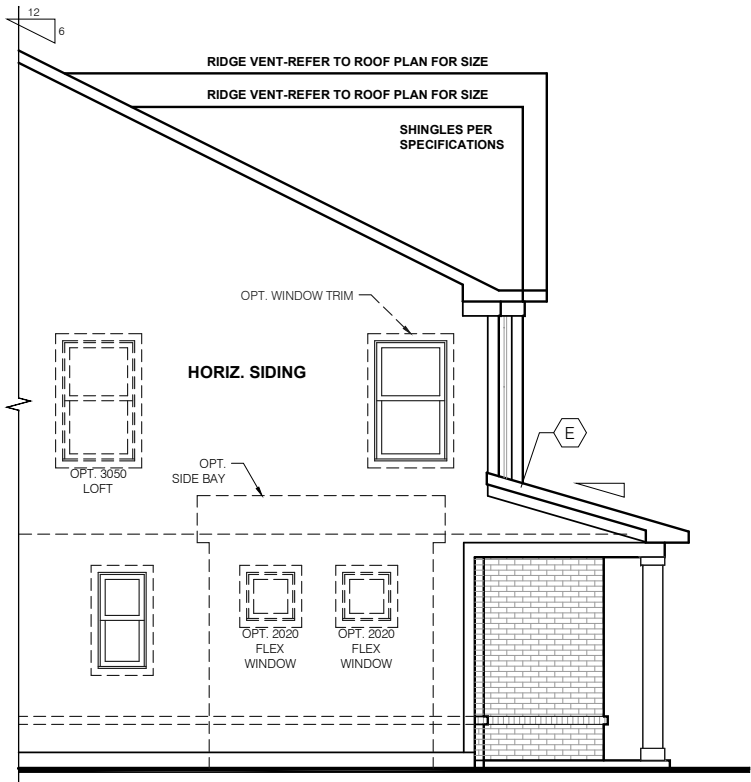
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LSP By:	BY
LSP Rev:	----
Sheet Title:	Rear And Side Elevations

Sheet:  
**1.1E**

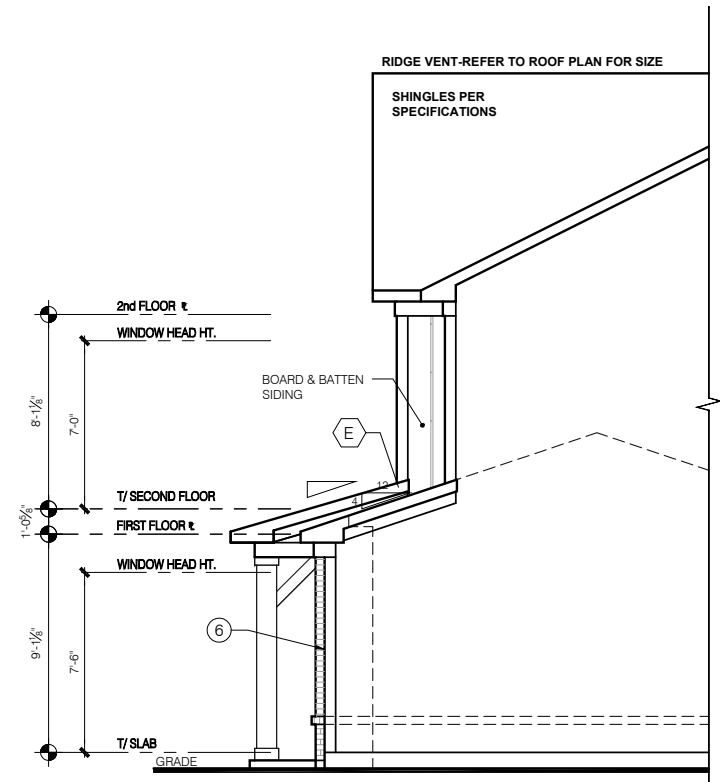


**ELEVATION "E"  
BRICK OPTION  
FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

TYPICAL EXTERIOR TRIM FINISH	
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①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 6" TRIM PER DIVISION
⑦	REAR CORNERS = 4" TRIM PER DIVISION
DIVISION NOTE:	
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	
WINDOW GRIDS	
-FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION	
ELEVATION	
ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS	
GARAGE DOOR WINDOWS	
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT	



**ELEVATION "E"  
BRICK OPTION  
SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"




**ELEVATION "E"  
BRICK OPTION  
GARAGE SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2" SCALE

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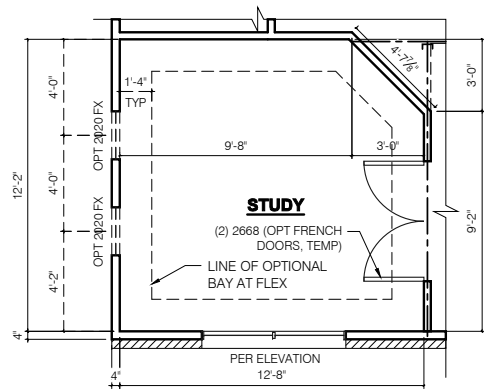


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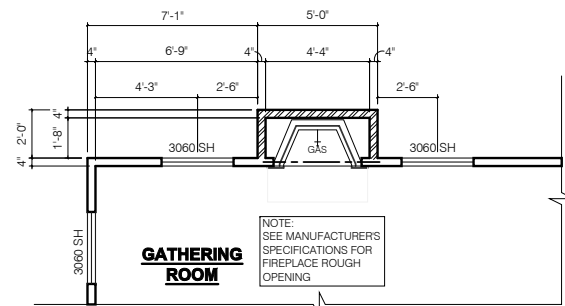
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LSP Date:	X/XX/XX
LSP By:	BY
LSP Rev:	----
Sheet Title:	Front And Garage Elevations
Sheet:	1.2E





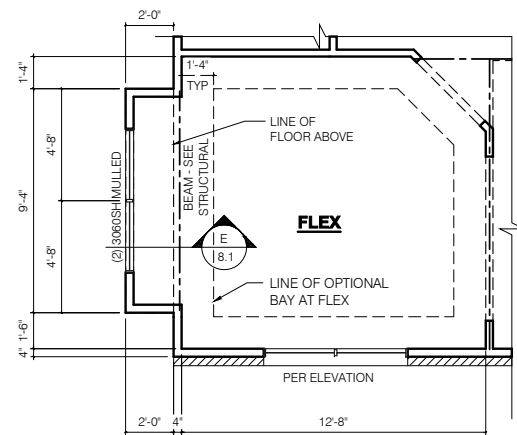
**FRAMING PLAN  
OPT STUDY**

SCALE: 1/4" = 1'-0"



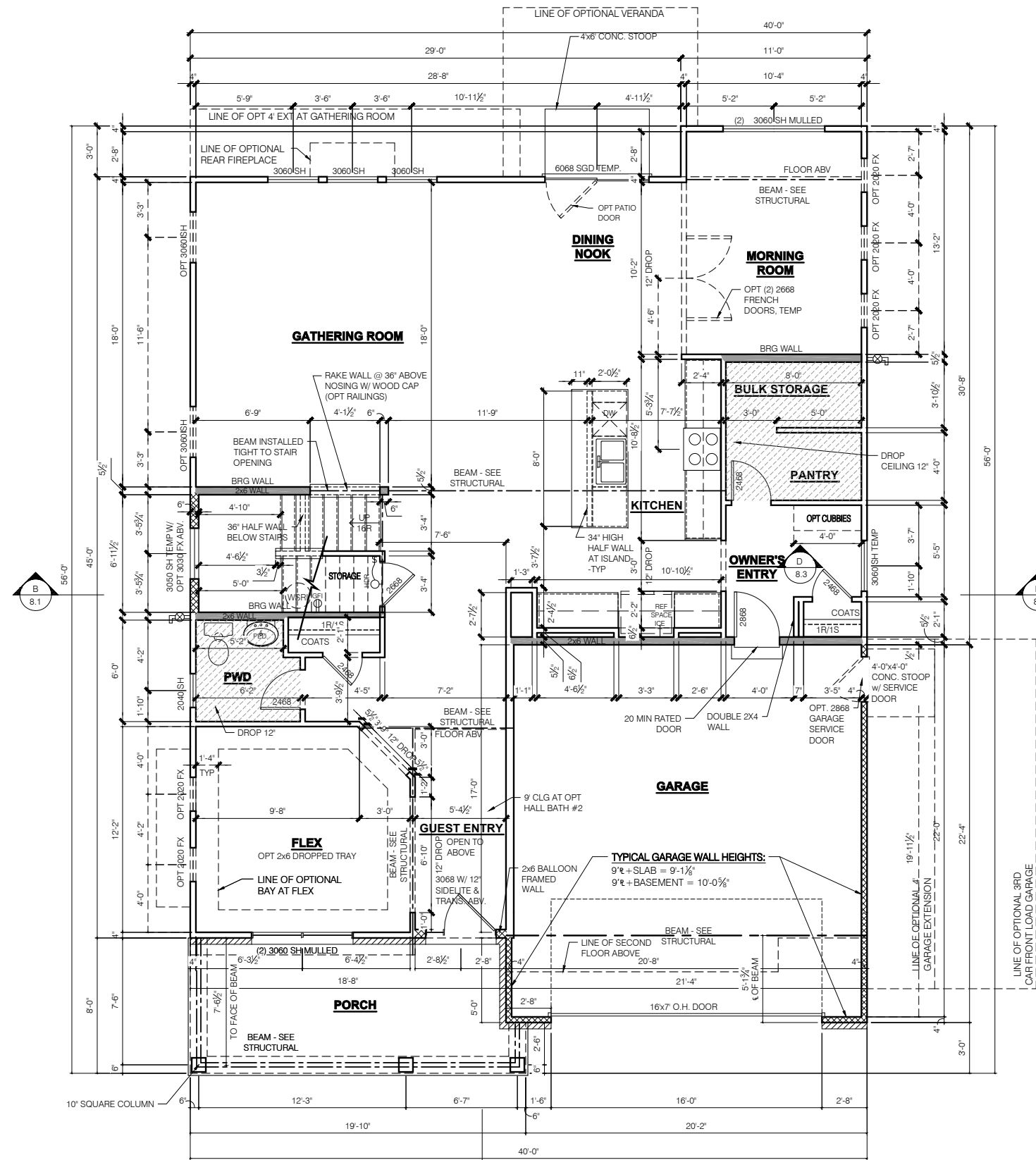
**FRAMING PLAN  
OPT REAR FIREPLACE**

SCALE: 1/4" = 1'-0"



**FRAMING PLAN  
OPT FLEX SIDE BAY**

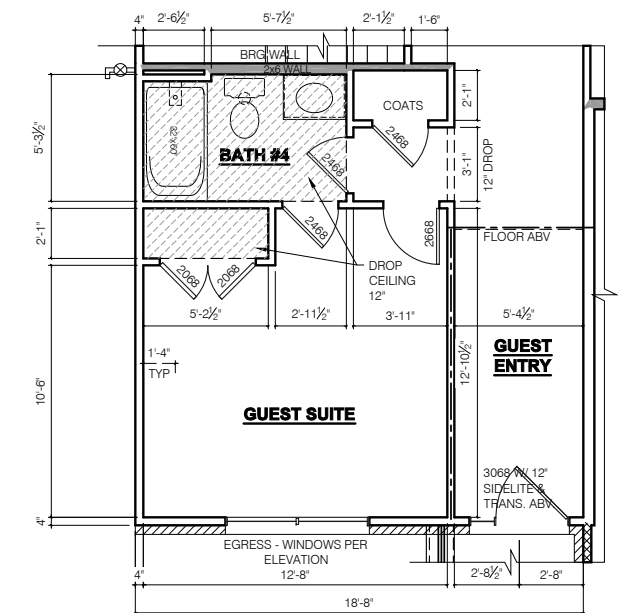
SCALE: 1/4" = 1'-0"



**ELEVATION "E"  
SLAB  
FRAMING PLAN  
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT - AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT - AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4s U.N.O. (3/2)
  - EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**
- ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 3/4" G.W.B. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**
- PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**
- SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION



**FRAMING PLAN  
OPT GUEST SUITE**

SCALE: 1/4" = 1'-0" (AT SLAB FOUNDATION)

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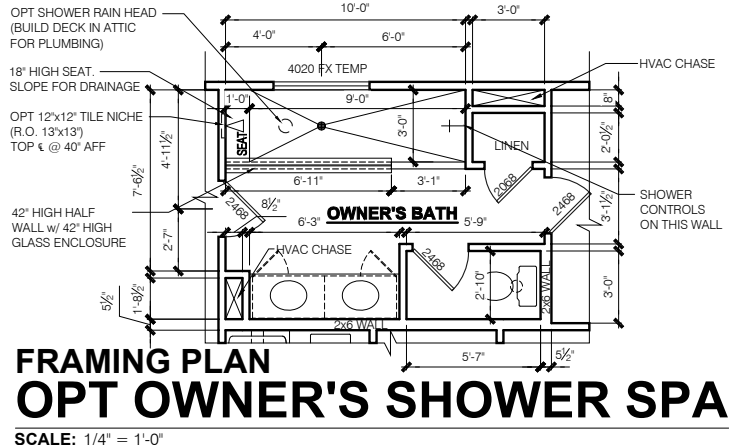
11x17 PRINTS ARE 1/2" SCALE

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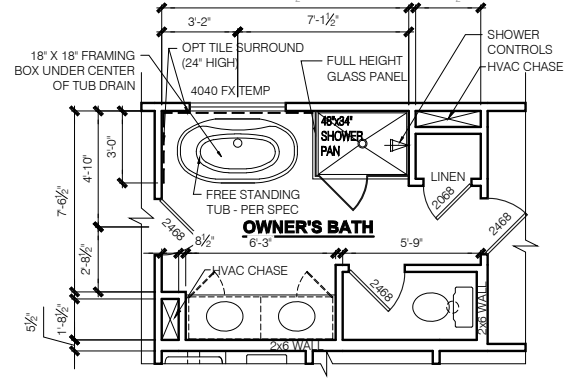
Glendale  
FINAL SET  
06/17/22

Job #: ----  
LSP Date: X/XX/XX  
LSP By: BY  
LSP Rev: ----  
Sheet Title : 1st Floor Plan - Slab  
Sheet: 4.0E



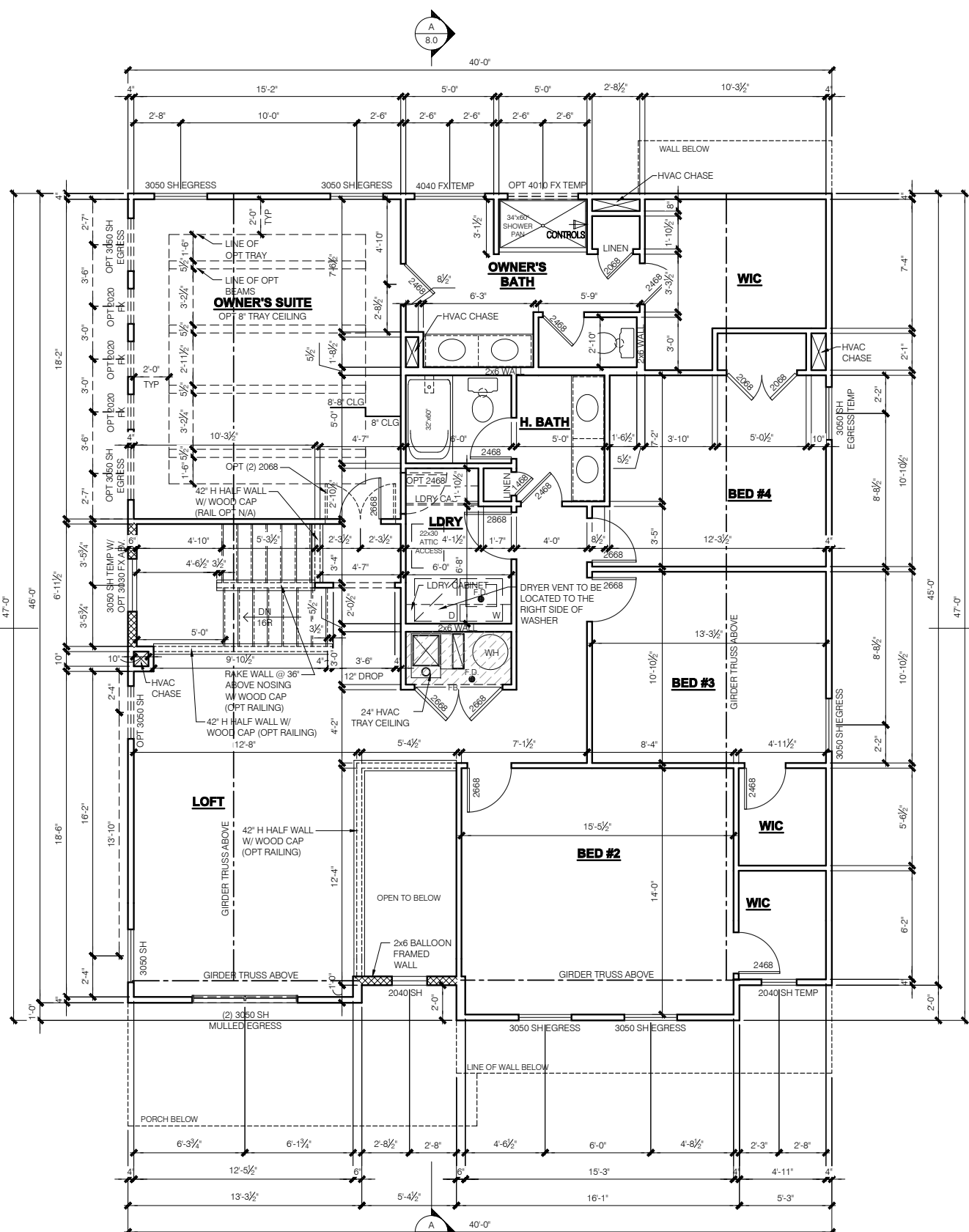
**FRAMING PLAN  
OPT OWNER'S SHOWER SPA**

SCALE: 1/4" = 1'-0"



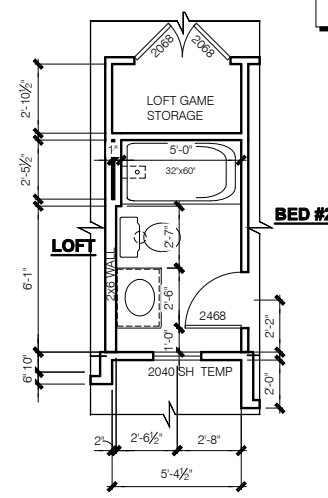
**FRAMING PLAN  
OPT OWNER'S RESORT BATH**

SCALE: 1/4" = 1'-0"



**ELEVATION "E"  
SLAB  
FRAMING PLAN  
SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**ELEVATION "E"  
FRAMING PLAN  
OPT BED #2 BATH**

SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
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  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4's U.N.O. (3/2")
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" G.W.B. CEILING TO BE 5/8" TYP 'X' FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

11x17 PRINTS ARE 1/2" SCALE

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Job #:	----
LSP Date:	X/X/XX
LSP By:	BY
LSP Rev:	----
Sheet Title:	2nd Floor Plan - Slab
Sheet:	6.0E

**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER. ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2 1/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 3/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 1/4" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 3/4 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE



**MI HOMES**  
PRESENTS  
**Glendale**  
"Elevation F"  
Owner's Name  
**CONSTRUCTION SET**  
**6/17/2022**  
**Glendale**  
**2x4 EXTERIOR WALLS**

MI HOMES - COMMON ABBREVIATIONS ON PRINTS

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
€ - CENTERLINE	OPT - OPTIONAL	THKD - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	€ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQD - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

**SQUARE FOOTAGE - ELEVATION 'F'**

<b>1ST FLOOR</b>	<b>1484</b>
<b>2ND FLOOR</b>	<b>1688</b>
<b>TOTAL HEATED</b>	<b>3152</b>
<b>GARAGE</b>	<b>469</b>
<b>GARAGE STORAGE</b>	<b>+83</b>
<b>3-CAR FRONT ENTRY GARAGE</b>	<b>+206</b>
<b>PORCH</b>	<b>+123</b>
<b>OPT VERANDA</b>	<b>112</b>
<b>OPT FLEX SIDE BAY</b>	<b>+15</b>
<b>OPT BED #4 BATH</b>	<b>+82</b>
<b>OPT 4' EXT AT GATHERING RM</b>	<b>+78</b>
<b>OPT FULL BASEMENT</b>	<b>+1307</b>
<b>OPT. FINISHED BASEMENT</b>	<b>+744</b>
<b>OPT. FINISHED BASEMENT WITH BATH</b>	<b>+744</b>
<b>OPT. FINISHED BASEMENT WITH BATH AND BED</b>	<b>+744</b>

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**Revisions**

DATE	C.O #	Description	Drafter

**Sheet List Table**

Sheet Number	Sheet Title
0.0F	Cover Sheet Indianapolis
1.0F	Front and Garage Elevations
1.1F	Rear and Side Elevations
1.2F	Front Elevation w/ Brick Options
2.0F	Slab Foundation
2.1F	Slab Foundation - Brick Wrap
2.2F	Full Basement Fdn
2.3F	Full Basement Fdn - Brick Wrap
2.4F	Finished Basement Plan
2.5F	Finished Basement With Bath Plan
2.6F	Finished Basement With Bath and Bed Plan
3.0F	1st Floor Subfloor
4.0F	1st Fl Plan - Slab
4.1F	1st Fl Plan - Basement
6.0F	2nd Fl Plan - Slab
6.1F	2nd Fl Plan - Basement
M1.0F	1st Fl MEP Plan - Slab
M1.1F	1st Fl MEP Plan - Basement
M2.0F	2nd Fl MEP Plan - Slab
M2.1F	2nd Fl MEP Plan - Basement
7.0F	Roof Plan - Base Roof
8.0F	Section - Building at Slab
8.1F	Section - Building at Full Basement
8.2	Section - Misc
R1.0	Non-Structural Options
R2.0	Optional Garage Storage - Plans
R2.0.1	Optional Garage Storage - Brick Wrap - Plans
R2.1	Optional Garage Storage - Elevations
R3.0	Optional 3-Car Front Entry Garage - Plans
R3.0.1	Optional 3-Car Front Entry Garage - Brick Wrap - Plans
R3.1	Optional 3-Car Front Entry Garage - Elevations
R4.0	Optional 2-Car Side Entry Garage - Plans
R4.1	Optional 2-Car Side Entry Garage - Elevations
R5.0	Optional 4' Ext. At Gathering Rm - Plans
R5.1	Optional 4' Ext. At Gathering Rm - Plans
R5.2	Optional 4' Ext. At Gathering Rm - Elevations
R6.0	Optional 4' Ext. At Gathering Rm w/ Veranda - Plans
R6.1	Optional 4' Ext. At Gathering Rm w/ Veranda - Plans
R6.2	Optional 4' Ext. At Gathering Rm w/ Veranda - Elevations
R7.0	Optional Veranda
R7.1	Optional Veranda With Screen
R8.0	Optional Sunroom

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06/17/22

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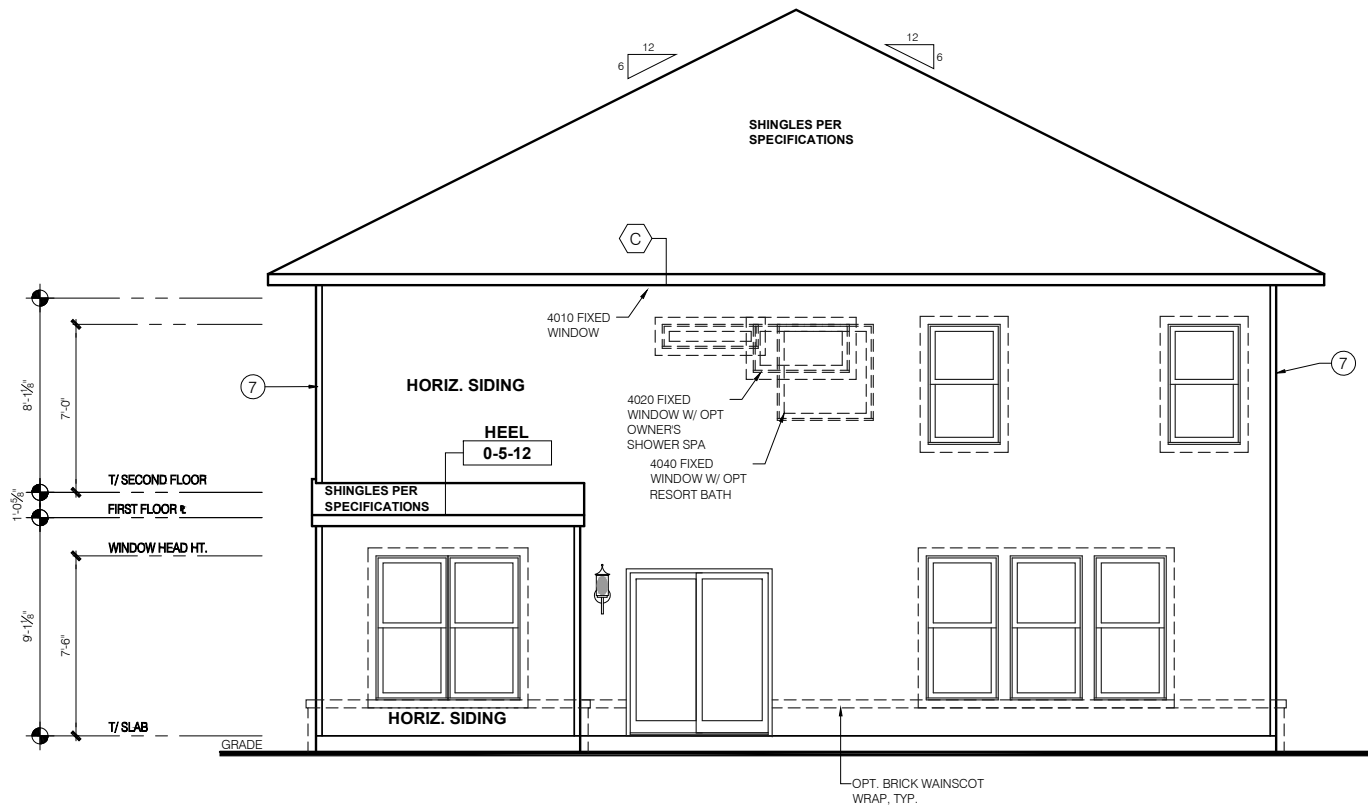
Issued Date: 06/17/22  
BASE PLAN REVISION:

Job #: ----  
LSP Date: X/X/XX  
LSP By: BY  
LSP Rev: ----  
Sheet Title :  
Cover Sheet  
Indianapolis

Sheet:  
**0.0F**

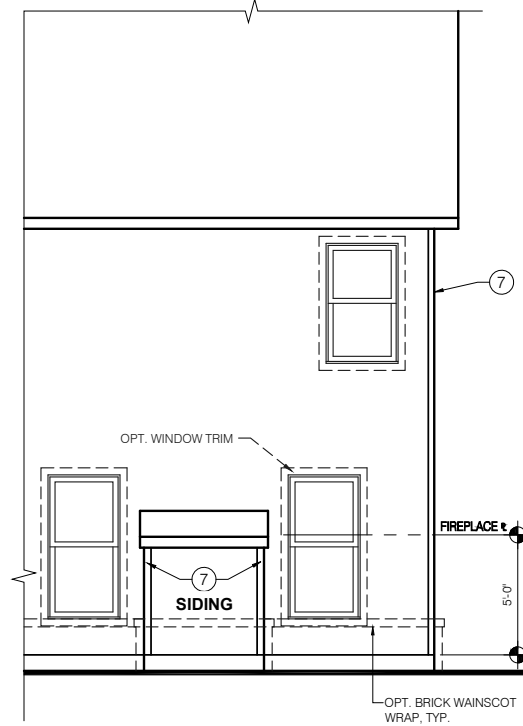
**ELEVATION - F**





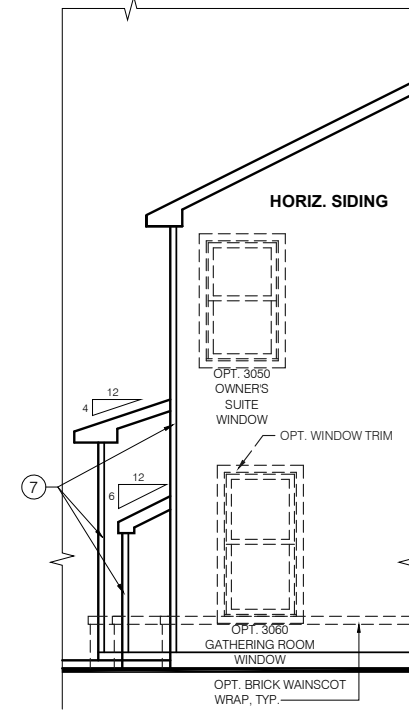
**ELEVATION "F"  
REAR ELEVATION**

SCALE: 1/4" = 1'-0"



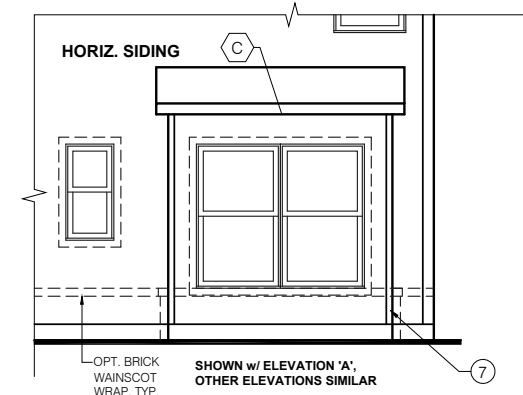
**OPT REAR FIREPLACE  
REAR ELEVATION**

SCALE: 1/4" = 1'-0"



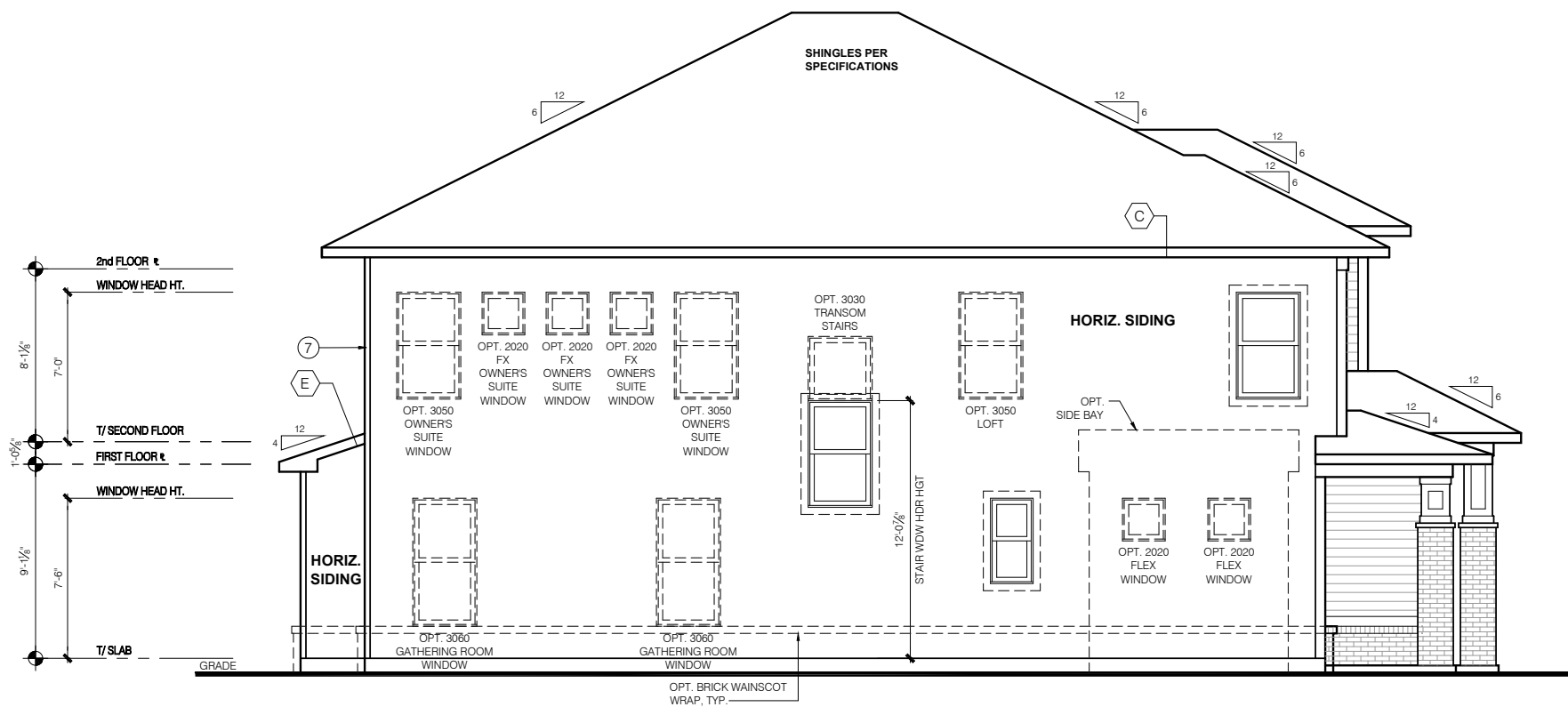
**OPT REAR FIREPLACE  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**OPT FLEX SIDE BAY  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
SIDE ELEVATION**

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**DIVISION NOTE:**

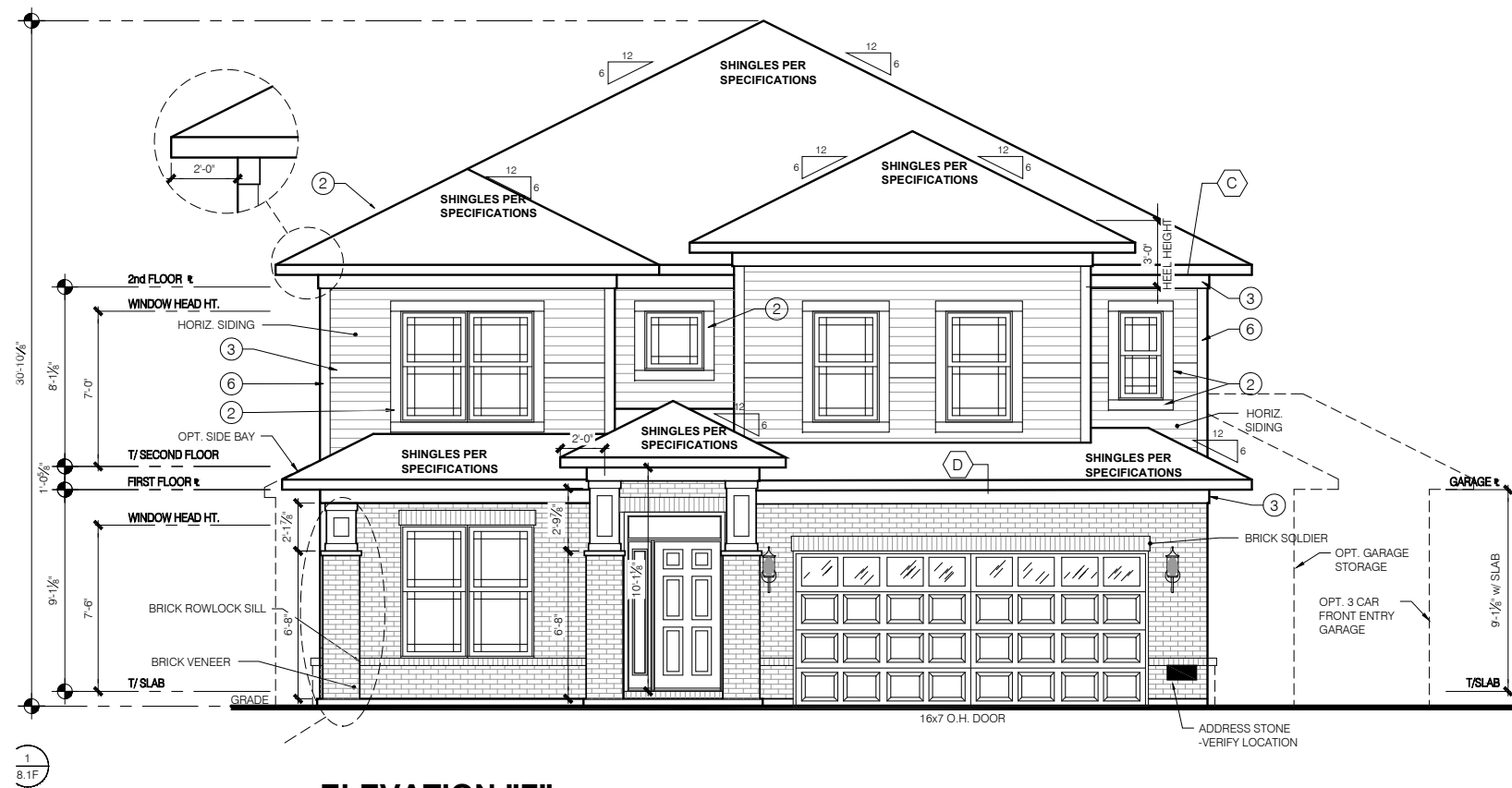
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-GRID PATTERNS TO MATCH FRONT ELEVATION

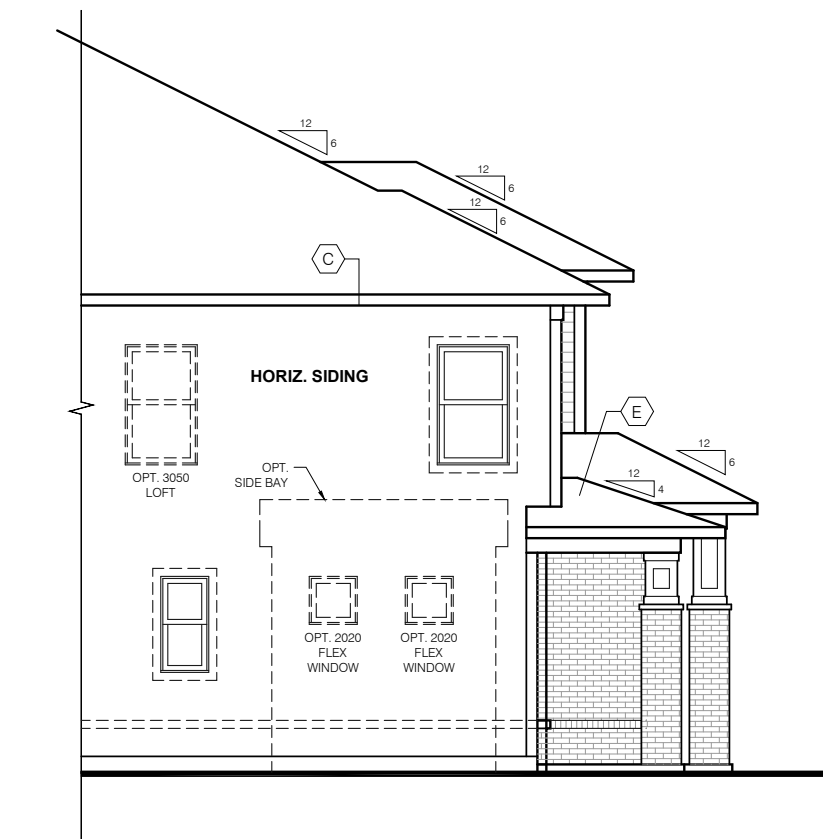
**ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS



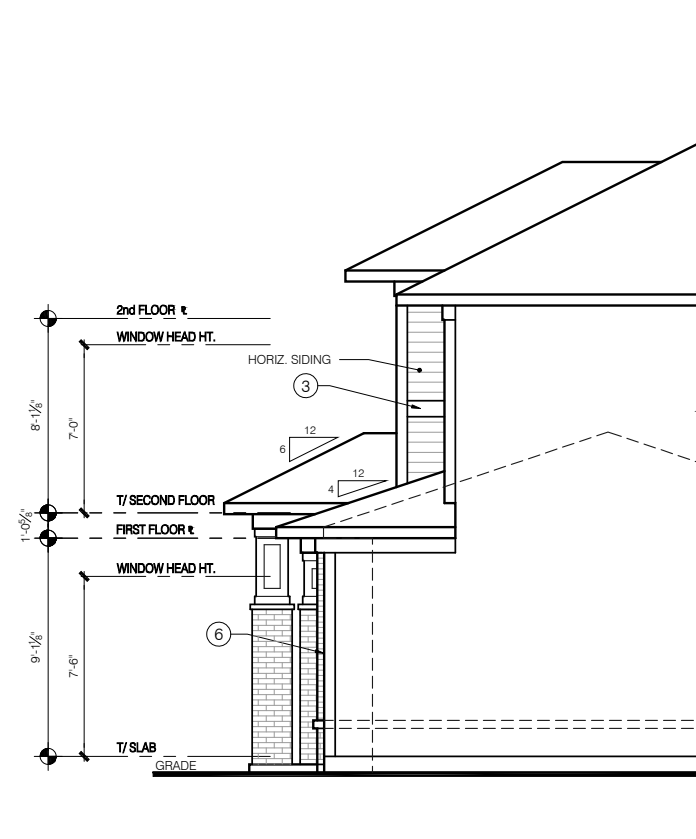
**ELEVATION "F"  
BRICK OPTION  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
BRICK OPTION  
SIDE ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
BRICK OPTION  
GARAGE SIDE ELEVATION**

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- ① = 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
- ② = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- ③ = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 6" TRIM PER DIVISION
- ⑦ REAR CORNERS = 4" TRIM PER DIVISION

**DIVISION NOTE:**

IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

**WINDOW GRIDS**

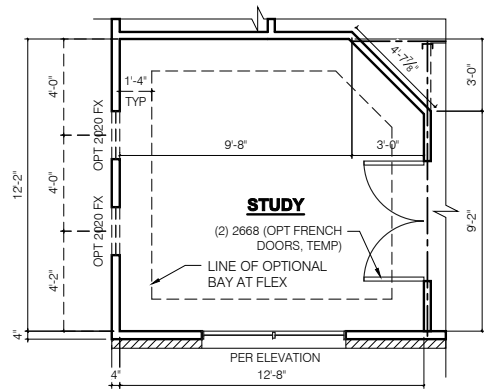
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

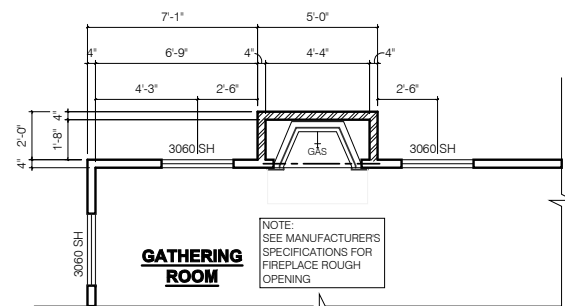
**GARAGE DOOR WINDOWS**

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



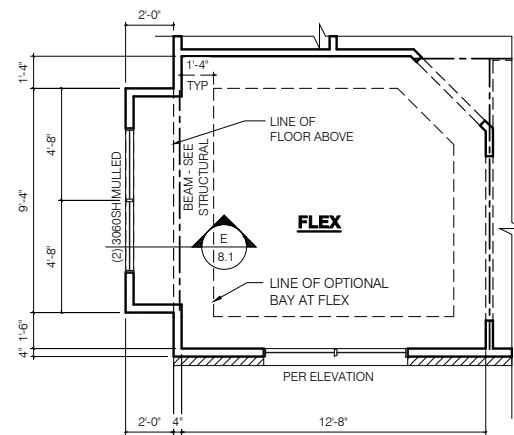
**FRAMING PLAN  
OPT STUDY**

SCALE: 1/4" = 1'-0"



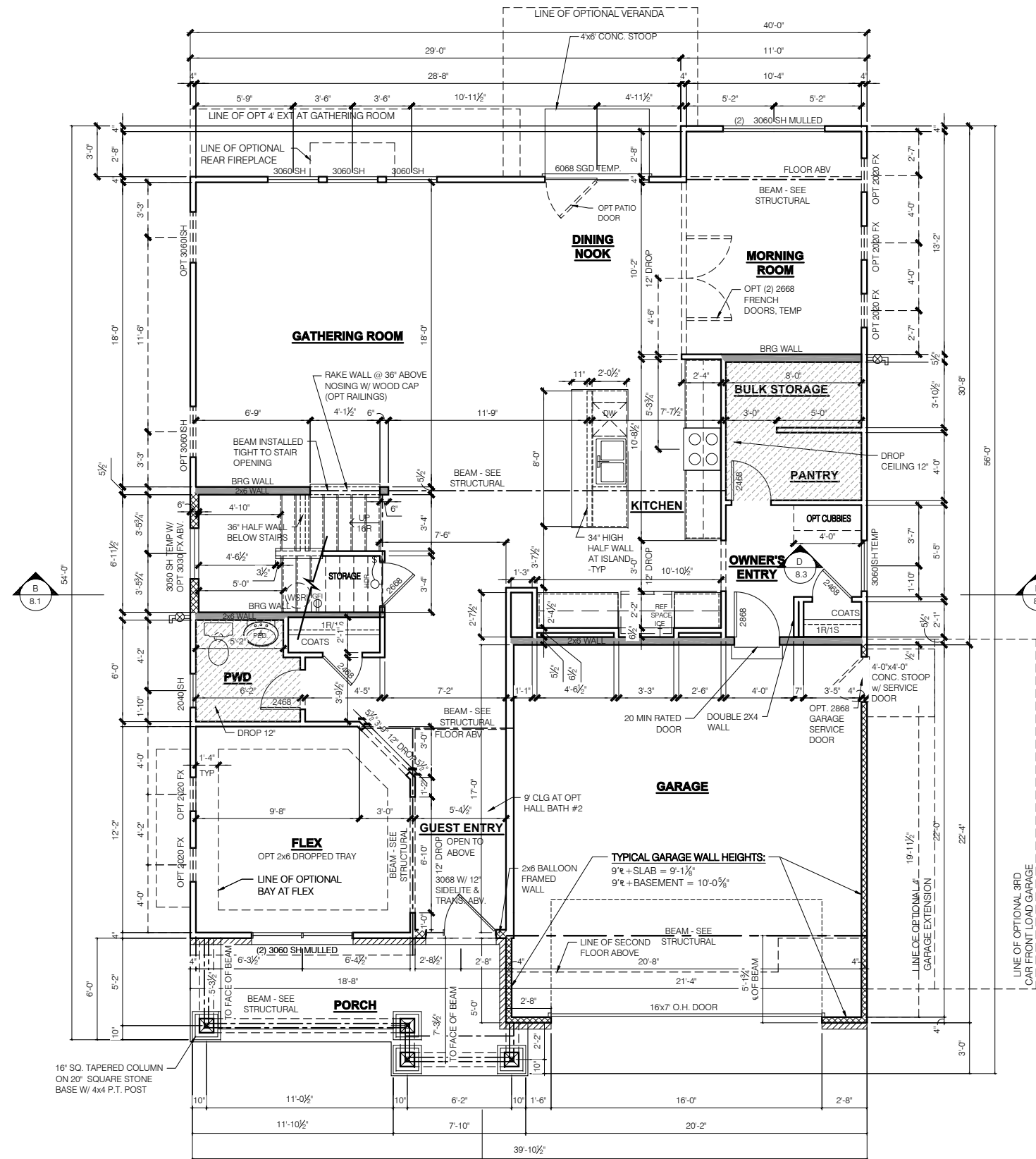
**FRAMING PLAN  
OPT REAR FIREPLACE**

SCALE: 1/4" = 1'-0"



**FRAMING PLAN  
OPT FLEX SIDE BAY**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
SLAB  
FRAMING PLAN  
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

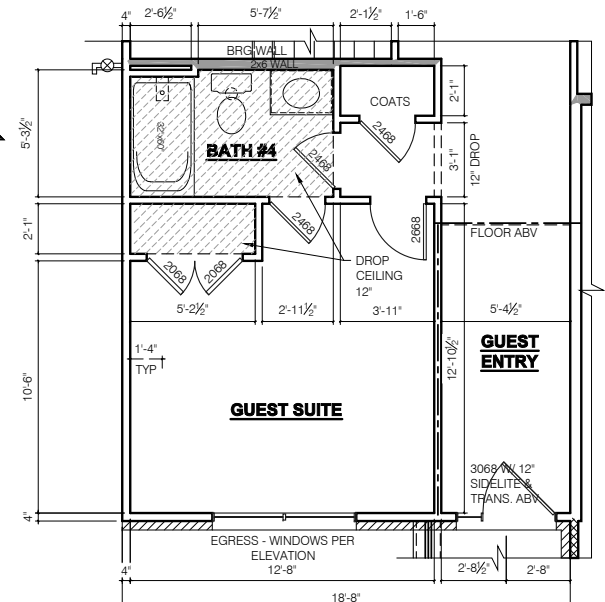
**FLOOR PLAN NOTES**

- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4'S W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDB @ 16" O.C.U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4'S W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDB @ 16" O.C.U.N.O.
  - INTERIOR WALLS ARE 2x4'S U.N.O. (3/2)
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION

**GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 3/8" GWB. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS. ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

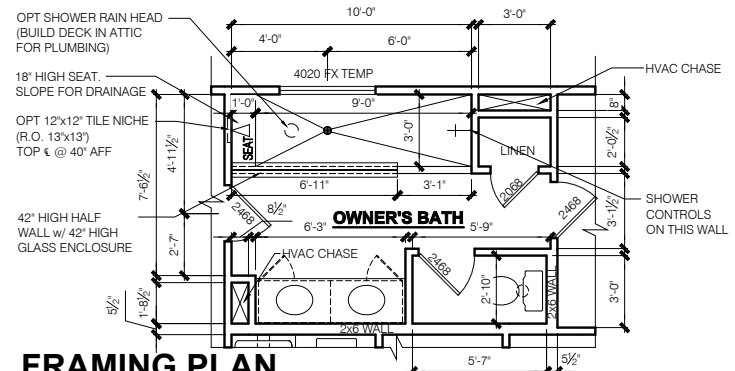
**STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION



**FRAMING PLAN  
OPT GUEST SUITE**

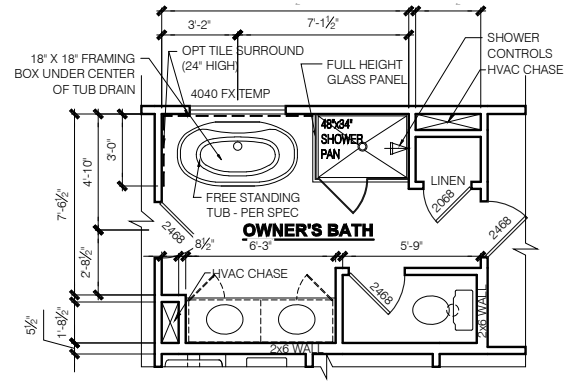
SCALE: 1/4" = 1'-0" (AT SLAB FOUNDATION)

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 Architecture Department  
 8425 Woodfield Crossing Blvd.  
 Indianapolis, IN 46240  
 Ph 317.255.9900  
 M/I HOMES  
 Glendale  
 FINAL SET  
 06/17/22  
 11x17 PRINTS ARE 1/2" SCALE  
 Job #: ----  
 LSP Date: X/XX/XX  
 LSP By: BY  
 LSP Rev: ----  
 Sheet Title : 1st Floor Plan - Slab  
 Sheet:  
 4.0F



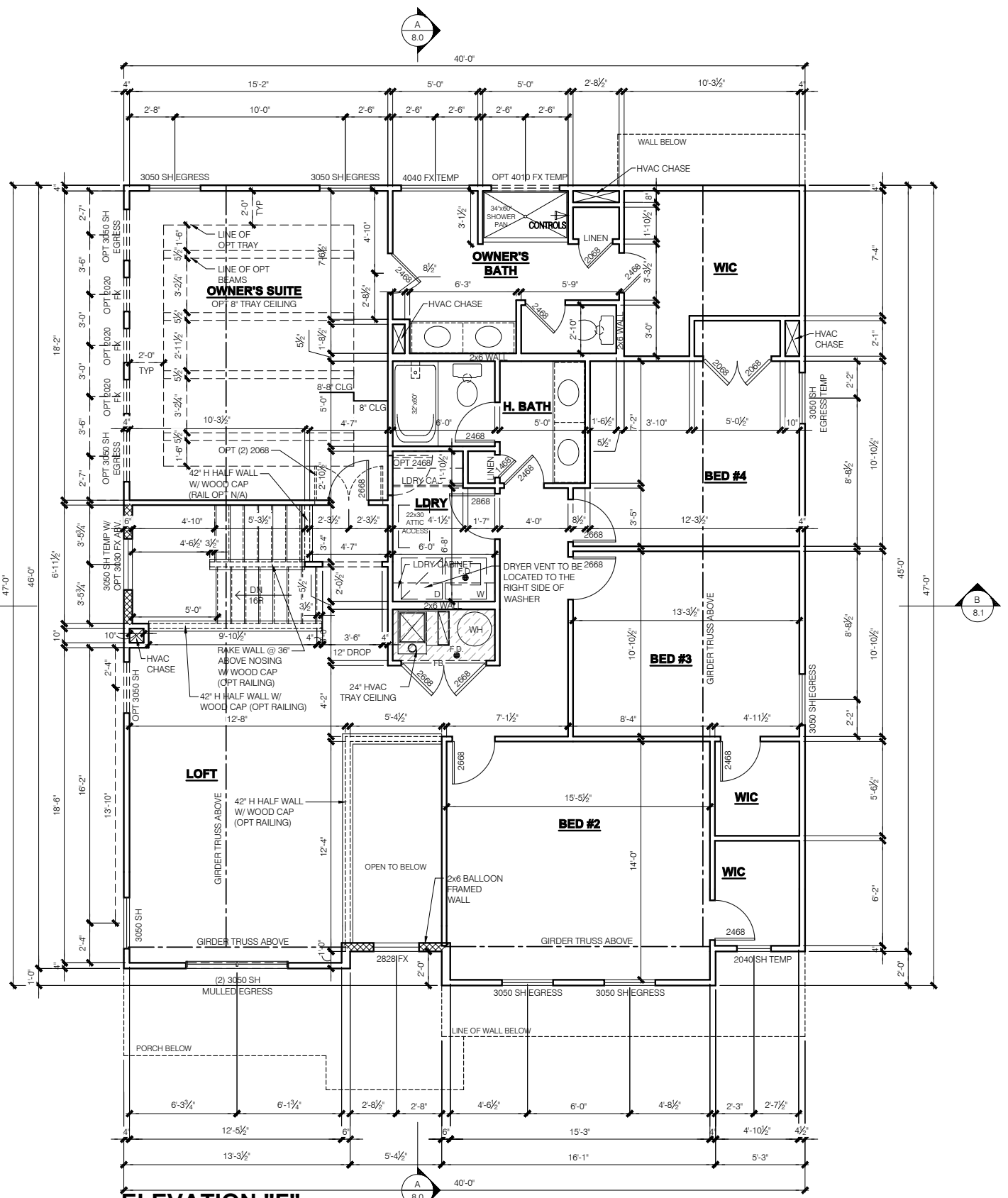
**FRAMING PLAN  
OPT OWNER'S SHOWER SPA**

SCALE: 1/4" = 1'-0"



**FRAMING PLAN  
OPT OWNER'S RESORT BATH**

SCALE: 1/4" = 1'-0"



**ELEVATION "F"  
SLAB  
FRAMING PLAN  
SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

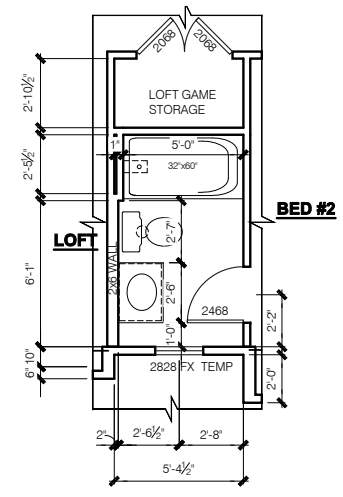
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  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (4") STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (4") STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4's U.N.O. (3 1/2")
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**GARAGE DRYWALL NOTE**  
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**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

**STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION



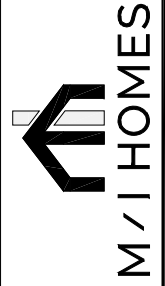
**ELEVATION "F"  
FRAMING PLAN  
OPT BED #2 BATH**

SCALE: 1/4" = 1'-0"

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Issued Date: 06/17/22  
BASE PLAN REVISION:

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Glendale  
FINAL SET  
06/17/22

11x17 PRINTS ARE 1/2 SCALE

Job #: ----  
LSP Date: X/X/XX  
LSP By: BY  
LSP Rev: ----  
Sheet Title :  
2nd Floor Plan - Slab

Sheet:

6.0F



**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE **INDIANA PLUMBING CODE**
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2 1/4 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 1/2" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 1/2 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

**SQUARE FOOTAGE - ELEV "F"**

1ST FLOOR	1475
2ND FLOOR	1928
<b>TOTAL HEATED</b>	<b>3403</b>
FRONT PORCH	102
GARAGE	656
OPT. CARRIAGE GARAGE	+240
OPT. GARAGE STORAGE	+75
OPT. FULL BASEMENT	+1392
OPT. FINISHED BASEMENT	+971
OPT. FINISHED BASEMENT W/ BATH	+971
OPT. FINISHED BASEMENT W/ BATH AND BED	+971
NOOK BAY	+23
MORNING ROOM	+137
2 CAR SIDE ENTRY GARAGE (ADD TO GARAGE)	+25
4FTGATHERING ROOM EXTENSION	+90
4FT DEN/GUEST SUITE EXTENSION	+60
OPT VERANDA (NON-HEATED)	+137

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**Revisions**

DATE	C.O #	Description	Drafter



**MI HOMES**  
PRESENTS  
**Kensington**  
"Elevation F"  
Owner's Name  
**CONSTRUCTION SET**  
ADDRESS  
LOT #

**2x4 EXTERIOR WALLS**

**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL	OC - ON CENTER	T/ - TOP
CONC. - CONCRETE	OH - OVERHANG	TEMP - TEMPERED
¢ - CENTERLINE	OPT - OPTIONAL	THKD - THICKENED
DBL - DOUBLE	PC - PULL CHAIN	TYP - TYPICAL
DH - DOUBLE HUNG	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DIA - DIAMETER	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DN - DOWN	PT - PRESSURE TREATED	w/ - WITH
DW - DISH WASHER	PTRY - PANTRY	WD - WOOD
FD - FLOOR DRAIN	PWD - POWDER	WH - WATER HEATER
FDN - FOUNDATION	¢ - PLATE	WIC - WALK IN CLOSET
FLR - FLOOR	R. BATH - RETREAT BATH	
FPHB - FROST PROTECTED HOSE BIB	REF - REFRIGERATOR	
FTG - FOOTING	REQ'D - REQUIRED	
GWB - GYPSUM WALL BOARD	RET - RETREAT	
H. BATH - HALL BATH	RI - ROUGH IN	
ILO - IN LIEU OF	SCH - SCHEDULE	

Sheet Number	Sheet Title
0.0	Cover Sheet Indianapolis
1.0F	Front and Garage Elevations
1.1F	Rear and Side Elevations
1.2F	Front Elevation Material Opt
2.0F	Slab Foundation
2.1F	Slab Foundation - Brick Wrap
2.2F	Poured Full Basement
2.3F	Poured Full Basement - Brick Wrap
2.4F	Finished Basement Plan
2.5F	Finished Basement Plan w/ Bath
2.6F	Finished Basement Plan w/ Bath and Bed
3.0F	First Floor Subfloor - Basement
4.0F	1st Fl Plan - Slab
4.1F	1st Fl Plan - Basement
4.2F	First Floor Plan-Options
6.0F	Second Floor Plan - Slab
6.1F	Second Floor Plan - Basement
6.2F	Second Floor Plan-Options
M1.0F	1st Flr MEP Plan - Slab
M1.1F	1st Flr MEP Plan - Basement
M1.2F	First Floor Plan-Options-MEP
M2.0F	Second Floor MEP Plan - Slab
M2.1F	Second Floor MEP Plan - Basement
M2.2F	Second Floor Plan-Options-MEP
7.0F	Roof Plan - Base Roof
8.0F	Section - Lateral
8.1F	Section - Transverse
R1.0F	Opt 2 car Side Load Garage 1- Elevations
R1.1F	Opt 2 Car Side Load Garage 2- Foundations
R1.2F	Opt 2 Car Side Load Garage 3- Plans
R2.0	Opt Morning Room
R3.0	Opt 4ft Den-Guest Suite Ext 1- Plans
R3.1	Opt 4ft Den-Guest Suite Ext Elevations
R4.0	Opt 4ft Den-Guest Suite-Gathering Rm 1- Plans
R4.0.1	Opt 4ft Den-Guest Suite-Gathering Rm 1- Fnd Brick Wrap
R4.1	Opt 4ft Den-Guest Suite-Gathering Rm Ext 2- Elevations
R5.0	Opt 4ft Gathering Room Ext 1- Fdns-Elevs
R5.0.1	Opt 4ft Gathering Room Ext 1- Fdns Brick Wrap
R5.1	Opt 4ft Gathering Room Ext 2- Plans
R6.0	Opt 4ft Gathering Rm Ext with Morning Rm 1- Fdns-Elevs
R6.0.1	Opt 4ft Gathering Rm Ext with Morning Rm 1- Fdns Brick Wrap
R6.1	Opt 4ft Gathering Rm Ext with Morning Rm 2- Plans
R7.0	Opt Garage Storage
R7.0.1	Opt Garage Storage Brick Wrap
R8.0	Opt Carriage Garage
R9.0	Opt Veranda
R9.1	Opt Veranda w/ Screen

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11x17 PRINTS ARE 1/2 SCALE

Issued Date: 06/17/22  
BASE PLAN REVISION: \_\_\_\_\_

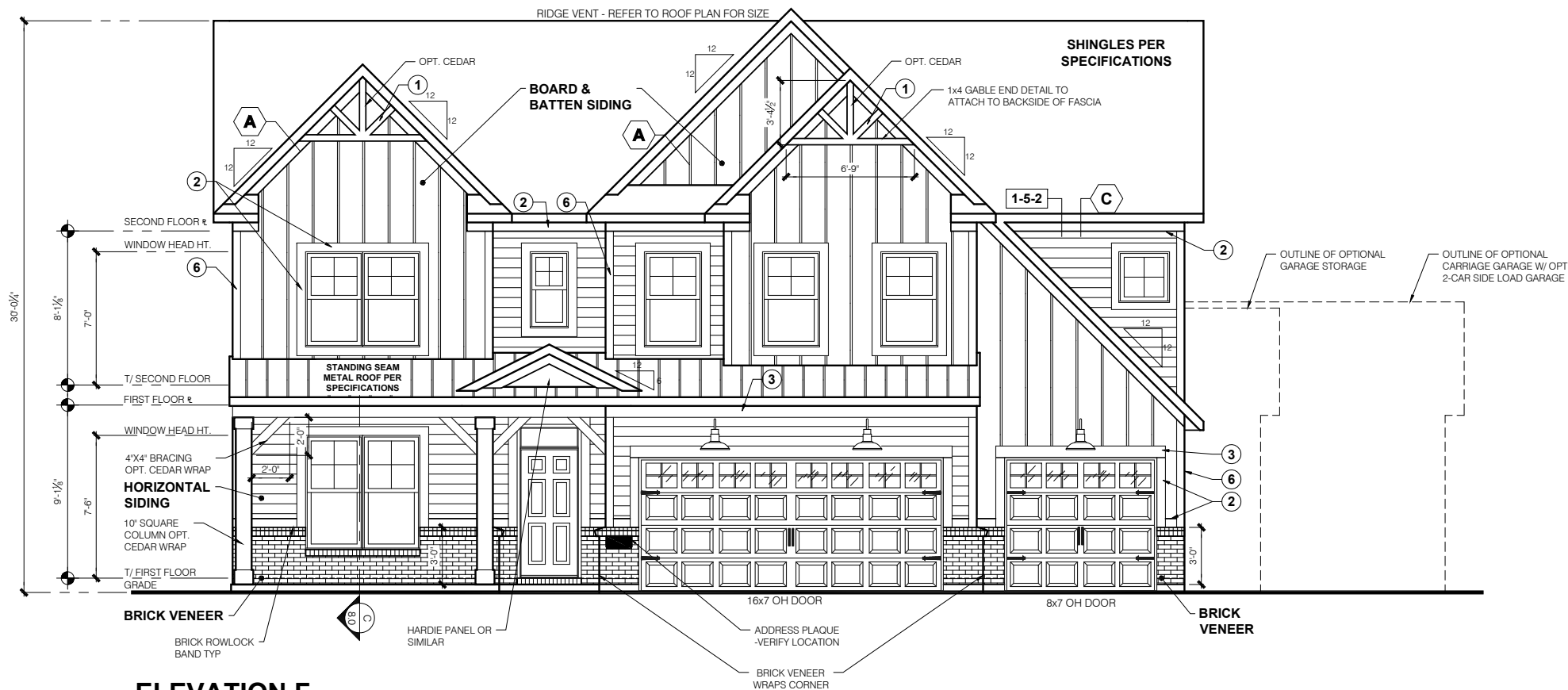
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Indianapolis, IN 46240  
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**MI HOMES**

**KENSINGTON**

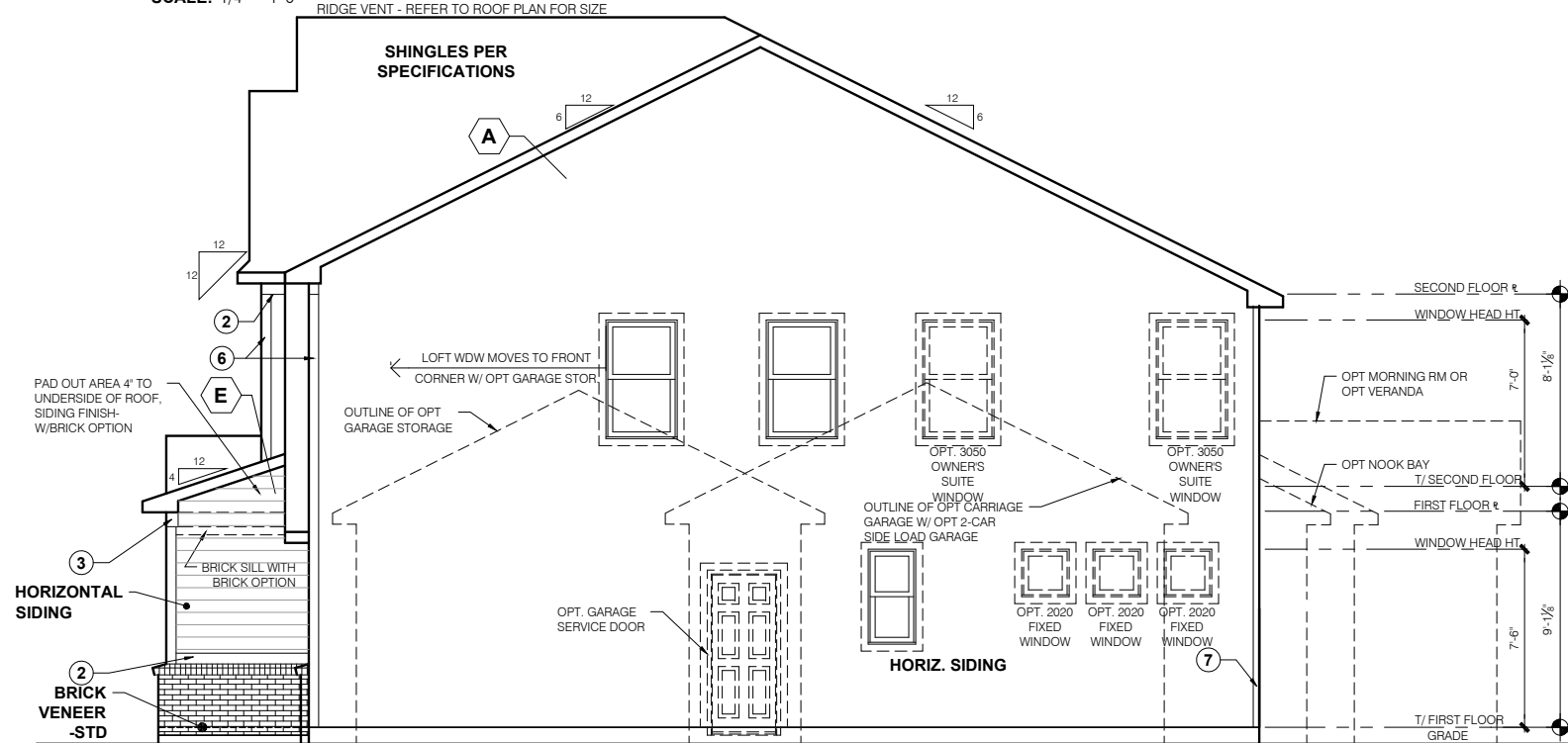
Job #: --  
LSP Date: -----  
LSP By: --  
LSP Rev: ###  
Sheet Title :  
Cover Sheet  
Indianapolis

Sheet:  
**0.0F**  
Elevation - F



### ELEVATION F FRONT ELEVATION-SLAB

SCALE: 1/4" = 1'-0"



### ELEVATION F GARAGE SIDE ELEVATION-SLAB

SCALE: 1/4" = 1'-0"

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 -GRID PATTERNS TO MATCH FRONT ELEVATION

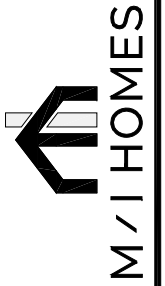
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PRESTIGE SERIES

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 Architecture Department  
 8425 Woodfield Crossing Blvd.  
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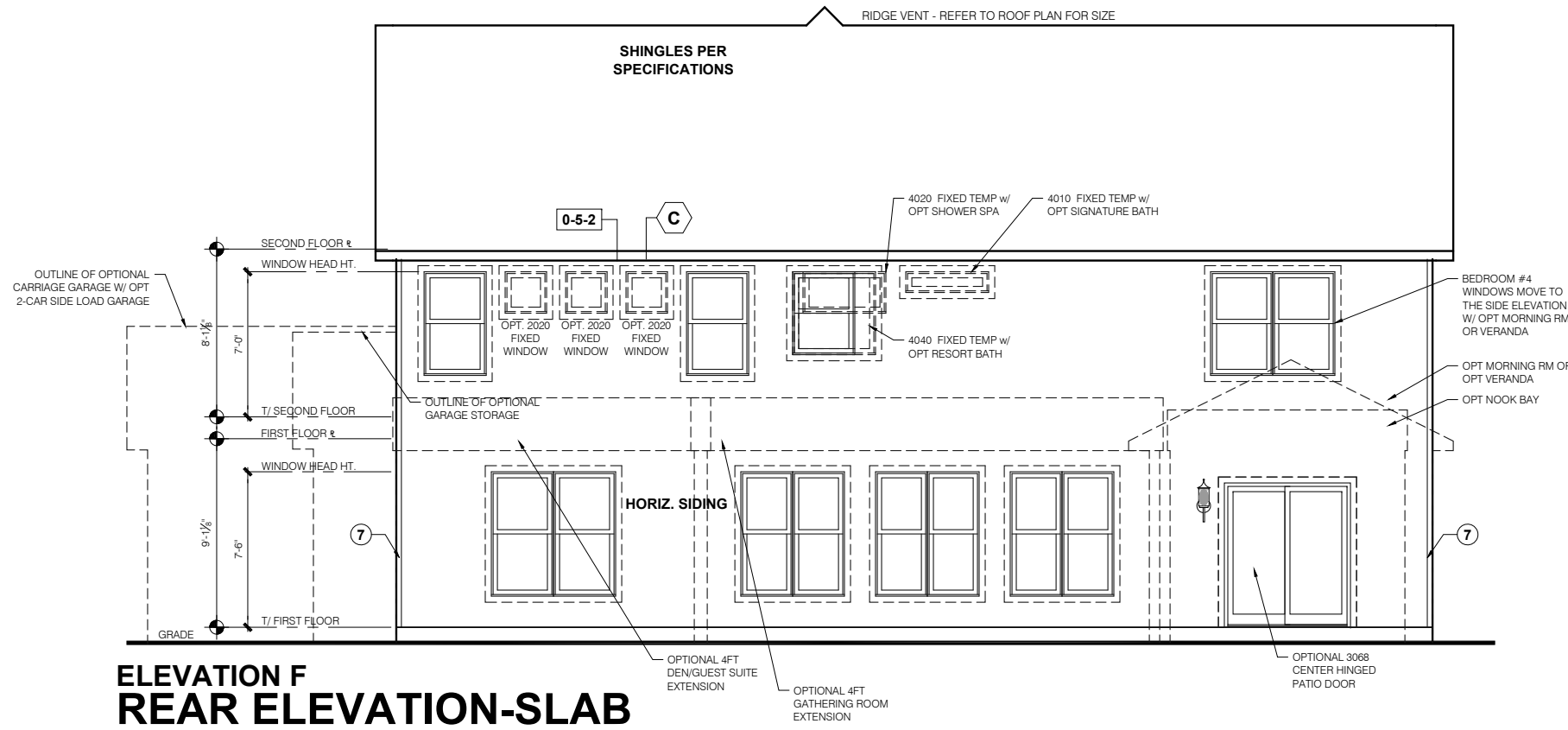


KENSINGTON

11x17 PRINTS ARE 1/2 SCALE

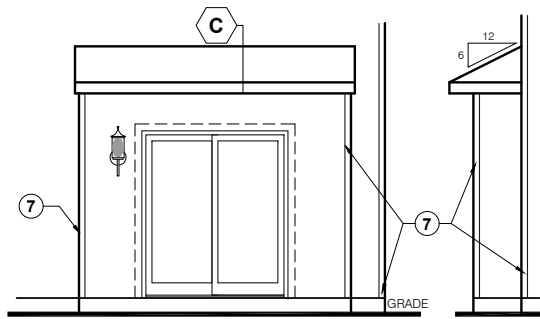
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 LSP Rev: ###  
 Sheet Title :  
 Front and Garage  
 Elevations

Sheet:  
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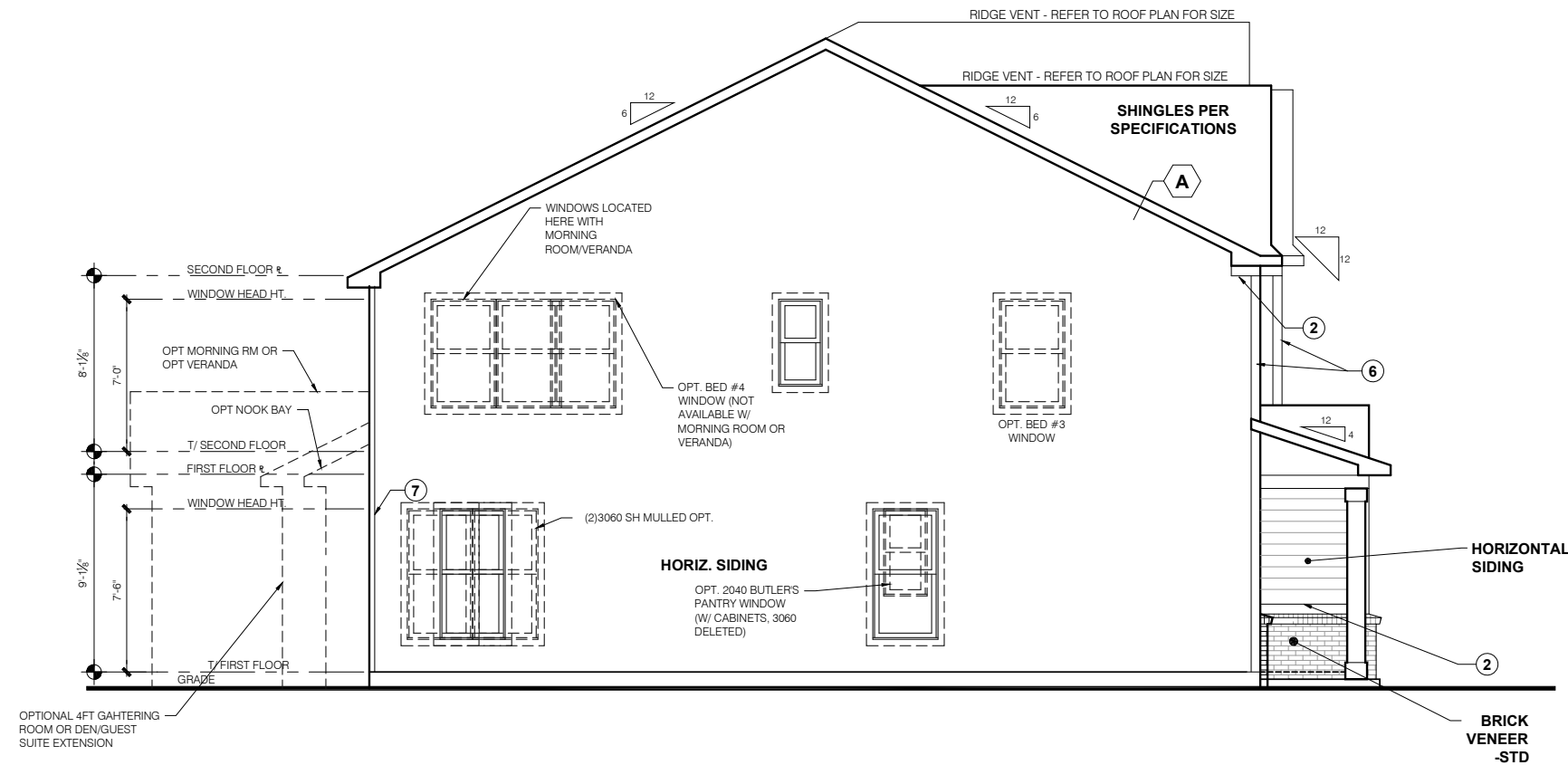
**ELEVATION F  
REAR ELEVATION-SLAB**

SCALE: 1/4" = 1'-0"



**NOOK BAY**

TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 6" TRIM PER DIMENSION
⑦	REAR CORNERS = 4" TRIM PER DIMENSION
<b>DIVISION NOTE:</b> IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES, WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	
<b>WINDOW GRIDS</b> -FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION	
<b>ELEVATION</b> ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS	
<b>GARAGE DOOR WINDOWS</b> PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT	



**ELEVATION F  
SIDE ELEVATION-SLAB**

SCALE: 1/4" = 1'-0"

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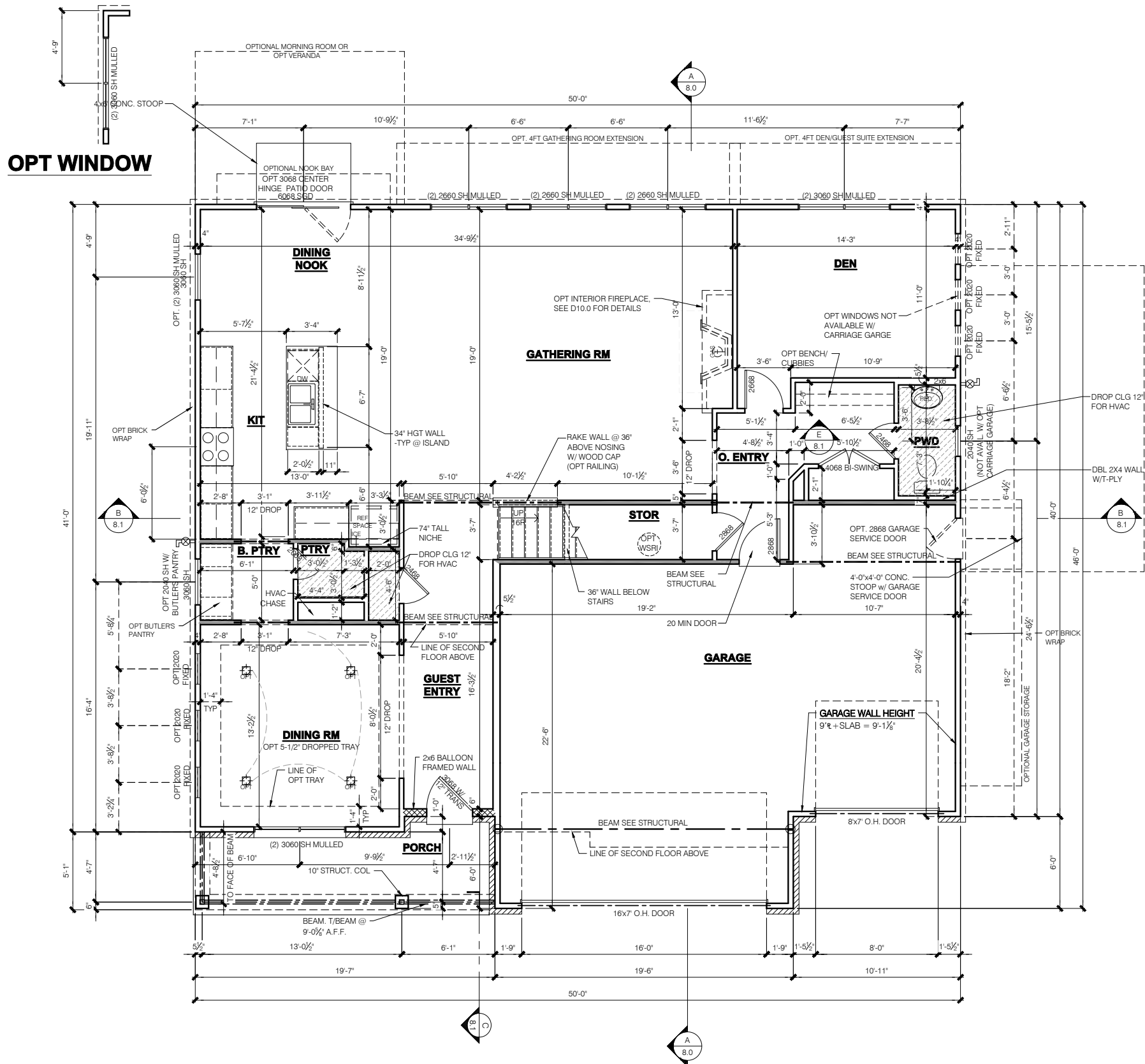
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11x17 PRINTS ARE 1/2" SCALE

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LSP By:	---
LSP Rev:	####
Sheet Title:	Rear and Side Elevations

Sheet:  
**1.1F**





- ### FLOOR PLAN NOTES
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4'). **STUDS @ 16" O.C. U.N.O.**
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4'). **STUDS @ 16" O.C. U.N.O.**
  - INTERIOR WALLS ARE 2x4s U.N.O. (3 1/2')
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" GWB. CEILING TO BE 5/8" TYP 'X' FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

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11x17 PRINTS ARE 1/2 SCALE

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Sheet Title :  
1st Fl Plan -  
Slab  
Sheet:  
4.0F

**ELEVATION "F"  
FRAMING PLAN  
FIRST FLOOR PLAN - SLAB**  
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
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  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (4") **STUDS @ 16" O.C. U.N.O.**
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4's W/ 1/2" NOMINAL SHEATHING U.N.O. (4") **STUDS @ 16" O.C. U.N.O.**
  - INTERIOR WALLS ARE 2x4's U.N.O. (3/2")
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
 ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 3/8" GWB. CEILING TO BE 5/8" TYP 'X' FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
 PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
 SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

NOTE:  
 OPTIONAL (2) 3050 SH MULLED EGRESS WHEN MORNING ROOM OR COVERED PORCH IS CHOSEN

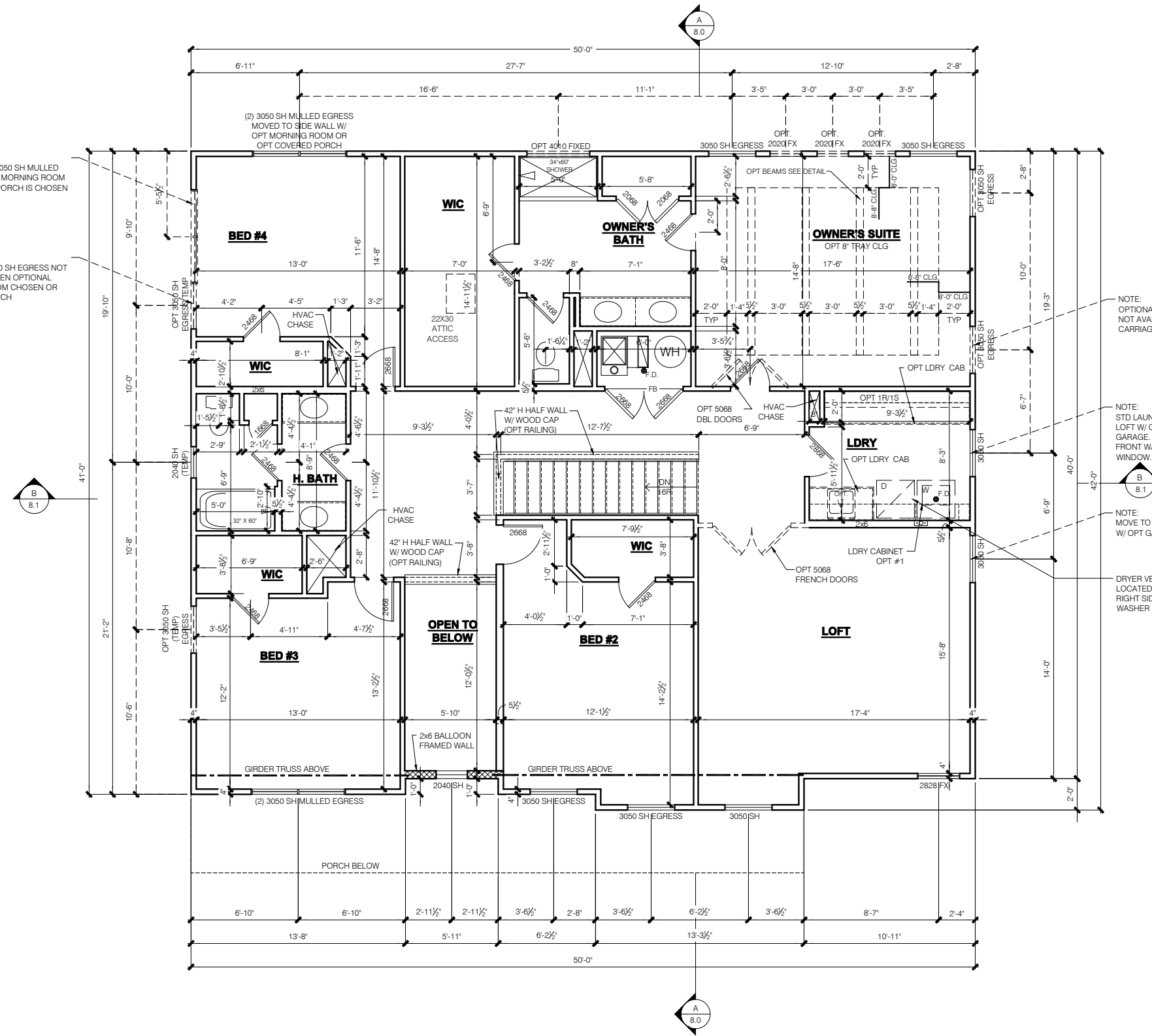
NOTE:  
 OPTIONAL 3050 SH EGRESS NOT AVAILABLE WHEN OPTIONAL MORNING ROOM CHOSEN OR COVERED PORCH

NOTE:  
 OPTIONAL RETREAT WINDOW IS NOT AVAILABLE W/ OPTIONAL CARRIAGE GARAGE

NOTE:  
 STD LAUNDRY MOVED TO LOFT W/ OPTIONAL CARRIAGE GARAGE. SAME DISTANCE FROM FRONT WALL AS STD LOFT ROOM WINDOW.

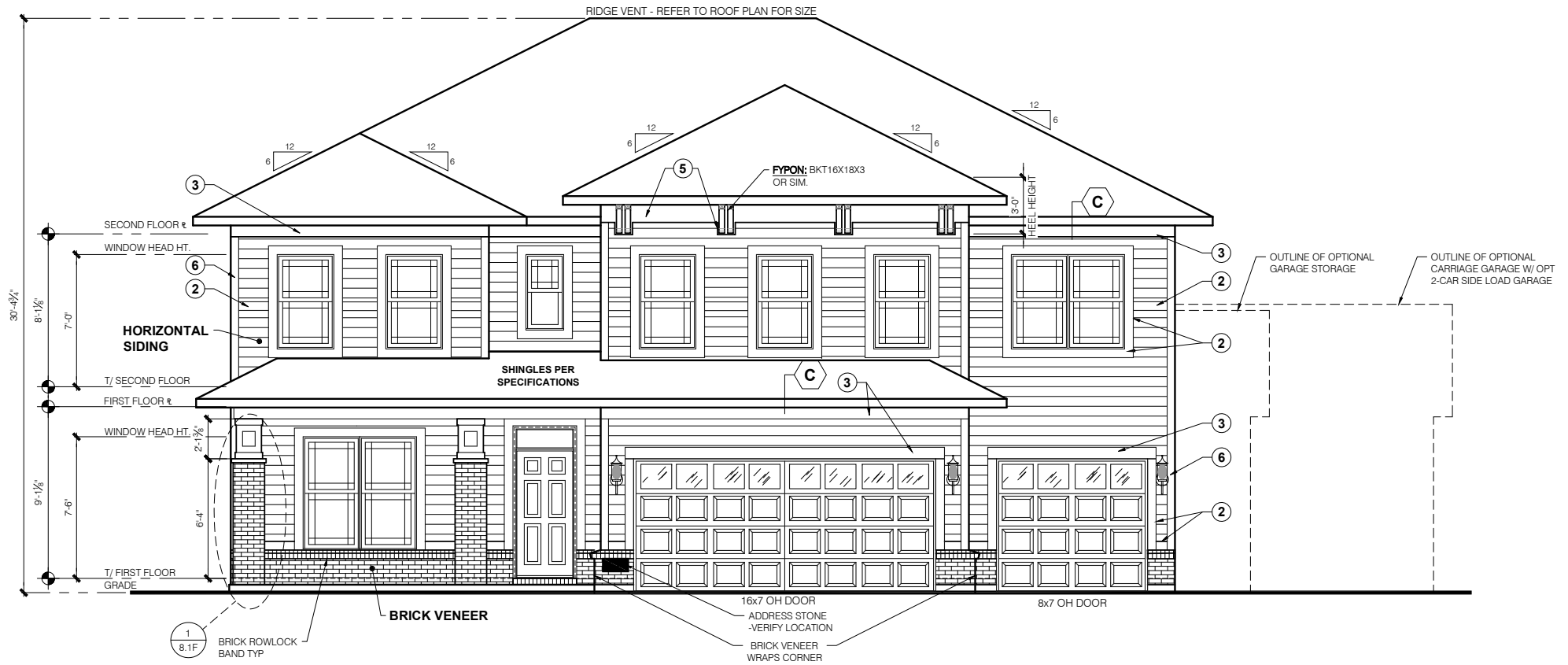
NOTE:  
 MOVE TO FRONT CORNER W/ OPT GARAGE STORAGE

DRYER VENT TO BE LOCATED TO THE RIGHT SIDE OF WASHER



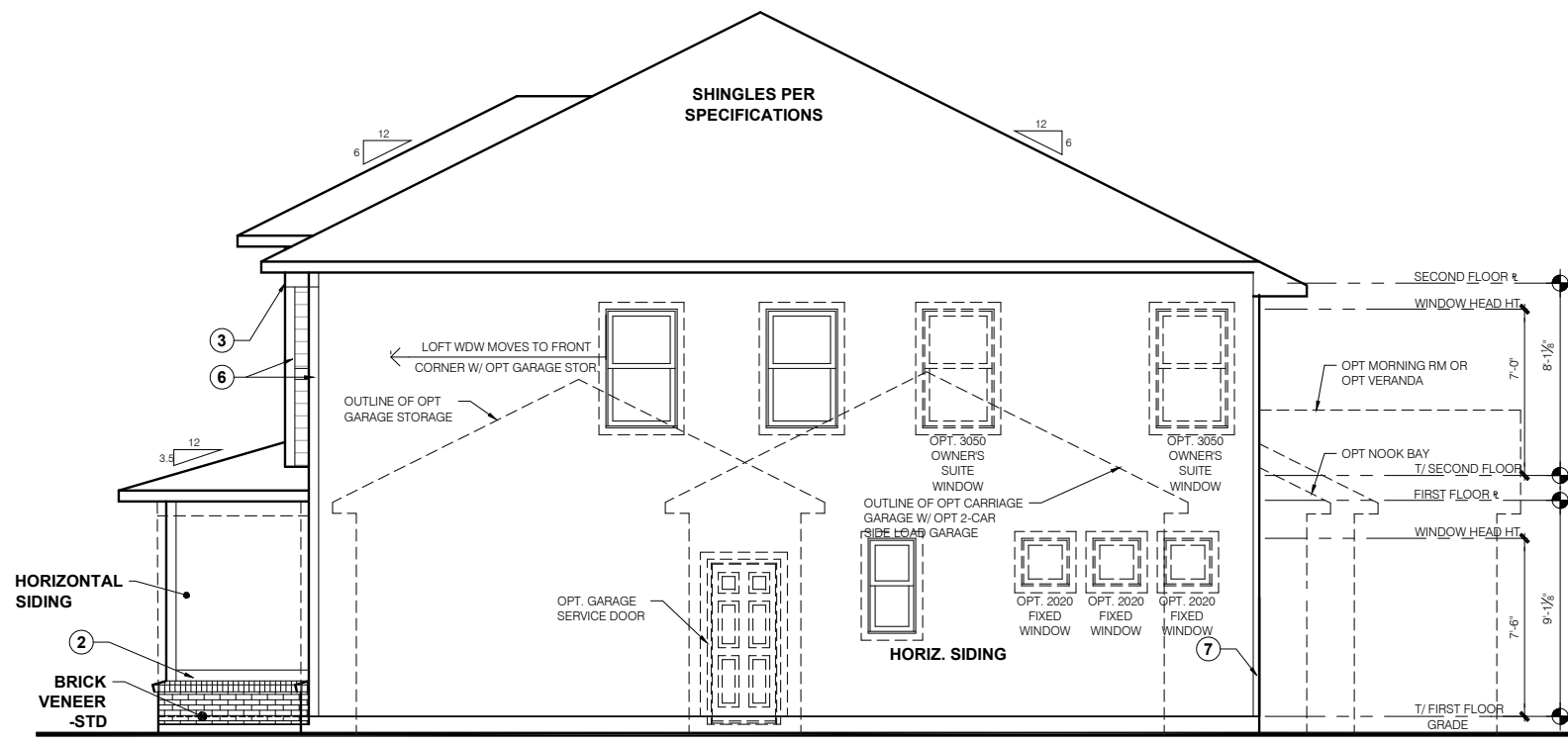
**ELEVATION "F"  
 FRAMING PLAN  
 SECOND FLOOR PLAN - SLAB**  
 SCALE: 1/4" = 1'-0"





### ELEVATION G FRONT ELEVATION-SLAB

SCALE: 1/4" = 1'-0"



### ELEVATION G GARAGE SIDE ELEVATION-SLAB

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**  
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- ① = 4" TRIM (1x4, 5/4x4, 3 1/2" VINYL LINEAL)
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- ③ = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 6" TRIM PER DIVISION
- ⑦ REAR CORNERS = 4" TRIM PER DIVISION

**DIVISION NOTE:**  
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES: WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.

**WINDOW GRIDS**  
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**  
ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS. ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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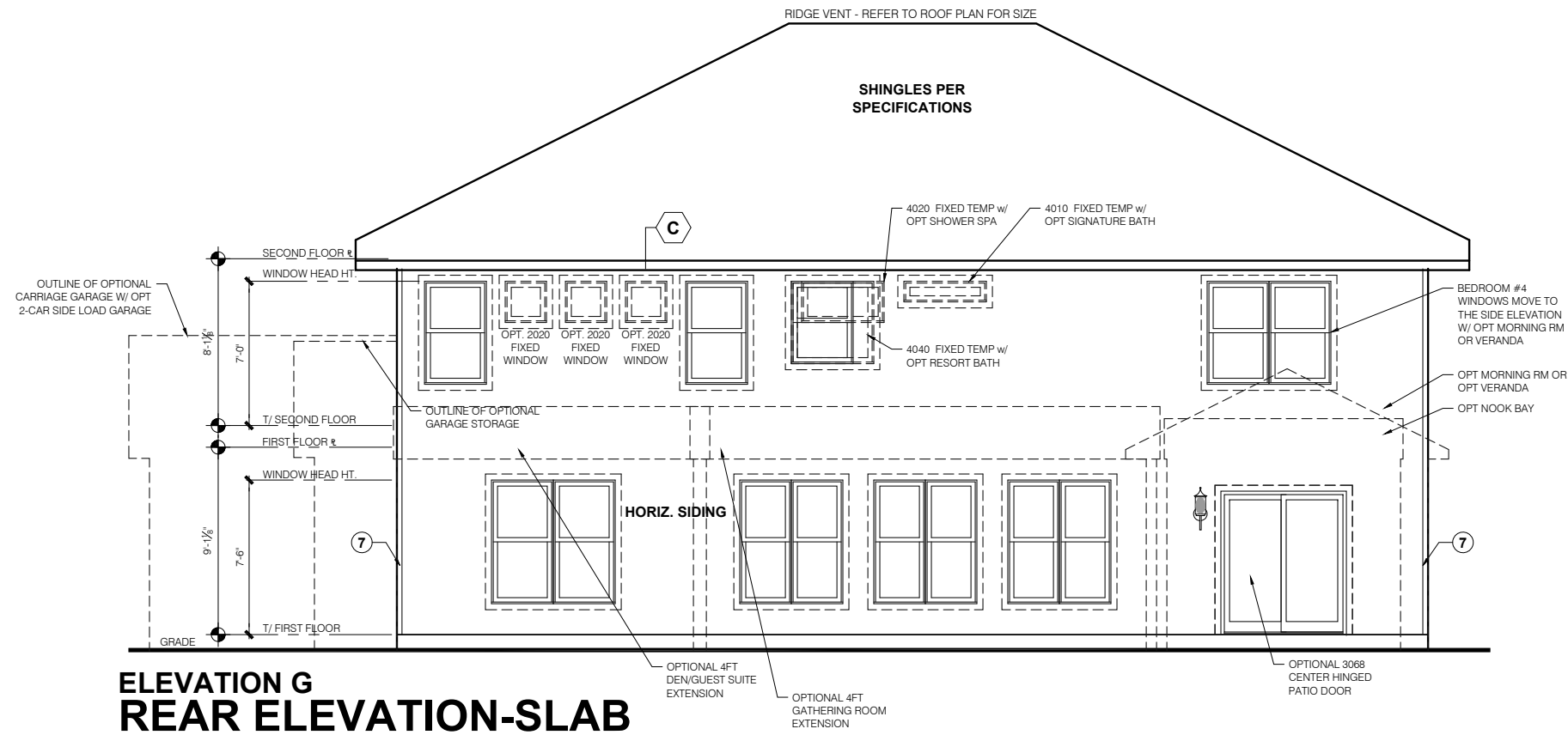
11x17 PRINTS ARE 1/2" SCALE

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Front and Garage  
Elevations

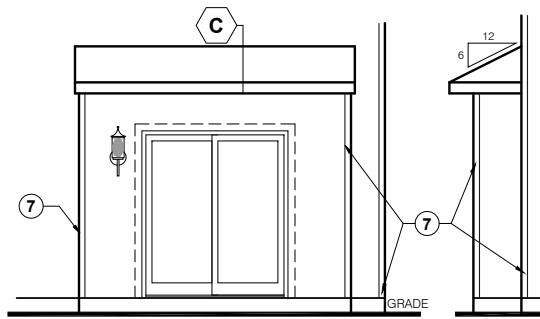
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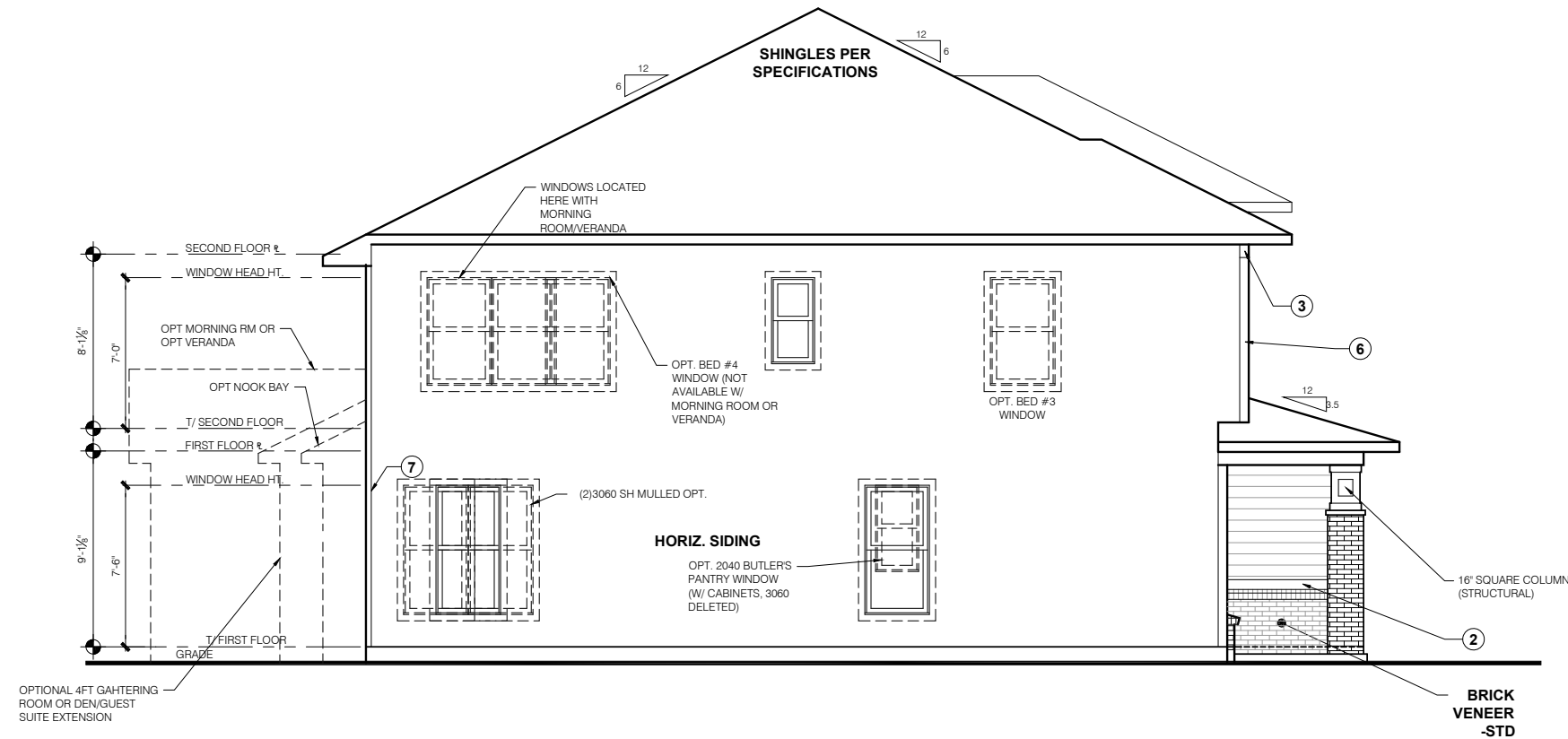
**ELEVATION G  
REAR ELEVATION-SLAB**

SCALE: 1/4" = 1'-0"



**NOOK BAY**

TYPICAL EXTERIOR TRIM FINISH	
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⑤	= 12" TRIM
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<b>ELEVATION</b> ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS	
<b>GARAGE DOOR WINDOWS</b> PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT	



**ELEVATION G  
SIDE ELEVATION-SLAB**

SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2" SCALE

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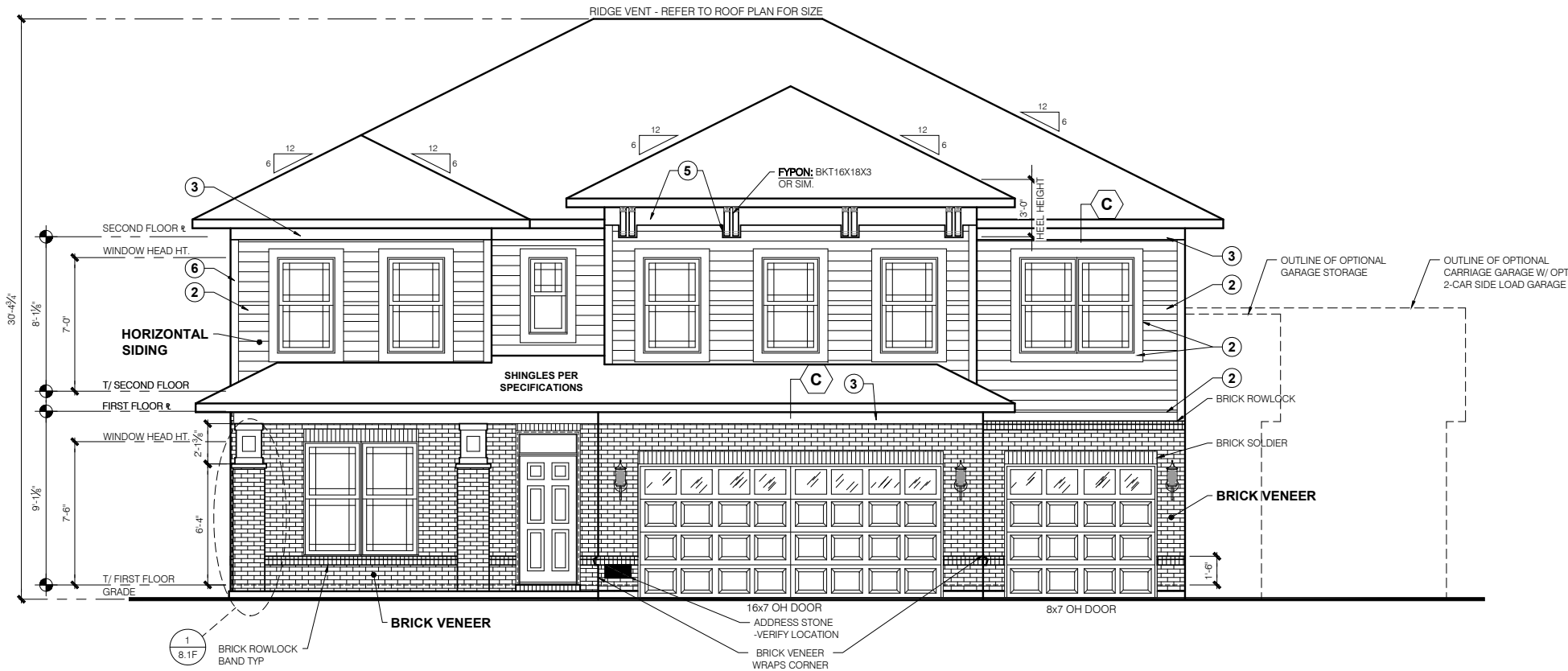
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LSP Rev: ###  
Sheet Title :  
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LSP Date: ---  
LSP By: ---  
LSP Rev: ###  
Sheet Title :  
Rear and Side Elevations  
Sheet:  
1.1G



**OPTIONAL BRICK FRONT  
ELEVATION G  
FRONT ELEVATION-SLAB**

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**

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**WINDOW GRIDS**

-FRONT WINDOW GRIDS ARE STANDARD  
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-GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

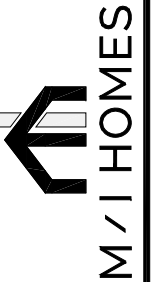
**GARAGE DOOR WINDOWS**

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT

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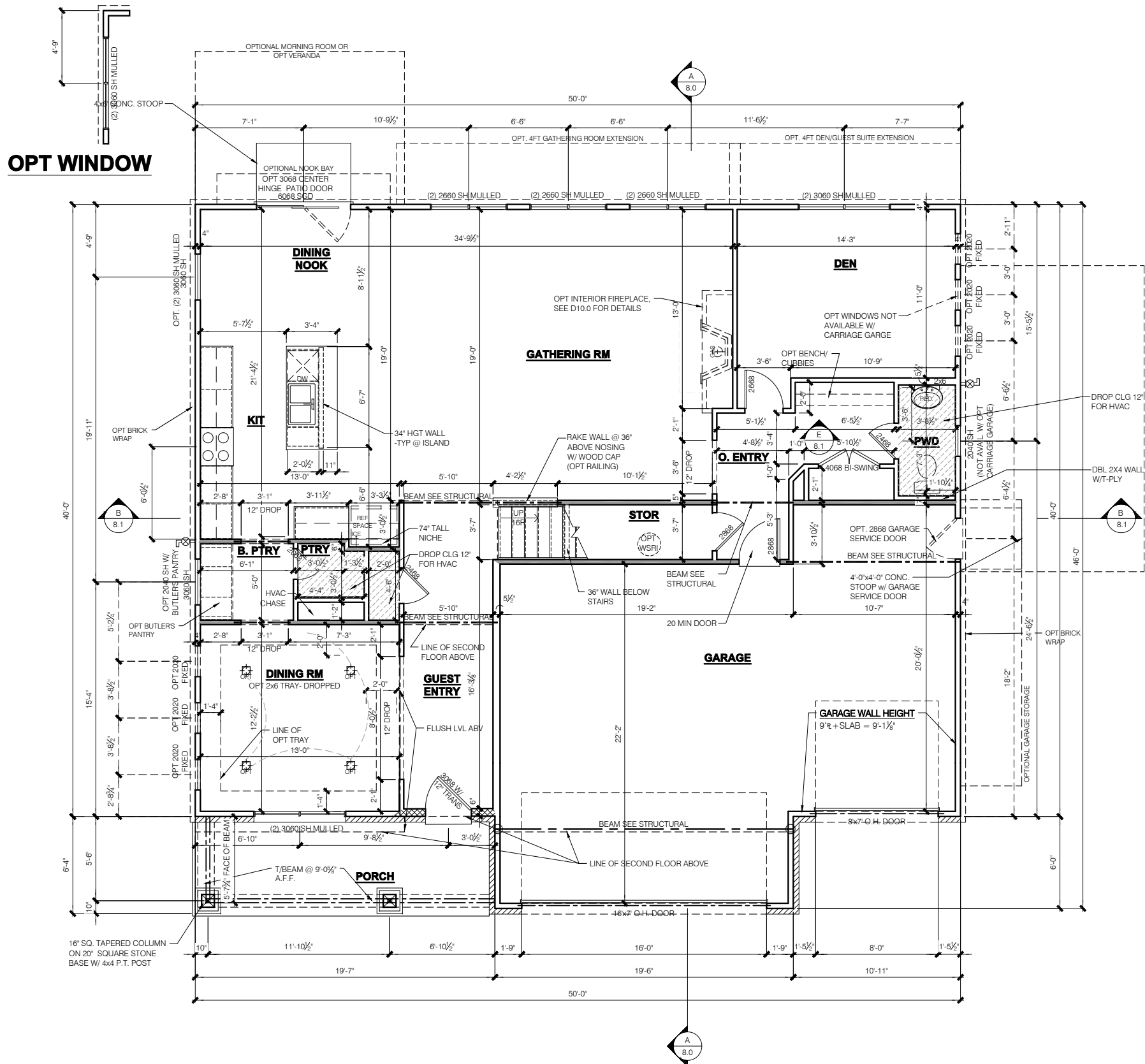
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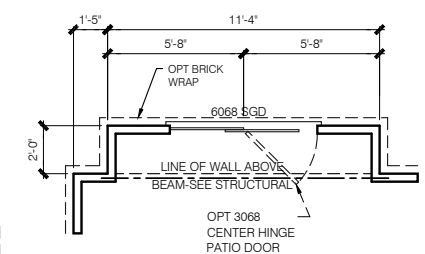
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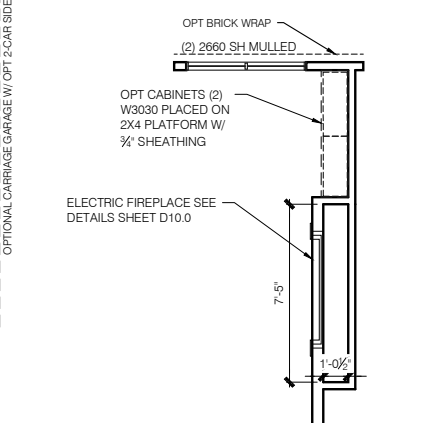
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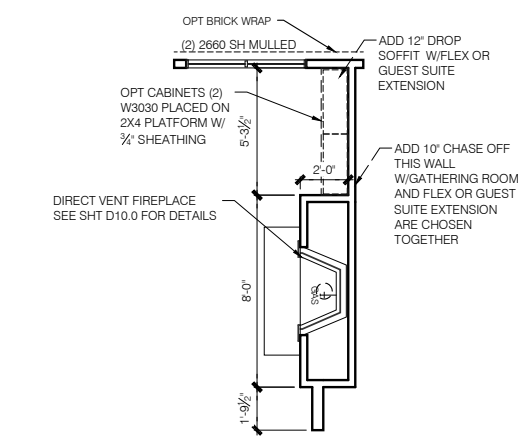
**OPT WINDOW**



**OPT NOOK BAY**



**OPT ELECTRIC FIREPLACE**



**OPT INTERIOR FIREPLACE**

- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
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  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
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  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION
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- GARAGE DRYWALL NOTE**  
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- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

**ELEVATION "G" FRAMING PLAN FIRST FLOOR PLAN - SLAB**

SCALE: 1/4" = 1'-0"

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11x17 PRINTS ARE 1/2 SCALE

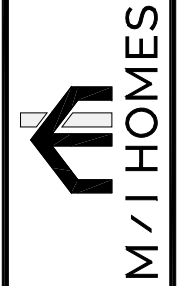
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Slab  
Sheet:  
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- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
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  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
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  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
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 ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 3/8" G.W.B. CEILING TO BE 5/8" TYP 'X' FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
 PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
 SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

NOTE:  
 OPTIONAL (2) 3050 SH MULLED EGRESS WHEN MORNING ROOM OR COVERED PORCH IS CHOSEN

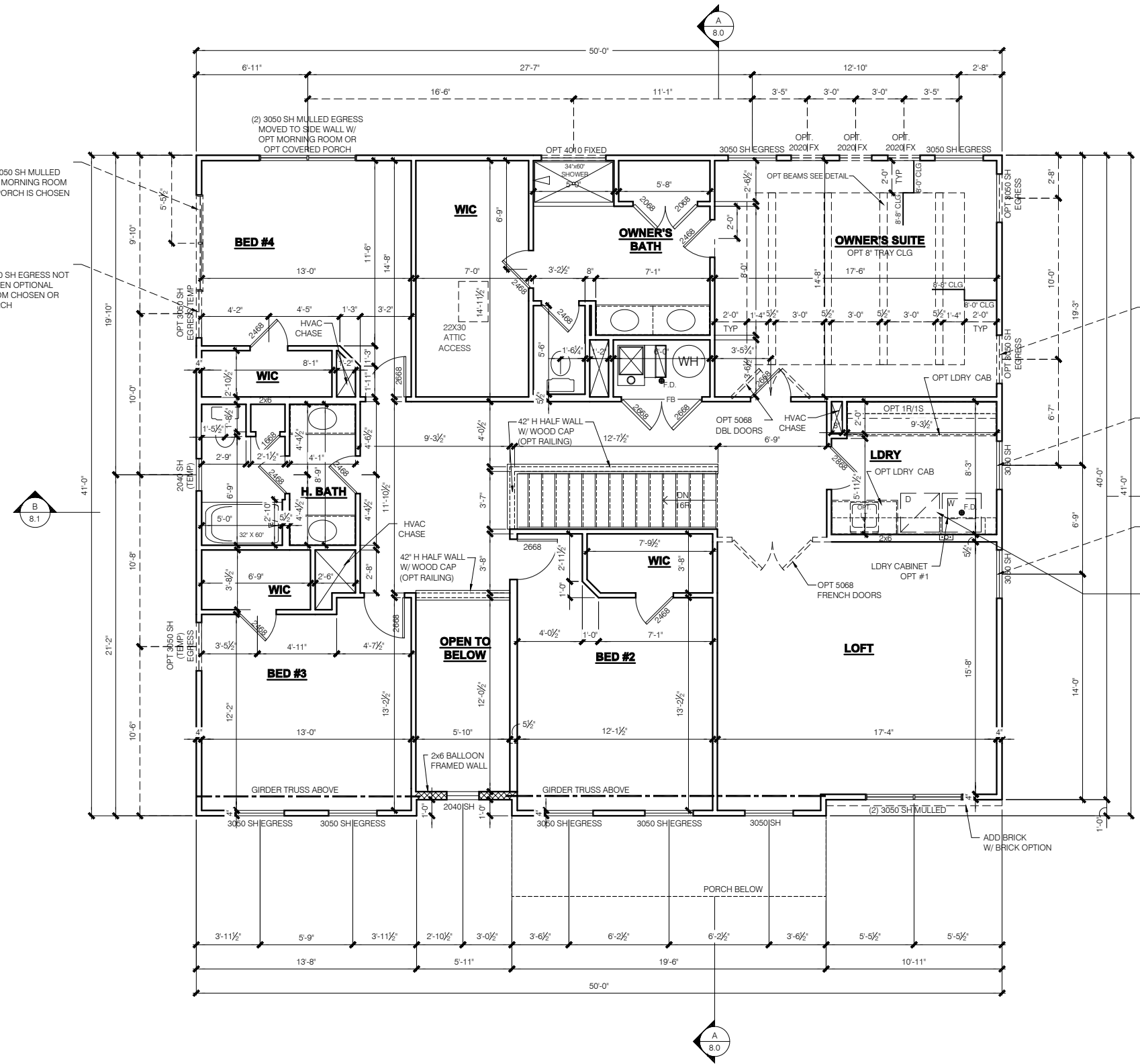
NOTE:  
 OPTIONAL 3050 SH EGRESS NOT AVAILABLE WHEN OPTIONAL MORNING ROOM CHOSEN OR COVERED PORCH

NOTE:  
 OPTIONAL RETREAT WINDOW IS NOT AVAILABLE W/ OPTIONAL CARRIAGE GARAGE

NOTE:  
 STD LAUNDRY MOVED TO LOFT W/ OPTIONAL CARRIAGE GARAGE. SAME DISTANCE FROM FRONT WALL AS STD LOFT ROOM WINDOW.

NOTE:  
 MOVE TO FRONT CORNER W/ OPT GARAGE STORAGE

DRYER VENT TO BE LOCATED TO THE RIGHT SIDE OF WASHER



**ELEVATION "G"  
 FRAMING PLAN  
 SECOND FLOOR PLAN - SLAB**  
 SCALE: 1/4" = 1'-0"

**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
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- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2 1/2 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
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- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 1/2", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 1/2 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
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2020 INDIANA RESIDENTIAL CODE  
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**MI HOMES**  
PRESENTS  
**Kentmore**  
**"Elevation A"**  
Owner's Name  
**CONSTRUCTION SET**  
**ADDRESS**  
**LOT #**  
**2x4 EXTERIOR WALLS**

SQUARE FOOTAGE - ELEV "A"	
1ST FLOOR	2070
<b>TOTAL HEATED</b>	<b>2070</b>
GARAGE	435
FRONT PORCH	99
OPT FULL BASEMENT	1957
OPT 3RD CAR FRONT LOAD	191
OPT GARAGE STORAGE	76
OPT 4' GARAGE EXTENSION	89
OPT DINING NOOK EXTENSION	+27
OPT 4' EXTENSION TO OWNER'S SUITE	+75
OPT MORNING ROOM	+161
OPT VERANDA	+161
OPT BONUS ROOM	+542
OPT BONUS ROOM w/ BATH	+598
OPT FINISHED BASEMENT	+1035
OPT FINISHED BASEMENT w/ BATH	+1086
OPT FINISHED BASEMENT w/ BATH AND BED	+1246

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

MI HOMES - COMMON ABBREVIATIONS ON PRINTS		
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
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CATH - CATHEDRAL CONC. - CONCRETE	OC - ON CENTER	T/ - TOP
€ - CENTERLINE	OH - OVERHANG	TEMP - TEMPERED
DBL - DOUBLE	OPT - OPTIONAL	THKD - THICKENED
DH - DOUBLE HUNG	PC - PULL CHAIN	TYP - TYPICAL
DIA - DIAMETER	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DN - DOWN	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DW - DISH WASHER	PT - PRESSURE TREATED	w/ - WITH
FD - FLOOR DRAIN	PTRY - PANTRY	WD - WOOD
FDN - FOUNDATION	PWD - POWDER	WH - WATER HEATER
FLR - FLOOR	€ - PLATE	WIC - WALK IN CLOSET
FPHB - FROST PROTECTED HOSE BIB	R. BATH - RETREAT BATH	
FTG - FOOTING	REF - REFRIGERATOR	
GWB - GYPSUM WALL BOARD	REQ'D - REQUIRED	
H. BATH - HALL BATH	RET - RETREAT	
ILO - IN LIEU OF	RI - ROUGH IN	
	SCH - SCHEDULE	

Sheet List Table	
Sheet Number	Sheet Title
0.0A	Cover Sheet Indianapolis
1.0A	Front and Garage Elevations
1.1A	Rear and Side Elevations
2.0A	Slab Fdn
2.1A	Slab Fdn wBONUS
2.2A	Slab Fdn - Brick Wrap
2.3A	Slab Fdn wBONUS - Brick Wrap
2.4A	Full Basement Fdn
2.5A	Full Basement Fdn - Brick Wrap
2.6A	Finished Basement
2.7A	Finished Basement with Bath
2.8A	Finished Bsmt with Bath and Bed
3.0A	First Floor Subfloor
4.0A	1st FI Plan - Slab No Bonus
4.1A	1st FI Plan - Basement No Bonus
4.2A	1st FI Plan - Slab w Bonus
4.3A	1st FI Plan - Basement w Bonus
4.4A	Floorplan Options
M1.0A	1st FI MEP Plan - Slab no Bonus
M1.1A	1st MEP Plan - Basement no Bonus
M1.2A	1st FI MEP Plan - Slab w Bonus
M1.3A	1st MEP Plan - Basement w Bonus
M1.4	Floorplan Options MEP
7.0A	Roof Plan - Base Roof
8.0A	Section - Building Stair
8.1A	Section - Building
8.2A	Section - Building
8.3A	Section - Misc
R1.0	Opt Bonus - Plan
R1.1	Opt Bonus - Elev
R1.2	Opt Bonus - Elev
R1.3	Opt Bonus - Elev
R1.4	Opt Bonus - Elev
R1.5	Opt Bonus - Roof
R1.6	Opt Bonus - Roof
R1.7	Opt Bonus - Roof
R1.8	Opt Bonus - Roof
R2.0	Opt Morning Room
R3.0	3rd Car Plan
R3.1	3rd Car Elevation
R4.0	Garage Storage Plan
R4.1	Garage Storage elevation
R5.0	Garage Extension
R6.0	Opt Veranda
R6.1	Opt Veranda
R6.2	Opt Veranda #2
R6.3	Opt Veranda #2
R6.4	Opt Veranda #2
R6.5	Opt Veranda #2
R7.0	Opt Lookout
R7.1	Opt Lookout
R8.0	Opt Walkout
R8.1	Opt Walkout

Revisions			
DATE	C.O #	Description	Drafter

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

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MI Homes Indianapolis Region  
Architecture Department  
8425 Woodfield Crossing Blvd.  
Indianapolis, IN 46240  
Ph 317.255.9900

MI HOMES

KENTMORE

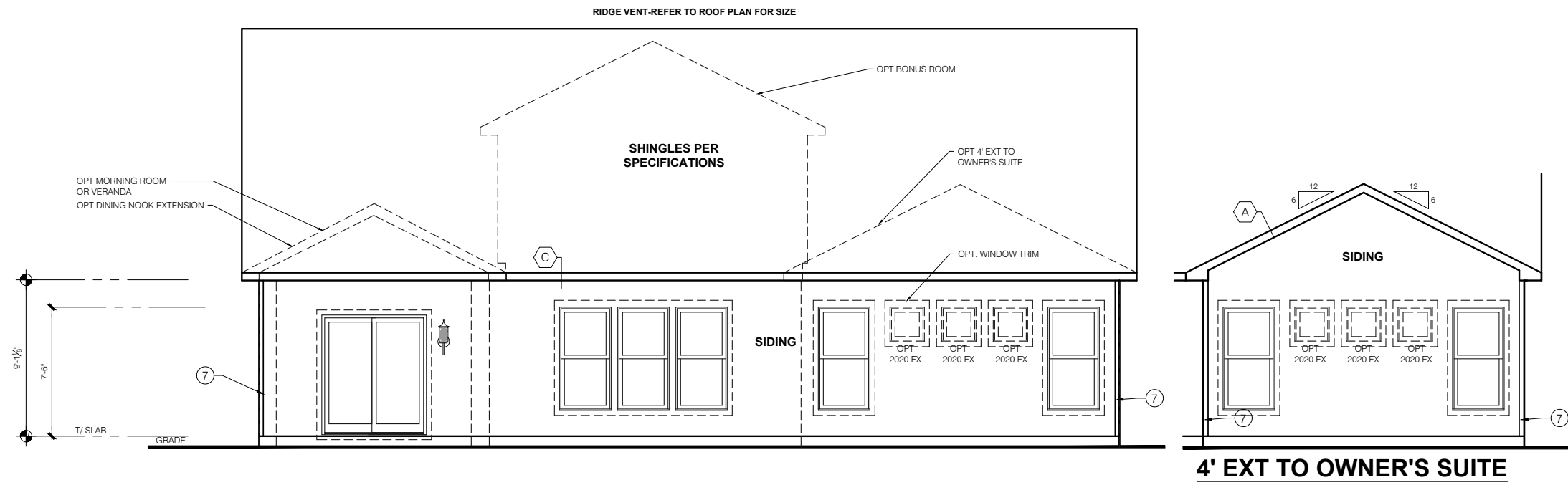
Job #: --  
LSP Date: -----  
LSP By: --  
LSP Rev: -----  
Sheet Title :  
Cover Sheet  
Indianapolis  
Sheet:  
**0.0A**

Issued Date: 06-17-22  
BASE PLAN REVISION:

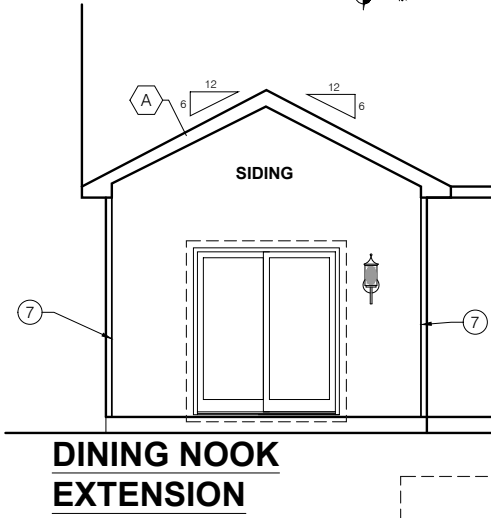
Elevation - A



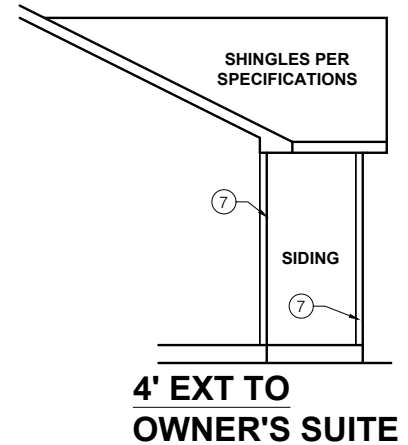
TYPICAL EXTERIOR TRIM FINISH	
THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.	
①	= 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
②	= 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
③	= 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
④	= 10" TRIM
⑤	= 12" TRIM
⑥	FRONT CORNERS = 6" TRIM PER DIVISION
⑦	REAR CORNERS = 4" TRIM PER DIVISION
DIVISION NOTE:	
IT IS THE RESPONSIBILITY OF EACH DIVISION TO DETERMINE, AT A DIVISIONAL LEVEL AS WELL AS COMMUNITY SPECIFIC LEVEL, THE DESIRED FINISH REQUIREMENTS OF SPECIFIC TRIM PIECES; WHETHER PAINTED, VINYL, OR ALUMINUM WRAPPED.	
WINDOW GRIDS	
-FRONT WINDOW GRIDS ARE STANDARD	
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS	
-GRID PATTERNS TO MATCH FRONT ELEVATION	
ELEVATION	
ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS	
GARAGE DOOR WINDOWS	
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT	



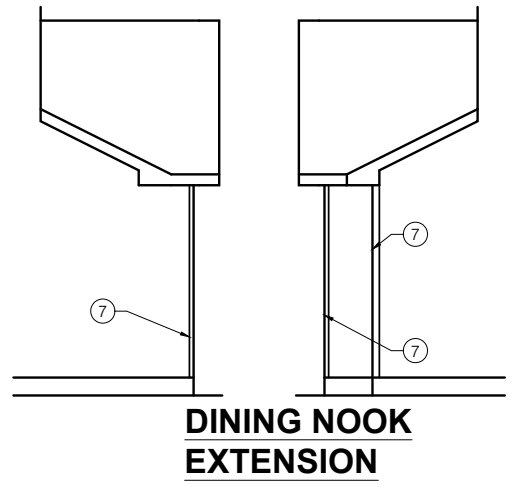
**ELEVATION "A"**  
**REAR ELEVATION-SLAB**  
 SCALE: 1/4" = 1'-0"



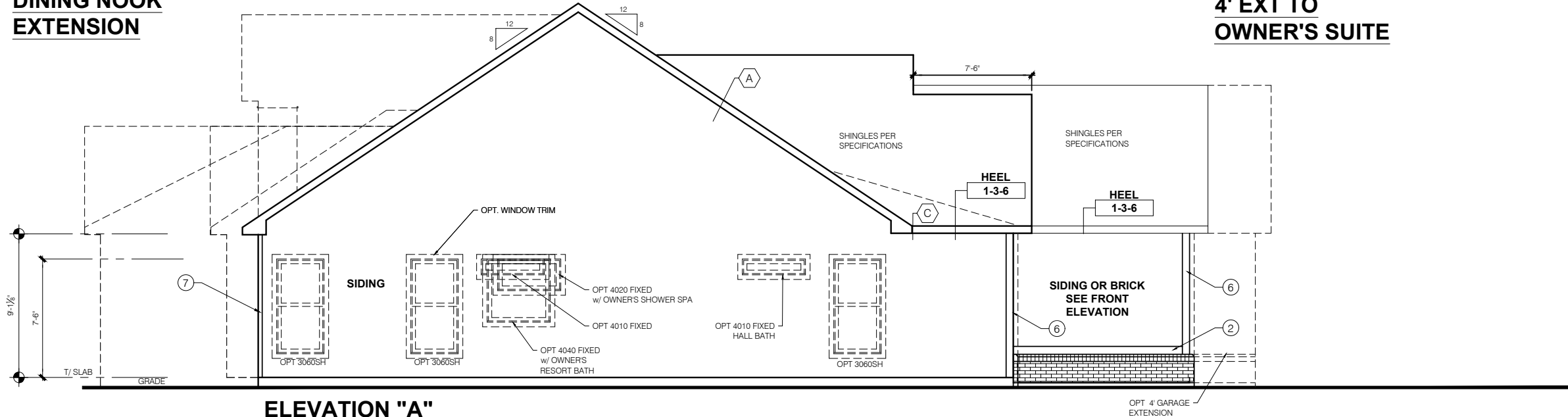
**DINING NOOK EXTENSION**



**4' EXT TO OWNER'S SUITE**



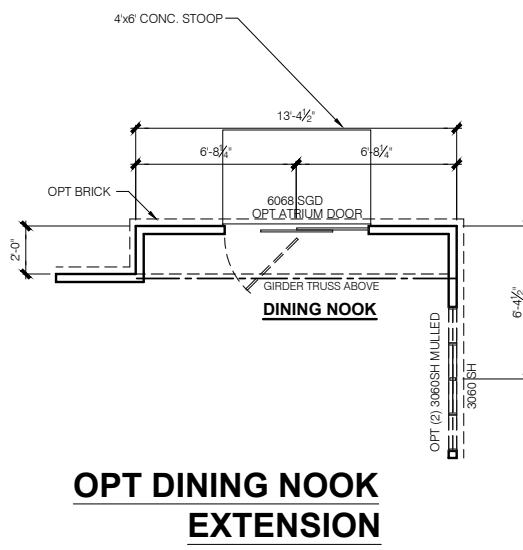
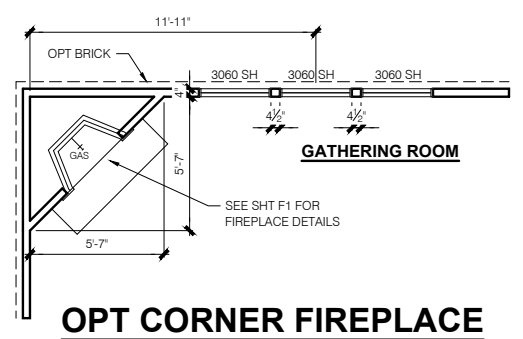
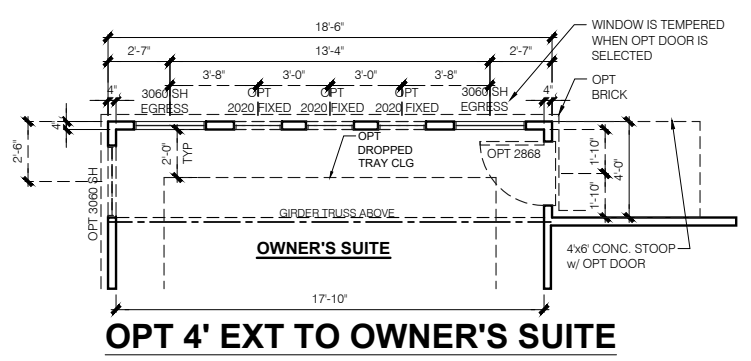
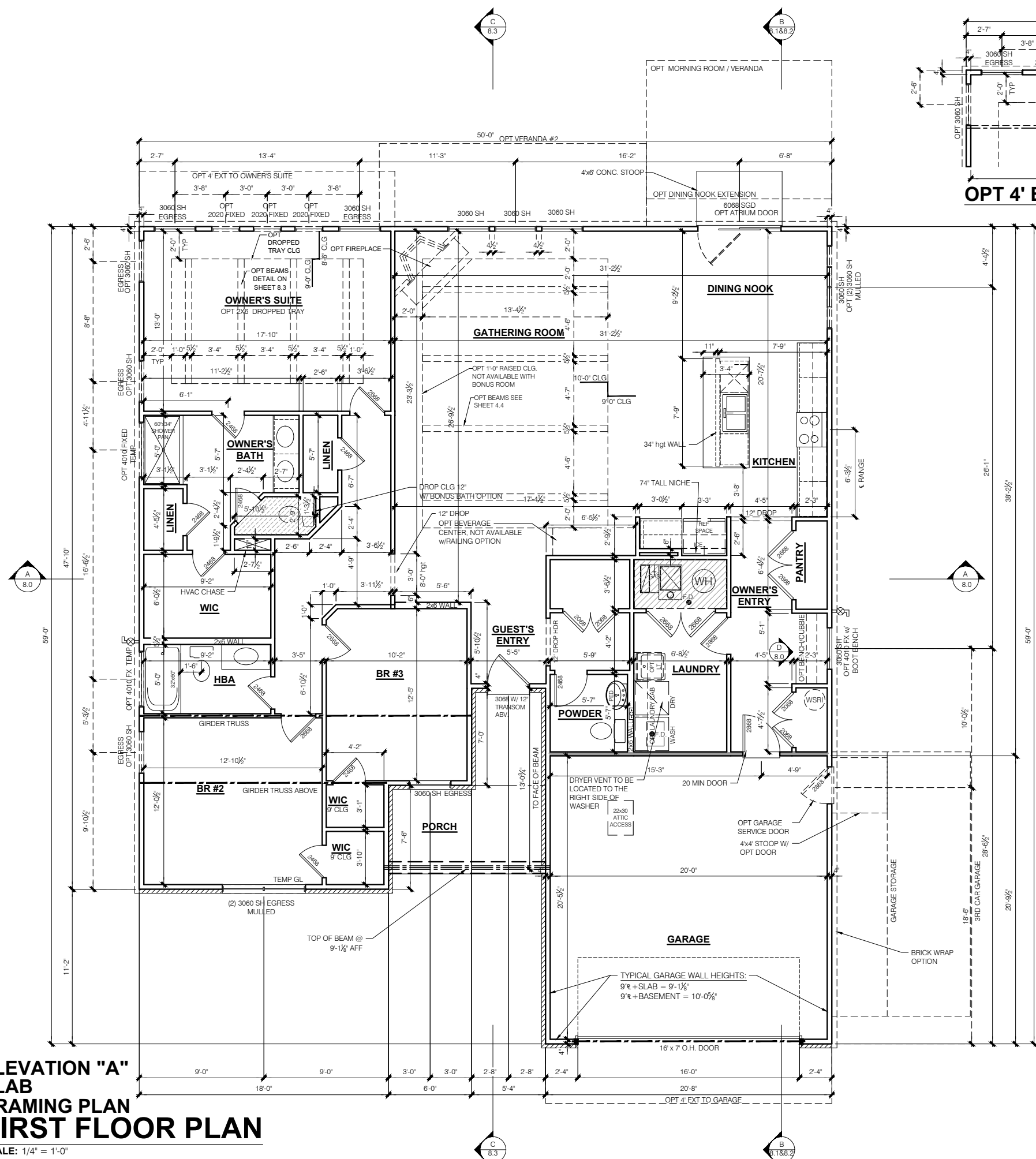
**DINING NOOK EXTENSION**



**ELEVATION "A"**  
**SIDE ELEVATION-SLAB**  
 SCALE: 1/4" = 1'-0"

**ELEVATION "A"  
SLAB  
FRAMING PLAN  
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4") STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4") STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4s U.N.O. (3/2)
  - EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" GWB. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

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Architecture Department  
8425 Woodfield Crossing Blvd.  
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Ph 317.255.9900

**M/I HOMES**

**KENTMORE**

Job #: --  
LSP Date: --  
LSP By: --  
LSP Rev: --  
Sheet Title : 1st Fl Plan - Slab No Bonus  
Sheet: 4.0A

Issued Date: 06-17-22  
BASE PLAN REVISION:



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FLR - FLOOR	¢ - PLATE	WIC - WALK IN CLOSET
FPHB - FROST PROTECTED HOSE BIB	R. BATH - RETREAT BATH	
FTG - FOOTING	REF - REFRIGERATOR	
GWB - GYPSUM WALL BOARD	REQD - REQUIRED	
H. BATH - HALL BATH	RET - RETREAT	
ILO - IN LIEU OF	RI - ROUGH IN	
	SCH - SCHEDULE	

Sheet List Table	
Sheet Number	Sheet Title
0.0B	Cover Sheet Indianapolis
1.0B	Front and Garage Elevations
1.1B	Rear and Side Elevations
1.2B	Front Material Opt Elevations
2.0B	Slab Fdn
2.1B	Slab Fdn wBONUS
2.2B	Slab Fdn - Brick Wrap
2.3B	Slab Fdn wBONUS - Brick Wrap
2.4B	Full Basement Fdn
2.5B	Full Basement Fdn - Brick Wrap
2.6B	Finished Basement
2.7B	Finished Basement with Bath
2.8B	Finished Bsmt with Bath and Bed
3.0B	First Floor Subfloor
4.0B	1st FI Plan - Slab No Bonus
4.1B	1st FI Plan - Basement No Bonus
4.2B	1st FI Plan - Slab w Bonus
4.3B	1st FI Plan - Basement w Bonus
4.4B	Floorplan Options
M1.0B	1st FI MEP Plan - Slab no Bonus
M1.1B	1st MEP Plan - Basement no Bonus
M1.2B	1st FI MEP Plan - Slab w Bonus
M1.3B	1st MEP Plan - Basement w Bonus
M1.4	Floorplan Options MEP
7.0B	Roof Plan - Base Roof
8.0B	Section - Building Stair
8.1B	Section - Building
8.2B	Section - Building
8.3B	Section - Misc
R1.0	Opt Bonus - Plan
R1.1	Opt Bonus - Elev
R1.2	Opt Bonus - Elev
R1.3	Opt Bonus - Elev
R1.4	Opt Bonus - Elev
R1.5	Opt Bonus - Roof
R1.6	Opt Bonus - Roof
R1.7	Opt Bonus - Roof
R1.8	Opt Bonus - Roof
R2.0	Opt Morning Room
R3.0	3rd Car Plan
R3.1	3rd Car Elevation
R4.0	Garage Storage Plan
R4.1	Garage Storage elevation
R5.0	Garage Extension
R6.0	Opt Veranda
R6.1	Opt Veranda
R6.2	Opt Veranda #2
R6.3	Opt Veranda #2
R6.4	Opt Veranda #2
R6.5	Opt Veranda #2

11x17 PRINTS ARE ½ SCALE

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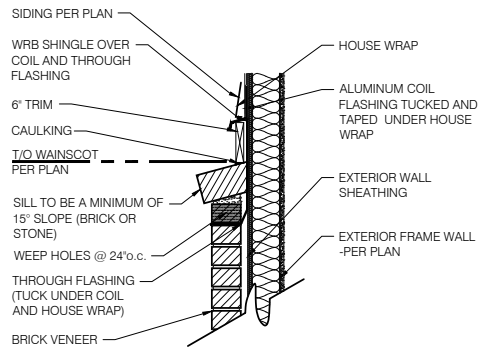
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Job #: --  
LSP Date: -----  
LSP By: --  
LSP Rev: -----  
Sheet Title :  
Cover Sheet  
Indianapolis

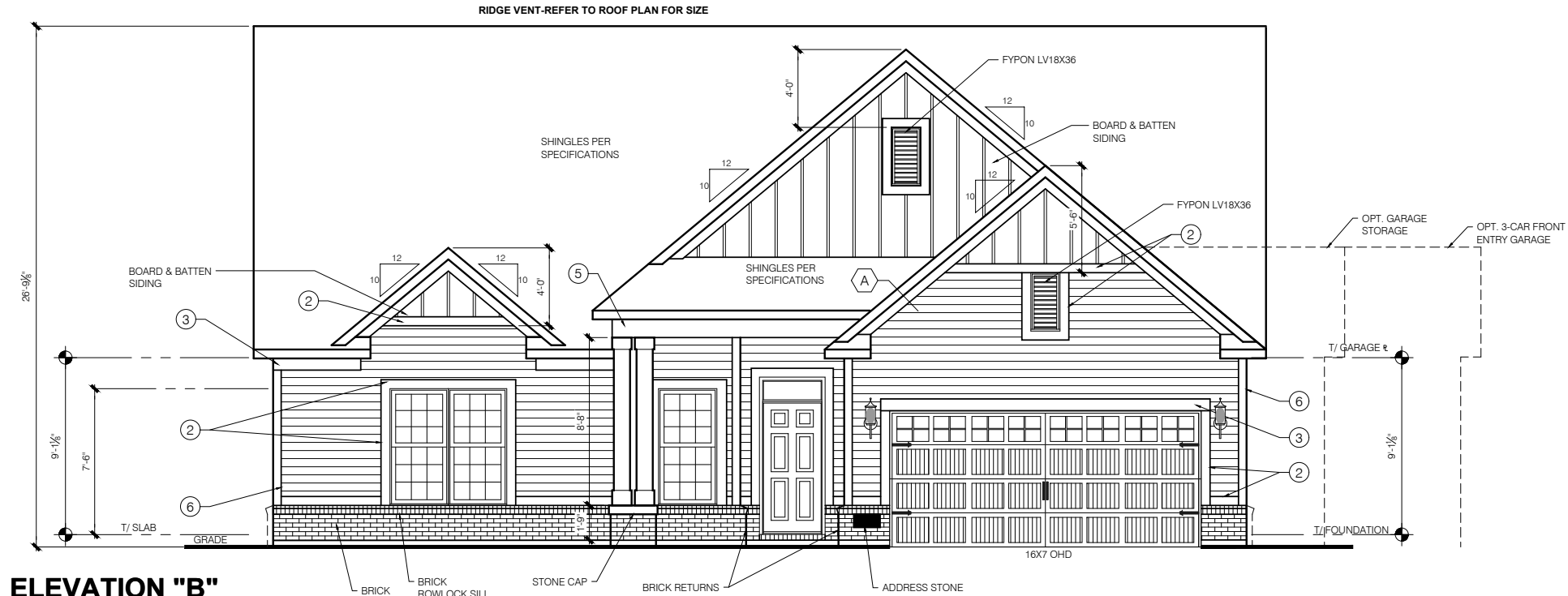
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**Elevation - B**



**1 BRICK WAINSCOT DETAIL**

SCALE: 1" = 1'-0"



**ELEVATION "B"  
9' PLATE  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**

THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

- ① = 4" TRIM (1x4, 5/4x4, 3/2" VINYL LINEAL)
- ② = 6" TRIM (1x6, 5/4x6, 5" VINYL LINEAL)
- ③ = 8" TRIM (1x8, 5/4x8, 7" VINYL LINEAL)
- ④ = 10" TRIM
- ⑤ = 12" TRIM
- ⑥ FRONT CORNERS = 6" TRIM PER DIVISION
- ⑦ REAR CORNERS = 4" TRIM PER DIVISION

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**WINDOW GRIDS**

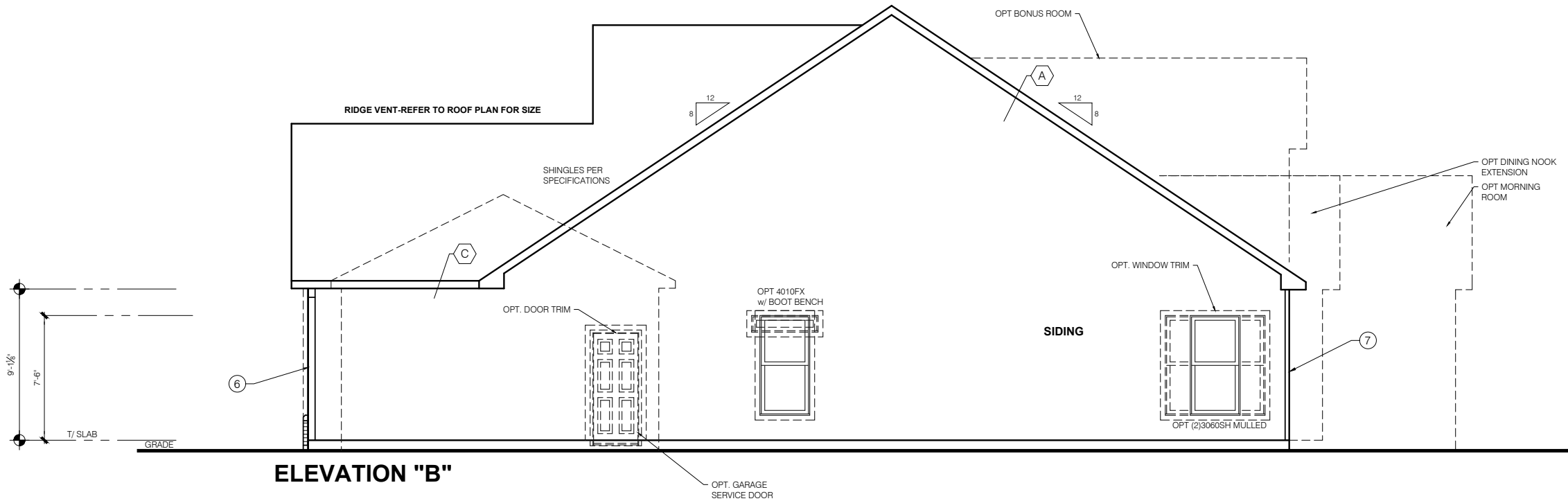
-FRONT WINDOW GRIDS ARE STANDARD  
-SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS  
-GRID PATTERNS TO MATCH FRONT ELEVATION

**ELEVATION**

ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS

**GARAGE DOOR WINDOWS**

PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



**ELEVATION "B"**

**GARAGE SIDE ELEVATION-SLAB**

SCALE: 1/4" = 1'-0"

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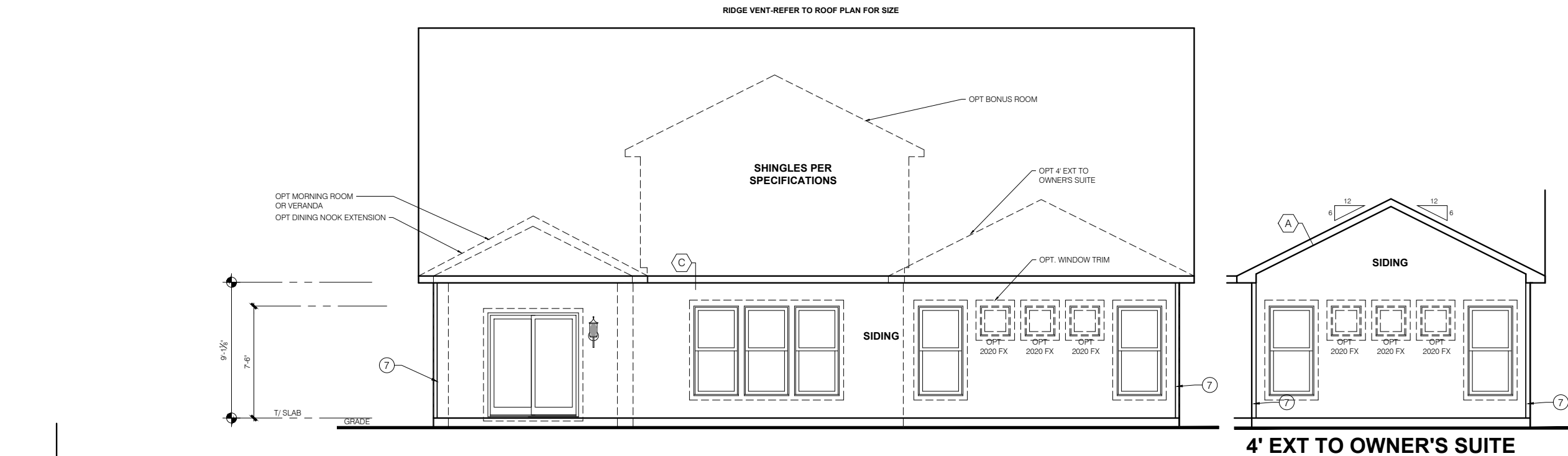
PRESTIGE SERIES

KENTMORE

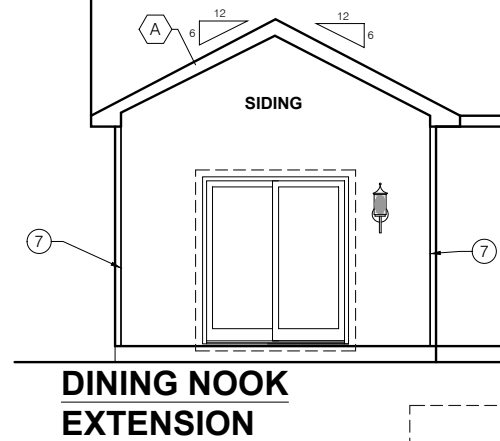
11x17 PRINTS ARE 1/2 SCALE

Job #: --  
LSP Date: -----  
LSP By: --  
LSP Rev: -----  
Sheet Title :  
Front and Garage  
Elevations

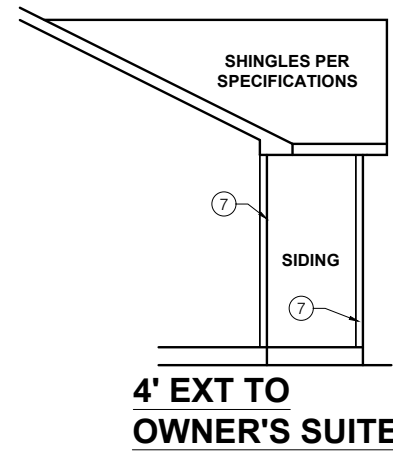
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1.0B



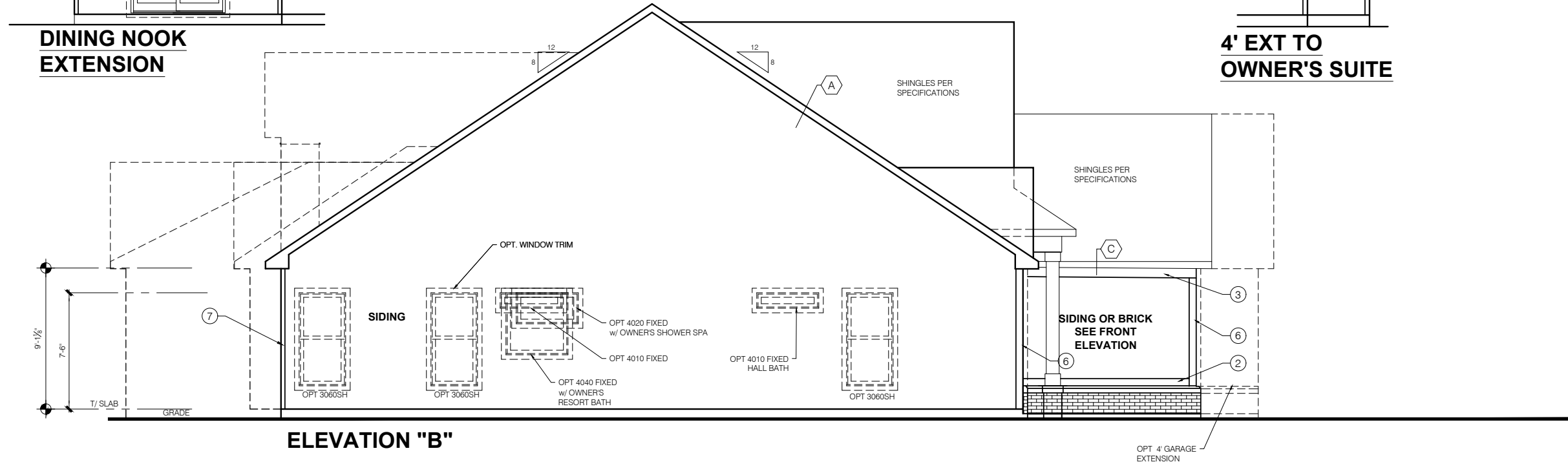
**ELEVATION "B"**  
**REAR ELEVATION-SLAB**  
 SCALE: 1/4" = 1'-0"



**DINING NOOK EXTENSION**

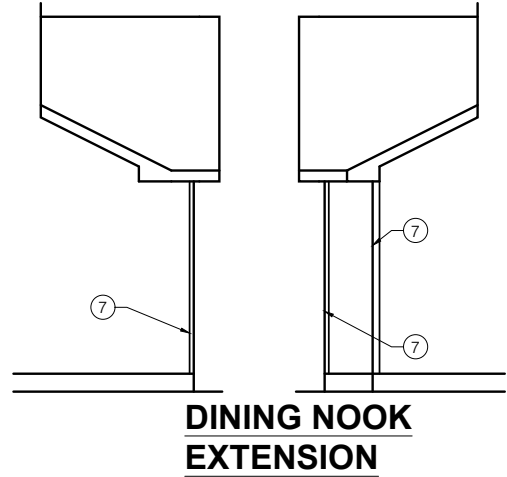


**4' EXT TO OWNER'S SUITE**



**ELEVATION "B"**  
**SIDE ELEVATION-SLAB**  
 SCALE: 1/4" = 1'-0"

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 PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



**DINING NOOK EXTENSION**

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 Architecture Department  
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**KENTMORE**

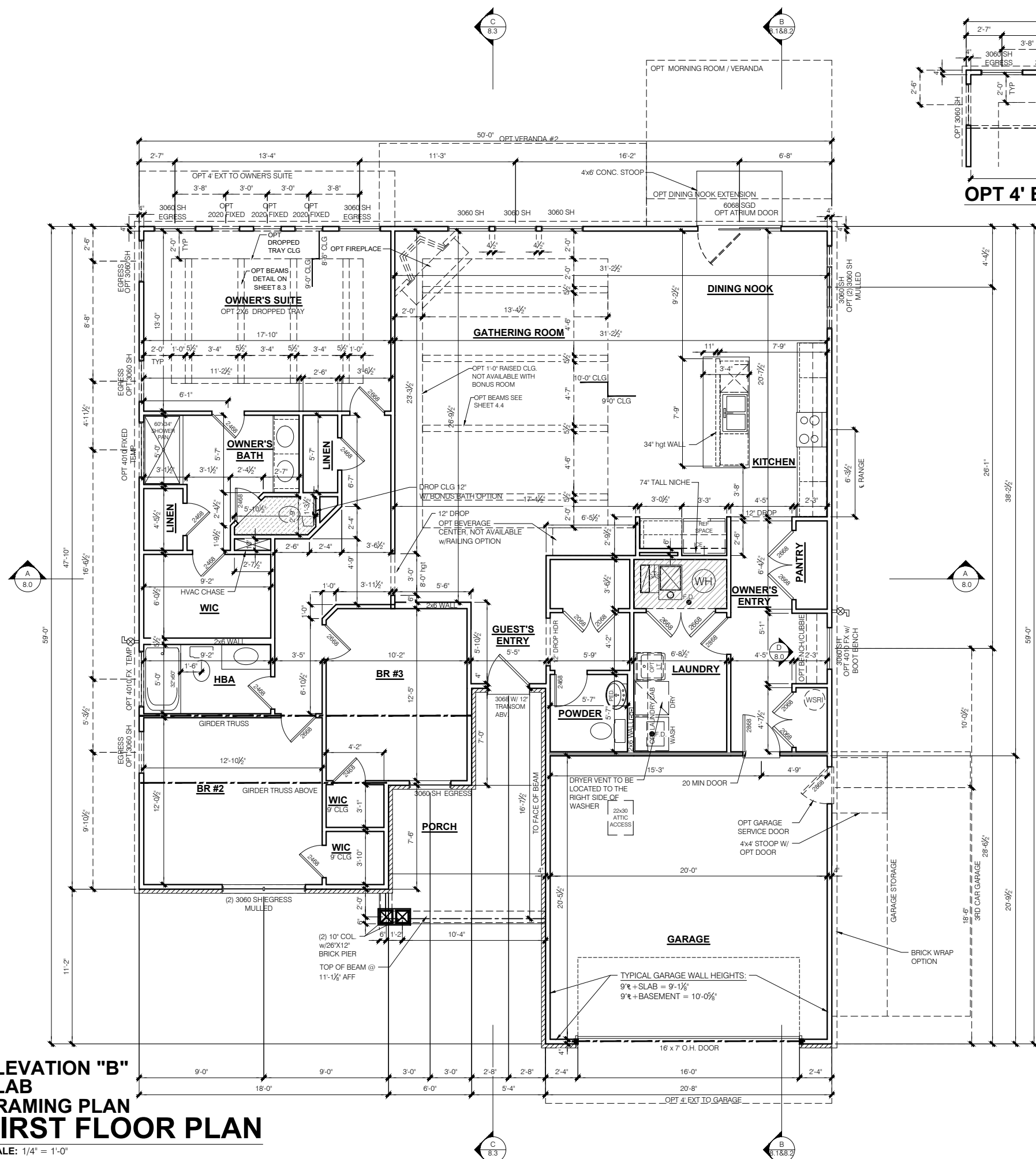
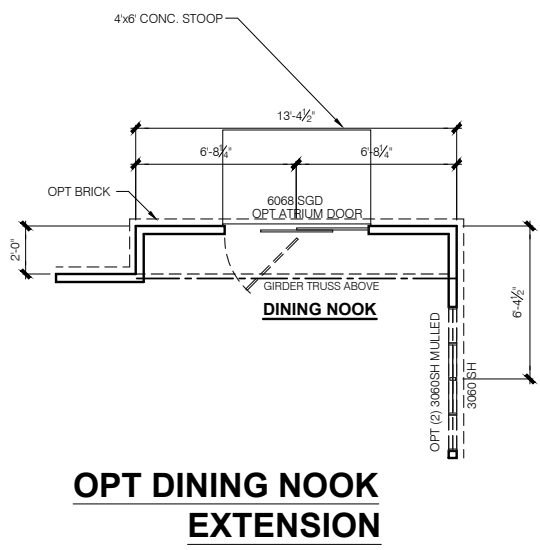
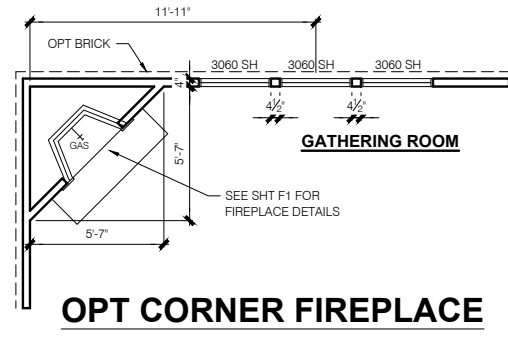
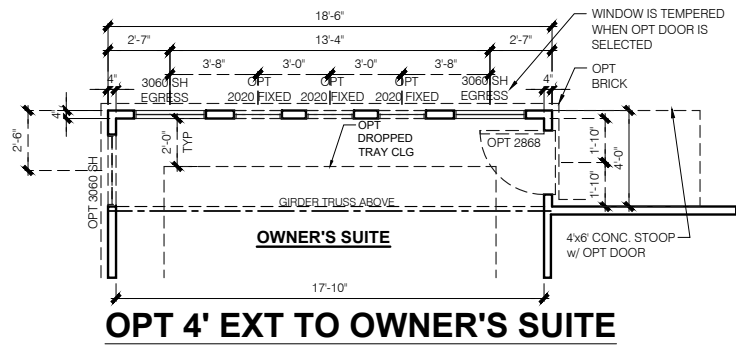
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11x17 PRINTS ARE 1/2 SCALE

Job #: ---  
 LSP Date: ---  
 LSP By: ---  
 LSP Rev: ---  
 Sheet Title :  
 Rear and Side Elevations  
 Sheet:  
**1.1B**



- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C.(2x4), 24" O.C.(2x6) W/ DBL TOP PLATE
- 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4") STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4") STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4s U.N.O. (3/2)
- EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 3/8" GWB. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION



**ELEVATION "B" SLAB FRAMING PLAN FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS. RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2¼ INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN ½" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ⅞" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2½ SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

SQUARE FOOTAGE - ELEV "C"	
1ST FLOOR	2098
<b>TOTAL HEATED</b>	<b>2098</b>
GARAGE	435
FRONT PORCH	104
OPT FULL BASEMENT	1983
OPT 3RD CAR FRONT LOAD	191
OPT GARAGE STORAGE	76
OPT 4' GARAGE EXTENSION	89
OPT DINING NOOK EXTENSION	+27
OPT 4' EXTENSION TO OWNER'S SUITE	+75
OPT MORNING ROOM	+161
OPT VERANDA	+161
OPT BONUS ROOM	+542
OPT BONUS ROOM w/ BATH	+598
OPT FINISHED BASEMENT	+1035
OPT FINISHED BASEMENT w/ BATH	+1086
OPT FINISHED BASEMENT w/ BATH AND BED	+1246

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions			
DATE	C.O #	Description	Drafter



**MI HOMES**  
PRESENTS  
**Kentmore**  
**"Elevation C"**  
**Owner's Name**  
**CONSTRUCTION SET**  
**ADDRESS**  
**LOT #**  
**2x4 EXTERIOR WALLS**


MI HOMES - COMMON ABBREVIATIONS ON PRINTS		
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL CONC. - CONCRETE	OC - ON CENTER	T/ - TOP
¢ - CENTERLINE	OH - OVERHANG	TEMP - TEMPERED
DBL - DOUBLE	OPT - OPTIONAL	THK'D - THICKENED
DH - DOUBLE HUNG	PC - PULL CHAIN	TYP - TYPICAL
DIA - DIAMETER	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DN - DOWN	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DW - DISH WASHER	PT - PRESSURE TREATED	w/ - WITH
FD - FLOOR DRAIN	PTRY - PANTRY	WD - WOOD
FDN - FOUNDATION	PWD - POWDER	WH - WATER HEATER
FLR - FLOOR	¢ - PLATE	WIC - WALK IN CLOSET
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11x17 PRINTS ARE ½ SCALE

PRESTIGE SERIES

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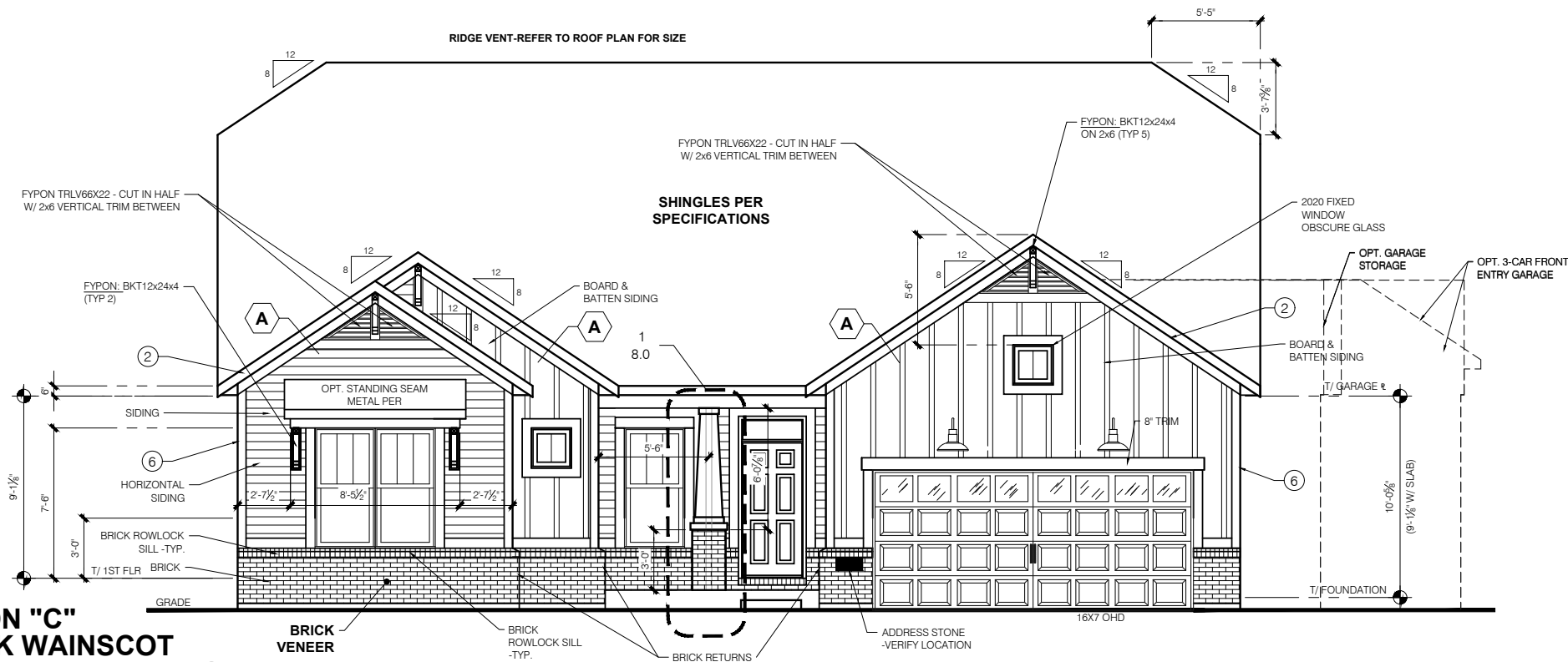
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Ph 317.255.9900

Job #: --  
LSP Date: -----  
LSP By: --  
LSP Rev: -----  
Sheet Title :  
Cover Sheet  
Indianapolis

Sheet: **0.0C**

**Elevation - C**



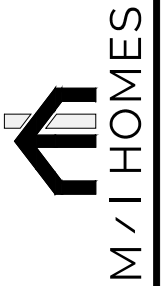
**ELEVATION "C"  
STD BRICK WAINSCOT  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

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<b>WINDOW GRIDS</b> -FRONT WINDOW GRIDS ARE STANDARD -SIDE AND REAR WINDOW GRIDS ARE OPTIONS PER COMMUNITY SPECIFICATIONS -GRID PATTERNS TO MATCH FRONT ELEVATION	
<b>ELEVATION</b> ELEVATION DEPICTED IS A REPRESENTATIVE SAMPLE WHICH WILL VARY BASED ON FOUNDATION TYPE (SLAB OR BASEMENT) AND FINAL GRADING REQUIREMENTS	
<b>GARAGE DOOR WINDOWS</b> PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT	

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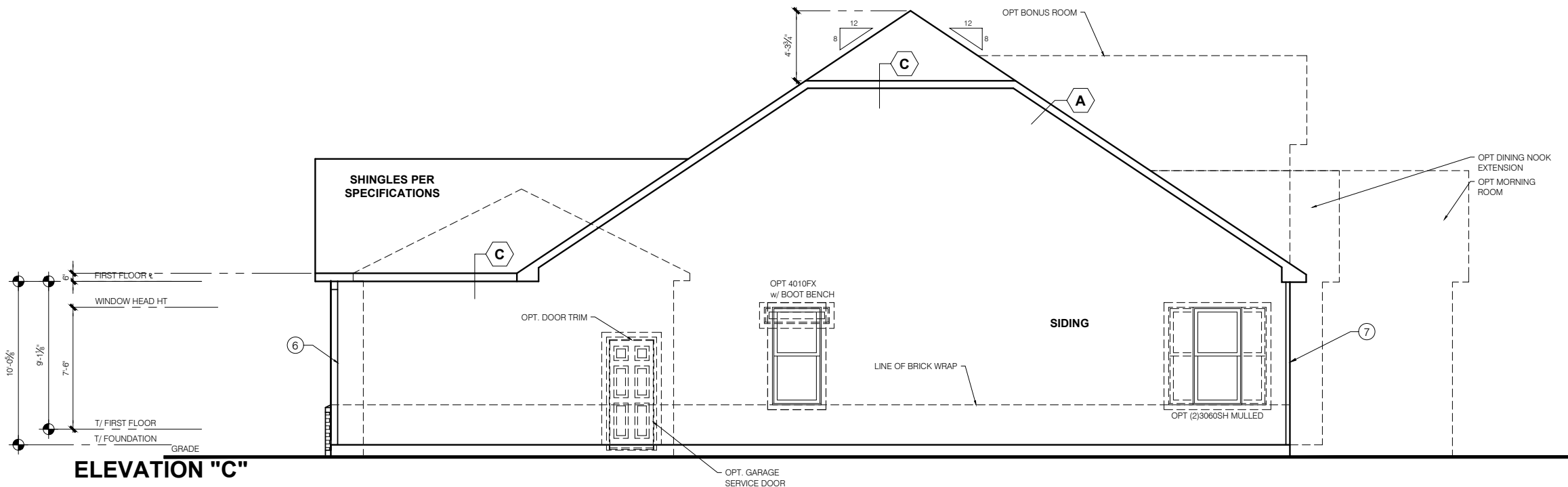


KENTMORE

11x17 PRINTS ARE 1/2 SCALE

Job #: --  
LSP Date: --  
LSP By: --  
LSP Rev: --  
Sheet Title :  
Front and Garage Elevations

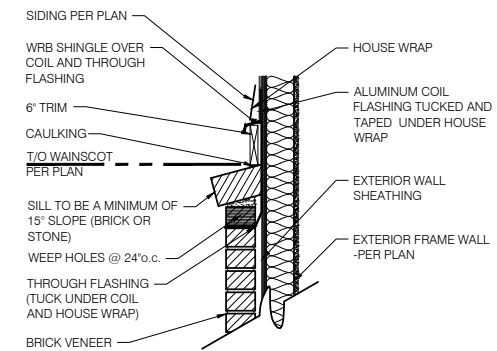
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**ELEVATION "C"**

**GARAGE SIDE ELEVATION**

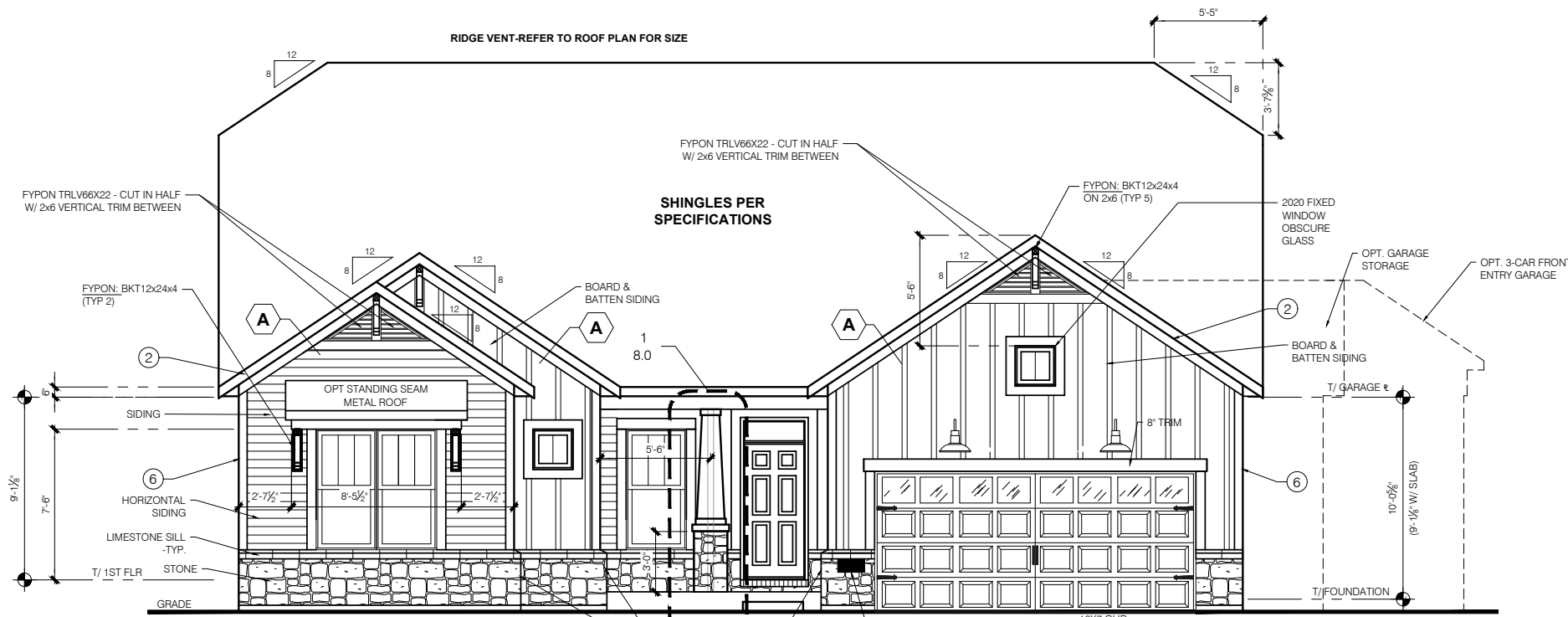
SCALE: 1/4" = 1'-0"



**1 BRICK WAINSCOT DETAIL**  
SCALE: 1" = 1'-0"

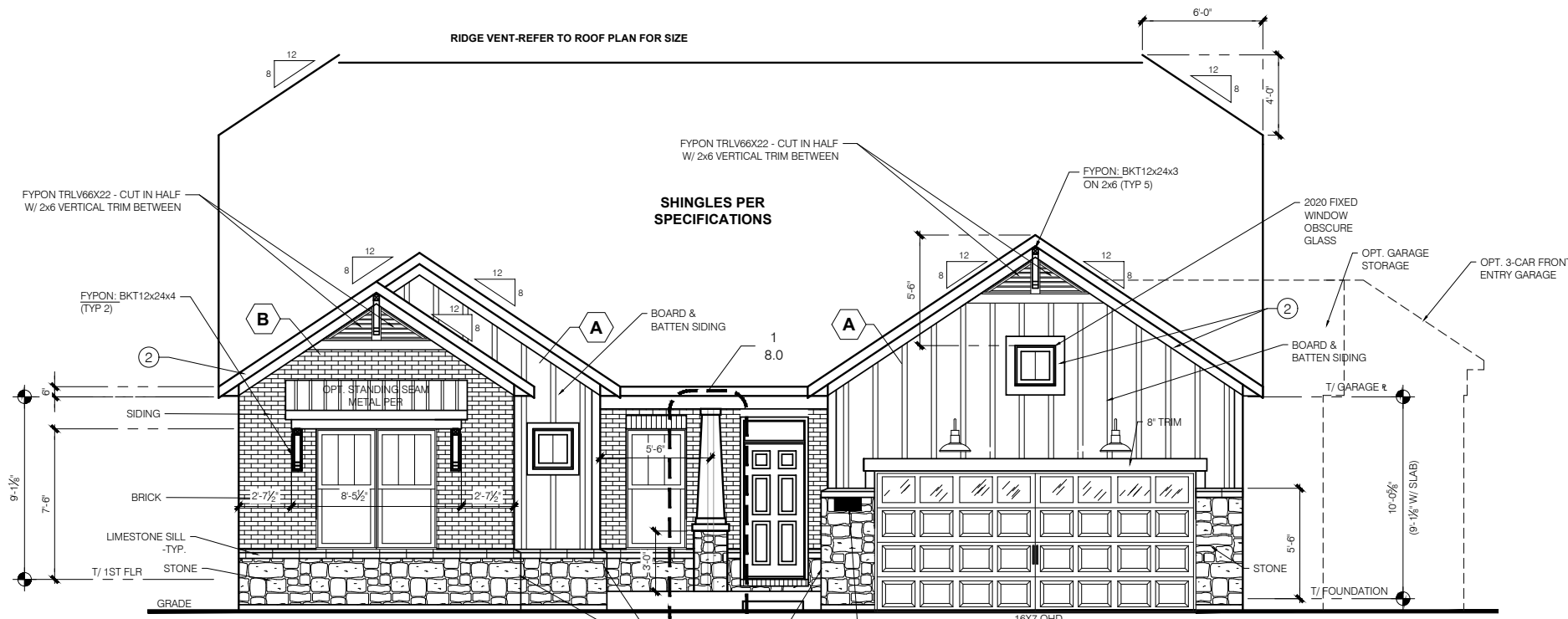






**ELEVATION "C"  
OPT STONE WAINSCOT  
FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE



**ELEVATION "C"  
OPT BRICK & STONE  
FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

STONE SHOWN IS 4" NOMINAL CAST STONE

**TYPICAL EXTERIOR TRIM FINISH**  
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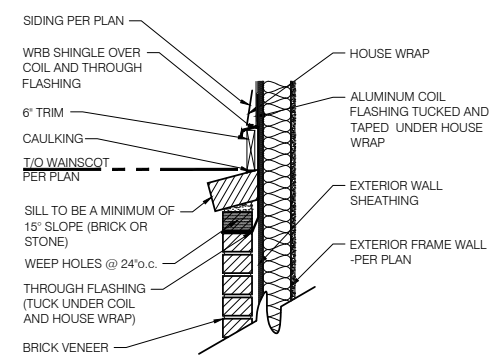
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**GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS. ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



**1 BRICK WAINSCOT DETAIL**  
SCALE: 1" = 1'-0"

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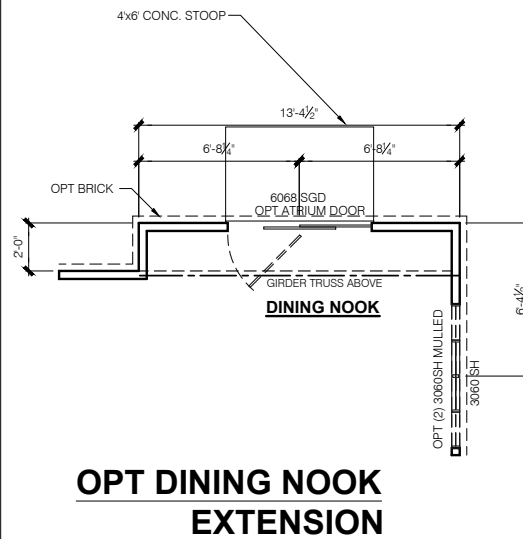
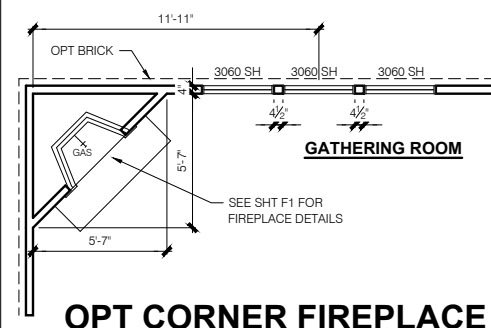
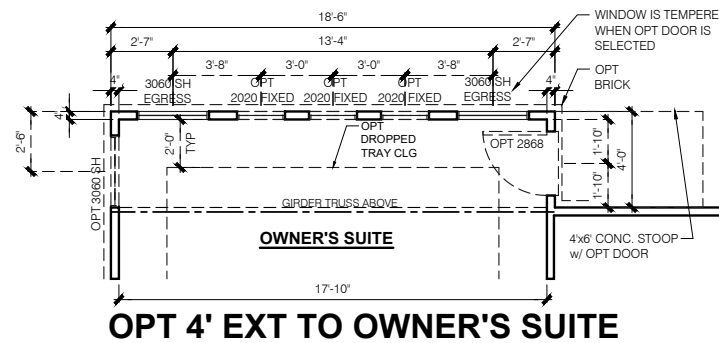
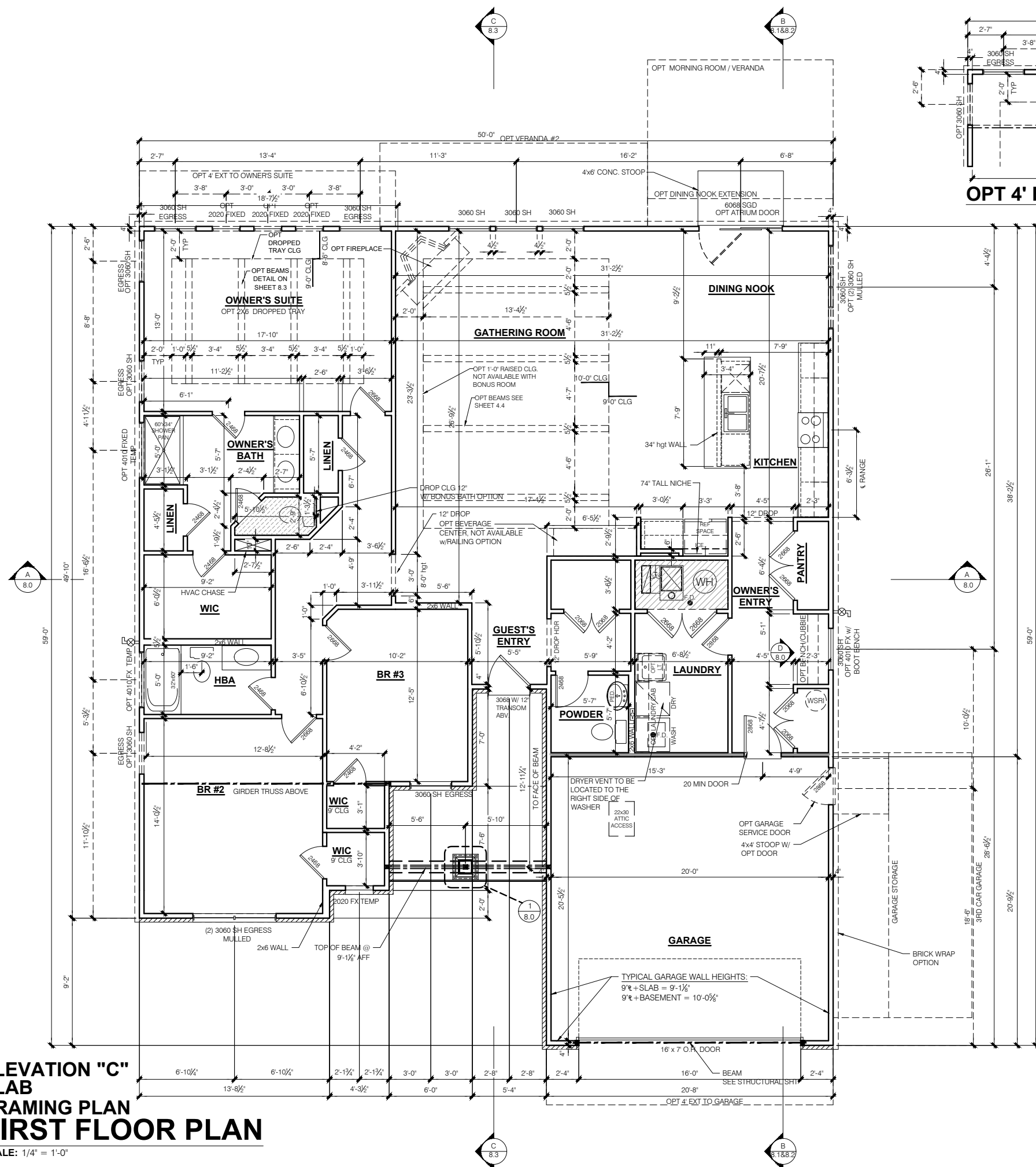
11x17 PRINTS ARE 1/2 SCALE

Issued Date: 06-17-22  
 BASE PLAN REVISION:

Job #: ---  
 LSP Date: ---  
 LSP By: ---  
 LSP Rev: ---  
 Sheet Title :  
 Front Material Opt Elevations  
 Sheet:  
**1.2C**

**ELEVATION "C"  
SLAB  
FRAMING PLAN  
FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



- FLOOR PLAN NOTES**
- NOTE:**
- INDICATES WALL HEIGHTS LOWER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES WALL HEIGHTS HIGHER THAN STANDARD HEIGHT- AS NOTED
  - INDICATES SLOPED WALLS - AS NOTED
  - INDICATES INTERIOR LOAD BEARING WALLS, FRAME 16" O.C. (2x4), 24" O.C. (2x6) W/ DBL. TOP PLATE
  - 1st FLOOR WALLS ARE 9'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 2nd FLOOR WALLS ARE 8'-1 1/8" HIGH UNLESS NOTED OTHERWISE
  - 1st FLOOR WINDOW HEAD HEIGHT IS 7'-6" UNLESS NOTED OTHERWISE
  - 2nd FLOOR WINDOW HEAD HEIGHT IS 7'-0" UNLESS NOTED OTHERWISE
  - SEE STRUCTURAL PLANS FOR ALL STRUCTURAL BEAMS, HEADERS AND POSTS SIZES
  - ALL POINT LOADS TO BE BLOCKED SOLID TO FINAL SUPPORT MEMBER OR FOUNDATION.
  - EXTERIOR WALLS AT CONDITIONED SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
  - WALLS ADJACENT TO ATTIC SPACES ARE 2x4s W/ 1/2" NOMINAL SHEATHING U.N.O. (4) STUDS @ 16" O.C. U.N.O.
  - INTERIOR WALLS ARE 2x4s U.N.O. (3/2")
  - EXTERIOR WALLS ARE SHOWN WITH 1/2" NOMINAL SHEATHING WHICH IS HELD FLUSH WITH THE OUTSIDE OF THE FOUNDATION
- GARAGE DRYWALL NOTE**  
ALL GARAGE / HOUSE COMMON WALLS, CEILINGS, BEAMS, COLUMNS THAT SUPPORT FLOOR-CEILING ASSEMBLY ABOVE TO ABOVE HAVE 1/2" GWB. CEILING TO BE 5/8" TYP "X" FIRECODE DRYWALL BELOW HABITABLE SPACES.
- GARAGE DOOR WINDOWS**  
PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT
- STRUCTURAL NOTE**  
SEE STRUCTURAL PLANS FOR ALL STRUCTURAL INFORMATION

**PRESTIGE SERIES**  
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 LSP Date: --  
 LSP By: --  
 LSP Rev: --  
 Sheet Title :  
 1st Fl Plan - Slab No Bonus  
 Sheet:  
**4.0C**  
 Issued Date: 06-17-22  
 BASE PLAN REVISION:

**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DEDUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS, RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2 1/2 INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN 1/2" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT.
- OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY 1/2", CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2 1/2 SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE:  
STRICTEST PROVISIONS AS SET FORTH BY:  
2020 INDIANA RESIDENTIAL CODE  
2018 INTERNATIONAL RESIDENTIAL CODE  
2009 INDIANA ELECTRICAL CODE

**SQUARE FOOTAGE - ELEV "D"**

1ST FLOOR	2125
<b>TOTAL HEATED</b>	<b>2125</b>
GARAGE	435
FRONT PORCH	107
OPT FULL BASEMENT	2009
OPT 3RD CAR FRONT LOAD	191
OPT GARAGE STORAGE	76
OPT 4' GARAGE EXTENSION	89
OPT DINING NOOK EXTENSION	+27
OPT 4' EXTENSION TO OWNER'S SUITE	+75
OPT MORNING ROOM	+161
OPT VERANDA	+161
OPT BONUS ROOM	+542
OPT BONUS ROOM w/ BATH	+598
OPT FINISHED BASEMENT	+1035
OPT FINISHED BASEMENT w/ BATH	+1086
OPT FINISHED BASEMENT w/ BATH AND BED	+1246

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

**Revisions**

DATE	C.O #	Description	Drafter



**MI HOMES**  
PRESENTS  
**KENTMORE**  
"Elevation D"  
Owner's Name  
**CONSTRUCTION SET**  
**ADDRESS**  
**LOT #**

**2x4 EXTERIOR WALLS**

**MI HOMES - COMMON ABBREVIATIONS ON PRINTS**

1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL CONC. - CONCRETE	OC - ON CENTER	T/ - TOP
¢ - CENTERLINE	OH - OVERHANG	TEMP - TEMPERED
DBL - DOUBLE	OPT - OPTIONAL	THK'D - THICKENED
DH - DOUBLE HUNG	PC - PULL CHAIN	TYP - TYPICAL
DIA - DIAMETER	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DN - DOWN	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DW - DISH WASHER	PT - PRESSURE TREATED	w/ - WITH
FD - FLOOR DRAIN	PTRY - PANTRY	WD - WOOD
FDN - FOUNDATION	PWD - POWDER	WH - WATER HEATER
FLR - FLOOR	¢ - PLATE	WIC - WALK IN CLOSET
FPHB - FROST PROTECTED HOSE BIB	R. BATH - RETREAT BATH	
FTG - FOOTING	REF - REFRIGERATOR	
GWB - GYPSUM WALL BOARD	REQ'D - REQUIRED	
H. BATH - HALL BATH	RET - RETREAT	
ILO - IN LIEU OF	RI - ROUGH IN	
	SCH - SCHEDULE	

**Sheet List Table**

Sheet Number	Sheet Title
0.0D	Cover Sheet Indianapolis
1.0D	Front and Garage Elevations
1.1D	Rear and Side Elevations
2.0D	Slab Fdn
2.1D	Slab Fdn wBONUS
2.2D	Slab Fdn - Brick Wrap
2.3D	Slab Fdn wBONUS - Brick Wrap
2.4D	Full Basement Fdn
2.5D	Full Basement Fdn - Brick Wrap
2.6D	Finished Basement
2.7D	Finished Basement with Bath
2.8D	Finished Basement with Bath and Bed
3.0D	First Floor Subfloor
4.0D	1st FI Plan - Slab No Bonus
4.1D	1st FI Plan - Basement No Bonus
4.2D	1st FI Plan - Slab w Bonus
4.3D	1st FI Plan - Basement w Bonus
4.4D	Floorplan Options
M1.0D	1st FI MEP Plan - Slab no Bonus
M1.1D	1st MEP Plan - Basement no Bonus
M1.2D	1st FI MEP Plan - Slab w Bonus
M1.3D	1st MEP Plan - Basement w Bonus
M1.4	Floorplan Options MEP
7.0D	Roof Plan - Base Roof
8.0D	Section - Building Stair
8.1D	Section - Building
8.2D	Section - Building
8.3D	Section - Misc
8.4	Section - Misc
R1.0	Opt Bonus - Plan
R1.1	Opt Bonus - Elev
R1.2	Opt Bonus - Elev
R1.3	Opt Bonus - Elev
R1.4	Opt Bonus - Elev
R1.5	Opt Bonus - Roof
R1.6	Opt Bonus - Roof
R1.7	Opt Bonus - Roof
R1.8	Opt Bonus - Roof
R2.0	Opt Morning Room
R3.0	3rd Car Plan
R3.1	3rd Car Elevation
R4.0	Garage Storage Plan
R4.1	Garage Storage elevation
R5.0	Garage Extension
R6.0	Opt Veranda
R6.1	Opt Veranda
R6.2	Opt Veranda #2
R6.3	Opt Veranda #2
R6.4	Opt Veranda #2
R6.5	Opt Veranda #2

PRESTIGE SERIES

11x17 PRINTS ARE 1/2 SCALE

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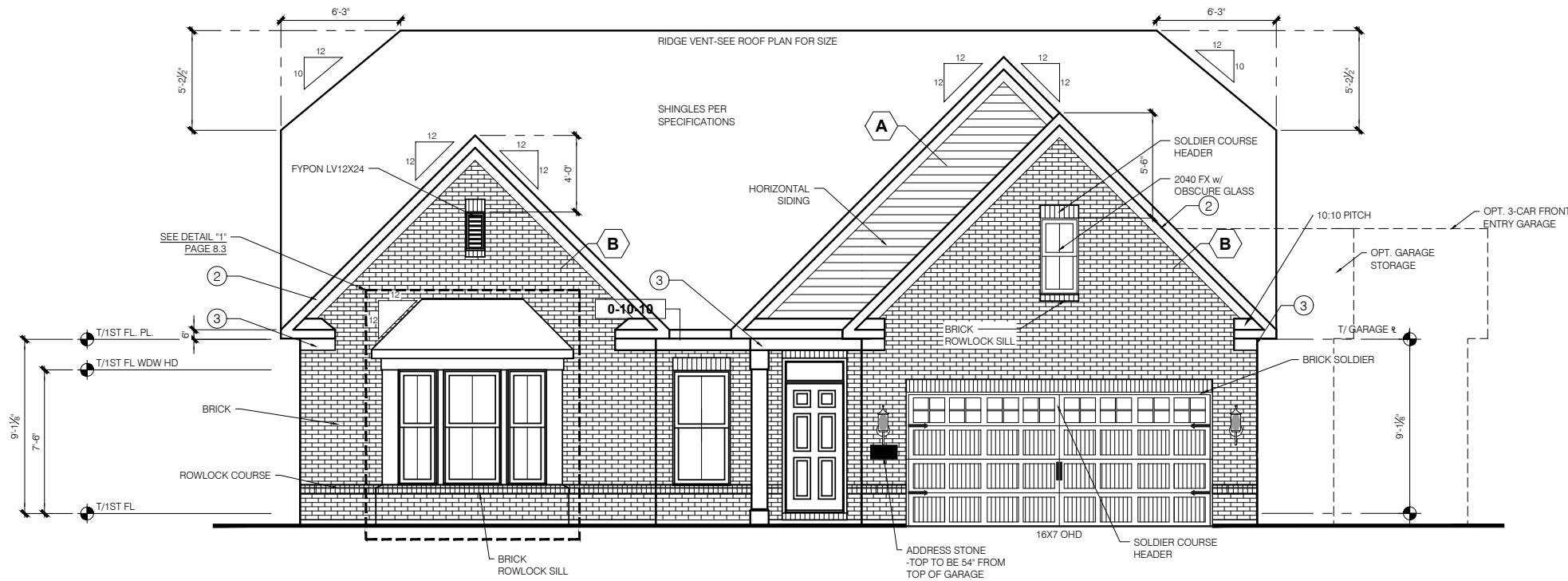
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Cover Sheet  
Indianapolis  
Sheet:  
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Issued Date: 06-17-22  
BASE PLAN REVISION:  
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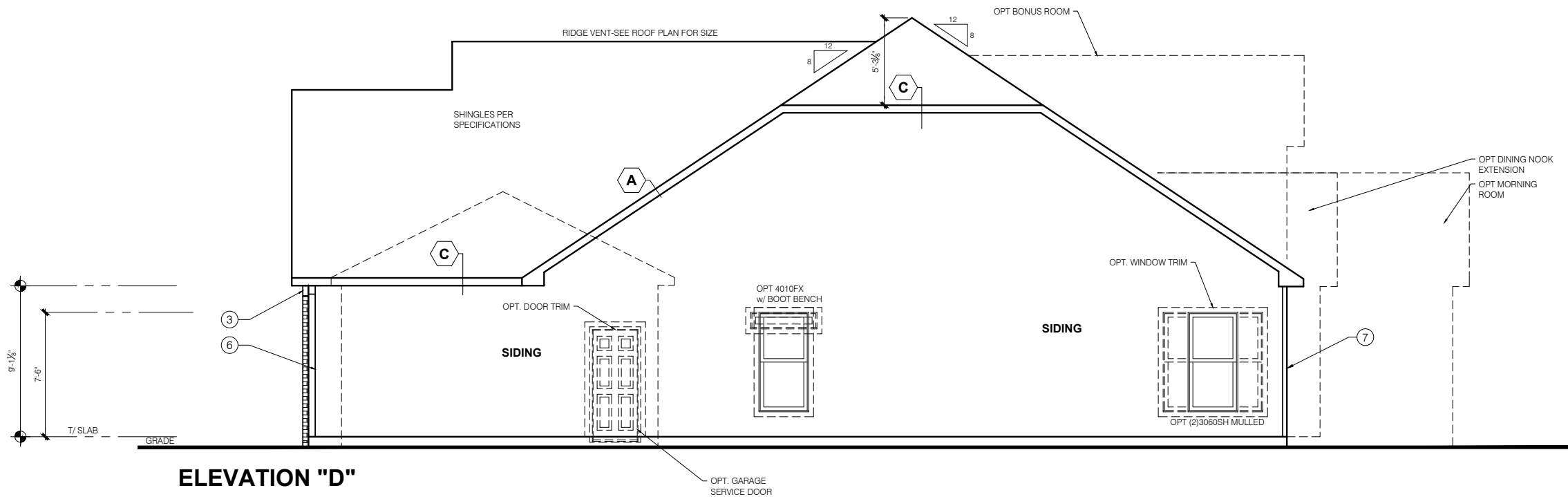
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**Elevation - D**



**ELEVATION "D"  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "D"  
GARAGE SIDE ELEVATION**

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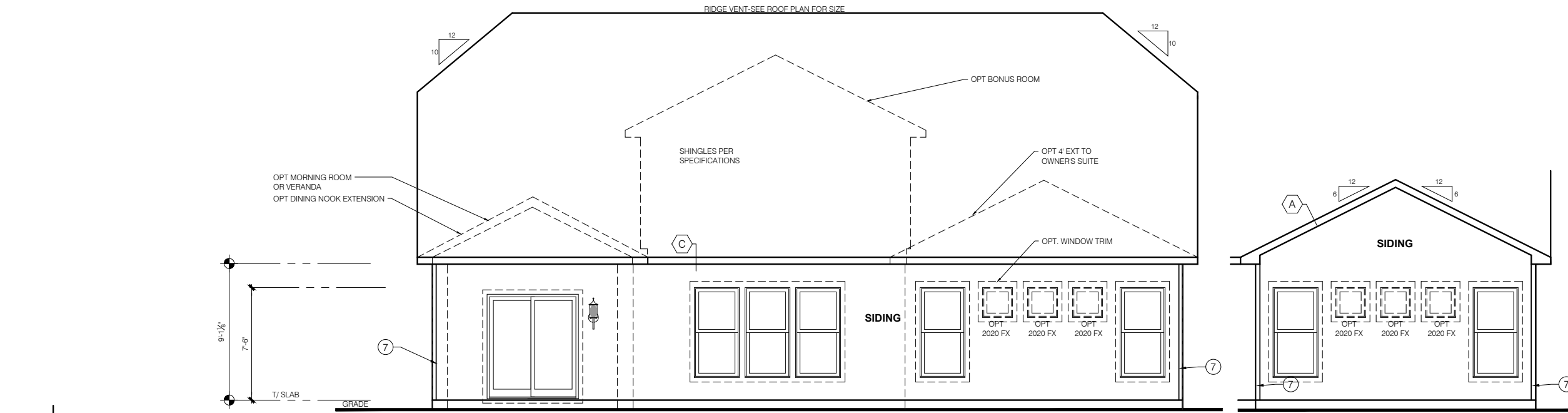
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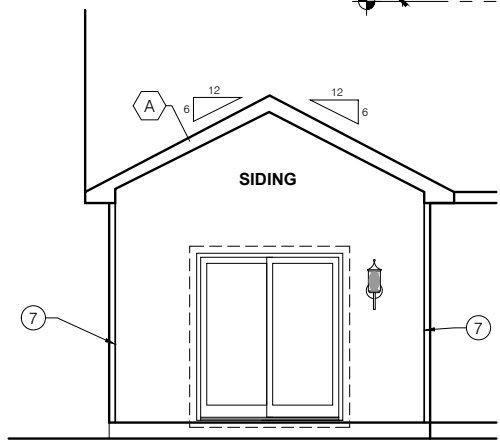
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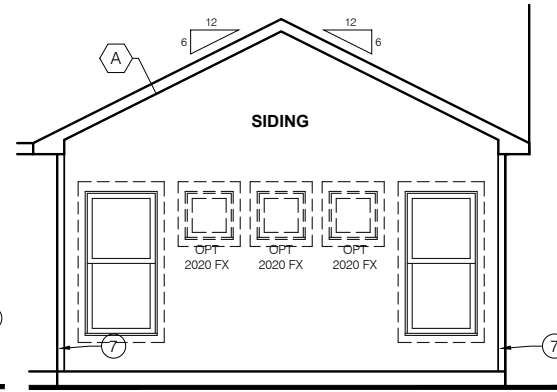
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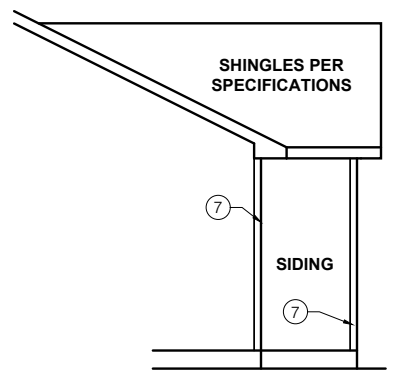
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**REAR ELEVATION**  
 SCALE: 1/4" = 1'-0"



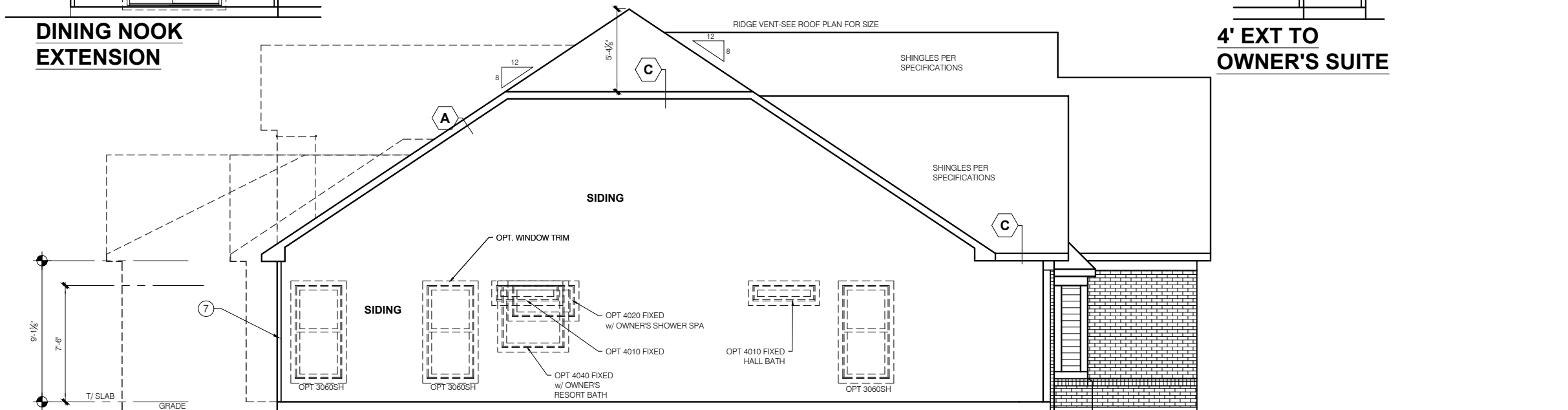
**DINING NOOK EXTENSION**



**4' EXT TO OWNER'S SUITE**



**4' EXT TO OWNER'S SUITE**



**ELEVATION "D"**  
**SIDE ELEVATION**  
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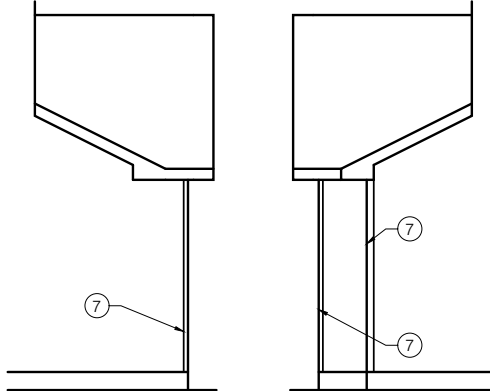
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**GARAGE DOOR WINDOWS**  
 PROVIDE GARAGE DOOR WINDOWS, ALL OVERHEAD GARAGE DOORS. SEE SELECTIONS FOR STYLE, QTY AND LAYOUT



**DINING NOOK EXTENSION**

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 M/I Homes Indianapolis Region  
 Architecture Department  
 8425 Woodfield Crossing Blvd.  
 Indianapolis, IN 46240  
 Ph 317.255.9900

**PRESTIGE SERIES**

**M/I HOMES**

**KENTMORE**

11x17 PRINTS ARE 1/2" SCALE

Job #: ---  
 LSP Date: ---  
 LSP By: ---  
 LSP Rev: ---  
 Sheet Title :  
 Rear and Side Elevations  
 Sheet:  
**1.1D**



**GENERAL ARCHITECTURAL NOTES**

- ALL BATHROOM EXHAUST FANS TO VENT TO THE OUTSIDE
- ALL CLOTHES DRYER EXHAUSTS TO VENT TO THE OUTSIDE. THE LENGTH OF DRYER EXHAUST RUN IS 35'-0" MAXIMUM WITH A 5'-0" DUCT FOR EACH 90° ELBOW. CONTRACTOR TO VERIFY INSTALLATION LOCATION PRIOR TO INSTALL.
- INSULATION EXPOSED TO ATTIC AND/OR CRAWL SPACE OF DWELLING UNIT SHALL HAVE A MAXIMUM FLAME SPREAD RATING OF 25 AND A MAXIMUM SMOKE DEVELOPMENT FACTOR OF 450, PER CODE SECTION 316.
- ENCLOSED, INSULATED RAFTER SPACES SHALL BE PROVIDED WITH CROSS-VENTILATION OR VAPOR BARRIER.
- ALL PLUMBING TO COMPLY WITH THE INDIANA PLUMBING CODE
- ANY WINDOW WITHIN 2'-0" OF A DOOR, ALL SIDELITES AND SHOWER DOORS TO BE TEMPERED PER CODE SECTION 210.8.
- ATTIC ACCESS SHALL BE FRAMED NO LESS THAN 22 INCHES BY 30 INCHES HAVING A CLEAR HEIGHT OF OVER 30 INCHES.
- GUARDRAILS SHALL HAVE A HEIGHT OF 36 INCHES AT ALL STAIRS. RAISED SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE. BALUSTERS SHALL BE POSITIONED AS TO NOT ALLOW THE PASSAGE OF A 4" SPHERE.
- HANDRAILS HAVE A MINIMUM AND MAXIMUM HEIGHTS OF 34 AND 38 INCHES MEASURED VERTICALLY FROM THE NOSING OF THE TREAD. HANDRAILS SHALL HAVE A SPACE NOT LESS THAN 1½ INCHES BETWEEN THE WALL AND THE HANDRAIL. THE HAND GRIP PORTION SHALL NOT BE MORE THAN 2¼ INCHES IN CROSS SECTION DIMENSION OR AN APPROPRIATE SHAPE WHICH SHALL PROVIDE AN EQUIVALENT GRIPPING SURFACE.
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN ½" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS SHALL BE SEPARATED FROM ALL HABITABLE ROOM ABOVE BY NOT LESS THAN ½" TYPE 'X' GYPSUM BOARD OR EQUIVALENT. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN ½" GYPSUM BOARD OR EQUIVALENT. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH 20 MINUTE FIRE RATED DOORS.
- FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE.
- CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.
- WEATHER STRIP ALL ATTIC ACCESSES
- SMOKE ALARM LOCATIONS SHALL NOT BE PLACED WITHIN 3 FEET HORIZONTALLY FROM ANY GRILLE MOVING CONDITIONED AIR WITHIN THE LIVING SPACE.
- RESISTANCE OF MADE ELECTRODES SHALL FOLLOW SECTION E3508.3 OF THE 2020 INDIANA RESIDENTIAL CODE

**MASONRY VENEER NOTES**

- MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES
- VENEER TIES SHALL BE SHEET METAL TIES NOT LESS THAN NO. 22 U.S. GAUGE BY ⅞" CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2½ SQUARE FEET OF WALL AREA. THERE SHALL BE A MINIMUM OF 1" CLEAR SPACE BEHIND VENEER.
- MASONRY VENEER SHALL NOT SUPPORT ANY VERTICAL LOAD OTHER THAN THE DEAD LOAD OF THE VENEER ABOVE.
- VENEER OPENINGS SHALL BE SUPPORTED ON LINTELS AS SPECIFIED IN THE PLANS. LENGTH OF BEARING SHALL NOT BE LESS THAN 4 INCHES.
- MASONRY VENEER SUPPORTED BY WOOD OR COLD FORMED STEEL SHALL HAVE A MOVEMENT JOINT SEPARATING THE VENEER SUPPORTED ON THE WOOD OR COLD FORMED STEEL AND THE VENEER SUPPORTED BY HOT ROLLED STEEL OR THE FOUNDATION.
- HOUSE WRAP SHALL BE INSTALLED OVER SHEATHING IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- FLASHING SHALL BE INSTALLED PER SECTION 703.7.5 AND 703.8 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- WEEP HOLES WITH BRICK VENEER SHALL BE INSTALLED PER SECTION 703.7.6 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.
- ALL BRICK SILLS TO BE SLOPED AWAY FROM THE HOUSE A MINIMUM OF 15°.
- CONCRETE FOUNDATION WALLS SHALL BE CONSTRUCTED AS SET FORTH IN TABLES R401.1.1(1), R401.1.1(2), R401.1.1(3), AND R401.1.1(4) AND SHALL ALSO COMPLY WITH THE PROVISIONS OF THIS SECTION AND THE APPLICABLE PROVISIONS OF SECTION R402.2. FOUNDATION WALL SHALL HAVE THE APPROPRIATE REINFORCEMENT FOR DEPTH OF BACKFILL.
- CONCRETE MASONRY FOUNDATION WATERPROOFING SHALL BE PER SECTION R406.2 OF THE 2020 INDIANA RESIDENTIAL CODE AND THE 2018 INTERNATIONAL RESIDENTIAL CODE.

**GENERAL NOTES**

- GENERAL STRUCTURAL AND ARCHITECTURAL NOTES ARE INTENDED TO AUGMENT THE DRAWINGS AND SPECIFICATIONS. SHOULD CONFLICTS EXIST BETWEEN THE GENERAL, STRUCTURAL OR ARCHITECTURAL NOTES AND THE DRAWINGS, THE STRICTEST PROVISION SHALL GOVERN
- GOVERNING CODE: STRICTEST PROVISIONS AS SET FORTH BY: 2020 INDIANA RESIDENTIAL CODE 2018 INTERNATIONAL RESIDENTIAL CODE 2009 INDIANA ELECTRICAL CODE

SQUARE FOOTAGE - ELEV "E"	
1ST FLOOR	2070
<b>TOTAL HEATED</b>	<b>2070</b>
GARAGE	435
FRONT PORCH	98
OPT FULL BASEMENT	1957
OPT 3RD CAR FRONT LOAD	191
OPT GARAGE STORAGE	76
OPT 4' GARAGE EXTENSION	89
OPT DINING NOOK EXTENSION	+27
OPT 4' EXTENSION TO OWNER'S SUITE	+75
OPT MORNING ROOM	+161
OPT VERANDA	+161
OPT BONUS ROOM	+542
OPT BONUS ROOM w/ BATH	+598
OPT FINISHED BASEMENT	+1035
OPT FINISHED BASEMENT w/ BATH	+1086
OPT FINISHED BASEMENT w/ BATH AND BED	+1246

SQUARE FOOTAGES SHOWN AFFECT ONLY THE BASE HOUSE, NOT POSSIBLE COMBINATIONS OF OPTIONS.

Revisions			
DATE	C.O #	Description	Drafter



# M/I HOMES

PRESENTS

## Kentmore

### "Elevation E"

#### Owner's Name

## CONSTRUCTION SET

## ADDRESS

## LOT #


### 2x4 EXTERIOR WALLS

MI HOMES - COMMON ABBREVIATIONS ON PRINTS		
1st - FIRST	INCL - INCLUDED	SGD - SLIDING GLASS DOOR
2nd - SECOND	KIT - KITCHEN	SH - SINGLE HUNG
ALUM - ALUMINUM	LDRY - LAUNDRY	SHWR - SHOWER
B/ - BOTTOM	LOC - LOCATION	SPF - SPRUCE PINE FIR
BDR - BEDROOM	MANUF or MFR - MANUFACTURER	SVC - SERVICE
BRKFST - BREAKFAST	MUD - MUDROOM	SYP - SOUTHERN YELLOW PINE
CATH - CATHEDRAL CONC. - CONCRETE	OC - ON CENTER	T/ - TOP
¢ - CENTERLINE	OH - OVERHANG	TEMP - TEMPERED
DBL - DOUBLE	OPT - OPTIONAL	THKD - THICKENED
DH - DOUBLE HUNG	PC - PULL CHAIN	TYP - TYPICAL
DIA - DIAMETER	PERF - PERFORATED	UNO - UNLESS NOTED OTHERWISE
DN - DOWN	PSF - PER SQUARE FOOT	VIF - VERIFY IN FIELD
DW - DISH WASHER	PT - PRESSURE TREATED	w/ - WITH
FD - FLOOR DRAIN	PTRY - PANTRY	WD - WOOD
FDN - FOUNDATION	PWD - POWDER	WH - WATER HEATER
FLR - FLOOR	¢ - PLATE	WIC - WALK IN CLOSET
FPHB - FROST PROTECTED HOSE BIB	R. BATH - RETREAT BATH	
FTG - FOOTING	REF - REFRIGERATOR	
GWB - GYPSUM WALL BOARD	REQ'D - REQUIRED	
H. BATH - HALL BATH	RET - RETREAT	
ILO - IN LIEU OF	RI - ROUGH IN	
	SCH - SCHEDULE	

Sheet List Table	
Sheet Number	Sheet Title
0.0E	Cover Sheet Indianapolis
1.0E	Front and Garage Elevations
1.1E	Rear and Side Elevations
1.2E	Front Material Opt Elevations
2.0E	Slab Fdn
2.1E	Slab Fdn wBONUS
2.2E	Slab Fdn - Brick Wrap
2.3E	Slab Fdn wBONUS - Brick Wrap
2.4E	Full Basement Fdn
2.5E	Full Basement Fdn - Brick Wrap
2.6E	Finished Basement
2.7E	Finished Basement with Bath
2.8E	Finished Bsmt with Bath and Bed
3.0E	First Floor Subfloor
4.0E	1st FI Plan - Slab No Bonus
4.1E	1st FI Plan - Basement No Bonus
4.2E	1st FI Plan - Slab w Bonus
4.3E	1st FI Plan - Basement w Bonus
4.4E	Floorplan Options
M1.0E	1st FI MEP Plan - Slab no Bonus
M1.1E	1st MEP Plan - Basement no Bonus
M1.2E	1st FI MEP Plan - Slab w Bonus
M1.3E	1st MEP Plan - Basement w Bonus
M1.4	Floorplan Options MEP
7.0E	Roof Plan - Base Roof
8.0E	Section - Building Stair
8.1E	Section - Building
8.2E	Section - Building
8.3E	Section - Misc
R1.0	Opt Bonus - Plan
R1.1	Opt Bonus - Elev
R1.2	Opt Bonus - Elev
R1.3	Opt Bonus - Elev
R1.4	Opt Bonus - Elev
R1.5	Opt Bonus - Roof
R1.6	Opt Bonus - Roof
R1.7	Opt Bonus - Roof
R1.8	Opt Bonus - Roof
R2.0	Opt Morning Room
R3.0	3rd Car Plan
R3.1	3rd Car Elevation
R4.0	Garage Storage Plan
R4.1	Garage Storage elevation
R5.0	Garage Extension
R6.0	Opt Veranda
R6.1	Opt Veranda
R6.2	Opt Veranda #2
R6.3	Opt Veranda #2
R6.4	Opt Veranda #2
R6.5	Opt Veranda #2

11x17 PRINTS ARE ½ SCALE

PRESTIGE SERIES



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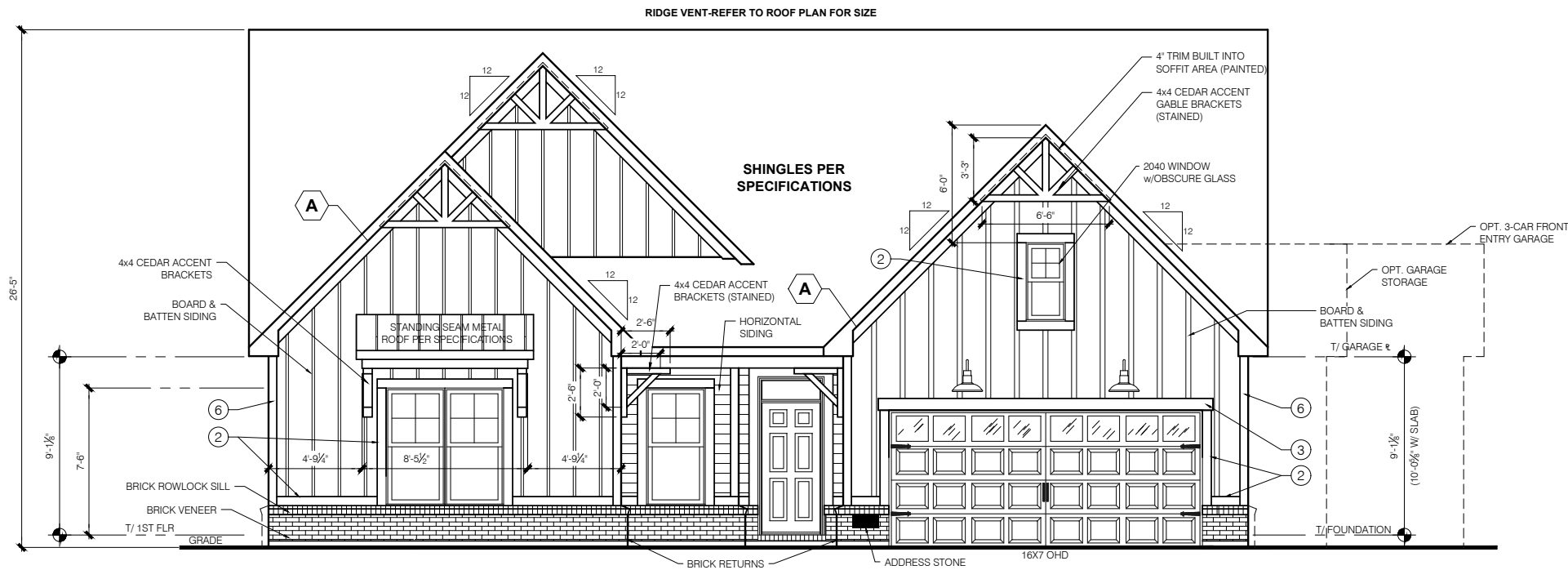
LSP Rev: -----

Sheet Title :  
Cover Sheet  
Indianapolis

Sheet:  
**0.0E**

Issued Date: 06-17-22

BASE PLAN REVISION:



**ELEVATION "E"**  
**STD BRICK WAINSCOT-SLAB**  
**FRONT ELEVATION**

SCALE: 1/4" = 1'-0"

**TYPICAL EXTERIOR TRIM FINISH**  
 THE TRIM NOTED ON THE ELEVATIONS IS PROVIDED SOLELY AS A GUIDE FOR TRIM SIZES. ALL TRIM NOTED ON THE ELEVATIONS IS NOMINAL. SEE SPECIFICATIONS FOR TRIM FINISH AND MATERIAL.

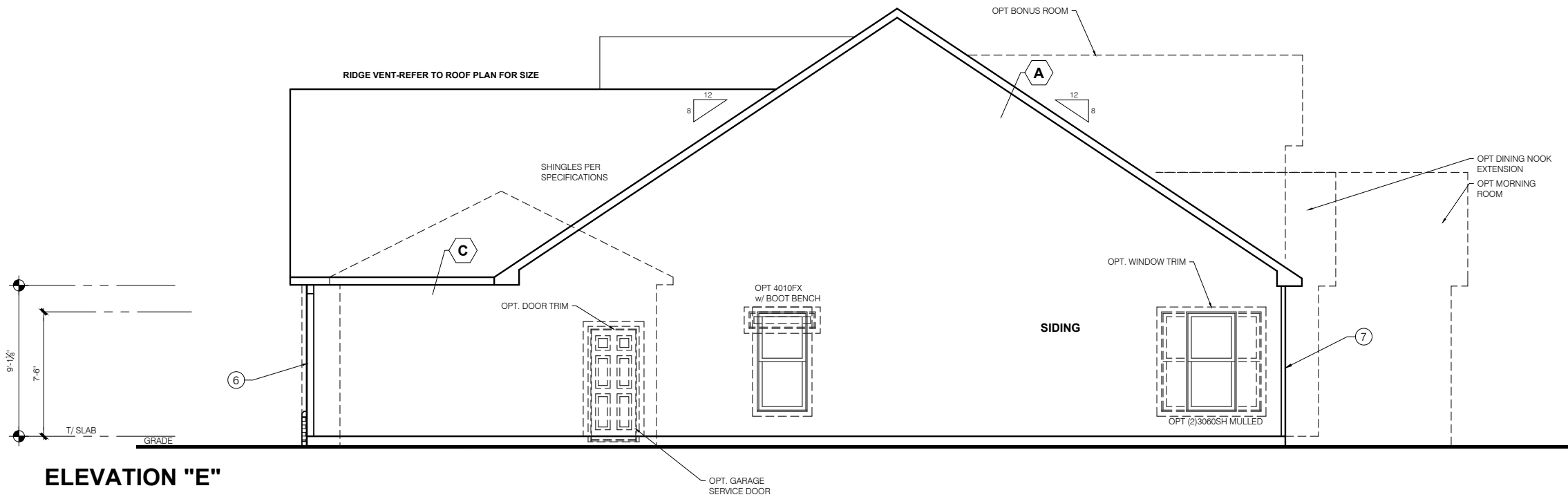
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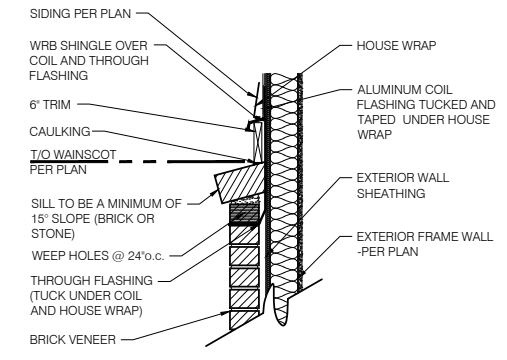
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**ELEVATION "E"**  
**GARAGE SIDE ELEVATION-SLAB**

SCALE: 1/4" = 1'-0"



**1 BRICK WAINSCOT DETAIL**  
 SCALE: 1" = 1'-0"

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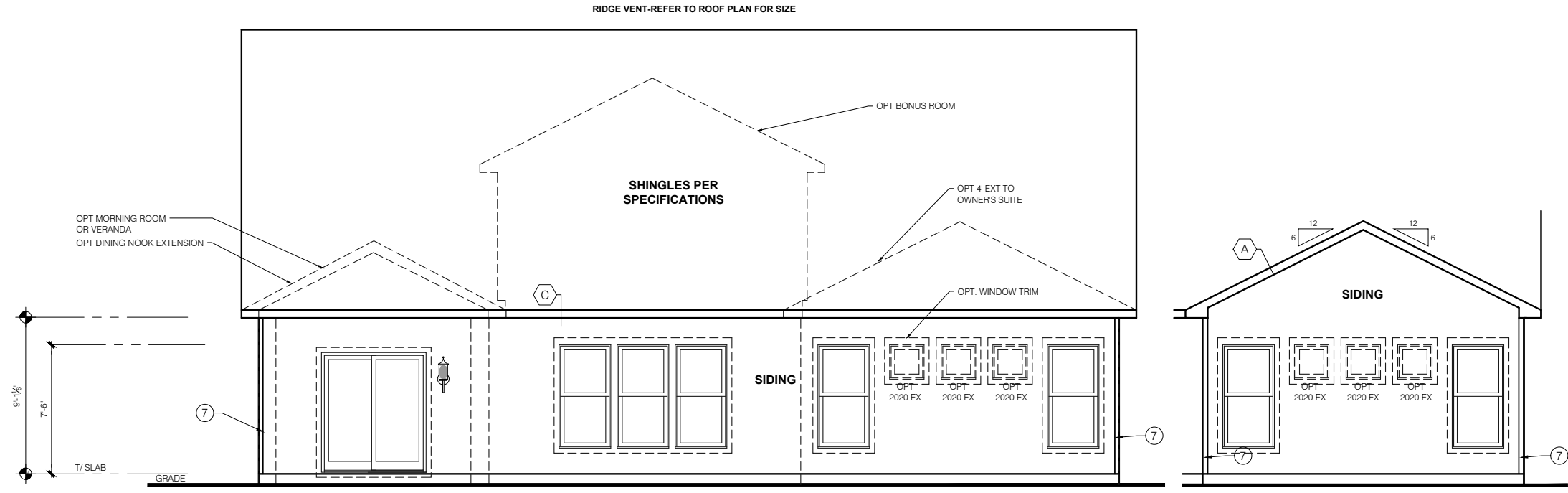
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**11x17 PRINTS ARE 1/2 SCALE**

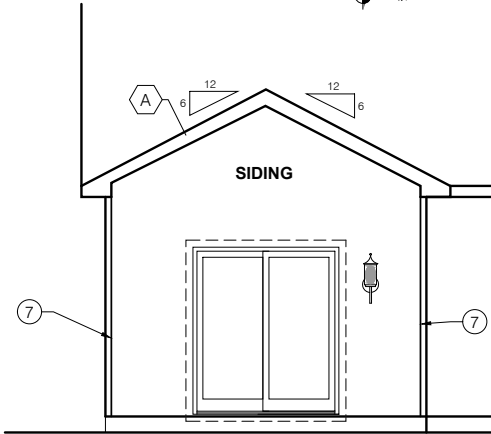
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 LSP Date: ---  
 LSP By: ---  
 LSP Rev: ---  
 Sheet Title :  
 Front and Garage Elevations  
 Sheet:  
**1.0E**



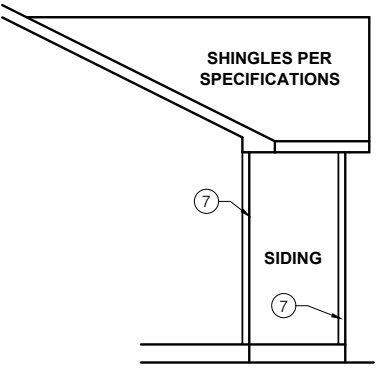
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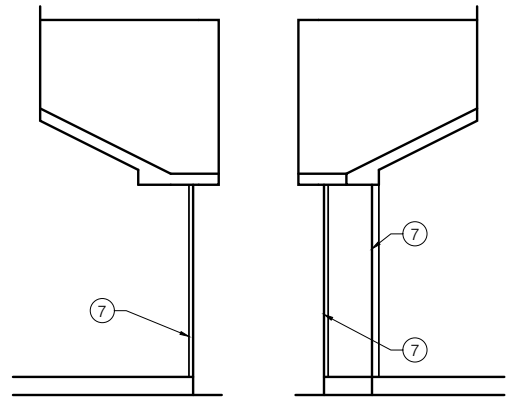
**ELEVATION "E"**  
**REAR ELEVATION-SLAB**  
 SCALE: 1/4" = 1'-0"



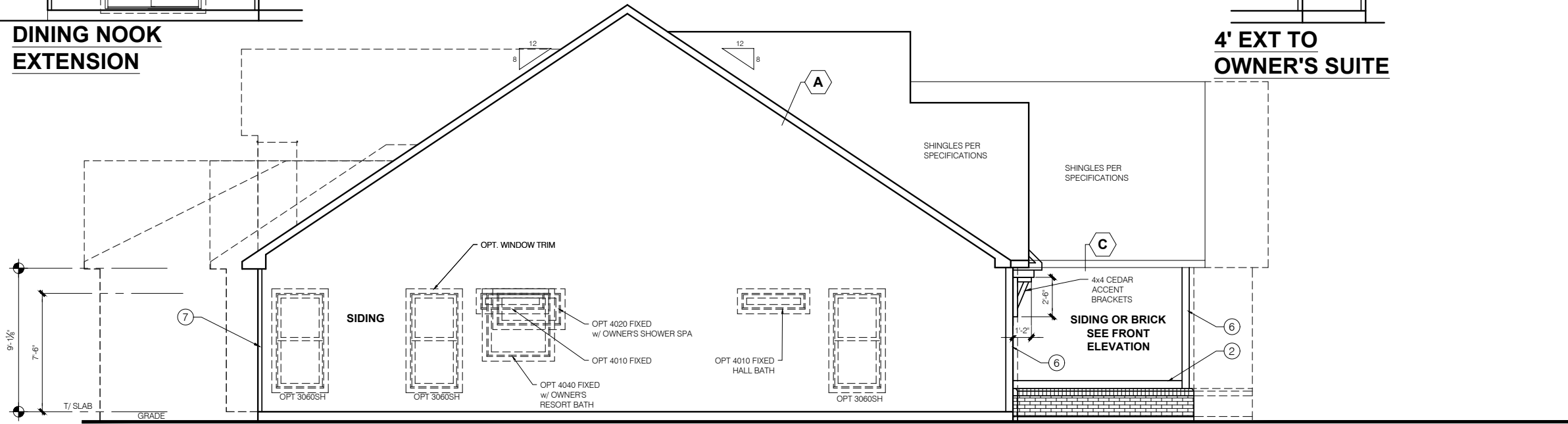
**DINING NOOK EXTENSION**



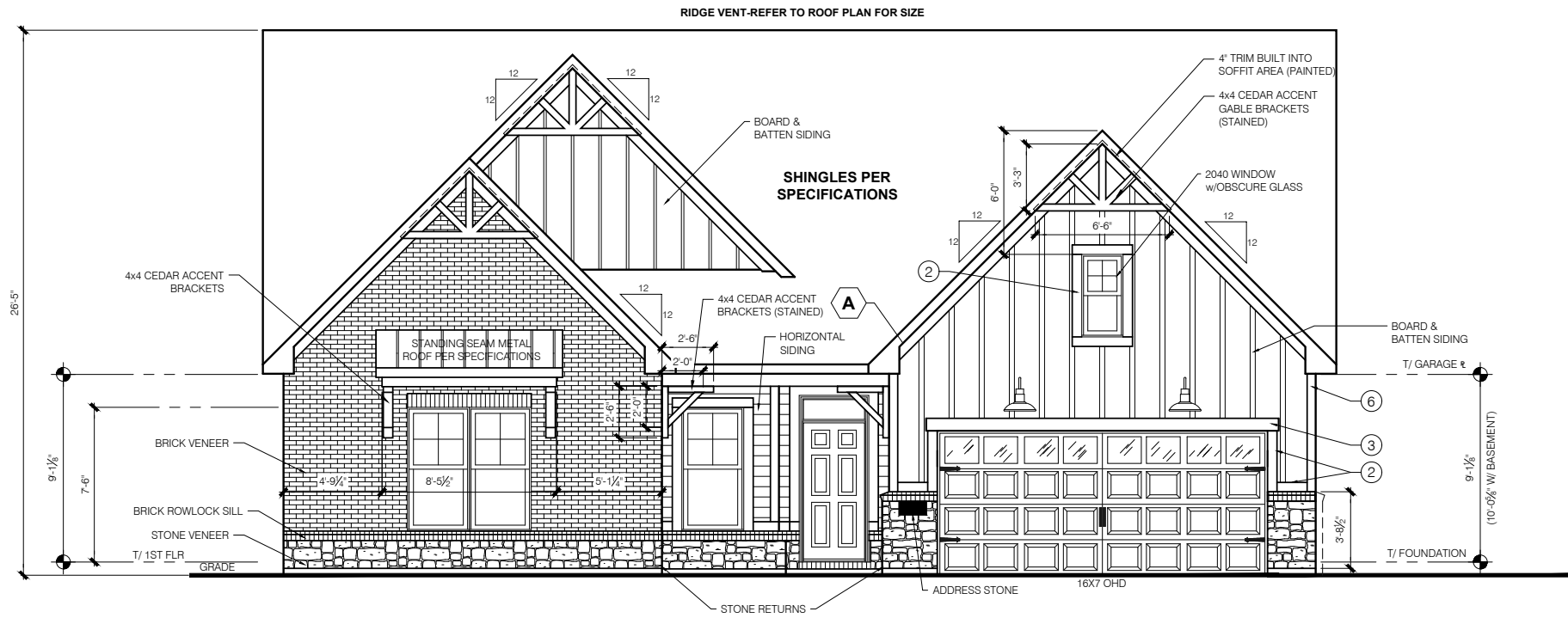
**4' EXT TO OWNER'S SUITE**



**DINING NOOK EXTENSION**

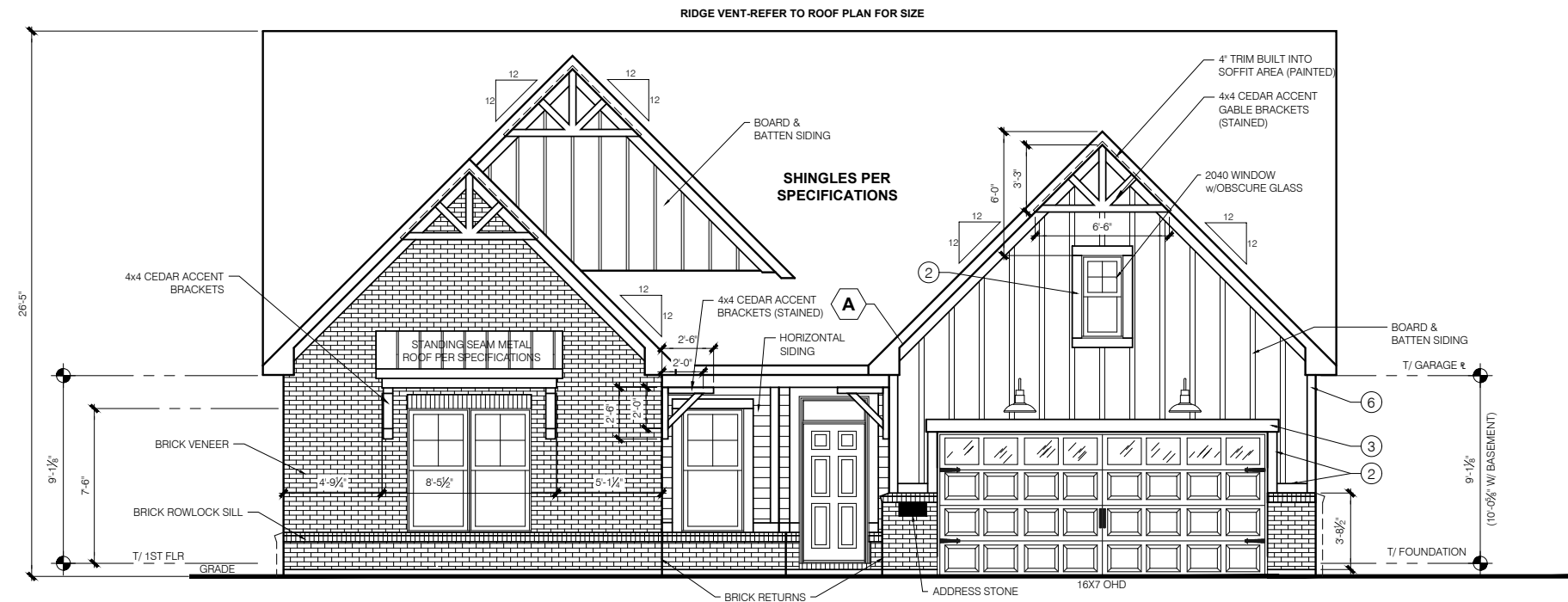


**ELEVATION "E"**  
**SIDE ELEVATION-SLAB**  
 SCALE: 1/4" = 1'-0"



**ELEVATION "E"  
BRICK AND STONE OPTION  
FRONT ELEVATION**

SCALE: 1/4" = 1'-0"



**ELEVATION "E"  
BRICK OPTION  
FRONT ELEVATION-SLAB**

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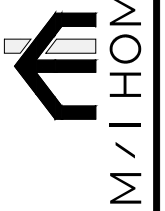
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11x17 PRINTS ARE 1/2" SCALE

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Job #: ---  
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Sheet Title :  
Front Material Opt  
Elevations

Sheet:  
1.2E

