

THIS INSTRUMENT SURVEYED & PREPARED BY:
 DENNIS D. OLMSTEAD
 STOEPPELWERTH AND ASSOCIATES INC.
 7965 EAST 106th STREET
 FISHERS, INDIANA 46038
 PHONE: (317) 849-5935

THIS INSTRUMENT PREPARED FOR:
 HENDERSON INVESTMENTS, LLC
 11691 FALL CREEK ROAD, SUITE 210
 INDIANAPOLIS, INDIANA 46256
 PHONE: (317) 501-9172
 CONTACT PERSON: Richard Henderson

THE ENCLAVE AT DEER CROSSING

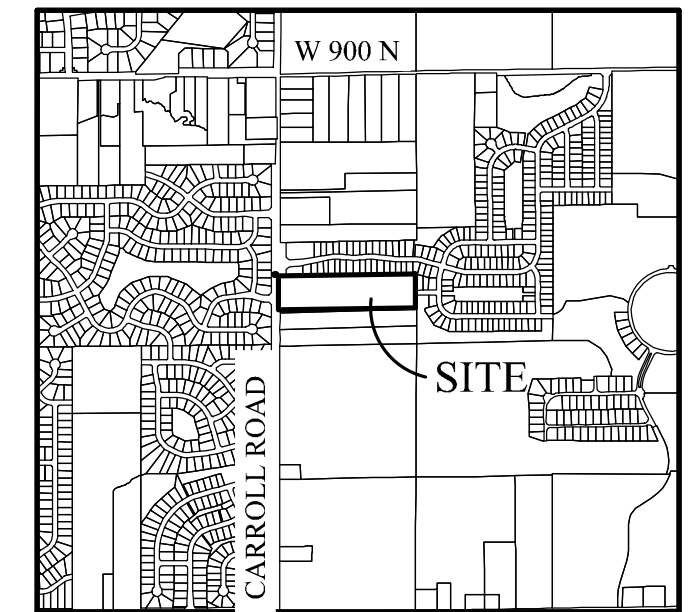
SECONDARY PLAT

Part of the West 1/2 of the Northwest 1/4 of Sec. 23 T17N R05E
 Vernon Township, Hancock County, Indiana

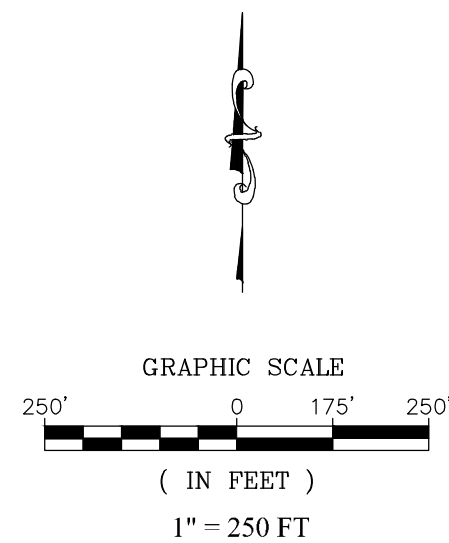
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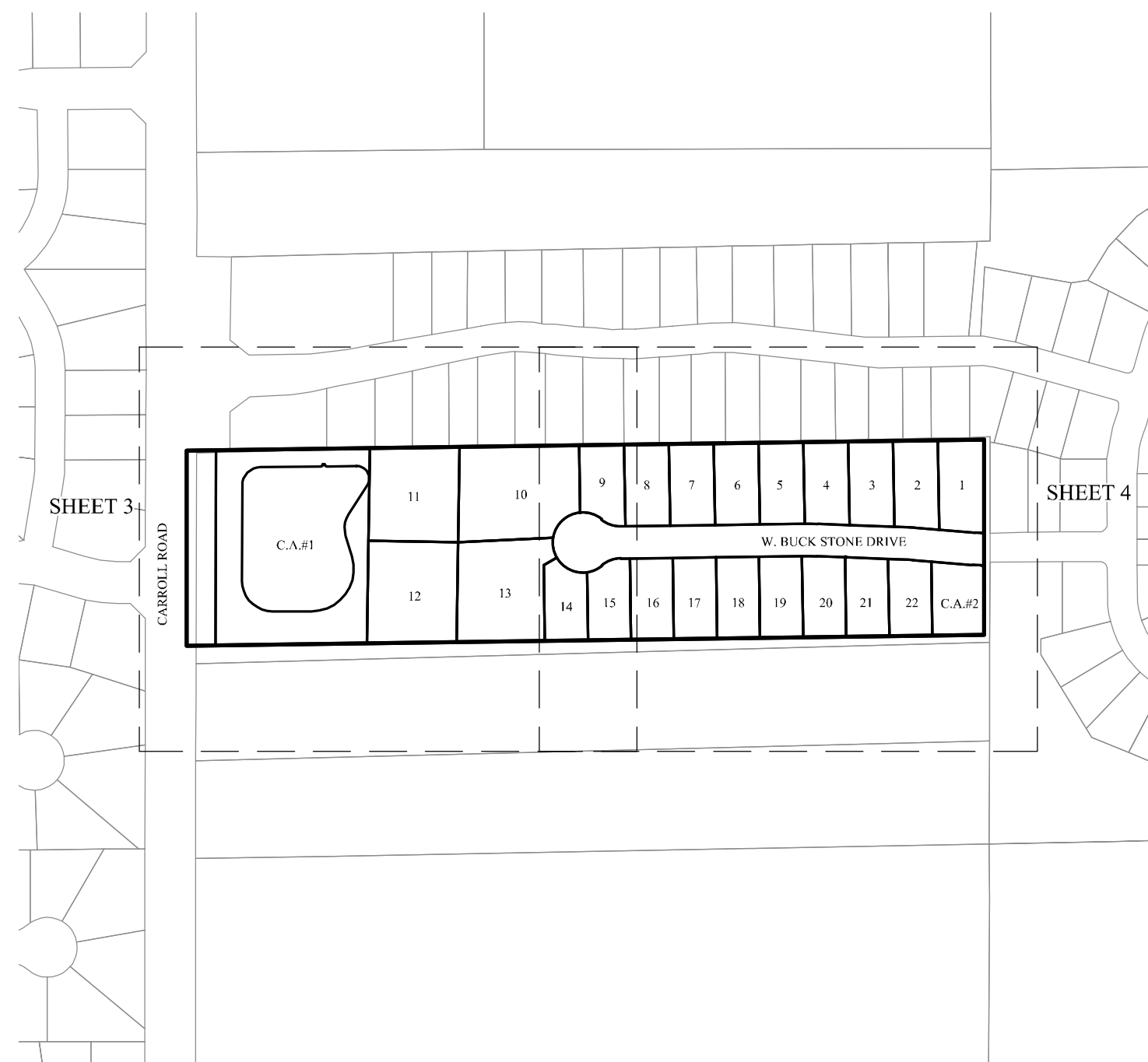
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VICINITY MAP
 NOT TO SCALE



STORM INVENTORY CHART	
12" R.C.P.	675 L.F.
15" R.C.P.	499 L.F.
18" R.C.P.	334 L.F.
TOTAL	1,508 L.F.



LEGEND

- 185 LOT NUMBER
- D.U.&S.S.E. DRAINAGE, UTILITY & SANITARY SEWER EASEMENT
- B.L. BUILDING SETBACK LINE
- R/W RIGHT OF WAY
- D.E. DRAINAGE EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- L.M.A.E. LANDSCAPE MAINTENANCE ACCESS EASEMENT
- T.C.E. TREE CONSERVATION EASEMENT
- U.E. UTILITY EASEMENT
- W.E. WATERMAIN EASEMENT
- I.E.E. INGRESS/EGRESS EASEMENT
- D.U.&L.M.A.E. DRAINAGE, UTILITY & LANDSCAPE MAINTENANCE ACCESS EASEMENT
- I.E.D.&U.E. INGRESS/EGRESS, DRAINAGE & UTILITY EASEMENT
- I.E.D.U.&S.S.E. INGRESS/EGRESS, DRAINAGE, UTILITY & SANITARY SEWER EASEMENT

SUBDIVISION MONUMENTATION

- PER INDIANA ADMINISTRATIVE CODE (IAC), TITLE 865 IAC 1-12-18, AN AFFIDAVIT, CROSS-REFERENCED TO THIS PLAT, WILL BE RECORDED AFTER THE SUBDIVISION MONUMENTATION HAS BEEN COMPLETED AND MAY BE DELAYED FOR UP TO TWO YEARS FROM THE DATE OF RECORDATION OF THIS PLAT.
- MONUMENTS SET OR TO BE SET INCLUDE SUBDIVISION PERIMETER CORNERS, CENTERLINE INTERSECTIONS, CENTERLINE POINTS OF CURVATURE, CENTERLINE POINTS OF TANGENCY AND INTERIOR LOT/PARCEL CORNERS (INCLUDING BEGINNING AND ENDS OF CURVES AND THE INTERSECTION OF LOT/PARCEL LINES).
- DENOTES A 5/8" DIAMETER X 30" LONG REINFORCING BAR (REBAR) WITH CAP STAMPED "S&A FIRM #0008" SET FLUSH WITH THE FINISH GRADE
 - DENOTES A 4" SQUARE X 36" LONG PRECAST CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP SET FLUSH WITH THE FINISH GRADE
 - DENOTES A STREET CENTERLINE MONUMENT--A COPPERWELD MONUMENT, A 5/8" DIAMETER STEEL ROD WITH A BRASS CAP HAVING A CUT "X" IN THE TOP, AN ALUMINUM MONUMENT HAVING A "DIMPLE" IN THE TOP, A HARRISON MONUMENT OR A MAG NAIL (THE TYPE BEING DEPENDENT UPON JURISDICTIONAL REQUIREMENTS AND ALL BEING SET FLUSH WITH THE SURFACE OF THE PAVEMENT)

PUD, COVENANTS & OTHER NOTES:

- The subject tract is zoned The Enclave at Deer Crossing Amended PUD ORDINANCE No. 071222, an Ordinance amending the Town of McCordsville ZONING ORDINANCE No. 121410, as amended.
- The Homeowners Association shall be responsible for snow removal of all internal streets.

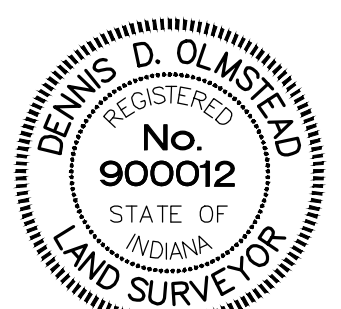
The Enclave at Deer Crossing Area "A" Lot and Side yard Requirements:

Maximum Number of Lots	18 lots
Minimum Lot Area	9,000 square feet
Minimum Lot Width at Building Line	73 feet
Minimum Front Yard Setback	25 feet
Minimum Side Yard Setback	6 feet
Minimum Rear Yard Setback	15 feet
Minimum Livable Floor Area	1,800 square feet (single story) 2,000 square feet (multi story)
Maximum Lot Coverage	45%
Maximum Height - Principal	35 feet

The Enclave at Deer Crossing Area "B" Lot and Side yard Requirements:

Maximum Number of Lots	4 lots
Minimum Lot Area	23,000 square feet
Minimum Lot Width at Building Line	140 feet
Minimum Front Yard Setback	25 feet
Minimum Side Yard Setback	10 feet
Minimum Rear Yard Setback	15 feet
Minimum Livable Floor Area	2,000 square feet (single story) 2,400 square feet (multi story)
Maximum Lot Coverage	40%
Maximum Height - Principal	35 feet

Dennis D. Olmstead
 Professional Land Surveyor
 No. 900012



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THE ENCLAVE AT DEER CROSSING

SECONDARY PLAT

Part of the West 1/2 of the Northwest 1/4 of Sec. 23 T17N R05E
 Vernon Township, Hancock County, Indiana

INSTRUMENT No.: _____

CABINET: _____

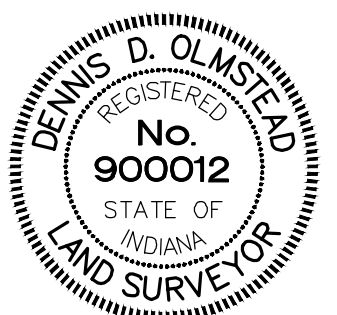
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Curve Table: Alignments

CURVE	RADIUS	LENGTH	TANGENT	CHORD	CHORD BEARING	DELTA
C1	150.00'	12.32'	6.16'	12.31'	N87°32'43"W	4°42'19"
C2	150.00'	6.98'	3.49'	6.98'	N86°31'32"W	2°39'56"
C3	507.50'	26.02'	13.01'	26.02'	N89°19'37"W	2°56'15"

CURVE TABLE

CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD	DELTA
C4	10.10'	123.00'	5.05'	S87°32'43"E	10.10'	4°42'19"
C5	14.54'	177.00'	7.27'	N87°32'43"W	14.53'	4°42'19"
C6	8.23'	177.00'	4.12'	S86°31'32"E	8.23'	2°39'56"
C7	5.72'	123.00'	2.86'	N86°31'32"W	5.72'	2°39'56"
C8	22.04'	534.50'	11.02'	S89°02'22"E	22.04'	2°21'45"
C9	5.36'	534.50'	2.68'	N89°29'30"E	5.36'	0°34'30"
C10	24.28'	480.50'	12.14'	N89°18'22"W	24.28'	2°53'44"
C11	0.35'	480.50'	0.18'	N89°13'31"E	0.35'	0°02'31"
C12	34.82'	50.00'	18.15'	S70°50'43"E	34.12'	39°54'05"
C13	37.90'	50.00'	19.91'	S72°36'41"E	37.00'	43°26'02"
C14	66.46'	50.00'	39.17'	N47°35'35"E	61.67'	76°09'26"
C15	34.48'	50.00'	17.96'	N10°14'24"W	33.80'	39°30'31"
C16	60.00'	50.00'	34.21'	N64°22'20"W	56.46'	68°45'21"
C17	27.43'	50.00'	14.07'	S65°31'56"W	27.09'	31°26'07"
C18	34.37'	50.00'	17.90'	S69°30'34"W	33.70'	39°23'22"



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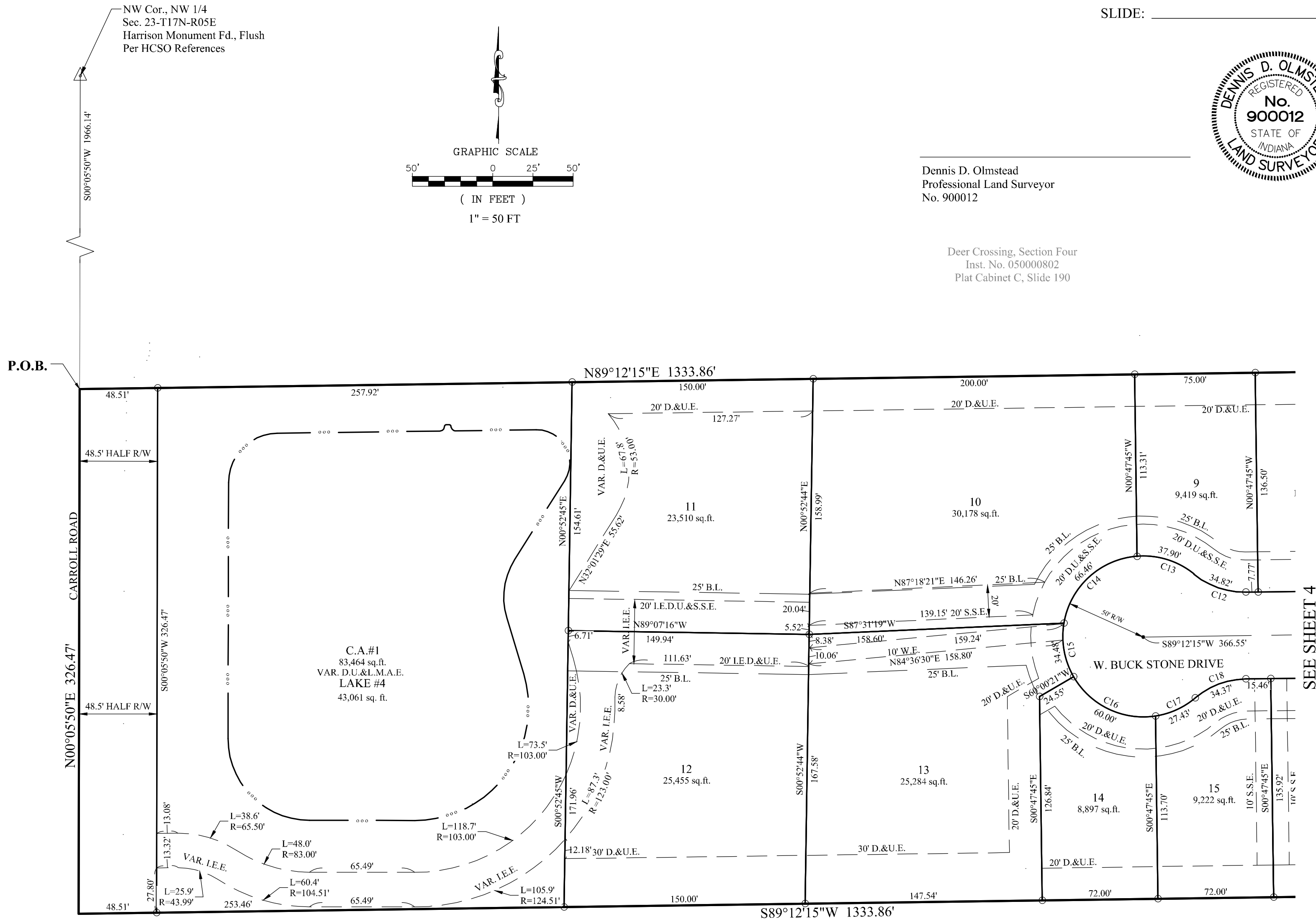
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 Professional Land Surveyor
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Deer Crossing, Section Four
 Inst. No. 050000802
 Plat Cabinet C, Slide 190



P.O.B.

SEE SHEET 4

Richard E. Dillon, et ux
 No Deed of Record Found

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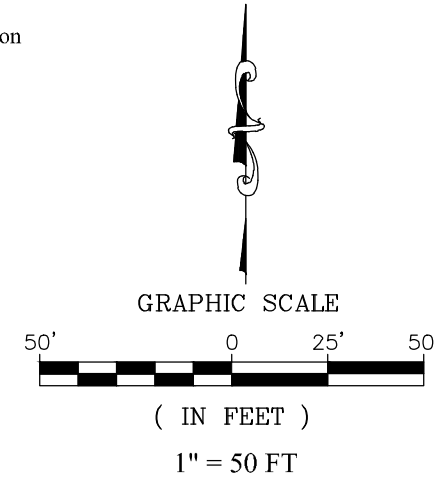
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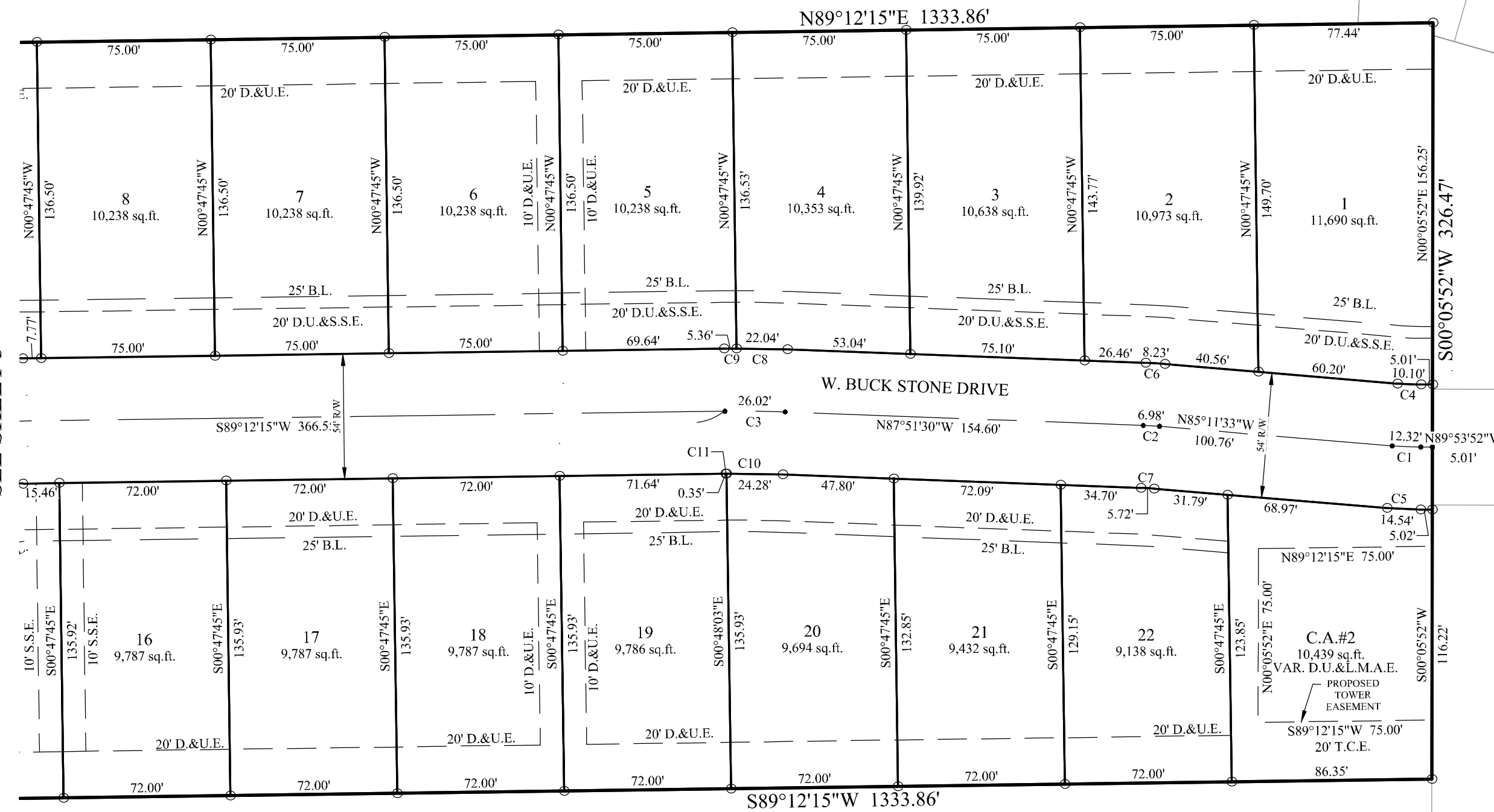
Deer Crossing, Section Four
 Inst. No. 050000802
 Plat Cabinet C, Slide 190

Deer Crossing, Section 5
 Inst. No. 070007012
 Plat Cabinet C, Slide 256, 257

Deer Crossing, Section 6
 Inst. No. 140001448
 Plat Cabinet C, Slide 330, 331

Deer Crossing, Section 6
 Inst. No. 140001448
 Plat Cabinet C, Slide 330, 331

SEE SHEET 3



Richard E. Dillon, et ux
 No Deed of Record Found

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Vernon Township, Hancock County, Indiana

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

THE ENCLAVE AT DEER CROSSING LAND DESCRIPTION

A part of the West Half of the Northwest Quarter of Section 23, Township 17 North, Range 05 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana, this description prepared by: Bruce E. Strack, Indiana LS 20200057, working for Stoepfelwerth and Associates, Inc. as part of Project 102300 certified on April 21, 2022, being more particularly described as follows:

Commencing at the Northwest corner of said Half-Quarter Section; thence South 00 degrees 05 minutes 50 seconds West, along the West line thereof, a distance of 1,966.14 feet to the Southwest corner of Deer Crossing, Section Four, per plat thereof recorded as Instrument Number 050000802 in Plat Cabinet C, Slide 190 in the Office of the Hancock County Recorder, and the POINT OF BEGINNING of this description; thence North 89 degrees 12 minutes 15 seconds East, along the South line of said Subdivision, a distance of 1,333.86 feet to the East line of said Half-Quarter Section; thence South 00 degrees 05 minutes 52 seconds West, along said line, a distance of 326.47 feet to the Southeast corner of the land described in Instrument Number 202017693 in said Recorder's Office; thence South 89 degrees 12 minutes 15 seconds West, along the South line of said land, a distance of 1,333.86 feet to the West line of said Half-Quarter Section; thence North 00 degrees 05 minutes 50 seconds East, along said line, a distance of 326.47 feet to the Point of Beginning, Containing 9.996 acres, more or less.

This subdivision consists of 22 lots numbered 1-22 (all inclusive) and two (2) Common Areas labeled C.A.#1 & C.A.#2. The size of lots and width of streets are shown in feet and decimal parts thereof.

Cross-Reference is hereby made to a survey prepared by Stoepfelwerth & Associates, Inc. in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code recorded as Instrument Number _____ in the Office of the Recorder for Hancock County, Indiana.

I further certify that I am a Professional Land Surveyor licensed in compliance with the laws of the State of Indiana and that the within plat represents a subdivision of the lands surveyed within the cross referenced survey, and that to the best of my knowledge and belief there has been no change from the matters of survey revealed by the cross-reference survey on any lines that are common with the new subdivision.

Witness my signature this ____ day of _____, 2022.

Dennis D. Olmstead
Professional Land Surveyor
No. 900012



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Vernon Township, Hancock County, Indiana

CERTIFICATE OF OWNERSHIP

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

ACCEPTANCE OF DEED OF DEDICATION

We, the undersigned Henderson Investments, LLC, owners of the real estate shown and described on the plat herein and recorded in the office of the Recorder for Hancock County, Indiana, do hereby lay off, plat and subdivide, said real estate in accordance with the within plat. We further certify that this plat is made and submitted with our free consent and desires.

This subdivision shall be known and designated as The Enclave at Deer Crossing. All streets shown and not heretofore dedicated are hereby dedicated to the public.

Title to the foregoing real estate is subject to a certain Declaration of Covenants, Conditions and Restrictions for The Enclave at Deer Crossing, recorded as Instrument Number# _____ in the Office of the Recorder for Hancock County, Indiana, as the same may be amended or supplemented. Such Declaration and the Covenants and Restrictions set forth therein run with the land described hereon and are incorporated herein by reference. Each owner of a lot depicted on this plat shall take title to such lot subject to the terms and conditions of the Declaration.

Front yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no building or structure.

Right of way shown on this plat and heretofore dedicated to the Town consists of 1.32 acres and 1,035 lineal feet as measured along the centerline of the road.

A perpetual utility easement is hereby granted to any private or public utility or municipal department, their successors and assigns, within the area shown on the plat and marked "Utility Easement", to install, lay, construct, renew, operate, maintain and remove conduits, cables, pipes, poles and wires, overhead and underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision and other property with telephone, internet, cable tv, electric and gas, sewer and water service as a part of the respective utility systems; also is granted (subject to the prior rights of the public therein or other governing codes and ordinances) the right to use the streets and lots with aerial service wires to serve adjacent lots and street lights, the right to cut down and remove or trim and keep trimmed any trees or shrubs that interfere or threaten to interfere with any of the said private or public utility equipment, and the right is hereby granted to enter upon the lots at all times for all of the purposes aforesaid. No permanent structures, fences, or trees shall be placed on said area as shown on the plat and marked "Utility Easement," but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid user or the rights herein granted.

Tree Conservation Areas ("TCA" or "TCE") shall be established as easements shown on The Enclave at Deer Crossing PUD plans. Within the TCA no trees with a diameter at breast height (DBH) of six inches (6") or greater shall be removed by the developer, builder, town, or anyone acting on their behalf or at their request, unless the tree is damaged, diseased, an invasive species, dead, or must be removed in order to: (1) comply with the safety requirements of any governmental agency, or (2) to accommodate the installation and/or maintenance of drainage improvements.

With respect to the TCA, if there is any existing gap between trees (6" DBH or larger) greater than thirty (30) feet, measured from center of trunk to center of trunk, the developer, builder, or anyone acting on their behalf or at their request, shall plant a new tree planting(s), so that there is not any gap greater than thirty (30) feet, center of trunk to center of trunk. If trees are removed, as permitted, or required by paragraph 1, in a manner that creates a gap between trees greater than twenty-five (25) feet, new tree planting(s) shall be installed. Such planting(s) shall occur within the TCA, shall be planted as close to the removed tree(s) as possible, shall be planted as close to the property border as possible, and located to prevent any gap between trees, caused by tree removal as permitted herein, to be greater than twenty-five (25) feet. However, under no circumstance shall any newly planted tree(s) be closer than fifteen (15) feet to a subsurface drain. Additionally, if any trees are removed in a manner that is not permitted above, replacement of the tree(s) as close to the removed tree(s) as possible is required by new tree planting(s) that are equal to the total DBH of the removed tree(s), so long as there is appropriate spacing between trees to allow for proper growth and development of all new tree planting(s) and existing tree(s). Under no circumstance shall replaced trees be closer than ten (10) feet to each other or any existing tree. The minimum size for all new tree planting(s) shall be as prescribed by the Zoning Ordinance, and all new evergreen tree planting(s) shall be a minimum of six (6) feet tall.

Paragraph 2 only applies to the developer, builder, or anyone acting on their behalf or at their request, while the following restrictions shall apply to the TCA along the border of Deer Crossing, section 6 and Richard Dillon property and shall apply to all future Enclave at Deer Crossing lot owners and the Enclave at Deer Crossing HOA (Future Owners). Within the TCA no trees with a diameter at breast height (DBH) of six inches (6") or greater shall be removed, unless the tree is damaged, diseased, an invasive species, dead, or poses a risk to health and safety. Any Future Owner which removes a tree(s) in a manner inconsistent with this paragraph shall be required to replace the removed tree(s) with new tree planting(s) that are equal to the total DBH of the removed tree(s), so long as there is appropriate spacing between trees to allow for proper growth and development of all new tree planting(s) and existing tree(s). These new plantings shall occur within the TCA, shall be planted as close to the removed tree(s) as possible, and shall be planted as close to the property border with Deer Crossing, section 6 and Richard Dillon property as possible. Under no circumstance shall replaced trees be closer than ten (10) feet to each other or any existing tree. The minimum size for all new tree planting(s) shall be as prescribed by the Zoning Ordinance, and all new evergreen tree planting(s) shall be a minimum of six (6) feet tall. The town, developer, builder, Enclave at Deer Crossing HOA, Deer Crossing, section 6 HOA and Richard Dillon or other aggrieved parties may enforce this paragraph.

In addition, this Deed shall dedicate to the Town of McCordsville, Indiana, any and all sewer infrastructure installed for, by or on behalf of the undersigned, said infrastructure to include but not be limited to the sewer collection system, force main, lift station, or any other component part of the sewer system which serves the subject subdivision.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof, is hereby maintained in violation hereof, is hereby dedicated to the Town of McCordsville, Indiana, its assigns or designated agent or representative.

Be it resolved by the McCordsville Town Council, McCordsville, Indiana, that the dedications shown on this plat are hereby approved and accepted this _____ day of _____, 2022.

President

REDACTION STATEMENT:

I affirm under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law.

Dennis D. Olmstead

We, Henderson Investments, LLC, do hereby certify that we are the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown on the herein drawn plat, as its free and voluntary act and deed.

Owner/Developer
HENDERSON INVESTMENTS, LLC

By: _____

State of Indiana)
) SS
County of Hancock)

Before me, the undersigned, a Notary Public in and for said County and State, personally appeared, Richard Henderson.

Henderson Investments, LLC, and acknowledged the execution of this instrument as his voluntary act and deed and affixed his signature thereto.

Witness my signature and seal this _____ day of _____, 2022.

Notary Public

Printed Name



County of Residence: _____

My commission expires: _____

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its easements be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its easements that are accepted in to the regulated drainage system are delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewers and tile drains as defined in McCordsville Stormwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains 0 linear feet of open ditches and 0 feet of subsurface drains that will be included in the Town's Regulated Drainage System.

TOWN APPROVAL

McCORDSVILLE ADVISORY PLAN COMMISSION:

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission the _____ day of _____, 2022, under the authority provided by:

Signature

Signature

Printed Name

Printed Name

PUD, COVENANTS & OTHER NOTES:

The subject tract is zoned The Enclave at Deer Crossing Amended PUD ORDINANCE No. 071222 an Ordinance amending the Town of McCordsville ZONING ORDINANCE No. 121410, as amended.