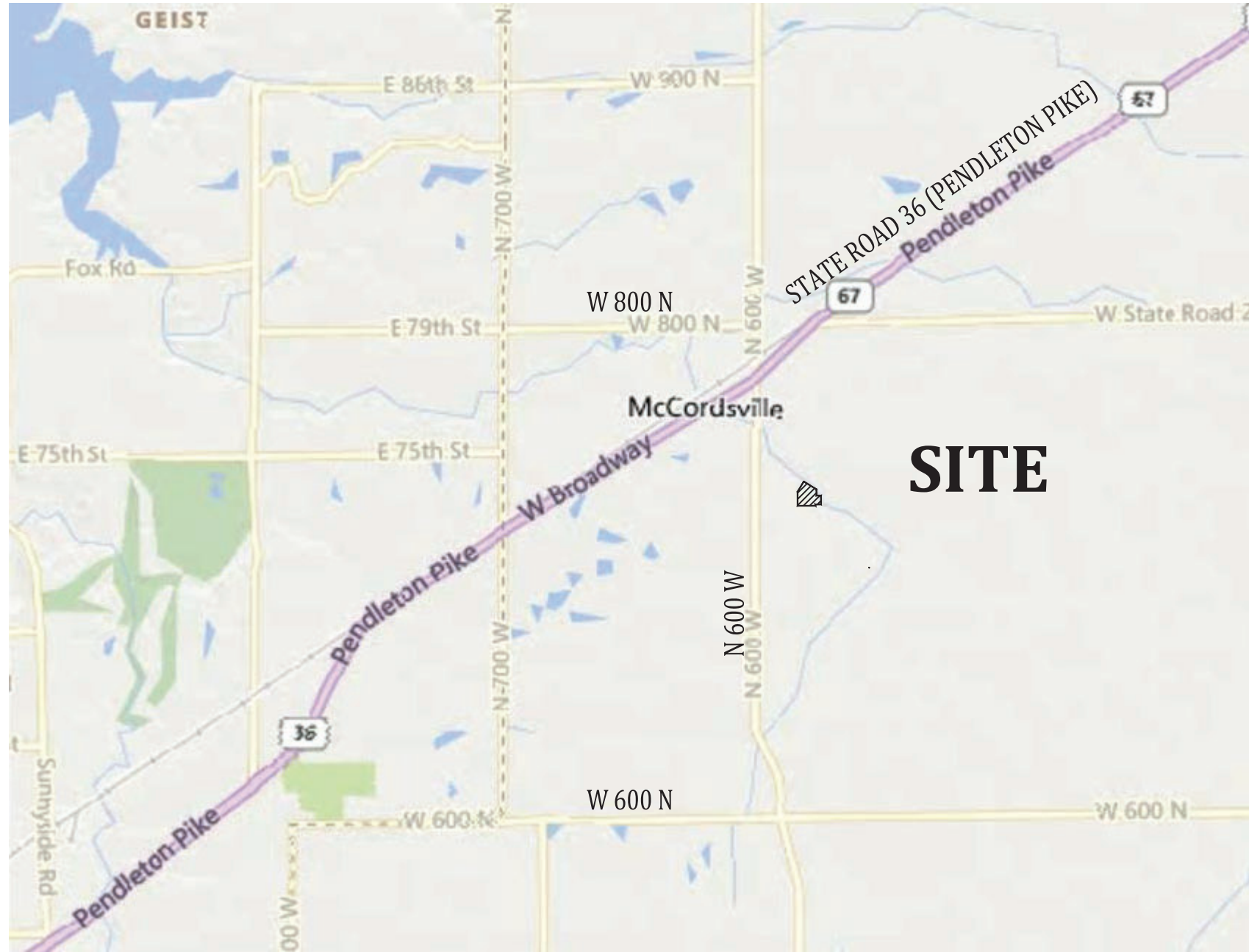


COLONNADE - SECTION 3B

SECTION 25, TOWNSHIP 17N, RANGE 5E,
VERNON TOWNSHIP, HANCOCK COUNTY, CR W 700 N & CR N 600W
ZONED: PUD

PLANS PREPARED FOR:
COLONNADE DEVELOPER, LLC
ATTN.: TIMOTHY J. WALTER, P.E.
VICE PRESIDENT - DEVELOPMENT
9757 WESTPOINT DRIVE, SUITE 600
INDIANAPOLIS, IN 46256
PH.: 317-863-2057
EMAIL: TWALTER@PLATINUM-PROPERTIES.COM



VICINITY MAP
NO SCALE

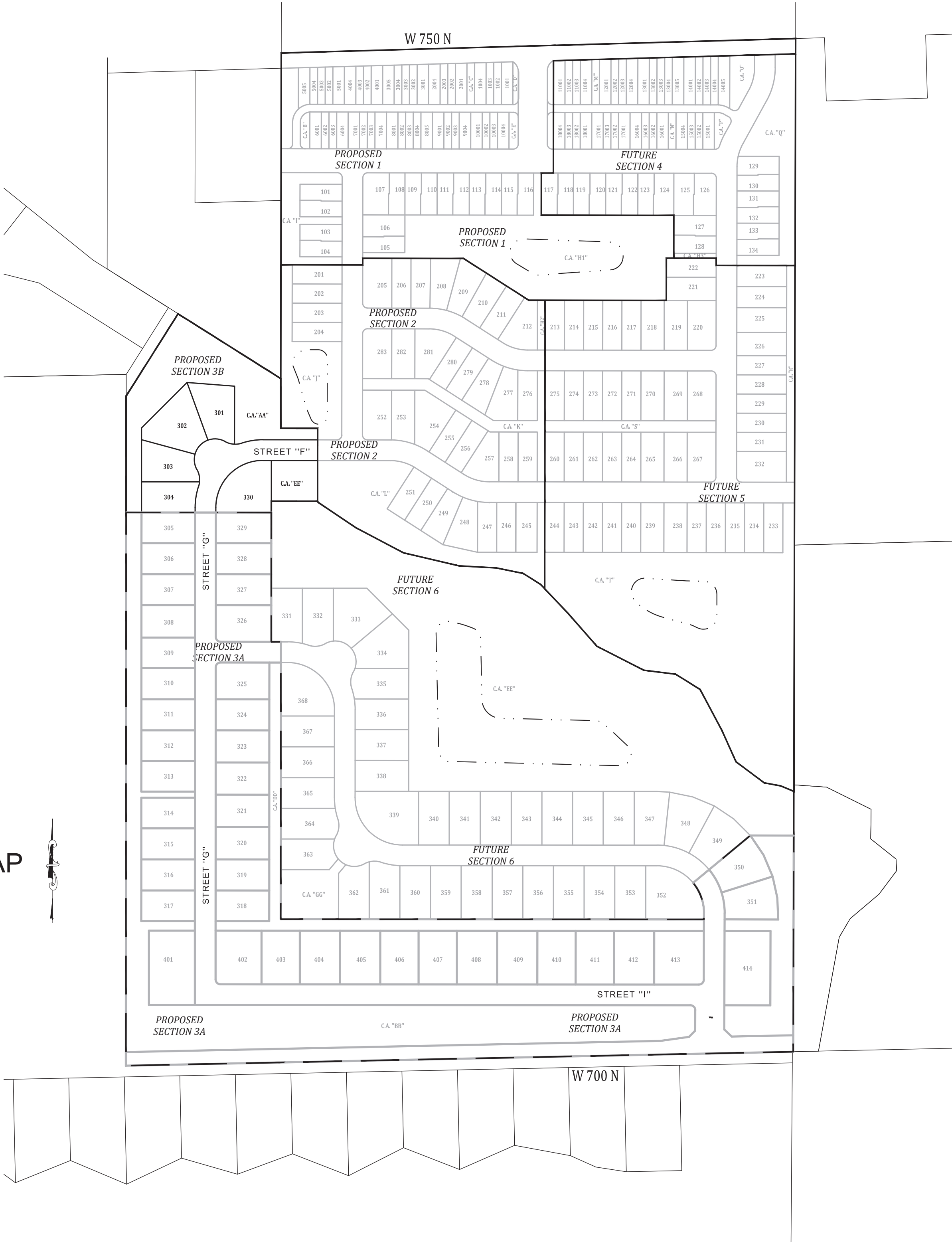


LOCATION MAP
NO SCALE

OPERATING AUTHORITIES & AREA UTILITIES

GAS CITIZENS ENERGY GROUP 2150 Dr. Martin Luther King Jr St Indianapolis, IN 46200 317-927-4684 Richard Miller, Jr.	SANITARY, STORM, & WATER MCCORDSVILLE PUBLIC WORKS 5759 W. Broadway McCordsville, IN 46055 317-335-3604 Mark Wilsman	CABLE TELEVISION BRIGHT HOUSE NETWORKS 3030 Roosevelt Ave Indianapolis, IN 46218 317-632-9077 Jason Kirkman
GAS CENTERPOINT ENERGY 16000 Allisonville Road Noblesville, Indiana 46061 317-776-5532 Sandra Casey	TELEPHONE AT&T - DISTRIBUTION 240 N. Meridian St., Room 1791 Indianapolis, IN 46204 317-295-3050 Matt Spindler	WATER CITIZENS ENERGY GROUP - WATER CWA Authority, Inc. 2150 Dr. Martin Luther King, Jr. Street Indianapolis, IN 46202 317-927-4351 Attn.: Brad Hostetler
ELECTRIC INDIANAPOLIS POWER & LIGHT COMPANY 317-261-5203 Rhonda Williams	TELEPHONE NINE STAR CONNECT 2243 E. Main St Greenfield, IN 46140 317-323-2074 Eric Meyer	SCHOOL DISTRICT MT. VERNON COMM. SCH. CORP. 1806 West State Road 234 Fortville, IN 46040 Dr. Shane Robbins
FIRE DEPARTMENT MCCORDSVILLE FIRE STATION 7580 Form Street McCordsville, IN 46055 317-335-2268 Attn.: Tom Alexander	POLICE MCCORDSVILLE POLICE DEPT. 6280 West CR 800 North McCordsville, IN 46055 317-335-2612	CABLE TELEVISION COMCAST CABLEVISION 5330 East 65th Street Indianapolis, IN 46220 317-774-3384 Matt Stringer

SITE MAP
1"=200'



SHEET INDEX	
SHEET NO	DESCRIPTION
C100	TITLE SHEET
C101	OVERALL PLAN
C110	EXISTING TOPOGRAPHY
C120	SIDEWALK STREET LIGHT, AND SIGN PLAN
C130	GRADING AND DRAINAGE PLAN
C140	OVERFLOW PLAN
C150	SSD PLAN
C200	STREET PLAN & PROFILE
C220	INTERSECTION DETAILS
C300	SANITARY SEWER PLAN
C301	SANITARY SEWER PLAN & PROFILES
C310	CULVERT PLAN
C320	WATER MAIN PLAN (CITIZENS WATER)
C400	INITIAL EROSION CONTROL PLAN
C410	FINAL EROSION CONTROL PLAN
C420-C421	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C500	EROSION CONTROL DETAILS
C503	STORM DETAILS
C525	CITIZENS WATER DETAILS
	TOWN OF MCCORDSVILLE STANDARDS
	PLAT

REVISIONS		
NUMBER	DESCRIPTION	DATE

SECTION 3A STREET NAME CHART

STREET	NAME	STREET LENGTH
F	CLOISTER LANE	260.6'
G	PORTICO LANE	130.7'

PROJECT SUMMARY

TOTAL AREA OF SECTION 3B:	4.35 ACRES ±
NUMBER OF LOTS:	5
TOTAL AREA OF LOTS:	1.67 ACRES ±
NUMBER OF COMMON AREAS:	2
TOTAL AREA OF COMMON AREAS:	2.08 ACRES ±
TOTAL LENGTH OF STREETS:	391.3 L.F. OR .07 MILES
TOTAL AREA OF DEDICATED RIGHT-OF-WAY:	0.60 ACRES ±

CONSTRUCTION DOCUMENTS

PROJECT MANAGER: _____ DATE: _____

THESE PLANS ARE NOT TO BE CONSIDERED FINAL OR TO BE UTILIZED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE APPROPRIATE BANNING ENGINEERING PROJECT MANAGER.

THESE PLANS ARE NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.

PLANS PREPARED BY:

BANNING ENGINEERING
853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS: (317) 707-3700, FAX: (317) 707-3800
E-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com

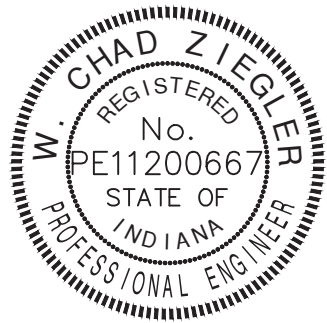
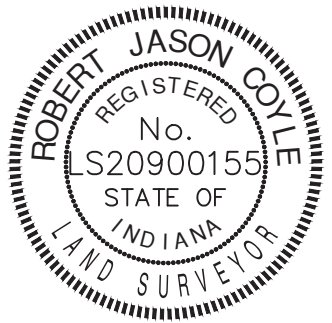
CONTACT: ROBERT "JASON" COYLE

MULTIPLE PROFESSIONALS ARE IN RESPONSIBLE CHARGE FOR THE PREPARATION AND DESIGN OF THIS PLAN SET. BELOW IS A LIST OF THE PROFESSIONALS INVOLVED WITH THIS PROJECT AND THE DISCIPLINES THEY ARE IN RESPONSIBLE CHARGE OF. EACH OF THE PLAN SHEETS BEARS THE SEAL AND SIGNATURE OF THE PROFESSIONAL IN RESPONSIBLE CHARGE FOR THAT SHEET.

- ROBERT JASON COYLE, PROFESSIONAL SURVEYOR, STATE OF INDIANA, PS # LS20900155
SUBDIVISION LAYOUT, STREETS, GRADING AND EROSION CONTROL
- W. CHAD ZIEGLER, PROFESSIONAL ENGINEER, STATE OF INDIANA, PE # PE11200667
SANITARY SEWER, STORM SEWER, DRAINAGE CALCULATIONS AND REPORTS, AND WATER MAIN

CERTIFIED:  04-22-2022

CERTIFIED:  04-22-2022



Date: 04-22-22
Project No: 21177P-S3B
Sheet No:

C100

LAND DESCRIPTION

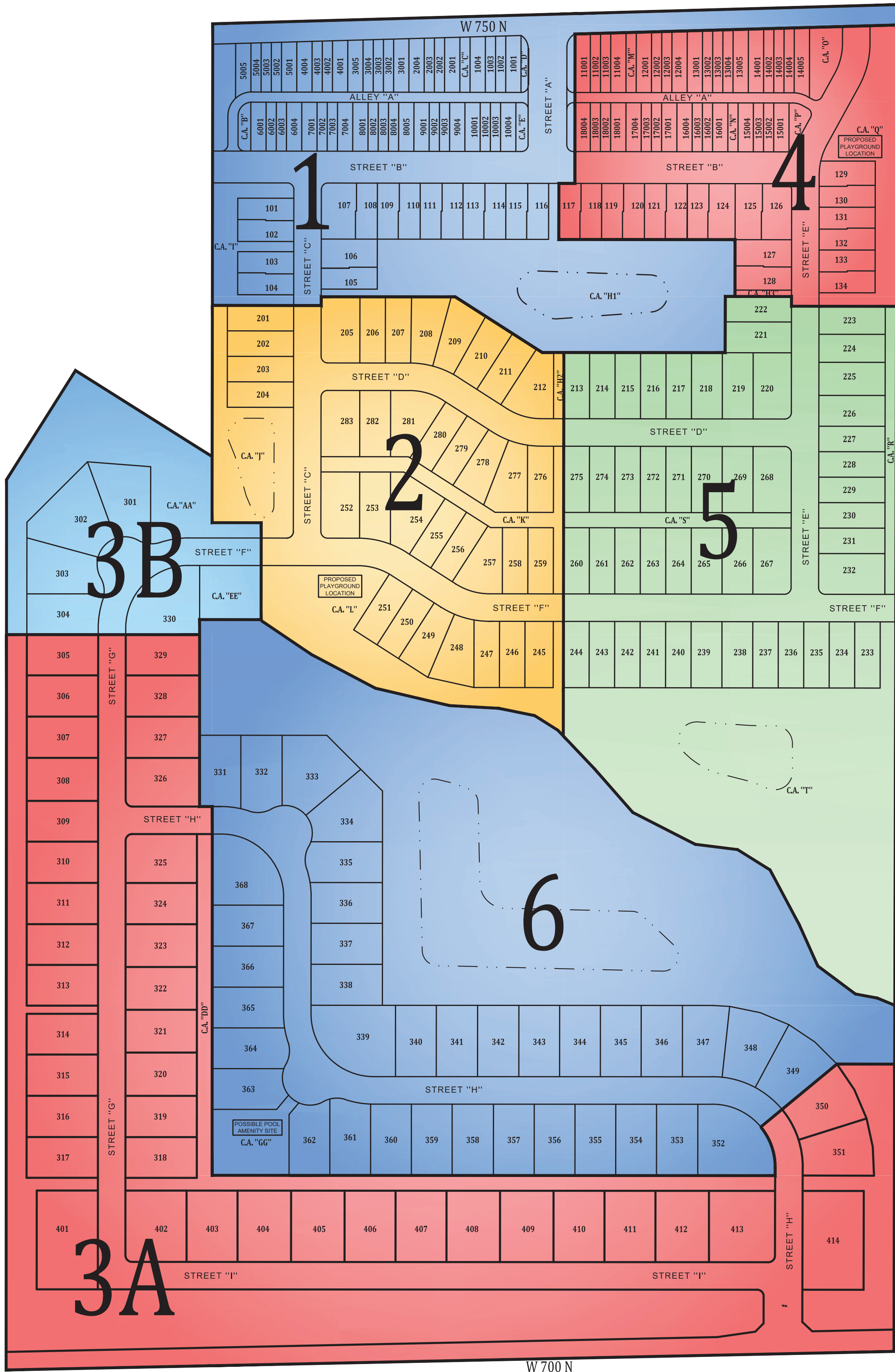
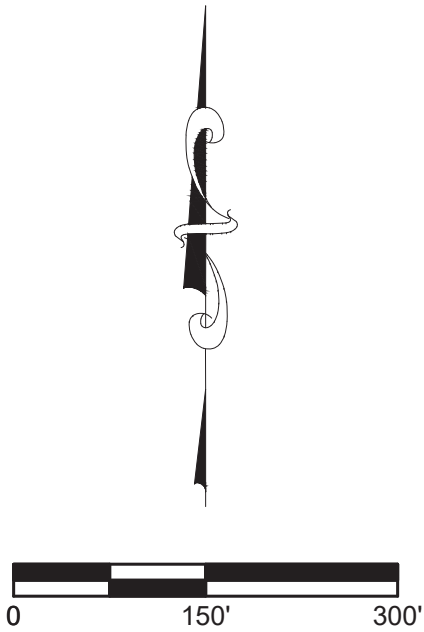
Section 3B

A part of the Southwest Quarter of Section 25, Township 17 North, Range 5 East in Vernon Township, Hancock County, Indiana, and being more particularly described as follows:

COMMENCING at a PK nail marking the Northwest corner of the East Half of said Southwest Quarter; thence South 00 degrees 05 minutes 02 seconds West along the west line of said East Half 849.78 feet to the POINT OF BEGINNING, said point being marked by a 5/8 inch rebar with cap stamped "Banning Eng Firm #0060" (hereinafter referred to as capped rebar) and also being the southeast corner of Lot 1 in Dammann's Minor Subdivision per plat thereof recorded as Instrument Number 030005842 in the Office of the Recorder of said County; thence continue South 00 degrees 05 minutes 02 seconds West along said west line 129.78 feet to a capped rebar; thence South 89 degrees 54 minutes 58 seconds East 96.54 feet to a capped rebar; thence South 00 degrees 05 minutes 02 seconds West 190.19 feet to a capped rebar; thence North 89 degrees 58 minutes 13 seconds West 120.62 feet to a capped rebar; thence South 00 degrees 01 minute 47 seconds West 29.60 feet to a capped rebar; thence North 89 degrees 58 minutes 13 seconds West 379.00 feet to a capped rebar on the east line of the land of Mt. Vernon Community School Corp. as described in Instrument Number 06029899452 in the Office of the Recorder of Hancock County; thence North 00 degrees 01 minute 47 seconds East along the east line of said land of Mt. Vernon Community School Corp. land 304.22 feet to a capped rebar; thence North 32 degrees 16 minutes 36 seconds East 253.46 feet to the south line of said Lot 1 in Dammann's Minor Subdivision, passing through a capped rebar at 235.64 feet; thence South 57 degrees 45 minutes 37 seconds East along said south line 316.91 feet to the POINT OF BEGINNING, containing 4.353 acres, more or less.

STREET NAME CHART

STREET	NAME
ALLEY A	
A	COLONNADE PARKWAY
B	ARCADE BLVD
C	CELLA LANE
D	PALAZZO LANE
E	PERISTYLE LANE
F	CLOISTER LANE
G	PORTICO LANE
H	BELVEDERE LANE
I	CUPOLA LANE



Project No: 21177-S3B

Sheet No:

C101

DESIGNED: JJB

DRAWN: JJB/ACL

CHECKED: RJC

SCALE: 1"=150'

DATE: 04-22-2022

OVERALL PLAN

COLONNADE - SECTION 3B

VERNON TOWNSHIP

HANCOCK COUNTY, INDIANA

REGISTERED

No. LS20900155

STATE OF INDIANA

LAND SURVEYOR

ROBERT JASON COVE

BANNING

ENGINEERING

853 COLUMBIA ROAD, SUITE #101

PLAINFIELD, IN 46168

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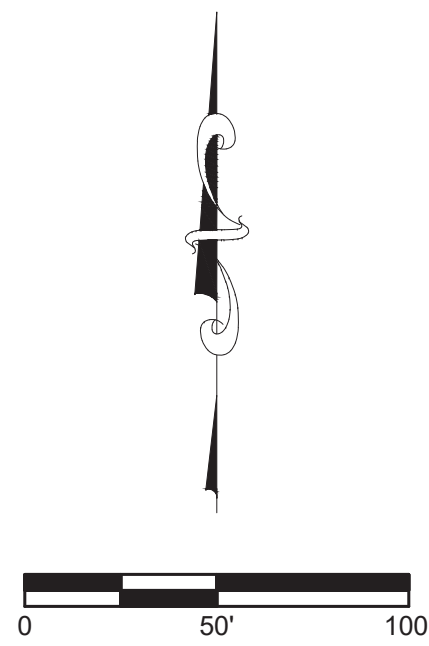
Sym.

Revisions



Date

STREET NAME CHART

STREET	NAME
ALLEY A	
A	COLONNADE PARKWAY
B	ARCADE BLVD
C	CELLA LANE
D	PALAZZO LANE
E	PERISTYLE LANE
F	CLOISTER LANE
G	PORTICO LANE
H	BELVEDERE LANE
I	CUPOLA LANE

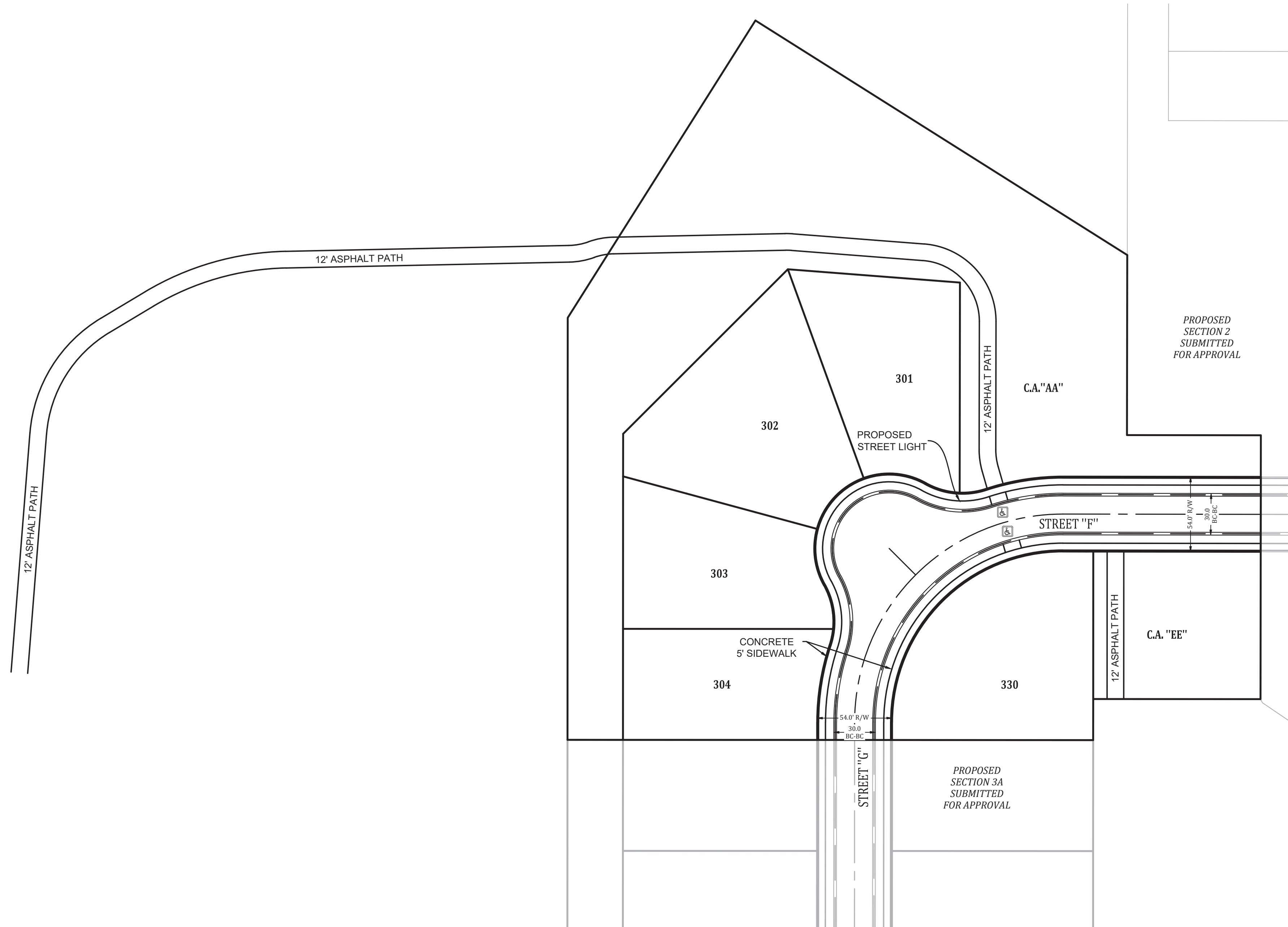


LEGEND

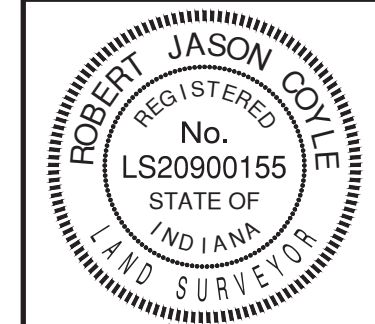
-  CURB RAMP LOCATION
(SEE HANCOCK COUNTY STANDARDS
FOR TACTILE STRIP DETAIL)
-  STREET LIGHT (PER TOWN OF McCORDSVILLE)

NOTES:

1. SEE TOWN OF MCCORDSVILLE STANDARDS FOR STANDARD INTERNAL SIDEWALK SPECIFICATIONS.
2. REGULATORY / WARNING SIGNS AND PAVEMENT SHALL BE PER TOWN OF MCCORDSVILLE AND MUTCD.
3. ANY TREE REMOVAL SHALL BE APPROVED BY DEVELOPER PRIOR TO CONSTRUCTION.
4. LANDSCAPING PLAN BY OTHERS
5. INSTALL EXTERIOR LIGHTING PER SECTION 6.12 FROM THE TOWN OF MCCORDSVILLE ZONING ORDINANCE



SIDEWALK, SIGNAGE, AND LIGHT PLAN
COLONNADE - SECTION 3B
VERNON TOWNSHIP
HANCOCK COUNTY, INDIANA



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Project No:	21177-S3B
Sheet No:	

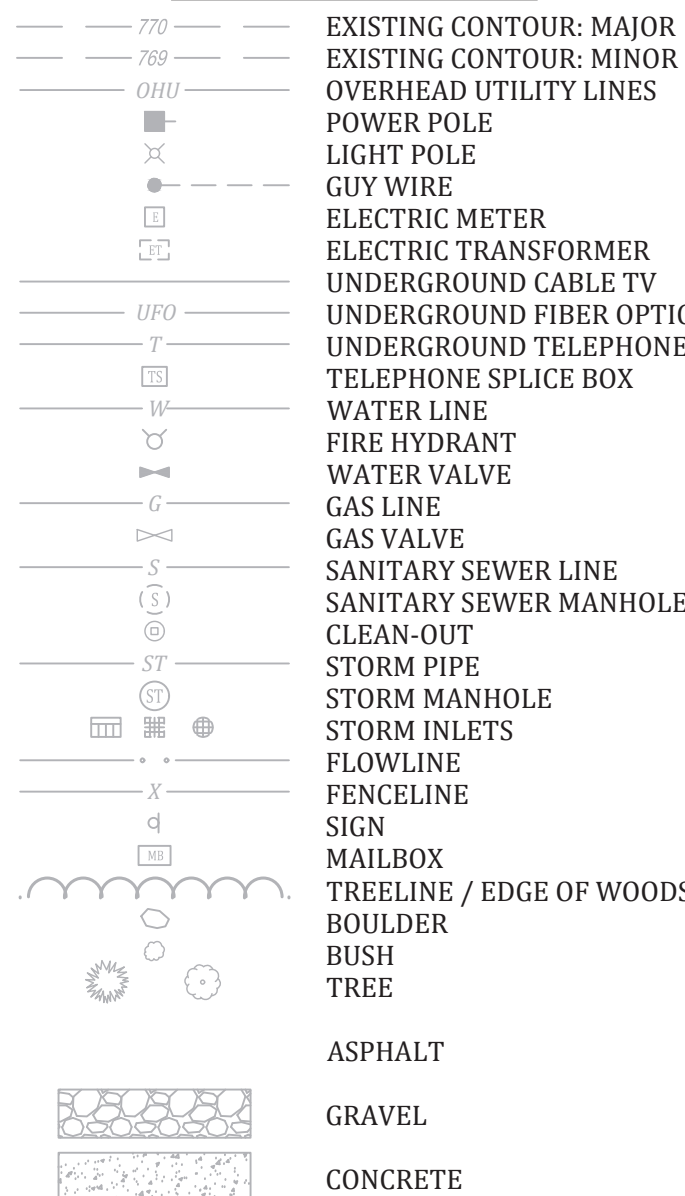
PLAN NOTES:

- (A) LOCAL ROAD PAVEMENT SECTION D=12"
SEE TOWN OF McCORDSVILLE STANDARDS
ON SHEET 2 OF 10
- (B) 2' CONCRETE ROLL CURB & GUTTER
SEE TOWN OF McCORDSVILLE STANDARDS
ON SHEET 2 OF 10
- (C) CURB RAMP. SEE TOWN OF McCORDSVILLE
STANDARDS ON SHEET 5 OF 10

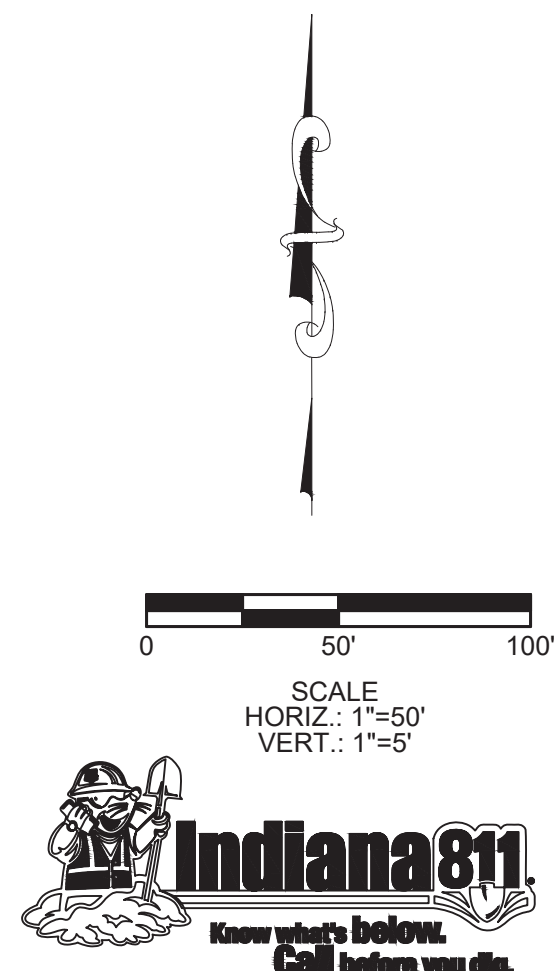
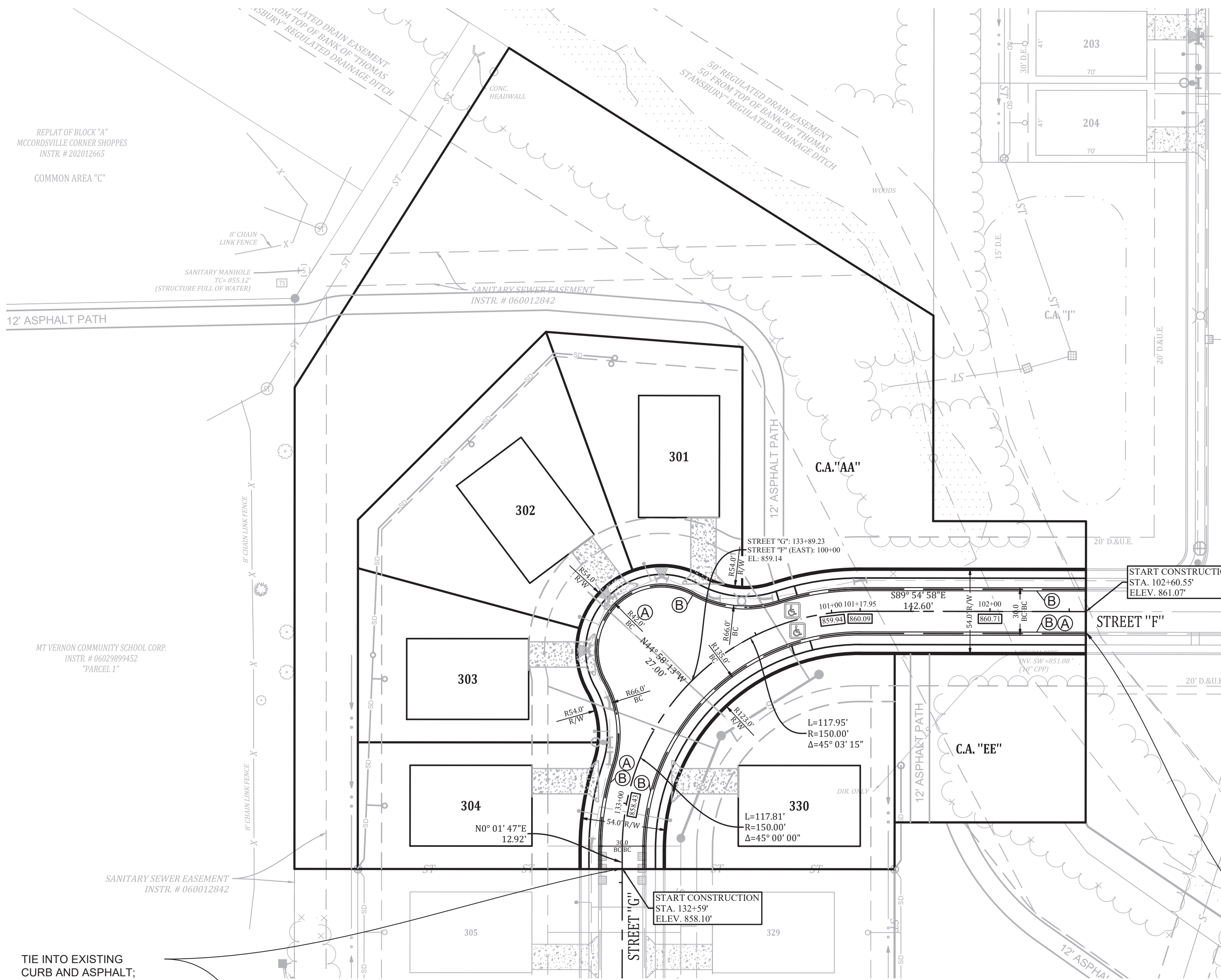
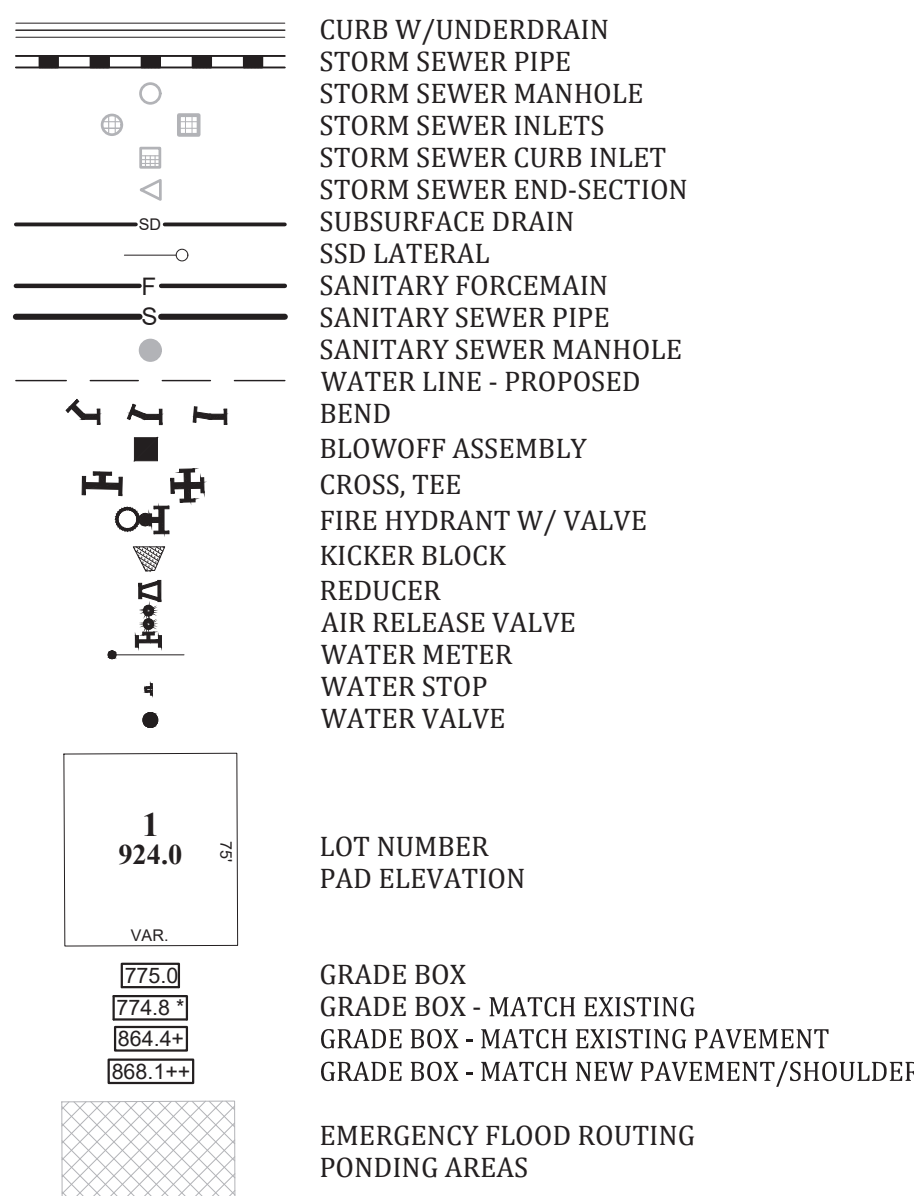
NOTES:

1. TEMPORARY TRAFFIC CONTROL DURING
CONSTRUCTION TO CONFORM TO APPLICABLE
LOCAL AND STATE STANDARDS.
2. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO
BE PERFORMED IN COMPLIANCE WITH
APPLICABLE O.S.H.A. STANDARDS FOR
WORKER SAFETY.
3. IT SHALL BE THE CONTRACTORS
RESPONSIBILITY TO FIELD VERIFY ALL UTILITIES
BEFORE CONSTRUCTION BEGINS.
4. BACK OF CURB GRADES ARE NOT EQUAL TO
THE PROFILE GRADE.
5. SLOPES ACROSS CURB RAMPS SHALL BE LESS
THAN 2%.
6. SEE SHEET C220 FOR TYPICAL ROAD SECTIONS.
7. ANY TREE REMOVAL SHALL BE APPROVED BY
THE DEVELOPER PRIOR TO CONSTRUCTION.

EXISTING LEGEND

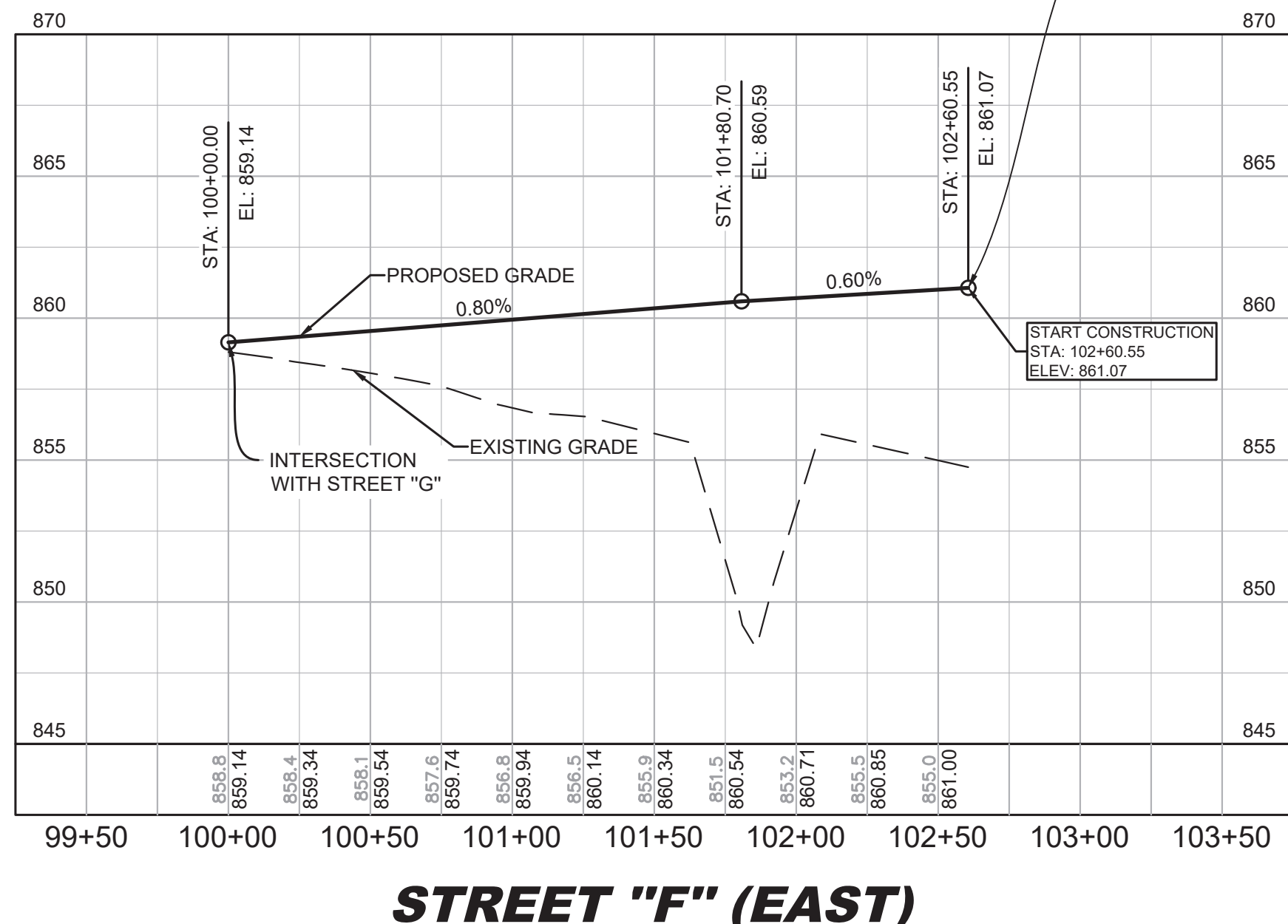
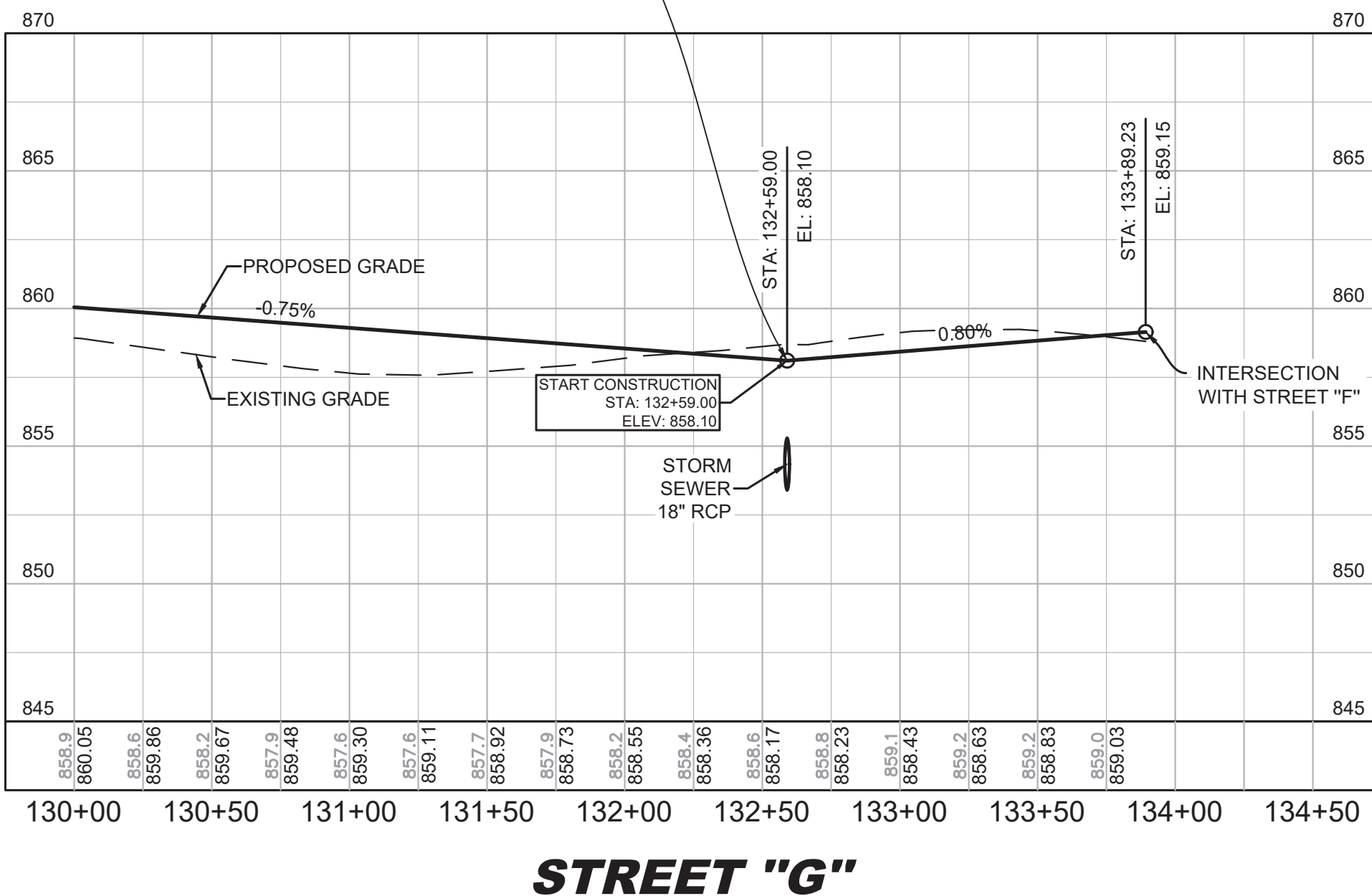


PROPOSED LEGEND

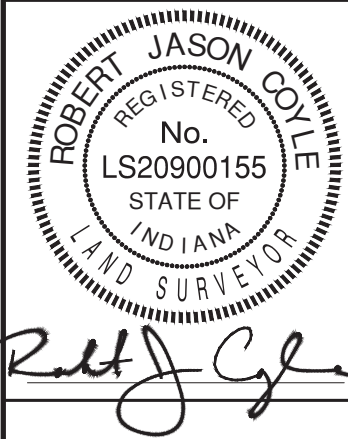


STREET NAME CHART

STREET	NAME
ALLEY A	COLONNADE PARKWAY
B	ARCADE BLVD
C	CELLA LANE
D	PALAZZO LANE
E	PERISTYLE LANE
F	CLOISTER LANE
G	PORTICO LANE
H	BELVEDERE LANE
I	CUPOLA LANE



STREET PLAN & PROFILE
COLONNADE - SECTION 3B
VERNON TOWNSHIP
HANCOCK COUNTY, INDIANA



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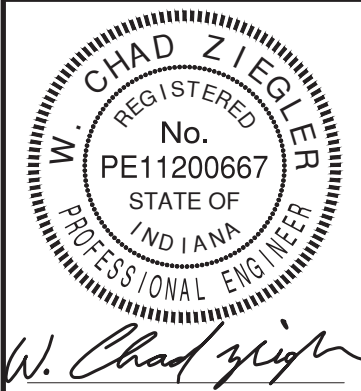
Project No: 21177-S3B
Sheet No:

C200

CULVERT DESIGN PENDING
WILL SUBMIT ON A LATER DATE

Project No: 21177-S3B
Sheet No:






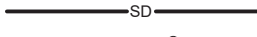

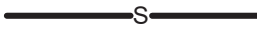











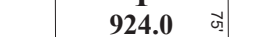


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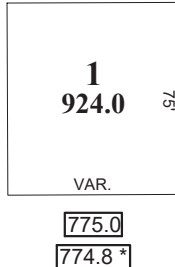





CULVERT PLAN
COLONNADE - SECTION 3B
VERNON TOWNSHIP
HANCOCK COUNTY, INDIANA

Designed:	Sym.	Revisions	Date
Drawn: JJB			
Checked: JJB / AGJ			
Scale: RJC			
Date: 1"= 50'			
Date: 04-22-2022			

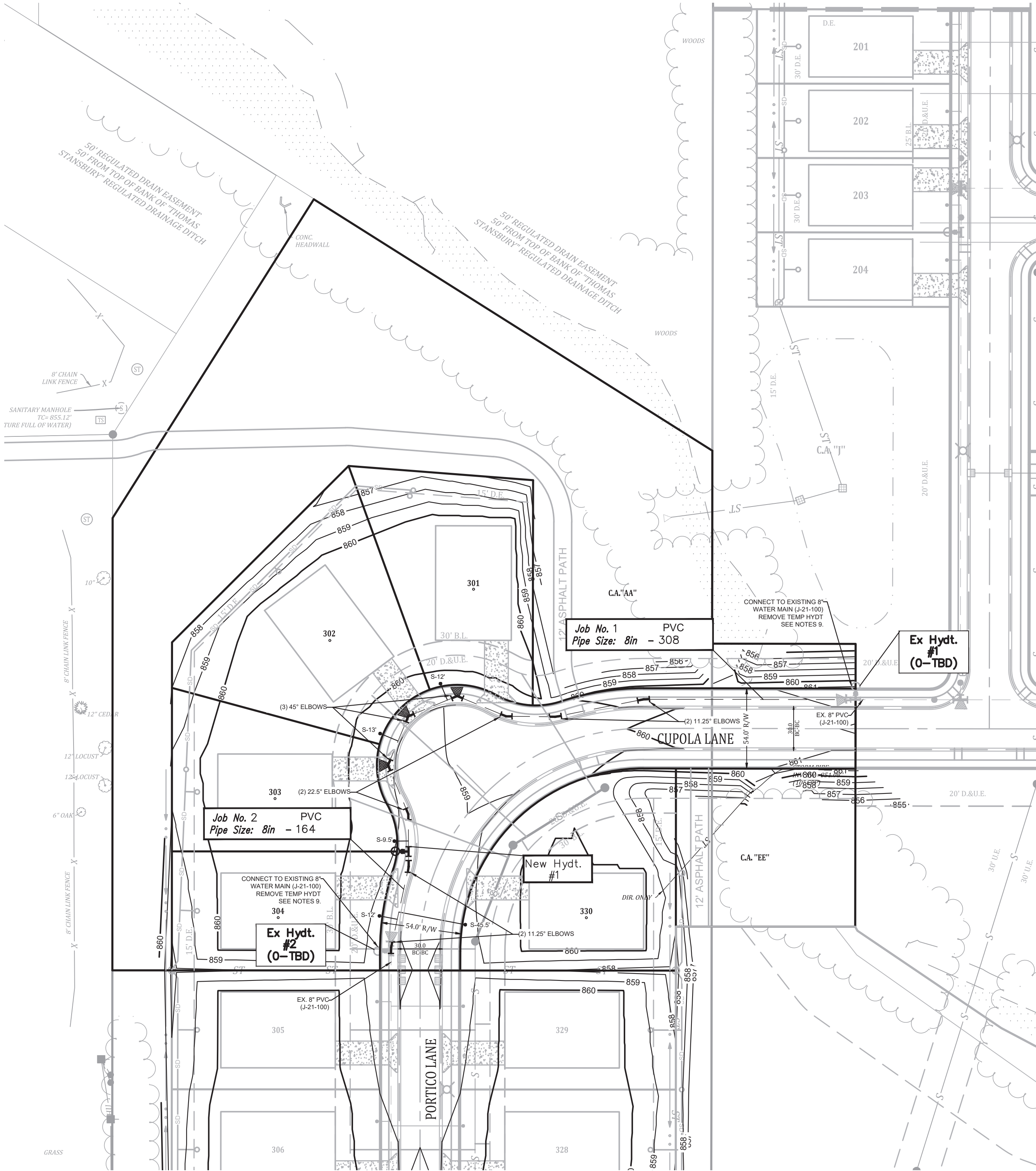
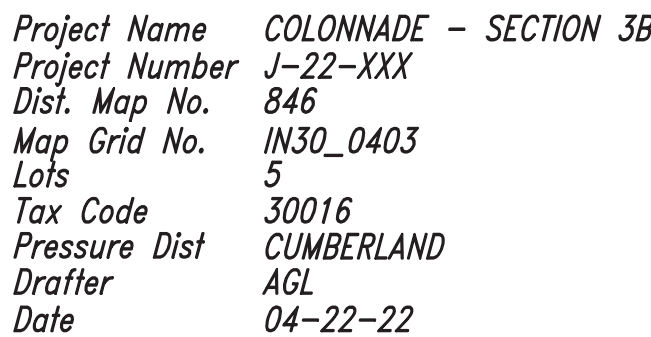
PROPOSED LEGEND

	CURB W/UNDERDRAIN
	STORM SEWER PIPE
	STORM SEWER MANHOLE
	STORM SEWER INLETS
	STORM SEWER CURB INLET
	STORM SEWER END-SECTION
	SUBSURFACE DRAIN
	SSD LATERAL
	SANITARY FORCEMAIN
	SANITARY SEWER PIPE
	SANITARY SEWER MANHOLE
	WATER LINE - PROPOSED
	BEND
	BLOWOFF ASSEMBLY
	CROSS, TEE
	FIRE HYDRANT W/ VALVE
	KICKER BLOCK
	REDUCER
	AIR RELEASE VALVE
	WATER METER
	WATER STOP
	WATER VALVE

	LOT NUMBER PAD ELEVATION
	GRADE BOX GRADE BOX - MATCH EXISTING
	EMERGENCY FLOOD ROUTING PONDING AREAS
	EMERGENCY FLOOD ROUTE

1. CONTRACTOR MUST HAVE & FOLLOW CITIZENS ENERGY GROUP WATER STANDARDS LATEST VERSION.
2. MINIMUM COVER OVER TOP OF ALL WATER MAINS TO BE 54" FROM FINISH GRADE.
3. THERE IS TO BE A MINIMUM OF 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION BETWEEN THE SEWER AND WATER LINE. SYMBOLS ARE LARGER THAN ACTUAL SIZE.
5. CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER MAIN PRIOR TO INSTALLATION.
6. STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. CONSULT WITH CEG INSPECTOR WITH ANY QUESTIONS.
7. ALL FIRE HYDRANTS ARE REQUIRED TO HAVE STORZ CONNECTIONS.
8. FULL DEPTH GRANULAR BACKFILL IS REQUIRED ON ALL ROAD CROSSINGS. CLOSING IN NOW. ALWAYS THE RE-USE OF TEMPORARY HYDRANTS FROM PREVIOUS SECTIONS FOR PROPOSED HYDRANTS (PENDING INSPECTOR APPROVAL). TEMPORARY HYDRANTS CAN BE RE-USED AS NEW HYDRANTS IF APPROVED BY THE INSPECTOR DURING CONSTRUCTION. IF THE HYDRANT WILL NOT BE RE-USED, RETURN TO CITIZENS.
10. WATER VALVES ARE TO BE LOCATED IN GRADE AREAS.
11. METER PIT LID MATERIAL SHALL MEET THE REQUIREMENTS IN SECTION 8.23 OF THE WATER STANDARDS MANUAL.

JOB#	STREET NAME	PIPE TYPE	SIZE	LNFT
1	CUPOLA LANE	PVC	8"	308
2	PORTICO LANE	PVC	8"	164
	Total Main LNFT			472
5	SINGLE SERVICE LINES	PE	1"	92



Sym.		Revisions	Date
Designed:	JJB		
Drawn:	JJB / AGL		
Checked:	R/C		
Scale:	1" = 50'		
Date:	04-22-2022		

WATER MAIN PLAN

COLONNADE - SECTION 3B

VERNON TOWNSHIP

HANCOCK COUNTY, INDIANA



W. Chad Ziegler



BANNING
ENGINEERING

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Project No: 21177-S3B

Sheet No:

C320

LEGEND

- | | | |
|---------|---|------------------------|
| D. | - | DRAINAGE |
| U. | - | UTILITY |
| E. | - | EASEMENT |
| R/W | - | RIGHT OF WAY |
| B.L. | - | BUILDING SETBACK LINE |
| sq. ft. | - | SQUARE FEET |
| P.A.E. | - | PUBLIC ACCESS EASEMENT |
| XXXX | - | LOT ADDRESS |

INSTR. NO. : _____
CABINET : _____
SLIDE : _____

NW COR. OF THE E 1/2
OF THE SW 1/4 OF SEC.
25, T17N, R5E.
PK NAIL FOUND AG

**NOTE: SEE PAGE 2 FOR
NOTES REGARDING MONUMENTS**

Line Table		
Line #	Length	Direction
L1	12.92'	N00° 01' 47"E
L2	27.00'	N44° 58' 13"W

Legend:

- UTILITY
- EASEMENT
- R/W RIGHT OF WAY
- B.L. BUILDING SETBACK LINE
- Sq. ft. SQUARE FEET
- P.A.E. PUBLIC ACCESS EASEMENT
- XXXX LOT ADDRESS

Lot Details:

- LOT 301:** 14,089 sq. ft.
- LOT 302:** 17,824 sq. ft.
- LOT 303:** 13,091 sq. ft.
- LOT 304:** 11,483 sq. ft.

Easement Details:

- CA "AA":** 77,660 sq. ft. P.A.E.
- CA "EE":** 12,821 sq. ft. P.A.E.

Street Details:

- STREET "F":** 54' PUBLIC R/W

Curve #	Length	Radius	Delta	Tangent	Chord Bearing	Chord Distance
C1	56.40'	177.00'	018°15'20"	28.44'	S09°09'27"W	56.16'
C2	117.81'	150.00'	045°00'00"	62.13'	N22°31'47"E	114.81'
C3	44.79'	54.00'	047°31'14"	23.77'	S05°28'31"E	43.51'
C4	193.32'	123.00'	090°03'15"	123.12'	N45°03'24"E	174.03'
C5	235.76'	150.00'	090°03'15"	150.14'	N45°03'24"E	212.23'
C6	139.99'	54.00'	148°31'49"	191.66'	S45°01'47"W	103.95'

Curve Table						
Curve #	Length	Radius	Delta	Tangent	Chord Bearing	Chord Distance
C1	56.40'	177.00'	018°15'20"	28.44'	S09°09'27"W	56.16'
C2	117.81'	150.00'	045°00'00"	62.13'	N22°31'47"E	114.81'
C3	44.79'	54.00'	047°31'14"	23.77'	S05°28'31"E	43.51'
C4	193.32'	123.00'	090°03'15"	123.12'	N45°03'24"E	174.03'
C5	235.76'	150.00'	090°03'15"	150.14'	N45°03'24"E	212.23'
C6	139.99'	54.00'	148°31'49"	191.66'	S45°01'47"W	103.95'
C7	44.79'	54.00'	047°31'14"	23.77'	N84°27'56"W	43.51'
C8	117.95'	150.00'	045°03'15"	62.22'	N67°33'24"E	114.94'
C9	56.56'	177.00'	018°18'35"	28.52'	S80°55'44"W	56.32'

Witness my signature this ____ day of _____, 20__

Signature_____

Jonathan D. Polson - Professional Surveyor - Indiana - # LS21500011



		PRELIMINARY PLAT		FINAL PLAT		RECORDING		Drawn: CH
Checked:	Date:	Checked:	Date:	Checked:	Date:			Scale: 1"=40'
Revisions								Date: 4/20/2022
								Project: 21177-S3B
								Sheet 1 of 2

PER TITLE 865 I.A.C. 1-12-18, THE INSTALLATION OF THE SUBDIVISION MONUMENTS MAY BE DELAYED FOR UP TO TWO YEARS FROM THE DATE IN WHICH THE PLAT WAS RECORDED. FOR THOSE MONUMENTS NOT INSTALLED PRIOR TO RECORDATION OF THIS PLAT, A MONUMENT AFFIDAVIT WILL BE RECORDED AND CROSS REFERENCED TO THIS PLAT AFTER THE COMPLETION OF THE INSTALLATION OF THE SUBDIVISION MONUMENTATION.

ALL MONUMENTS SHOWN WITHIN THIS PLAT WERE FOUND OR SET PRIOR TO THE RECORDING OF THIS PLAT

- DENOTES A 5/8" REBAR, 24" LONG, WITH CAP STAMPED "BANNING ENG FIRM #0060", UNLESS OTHERWISE NOTED.
- DENOTES A STREET CENTERLINE MONUMENT, A 5/8" DIA. REBAR WITH 1-1/2" TAPERED ALUMINUM CAP STAMPED "BANNING ENG FIRM #0060", SET FLUSH OR A 2" MAG NAIL, TEMPORARY SET FLUSH WITH BINDER COURSE.
- ⊗ DENOTES A MAG NAIL WITH WASHER STAMPED "BANNING ENG FIRM #0060" SET OR FOUND

INSTR. NO. : _____
CABINET : _____
SLIDE : _____

CERTIFICATE OF OWNERSHIP

Colonnade Developer, LLC, does hereby certify that it is the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown on the herein drawn plat, as its free and voluntary act and deed.

Signature _____

Printed _____

Title _____

State of Indiana)

County of _____)

Before me, the undersigned, a Notary Public in for said County and State, personally appeared _____ and acknowledged the execution of this Instrument as his voluntary act and deed and affixed his signature hereto.

Witness my signature and seal this _____ day of _____, 20____

Notary Public

Be it resolved by the McCordsville Town Council of McCordsville, Indiana, that the dedications shown on this plat are approved and accepted this ____ day of _____, 20__.

President- Tom Strayer

McCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission the ____ day of _____, 20____, under the authority provided by:

NOTES:

- 1) Cross-reference is hereby made to a ALTA/ NPSF Land Title Survey of record, recorded as Instrument Number _____ in the Office of the Recorder of Hancock County, Indiana.
- 2) Dedicated Right-of-Way in this subdivision consists of 0.603 acres and 391 lineal feet as measured along the centerline of the road.
- 3) The subject tract is zoned _____.
- 4) The Town of McCordsville is not responsible for snow plowing of the local roads within this subdivision.
- 5) The Town of McCordsville shall not be responsible for any maintenance or repairs on any alley.

SUPPLEMENTARY DECLARATION

This plat, together with all lots, streets, common areas, and real estate described herein is subject in all respects to the Declaration of Covenants Conditions and Restrictions of _____ recorded with the Recorder of Hancock County Indiana, in Instrument # _____ (the "Covenants"), and this constitutes, a supplement declaration within the meaning of the Covenants.

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its easements be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the landowner. The drainage system and its easements shall be accepted into the regulated drain system if the regulated drain system is delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewer and tile drains as defined in McCordsville Stormwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the maintenance thereof with the lateral easements shall be the responsibility of the landowner or his or her authorized agent. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains _____ linear feet of open ditches and _____ feet of subsurface drains that will be included in the Town's Regulated Drainage System.

This instrument was prepared by Jonathan D. Polson, Banning Engineering, 853 Columbia Road, Suite 101, Plainfield, IN 46168.

I affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. Jonathan D. Polson

		PRELIMINARY PLAT		FINAL PLAT		RECORDING		Drawn: CH	
Checked:		Date:		Checked:		Date:		Scale: N/A	
Revisions									Date: 4/20/2022
									Project: 21177-S3B
									Sheet 2 of 2

