

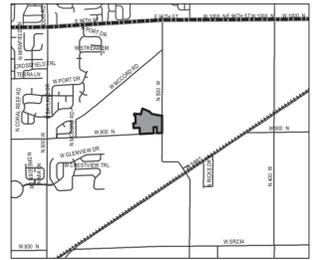
THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, INC.
11555 N. MERIDIAN ST., SUITE 400
CARMEL, INDIANA 46032
PHONE: (317) 659-3200

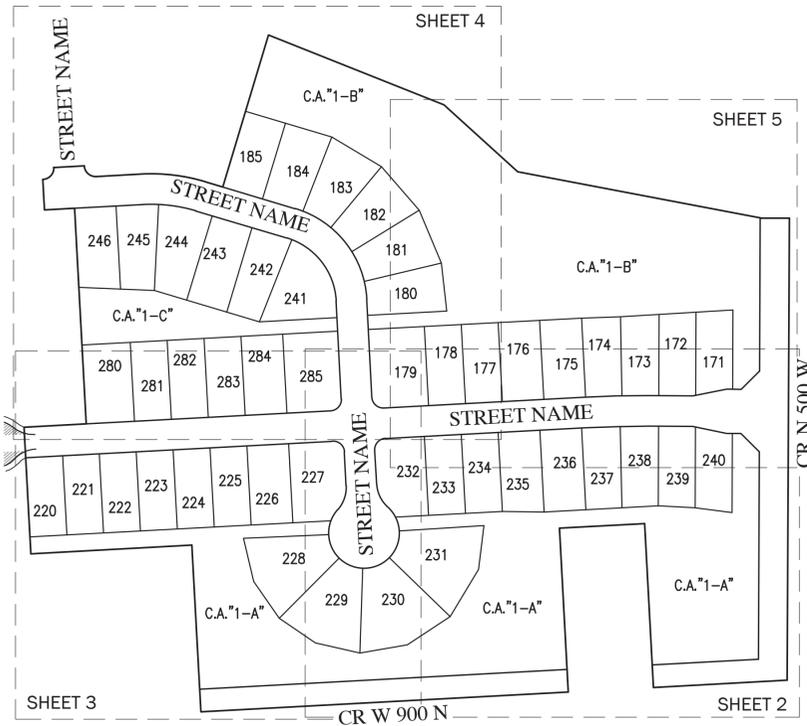
SUMMERTON SECTION 1 SECONDARY PLAT TOWN OF McCORDSVILLE VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA (PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____



Vicinity Map
Not to Scale

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	114.91'	1973.00'	114.89'	S88°35'03"W	3°20'13"
C-2	116.48'	2000.00'	116.46'	S88°35'03"W	3°20'13"
C-3	118.05'	2027.00'	118.04'	S88°35'03"W	3°20'13"
C-4	31.42'	20.00'	28.28'	S48°05'03"E	90°00'00"
C-5	31.42'	20.00'	28.28'	S41°54'57"W	90°00'00"
C-6	31.42'	20.00'	28.28'	N48°05'03"W	90°00'00"
C-7	31.42'	20.00'	28.28'	N41°54'57"E	90°00'00"
C-8	46.61'	60.00'	45.45'	S25°20'23"E	44°30'40"
C-9	291.11'	62.00'	88.43'	N86°54'57"E	269°01'20"
C-10	46.61'	60.00'	45.45'	N19°10'17"E	44°30'40"
C-11	150.67'	123.00'	141.42'	N38°10'34"W	70°11'02"
C-12	183.74'	150.00'	172.47'	N38°10'34"W	70°11'02"
C-13	216.81'	177.00'	203.51'	N38°10'34"W	70°11'02"
C-14	94.42'	273.00'	93.95'	N83°10'34"W	19°48'58"
C-15	103.76'	300.00'	103.24'	N83°10'34"W	19°48'58"
C-16	113.10'	327.00'	112.53'	N83°10'34"W	19°48'58"
C-17	31.42'	20.00'	28.28'	S48°05'03"E	90°00'00"
C-18	31.42'	20.00'	28.28'	N41°54'57"E	90°00'00"



Site Map
SCALE: 1" = 150'

REFER TO SECTION K OF THE SUMMERTON PUD FOR TREE CONSERVATION.

ALL MAINTENANCE OF LANDSCAPING IN THE MEDIAN IS THE RESPONSIBILITY OF THE HOA.

ALL SNOW REMOVAL IS THE RESPONSIBILITY OF THE HOA AND NOT THE TOWN.

SEE SHEET 6 FOR LAND DESCRIPTION

DEVELOPMENT STANDARDS

AREA "B"	
MAXIMUM NUMBER OF LOTS	116
MINIMUM LOT AREA	8,450 SQ. FT.
MINIMUM LOT WIDTH AT BUILDING LINE	65
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	7.5 FEET
MINIMUM REAR YARD SETBACK	15 FEET
MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY) 1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	50%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET



Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021

SHEET 1 OF 6

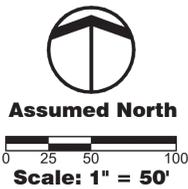
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SUMMERTON SECTION 1 SECONDARY PLAT TOWN OF McCORDSVILLE VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA (PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____



FOR CONTINUATION SEE SHEET 5 OF 6

- SUBDIVISION MONUMENTS**
- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
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 - ⊠ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH
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LEGEND

RIGHT-OF-WAY LINE	---
LOT LINE	---
BOUNDARY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
CENTERLINE	---
SECTION LINE	---

LEGEND

25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
P.A.E.	PEDESTRIAN ACCESS EASEMENT
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
A.C.	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
[1234]	STREET ADDRESS



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SEE SHEET 1 FOR CURVE TABLE
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Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021

SHEET 2 OF 6

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Assumed North
Scale: 1" = 50'

SUMMERTON SECTION 1 SECONDARY PLAT

TOWN OF McCORDSVILLE VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA (PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____

FOR CONTINUATION SEE SHEET 4 OF 6

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LEGEND

RIGHT-OF-WAY LINE	---
LOT LINE	---
BOUNDARY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
CENTERLINE	---
SECTION LINE	---

LEGEND

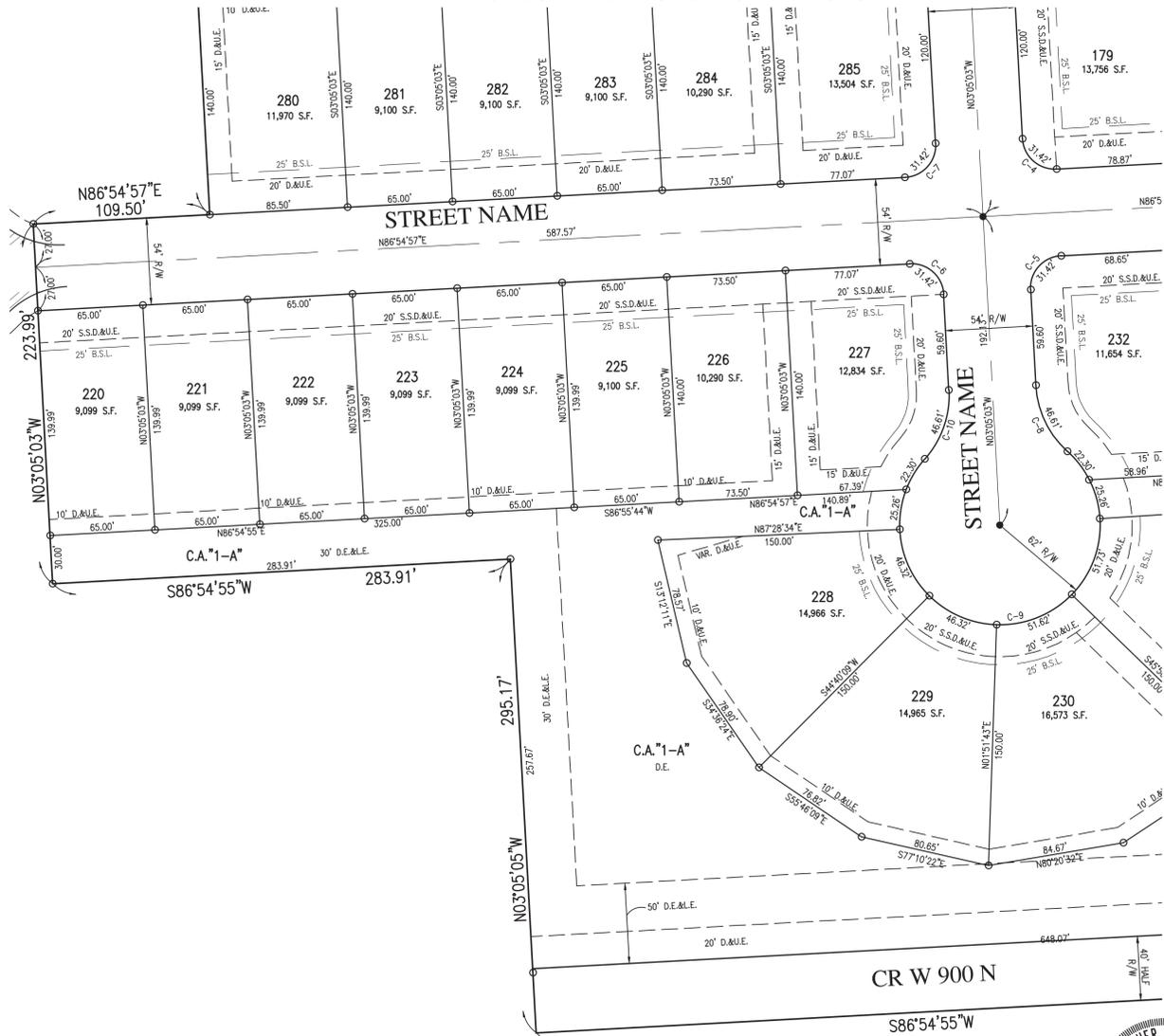
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
P.A.E.	PEDESTRIAN ACCESS EASEMENT
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
[1234]	STREET ADDRESS

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SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 6 FOR LAND DESCRIPTION



FOR CONTINUATION SEE SHEET 2 OF 6

Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021



SHEET 3 OF 6

THIS INSTRUMENT PREPARED BY:

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Assumed North
Scale: 1" = 50'

SUMMERTON SECTION 1 SECONDARY PLAT

TOWN OF McCORDSVILLE VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA (PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____

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LEGEND

RIGHT-OF-WAY LINE	---
LOT LINE	---
BOUNDARY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
CENTERLINE	---
SECTION LINE	---

LEGEND

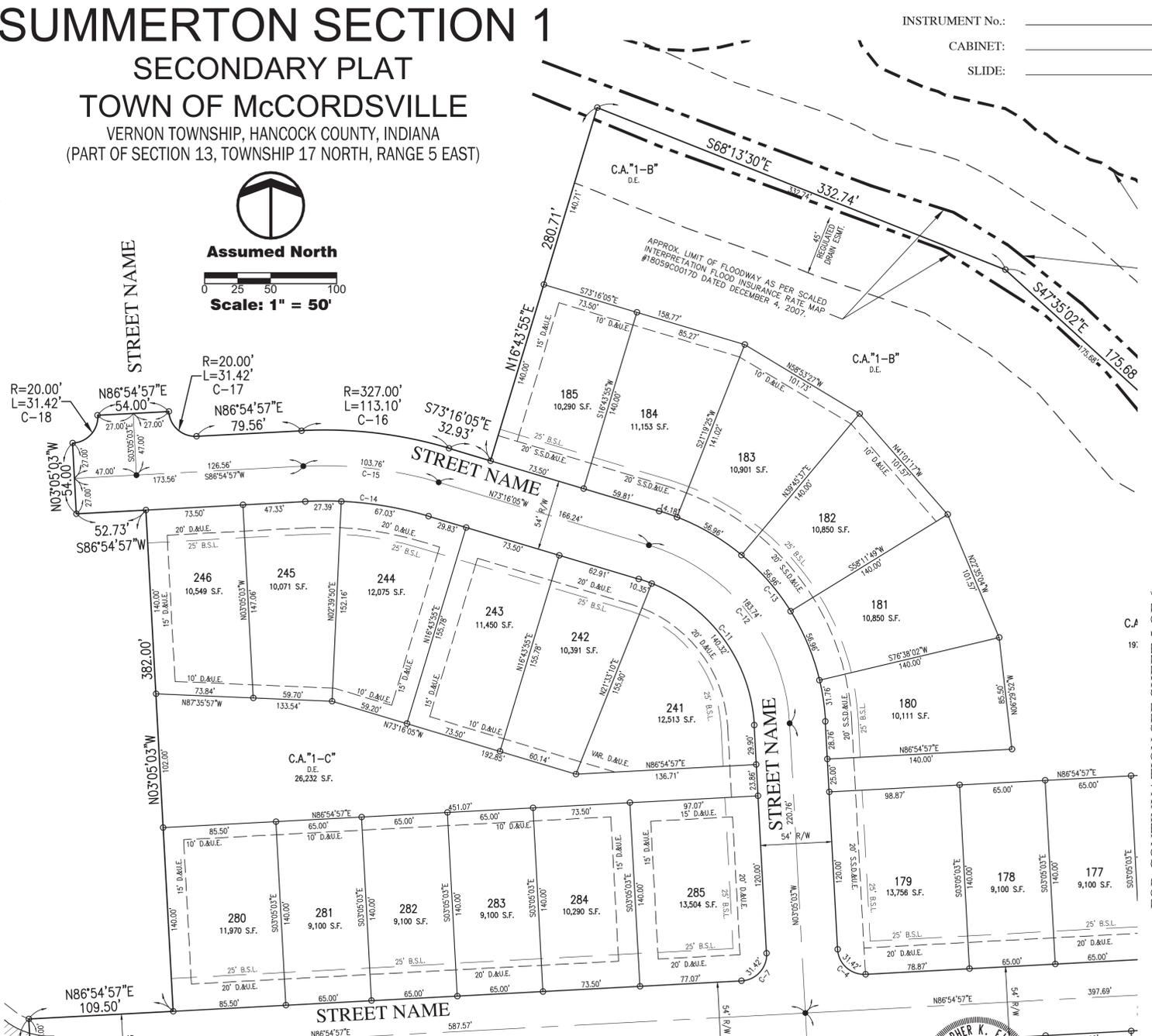
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
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AC	ACRES
R	RADIUS
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[1234]	STREET ADDRESS

REFER TO SECTION K OF THE SUMMERTON PUD FOR TREE CONSERVATION.

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SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 6 FOR LAND DESCRIPTION



FOR CONTINUATION SEE SHEET 5 OF 6

Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021



SHEET 4 OF 6

THIS INSTRUMENT PREPARED BY:

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Assumed North
0 25 50 100
Scale: 1" = 50'

SUMMERTON SECTION 1 SECONDARY PLAT TOWN OF McCORDSVILLE VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA (PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____

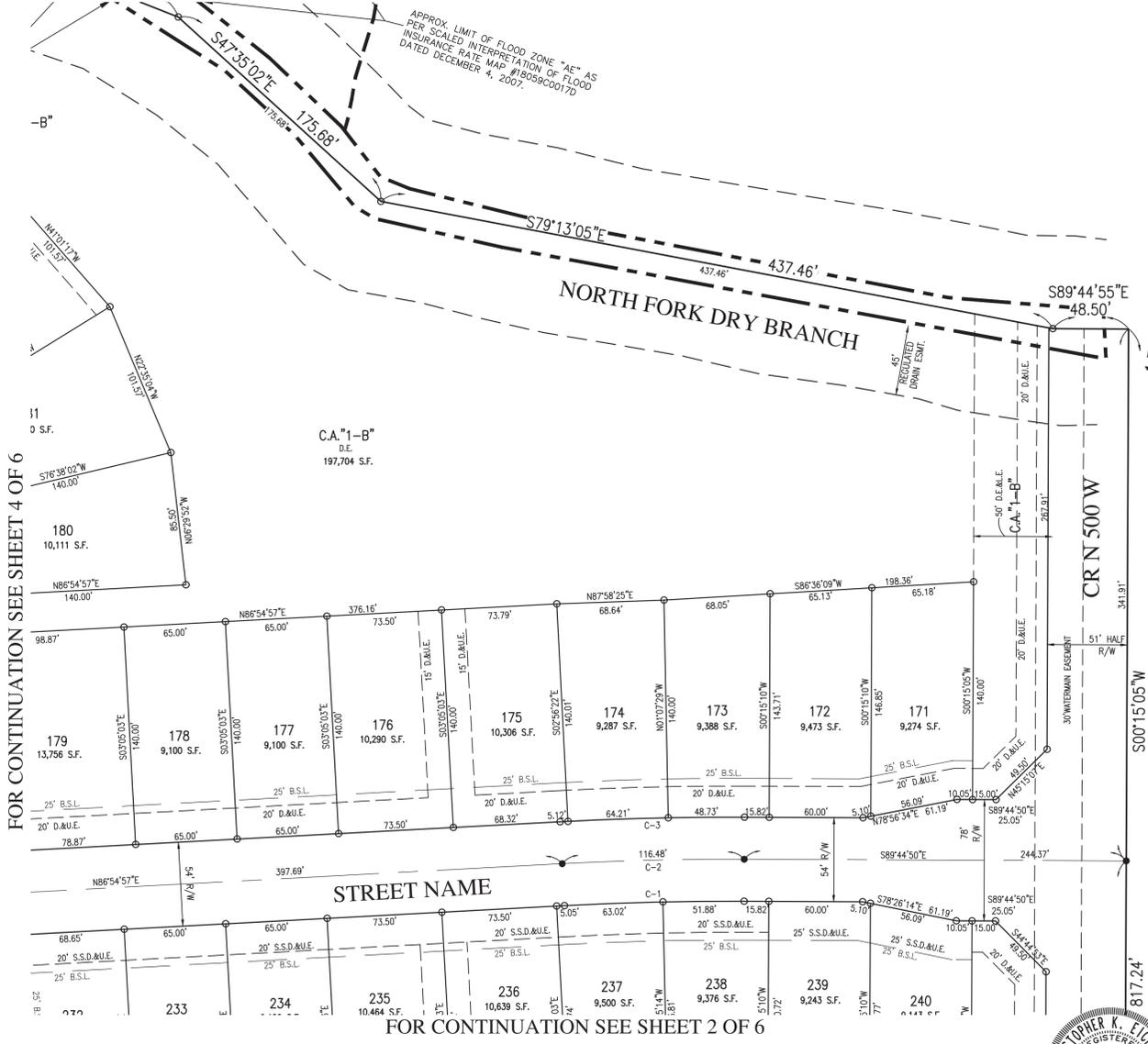
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LEGEND

RIGHT-OF-WAY LINE	---
LOT LINE	---
BOUNDARY LINE	---
EASEMENT LINE	---
SETBACK LINE	---
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LEGEND

25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
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R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
1234	STREET ADDRESS



REFER TO SECTION K OF THE SUMMERTON PUD FOR TREE CONSERVATION.

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SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 6 FOR LAND DESCRIPTION

Kristopher K. Eichhorn
Professional Surveyor No. 21000230
May 6, 2021



SHEET 5 OF 6

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
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SUMMERTON SECTION 1 SECONDARY PLAT TOWN OF McCORDSVILLE VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA (PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____
CABINET: _____
SLIDE: _____

LAND DESCRIPTION

I, the undersigned Registered Land Surveyor, hereby certify that the included plat correctly represents a subdivision of part of the Southeast Quarter of Section 13, Township 17 North, Range 5 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana, more particularly described as follows:

BEGINNING at the southeast corner of said Southeast Quarter, marked by a railroad spike found per Hancock County Surveyor reference ties; thence South 86 degrees 54 minutes 55 seconds West (assumed bearing) along the south line of said Southeast Quarter a distance of 236.00 feet to the southeast corner of the John Young Jr. Minor Subdivision, the plat of which is recorded in Plat Cabinet B, Slide 14 as Instrument Number 870004267 in the Office of the Recorder of Hancock County, Indiana, the following three (3) courses being along the east, north, and west lines of said Subdivision; (1) thence North 03 degrees 05 minutes 05 seconds West a distance of 290.40 feet; (2) thence South 86 degrees 54 minutes 05 seconds West a distance of 150.00 feet; (3) thence South 03 degrees 05 minutes 05 seconds East a distance of 290.40 feet to the south line of said Southeast Quarter; thence South 86 degrees 54 minutes 55 seconds West along said south line a distance of 648.07 feet to the southeast corner of a tract of land described in Instrument Number 201706617 in said Recorder's Office, the following two (2) courses being along the east and north lines of said tract; (1) thence North 03 degrees 05 minutes 05 seconds West a distance of 295.17 feet; (2) thence South 86 degrees 54 minutes 55 seconds West a distance of 283.91 feet; thence North 03 degrees 05 minutes 03 seconds West a distance of 223.99 feet; thence North 86 degrees 54 minutes 57 seconds East a distance of 109.50 feet; thence North 03 degrees 05 minutes 03 seconds West a distance of 382.00 feet; thence South 86 degrees 54 minutes 57 seconds West a distance of 52.73 feet; thence North 03 degrees 05 minutes 03 seconds West a distance of 54.00 feet to a point on a non-tangent curve to the left having a radius of 20.00 feet; thence northeasterly along said curve an arc distance of 31.42 feet, said curve being subtended by a chord bearing North 41 degrees 54 minutes 57 seconds East, a chord distance of 28.28 feet; thence North 86 degrees 54 minutes 57 seconds East a distance of 54.00 feet to a point on a non-tangent curve to the left having a radius of 20.00 feet; thence southeasterly along said curve an arc distance of 31.42 feet, said curve being subtended by a chord bearing South 48 degrees 05 minutes 03 seconds East, a chord distance of 28.28 feet; thence North 86 degrees 54 minutes 57 seconds East a distance of 79.56 feet to the point of curvature of a curve to the right having a radius of 327.00 feet; thence easterly along said curve an arc distance of 113.10 feet, said curve being subtended by a chord bearing South 83 degrees 10 minutes 34 seconds East, a chord distance of 112.53 feet; thence South 73 degrees 16 minutes 05 seconds East a distance of 32.93 feet; thence North 16 degrees 43 minutes 55 seconds East a distance of 290.71 feet; thence South 88 degrees 13 minutes 30 seconds East a distance of 332.74 feet; thence South 47 degrees 35 minutes 02 seconds East a distance of 175.68 feet; thence South 79 degrees 13 minutes 05 seconds East a distance of 437.46 feet; thence South 89 degrees 44 minutes 55 seconds East a distance of 48.50 feet to the east line of said Southeast Quarter; thence South 00 degrees 15 minutes 05 seconds West along said east line a distance of 817.24 feet to the POINT OF BEGINNING, containing 26.008 acres, more or less.

This subdivision consists of 48 lots numbered 171-185, 241-246, 220-240 and 280-285, all inclusive, and Three (3) Common Areas denoted as C.A. "1-A", C.A. "1-B" and C.A. "1-C".

Cross-Reference is hereby made to a survey plat prepared by HWC Engineering, in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code, recorded as Instrument Number _____ in the Office of the Recorder of Hancock County, Indiana.

I further certify that I am a Registered Land Surveyor, licensed in compliance with the laws of the State of Indiana and that the within plat represents a subdivision of the lands surveyed within the cross referenced survey plat, and that to the best of my knowledge and belief there has been no change from the matters of survey revealed by the cross referenced survey on any lines that are common with the new subdivision.

Witness by signature this ____ day of _____, 20 ____.

Kristopher K. Eichhorn
Professional Surveyor No. 21000230



ACCEPTANCE OF DEED OF DEDICATION

We, the undersigned Lennar Homes of Indiana, Inc., a Delaware Corporation, owners of the real estate shown and described on the plat herein and recorded in the Office of the Recorder of Hancock County, Indiana, do hereby lay off, plat and subdivide, said real estate in accordance with the within plat. We further certify that this plat is made and submitted with our free consent and desire.

This subdivision shall be known and designated as Summerton, Section 1. All streets shown and not heretofore dedicated are hereby dedicated to the public.

Dedicated right-of-way in this subdivision consists of 4.78 acres and 2,433 lineal feet as measured along the centerline of the road. Title to the foregoing real estate is subject to a certain Declaration of Covenants, Conditions and Restrictions for Summerton, recorded as Instrument Number _____ in the Office of the Recorder of Hancock County, Indiana, and amended by Instrument Number _____ in said Recorder's Office, as the same may be amended or supplemented. Such Declaration and the Covenants and Restrictions set forth therein run with the land described hereon and are incorporated herein by reference. Each owner of a lot depicted on this plat shall take title to such lot subject to the terms and conditions of the Declaration.

Front yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no building or structure.

A perpetual utility easement is hereby granted to any private or public utility or municipal department, their successors and assigns, within the area shown on the plat and marked "Utility Easement", to install, lay, construct, renew, operate, maintain and remove conduits, cables, pipes, poles and wires, overhead and underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision and other property with telephone, internet, cable tv, electric and gas, sewer and water service as a part of the respective utility systems; also is granted (subject to the prior rights of the public therein or other governing codes and ordinances) the right to use the streets and lots with aerial service wires to serve adjacent lots and street lights, the right to cut down and remove or trim or keep trimmed any trees or shrubs that interfere or threaten to interfere with any of the said private or public utility equipment, and the right is hereby granted to enter upon the lots at all times for all of the purposes aforesaid. No permanent structures, fences, or trees shall be placed on said area as shown on the plat and marked "Utility Easement", but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid user or the rights herein granted.

In addition, this Deed shall dedicate to the Town of McCordsville, Indiana, any and all sewer infrastructure installed for, by or on behalf of the undersigned, said infrastructure to include but not be limited to the sewer collection system, force main, lift station, or any other component part of the sewer system which serves the subject subdivision.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof, is hereby maintained in violation hereof, is hereby dedicated to the Town of McCordsville, Indiana, its assigns or designated agent or representative.

Be it resolved by the McCordsville Town Council, McCordsville, Indiana, that the dedications shown on this plat are hereby approved and accepted this ____ day of _____, 20 ____.

Barry Wood, President

CERTIFICATE OF OWNERSHIP

We, Lennar Homes of Indiana, Inc., do hereby certify that we are the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown on the herein drawn plat, as its free and voluntary act and deed.

Owner/Developer
Lennar Homes of Indiana, Inc., a Delaware Corporation
By: Keith Lash, Vice President of Land

State of Indiana)
County of Hamilton) SS

Before me, the undersigned, a Notary Public in and for said County and State, personally appeared Keith Lash, Vice President of Land, Lennar Homes of Indiana, Inc., and acknowledged the execution of this instrument as his voluntary act and deed and affixed his signature thereto.

Witness my signature and seal this ____ day of _____, 20 ____.

Notary Public

Printed Name

County of Residence: _____

My commission expires: _____

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its appurtenances be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its appurtenances that are accepted in to the regulated drainage system are delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewers and tile drains as defined in McCordsville Stormwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains 0 linear feet of open ditches and 0 feet of subsurface drains that will be included in the Town's Regulated Drainage System.

TOWN APPROVAL

MCCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission

the ____ day of _____, 20____, under the authority provided by:

Signature _____ Signature _____

Printed Name _____ Printed Name _____

REDACTION STATEMENT

I affirm under the penalties of perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law. Kristopher K. Eichhorn

PUD, COVENANTS & OTHER NOTES

The subject tract is zoned Summerton PUD ORDINANCE No. 041321A an Ordinance amending the Town of McCordsville Zoning Ordinance.

REFER TO SECTION K OF THE SUMMERTON PUD FOR TREE CONSERVATION.

ALL MAINTENANCE OF LANDSCAPING IN THE MEDIAN IS THE RESPONSIBILITY OF THE HOA.

ALL SNOW REMOVAL IS THE RESPONSIBILITY OF THE HOA AND NOT THE TOWN.

SHEET 6 OF 6