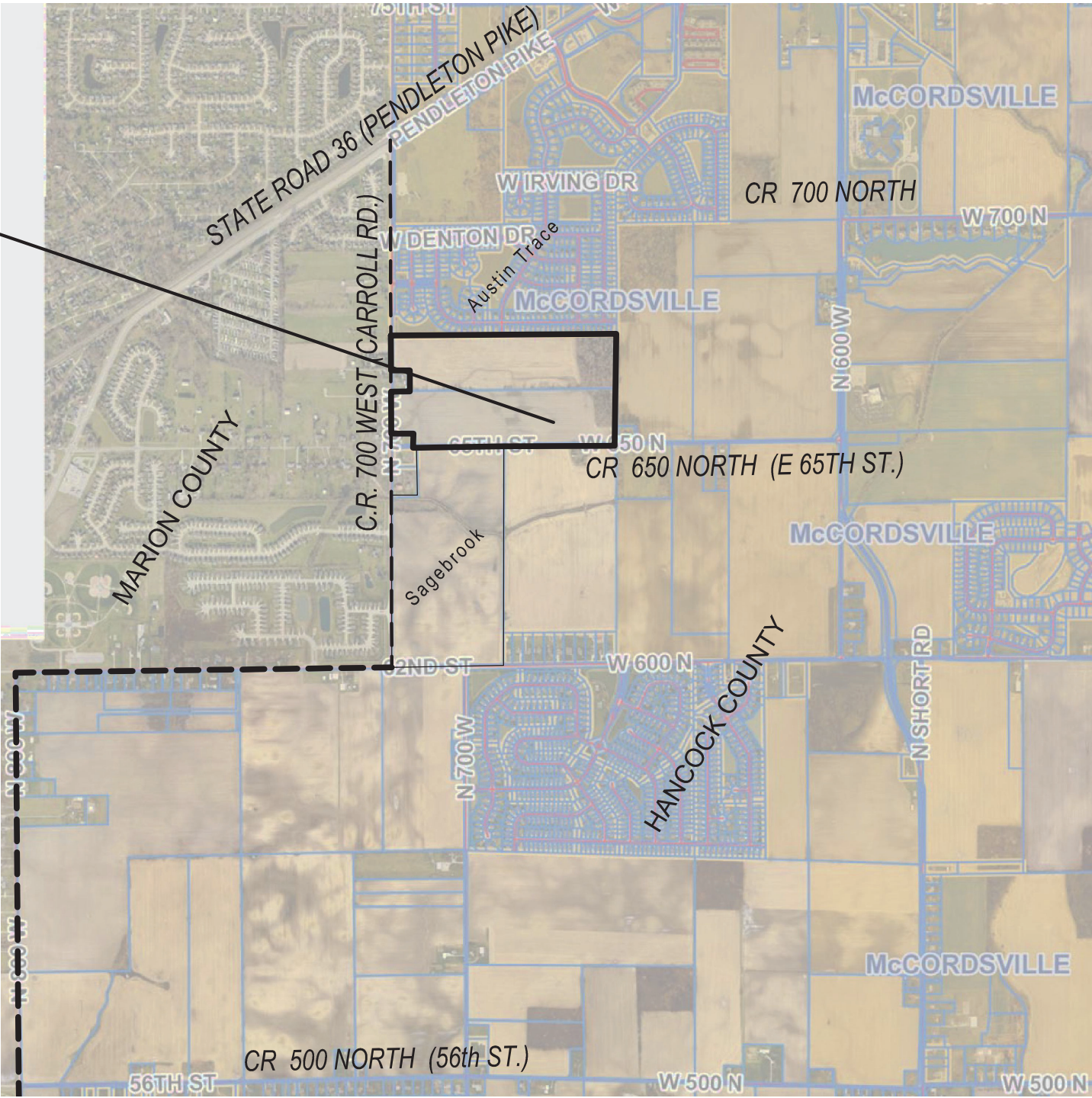


WEAVER'S LANDING - SECTION 3

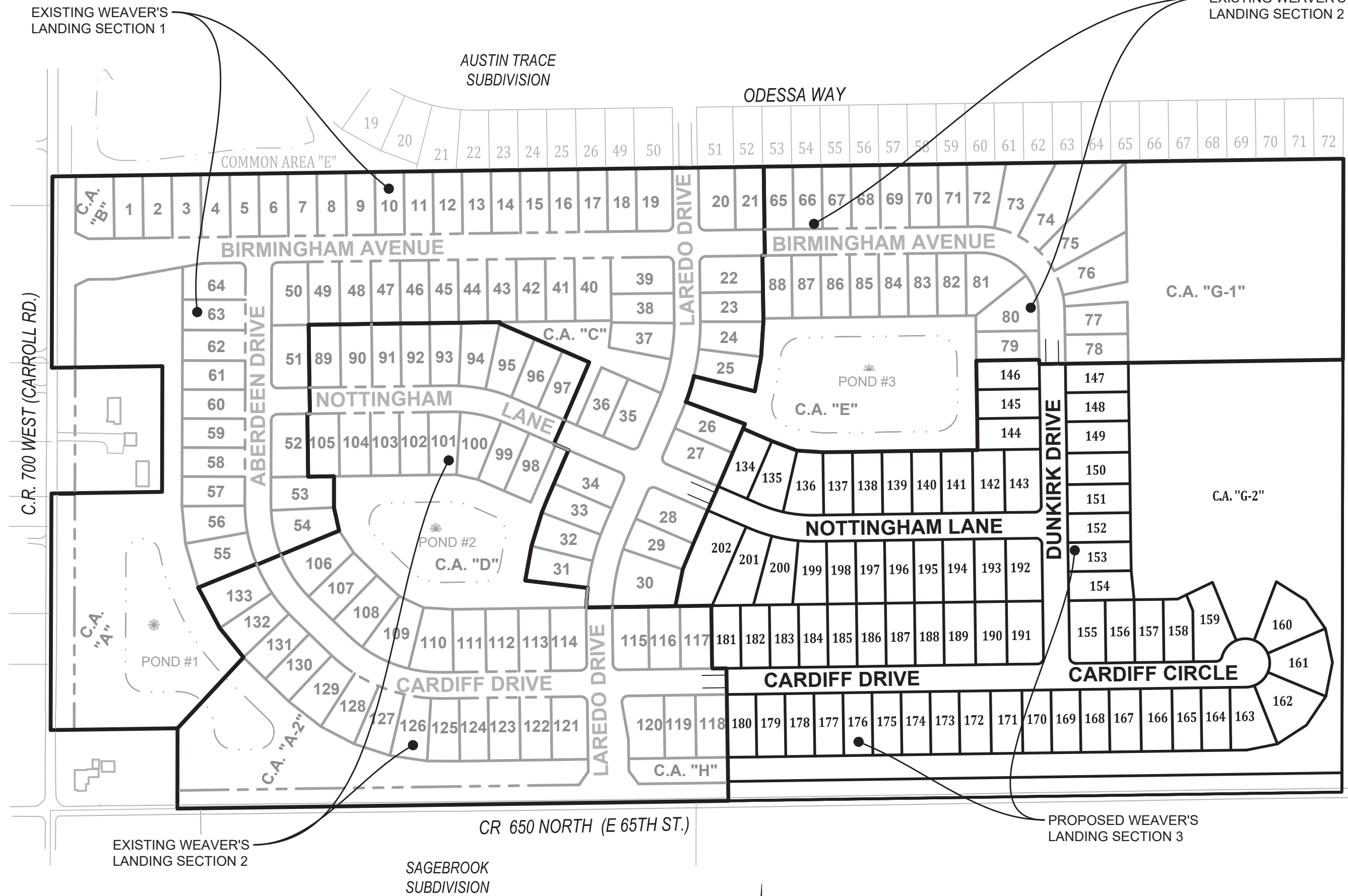
SECTION 35, TOWNSHIP 17N, RANGE 5E,
VERNON TOWNSHIP, HANCOCK COUNTY, CR 700W & CR 650N
PROJECT LOCATION(S): 39° 52'40" N 85° 55'52" W
ZONED: PUD (ORDINANCE NO. 091118A)
CONSTRUCTION PLANS

PLANS PREPARED FOR:
Weaver's Landing Partners, LLC
11691 Fall Creek Road, Suite 210
Indianapolis, IN 46256
317-339-0924
Contact: Mark Todd Roberts
Email: toddroberts1@comcast.net

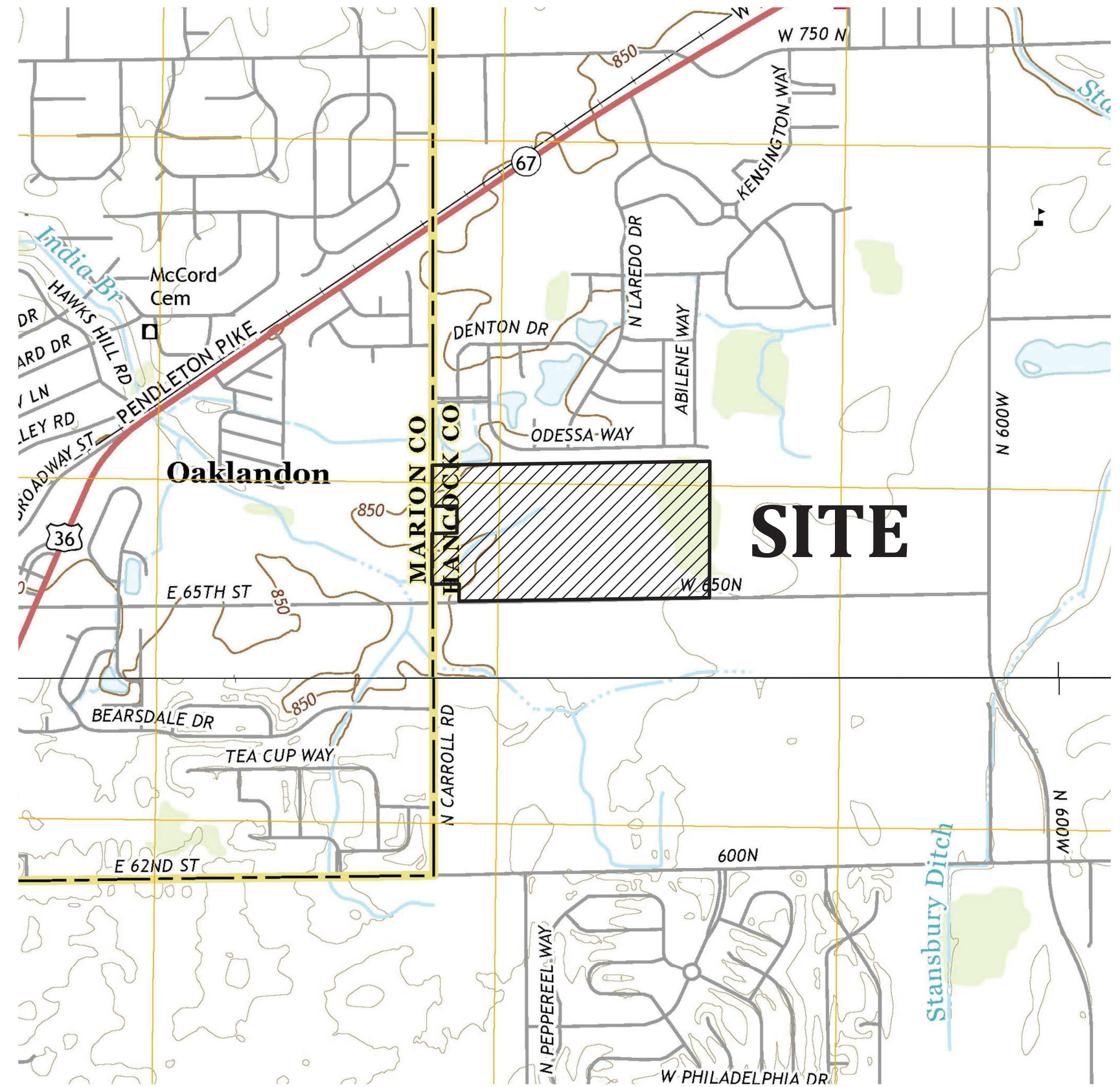
PROJECT
LOCATION



AREA MAP
NO SCALE



SITE MAP
1"=200'



LOCATION MAP
NO SCALE

OPERATING AUTHORITIES & AREA UTILITIES

GAS VECTREN (GREENFIELD) 2345 E. Main St. Danville, IN 46122 317-718-3639 Holly Columbia	SANITARY & STORM MCCORDSVILLE PUBLIC WORKS 6280 W. CR 800 North McCordsville, IN 46055 317-335 -3493 Ron Crider	WATER CITIZENS ENERGY GROUP - WATER CWA Authority, Inc. 2150 Dr. Martin Luther King, Jr. Street Indianapolis, IN 46202 317-927-4351 Attn.: Brad Hostetler
ELECTRIC NINE STAR CONNECT (FORMERLY HANCOCK TELECOM) 2243 E. Main St. Greenfield, IN 46140 317-323-2090	TELEPHONE AT&T - DISTRIBUTION 240 N. Meridian St., Room 1791 Indianapolis, IN 46204 317-265-3050 Matt Spindler	CABLE TELEVISION BRIGHT HOUSE NETWORKS 3030 Roosevelt Ave Indianapolis, IN 46218 317-632-9077 Jason Kirkman
SCHOOL DISTRICT Mt. Vernon Community School Corp. 1806 West State Road 234 Fortville, IN 46040 Dr. Shane Robbins	TELEPHONE NINE STAR CONNECT (FORMERLY HANCOCK TELECOM) 2243 E. Main St. Greenfield, IN 46140 317-323-2090 Jennifer McMillan	CABLE TELEVISION COMCAST CABLEVISION 5330 East 65th Street Indianapolis, IN 46220 317-594-6509
FIRE DEPARTMENT McCordsville Fire Station 7580 Form Street McCordsville, IN 46055 317-335-2268 Attn.: Tom Alexander	POLICE MCCORDSVILLE POLICE DEPT. 6280 West CR 800 North McCordsville, IN 46055 317-335-2812	

SECTION 3 STREET NAME CHART

LINE	STREET NAME	STREET LENGTH
B	NOTTINGHAM LANE	718'
C	CARDIFF DRIVE / CIRCLE	1079'
F	DUNKIRK DRIVE	647'

SECTION 3 COMMON AREA CHART

COMMON AREA	ACRE
G-2	302.623 sf +/-

SECTION 2 COMMON AREA CHART

COMMON AREA	AREA
A-2	94,073 sf +/-
D	105,120 sf +/-
E	133,073 sf +/-
G-1	190,315 sf +/-
H	10,476 sf +/-

SECTION 1 COMMON AREA CHART

COMMON AREA	ACRE
A	182,844 sf.
B	10,130 sf.
C	23,120 sf.

REVISIONS		
NUMBER	DESCRIPTION	DATE
	PER MCCORDSVILLE TECHNICAL COMMITTEE COMMENTS	11-09-20

SHEET INDEX

SHEET NO	DESCRIPTION
C100	TITLE SHEET
C101	OVERALL PLAN
C102	EXISTING TOPOGRAPHY
C103	SIDEWALK STREET LIGHT, AND SIGN PLAN
C110-C111	GRADING AND DRAINAGE PLAN
C112	SSD PLAN
C115	PONDING PLAN
C200-C201	STREET PLAN & PROFILE
C203	INTERSECTION DETAILS
C204	COUNTY ROAD SIDEWALK AND DITCH PLAN
C300	SANITARY SEWER PLAN
C301-C302	SANITARY SEWER PLAN & PROFILES
C310-C311	STORM SEWER PLAN & PROFILES
C320-C322	WATER MAIN PLAN (CITIZENS WATER)
C400-C401	INITIAL EROSION CONTROL PLAN
C402-C403	FINAL EROSION CONTROL PLAN
C404	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C500	EROSION CONTROL DETAILS
C525	CITIZENS WATER DETAILS
	LANDSCAPING PLAN (By Others)
	PLAT
	TOWN OF MCCORDSVILLE STANDARDS

PLANS PREPARED BY:

BANNING
ENGINEERING
853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS: (317) 707-3700, FAX: (317) 707-3800
E-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com

CONTACT: ROBERT J. STATON

CONSTRUCTION DOCUMENTS

PROJECT MANAGER: _____ DATE: _____

THESE PLANS ARE NOT TO BE CONSIDERED FINAL OR TO BE UTILIZED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE APPROPRIATE BANNING ENGINEERING PROJECT MANAGER.

THESE PLANS ARE NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.



CERTIFIED BY: _____

Date: 10-23-20
Project No: 18003P-S3
Sheet No:

C100

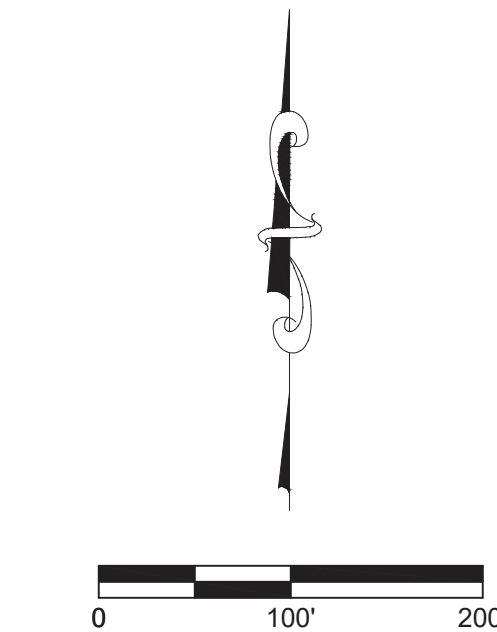


A part of the South Half of the Northwest Quarter of Section 35, Township 17 North, Range 5 East, in Vernon Township, Hancock County, Indiana being more particularly described as follows:

Commencing at the Southwest corner of said Quarter Section, said corner being marked by a boat spike; thence North 89 degrees 11 minutes 26 seconds East along the South line of said Quarter Section a distance of 262.44 feet to the Southeast corner of the real estate described in Instrument Number 201702494 in the Office of the Recorder, Hancock County, Indiana, said corner being marked by a Mag Nail with washer stamped "Banning Eng 0060" (hereafter referred to as a Mag Nail) and the POINT OF BEGINNING of this description; thence North 00 degrees 10 minutes 21 seconds East along the East line of said real estate 166.00 feet to the Northeast corner of said real estate, said corner being marked by a rebar with cap stamped "CZLS Eng 0035"; thence North 89 degrees 11 minutes 26 seconds West along the North line of said real estate a distance of 268.86 feet to the Northwest corner of said Half Quarter Section, said corner being marked by a Mag Nail; thence North 89 degrees 11 minutes 26 seconds East along the West line 489.42 feet to the Southwest corner of the North Half of said Quarter Section, said corner being marked by a Mag Nail; thence North 89 degrees 11 minutes 40 seconds East along the South line of the North Half of said Half Quarter Section for a distance of 228.66 feet to a rebar with cap stamped "Banning Eng 0060" (hereafter referred to as a Banning rebar); thence North 00 degrees 10 minutes 21 seconds East parallel with the West line of said Quarter Section a distance of 260.00 feet to a Banning rebar; thence South 89 degrees 11 minutes 40 seconds West parallel with the South line of the North Half of said Half Quarter Section a distance of 228.66 feet to a point on the West line of said Quarter Section, said point being marked by a Mag Nail; thence North 00 degrees 10 minutes 21 seconds East along the West line 395.32 feet to the Northwest corner of said Half Quarter Section, said corner being marked by a Mag Nail; thence North 89 degrees 12 minutes 37 seconds East along the North line of said Half Quarter Section a distance of 268.86 feet to the Northeast corner of said Half Quarter Section, said corner being marked by a Banning rebar; thence South 89 degrees 11 minutes 26 seconds West along the North line of said Quarter Section a distance of 1310.00 feet to the Southeast corner of said Quarter Section, said corner being marked by a railroad spike; thence South 89 degrees 11 minutes 26 seconds West along the South line of said Quarter Section a distance of 2407.23 feet to the place of beginning, containing 77,927 Acres, more or less.

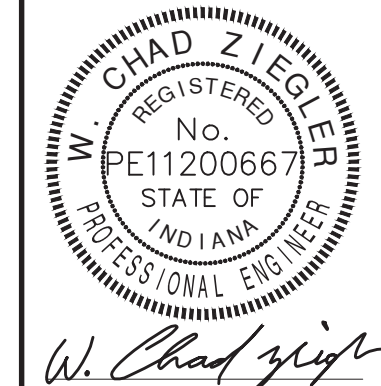
That portion of the South Half of the Northwest Quarter of Section 35, Township 17 North, Range 5 East of the Second Principal Meridian in Hancock County, Indiana, being a part of that 39.154 acre tract of land and being a part of the 38.954 acre tract of land shown on the plat of the ALTA/NSPS Land Title Survey certified by Brian L. Haggard, PLS#29800001 on June 12, 2018 as Banning Engineering's project number 18003 and recorded as Instrument Number 201911629 in the Office of the Recorder of said county (all references to monuments and courses herein are as shown on said plat of survey) described as follows:

BEGINNING at a railroad spike found marking the southeast corner of said Northwest Quarter, thence South 89 degrees 11 minutes 26 seconds West along the south line thereof 1,263.32 feet to the southeast corner of Weaver's Landing, Section 2 per plat thereof recorded as Instrument Number _____ in the Office of the Recorder of said county; (the following four (4) calls along the easterly lines thereof); 1) thence North 00 degrees 48 minutes 34 seconds West 274.00 feet; 2) thence South 89 degrees 11 minutes 26 seconds West 29.57 feet; 3) thence North 00 degrees 48 minutes 34 seconds West 130.00 feet; 4) thence South 89 degrees 11 minutes 26 seconds West 74.38 feet to the southeast corner of said Section 2, per plat thereof recorded as Instrument Number _____ in the Office of the Recorder of said county; (the following four (4) calls along the southerly lines thereof); 1) thence North 1 degrees 20 minutes 27 seconds East 159.68 feet; 2) thence North 22 degrees 28 minutes 28 seconds East 57.67 feet; 3) thence North 23 degrees 32 minutes 48 seconds East 259.00 feet to the southerly line of Common Area "E" in said Weaver's Landing, Section 2 (the following eight (8) calls along the southerly lines of said Weaver's Landing, Section 2); 1) thence South 66 degrees 38 minutes 12 seconds East 65.00 feet; 2) thence South 69 degrees 66 minutes 47 seconds East 55.38 feet; 3) thence South 86 degrees 28 minutes 07 seconds East 53.55 feet; 4) thence North 89 degrees 11 minutes 26 seconds East 319.83 feet; 5) thence North 00 degrees 48 minutes 34 seconds West 185.00 feet; 6) thence North 00 degrees 48 minutes 34 seconds West 130.00 feet; 7) thence South 00 degrees 48 minutes 34 seconds East 9.00 feet; 8) thence North 00 degrees 48 minutes 34 seconds West 130.00 feet to East 65.00 feet to the south line of said South Half; thence South 00 degrees 08 minutes 17 seconds West along said line 894.12 feet to the POINT OF BEGINNING, containing 24,616 acres, more or less.



Designer/	Sym.	Revisits	Date
GAF		PER MCCORDSVILLE TECH COMMITTEE COMMENTS	11/09/20
Drawn:			
JJB			
Checked:			
GAF			
Scale:			
1" = 100'			
Date:			
10-23-20			

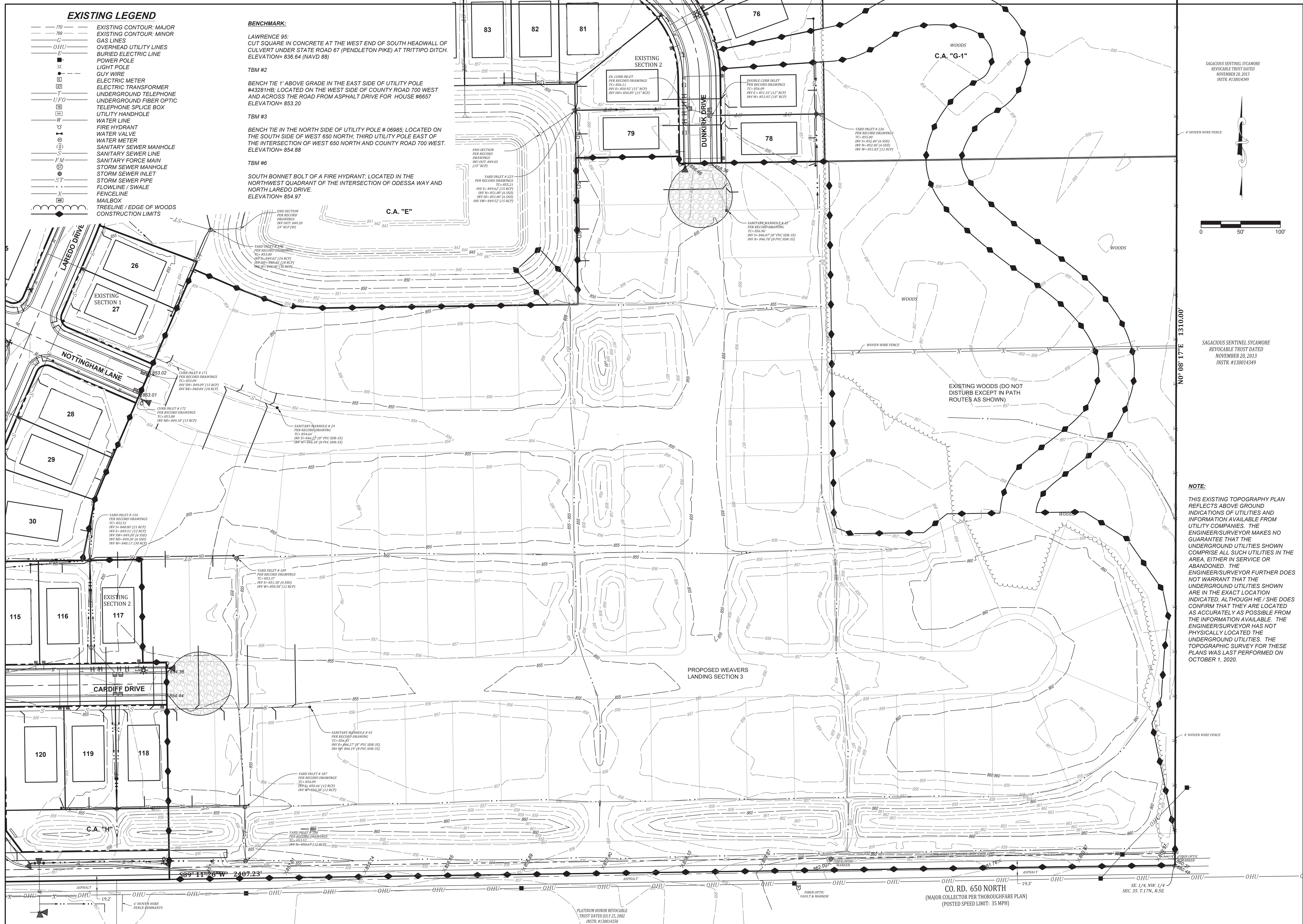
OVERALL PLAN
WEAVER'S LANDING - SECTION 3
CR 700 WEST & CR 650 WEST
MCCORDSVILLE, INDIANA



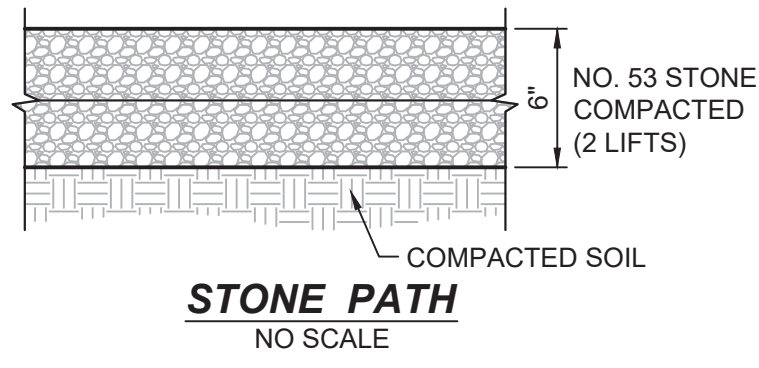
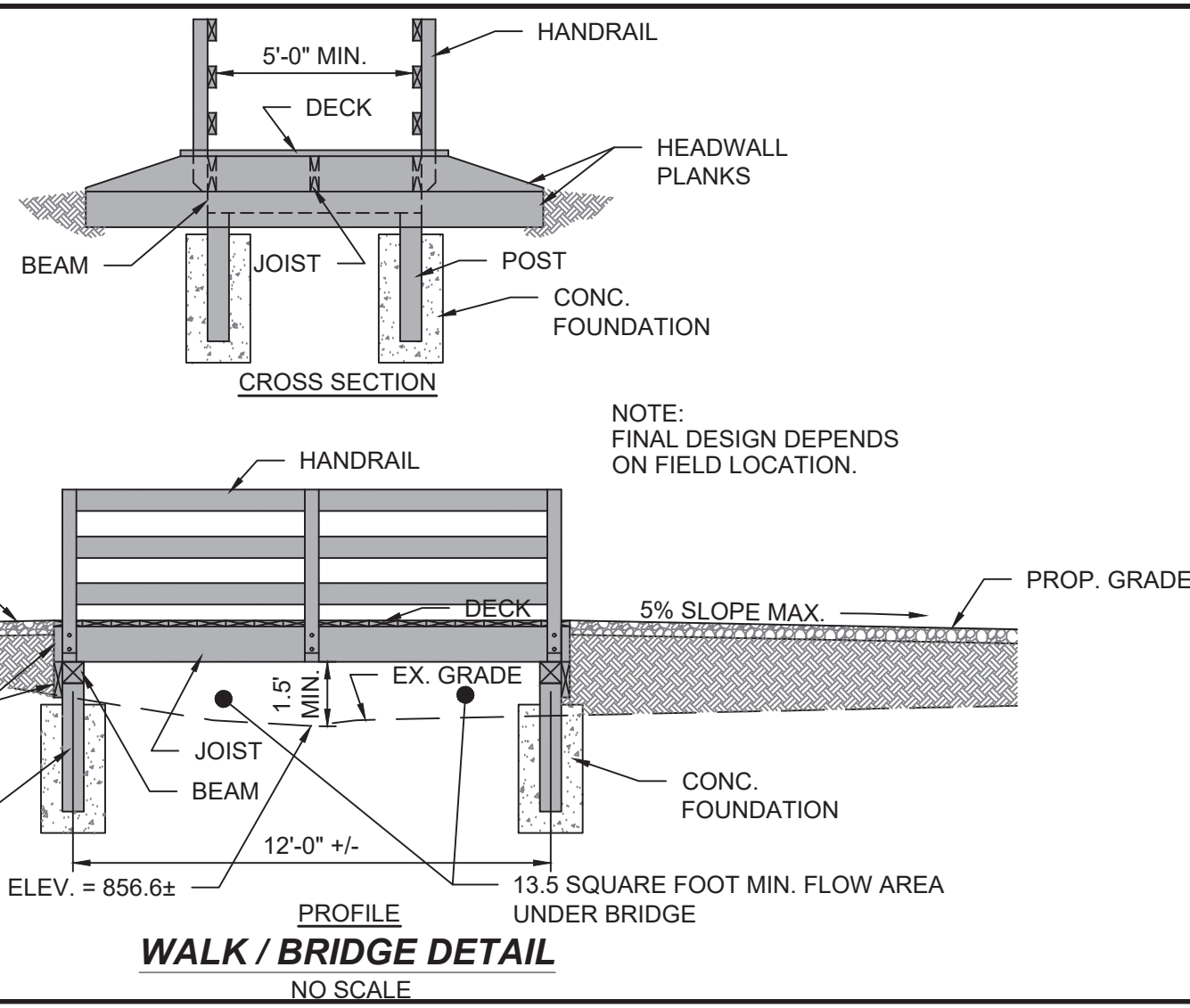
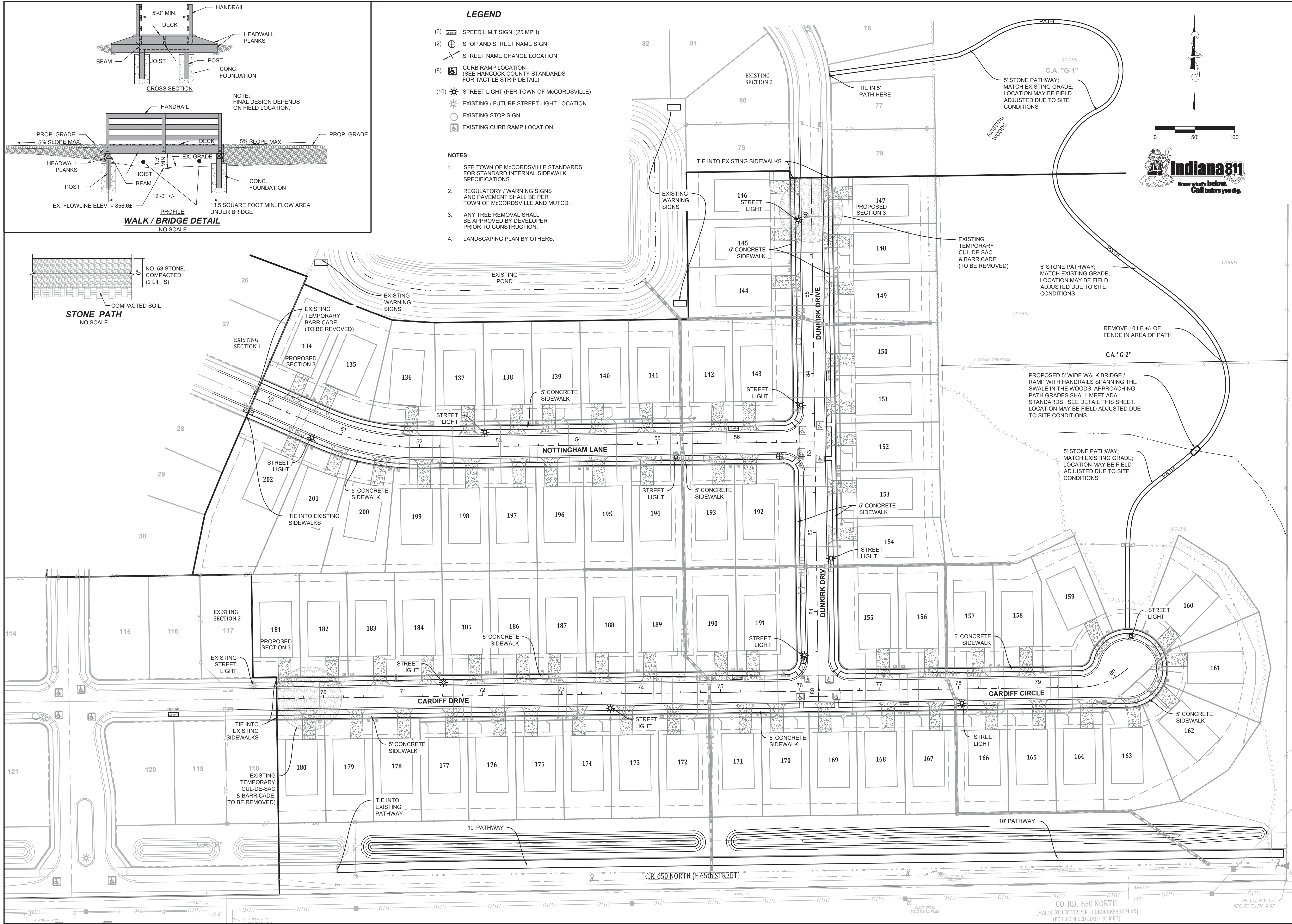
BANNING
ENGINEERING

853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS. (317) 707-3700, FAX: (317) 707-3800
F-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com





g:\p16\18003P\18003P-PW\18003P-18003P-S3\Engineering\Code\Sheet Files\18003P-S3 ed3.dwg Nov 10, 2020 - 3:28pm



- LEGEND**
- (6) SPEED LIMIT SIGN (25 MPH)
 - (2) STOP AND STREET NAME SIGN
 - STREET NAME CHANGE LOCATION
 - (8) CURB RAMP LOCATION (SEE HANCOCK COUNTY STANDARDS FOR TACTILE STRIP DETAIL)
 - (10) STREET LIGHT (PER TOWN OF MCCORDSVILLE)
 - EXISTING / FUTURE STREET LIGHT LOCATION
 - EXISTING STOP SIGN
 - EXISTING CURB RAMP LOCATION

- NOTES:**
1. SEE TOWN OF MCCORDSVILLE STANDARDS FOR STANDARD INTERNAL SIDEWALK SPECIFICATIONS.
 2. REGULATORY / WARNING SIGNS AND PAVEMENT SHALL BE PER TOWN OF MCCORDSVILLE AND MUTCD.
 3. ANY TREE REMOVAL SHALL BE APPROVED BY DEVELOPER PRIOR TO CONSTRUCTION.
 4. LANDSCAPING PLAN BY OTHERS.

Revisions

11-09-20	PER MCCORDSVILLE TECH COMMITTEE COMMENTS
----------	--

Sym.

GA	JJB	GA	1" = 50'	10-23-20
Designed:	Drawn:	Checked:	Scale:	Date:

SIDEWALK, SIGNAGE, AND LIGHT PLAN

WEAVER'S LANDING - SECTION 3

CR 700 WEST & CR 650 WEST

MCCORDSVILLE, INDIANA

CHAD ZIEGLER

REGISTERED PROFESSIONAL ENGINEER

STATE OF INDIANA

No. PE11200667

W. Chad Ziegler

BANNING

ENGINEERING

853 COLUMBIA ROAD, SUITE #101

PLAINFIELD, IN 46168

BUS: (317) 707-3700 FAX: (317) 707-3800

E-MAIL: Banning@BanningEngineering.com

WEB: www.BanningEngineering.com

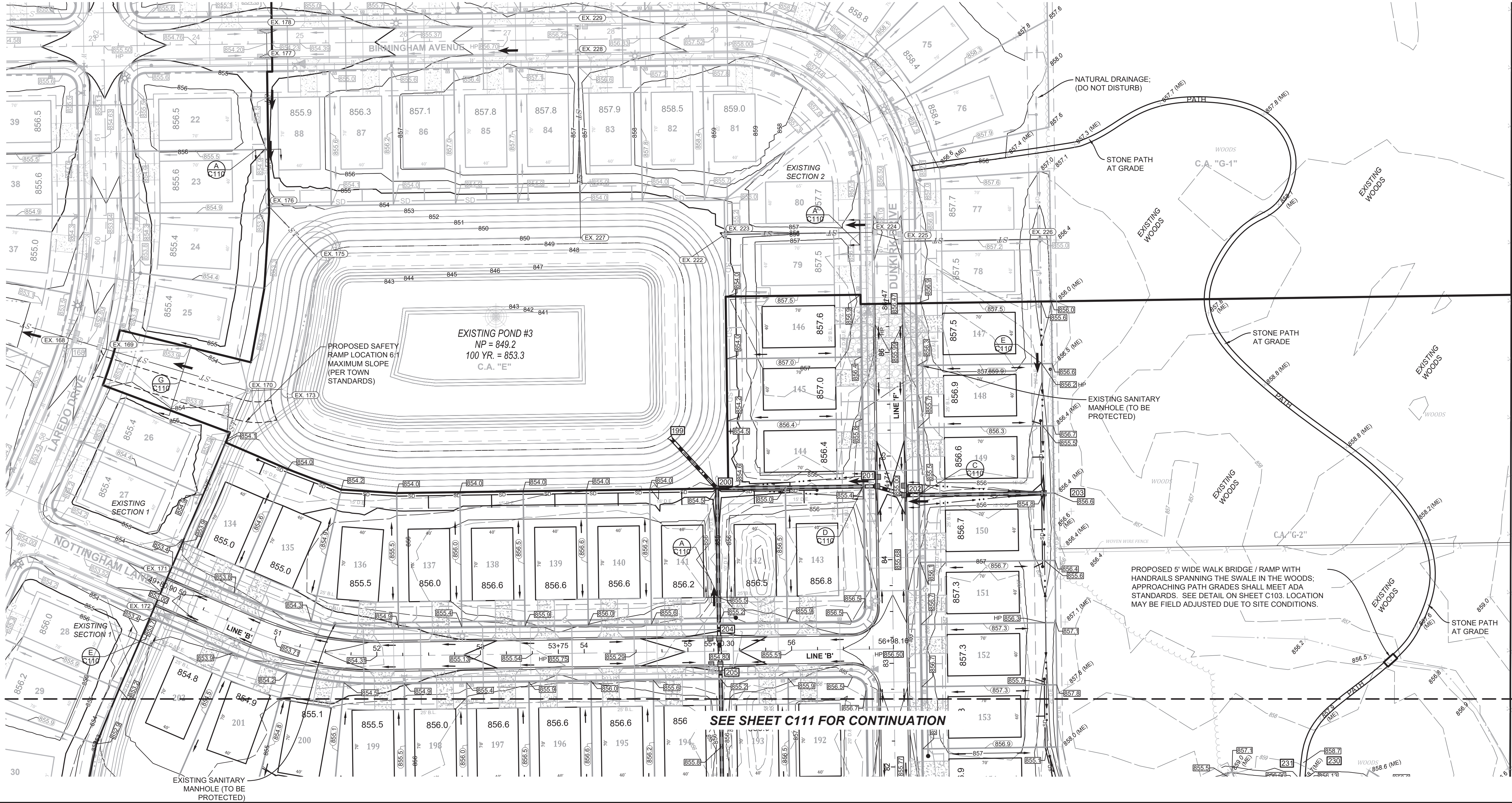
Project No:

18003P-S3

Sheet No:

C103

g:\p1\2016\18003P\18003P.dwg 11/10/20 3:29pm



LEGEND

PROPOSED

- STORM SEWER
- SANITARY SEWER
- WATER MAIN
- FLOWLINE
- SANITARY MANHOLE
- STORM MANHOLE
- STORM INLET
- SANITARY STRUCTURE NO.
- STORM STRUCTURE NO.
- LOT NUMBER
- BUILDING PAD
- PAD ELEVATION
- EMERGENCY FLOOD ROUTING
- CURB WITH UNDERDRAIN
- FLOW DIRECTION
- PROPOSED GRADE
- SIDEYARD LOT GRADE (EST. BY BUILDER)
- SUBSURFACE DRAIN
- MINIMUM FINISH FLOOR ELEVATION
- MINIMUM LOWEST ADJACENT GRADE
- STREET LIGHT LOCATION

EXISTING

- ST
- S
- W
- X
- OHE
- T
- G
- STORM MANHOLE
- STORM INLETS
- SANITARY MANHOLES
- UTILITY POLES
- TREE
- TREE LINE

TYPICAL SIDEYARD / OVERFLOW SECTION

VARIES

VARIES

VARIES

2% MIN. SLOPE FROM BUILDING PAD

100 YR STAGE (VARIES WITHIN EASEMENT)

2% MIN. SLOPE FROM BUILDING PAD

NOTE: BOTTOM WIDTH REPRESENTS WIDTH AT HIGH POINT (CREST) ONLY. BOTTOM WIDTH OF SWALE UPSTREAM & DOWNSTREAM SHALL TAPER TO WIDTH OF TYPICAL SWALE.

CREST ELEV.: POND 3 = 853.9

MIN. TOP OF BANK: POND 3 = 854.9

EXISTING POND EMERGENCY OVERFLOW WEIR SECTION

NO SCALE

- GENERAL NOTES**
- STANDARD SPECIFICATIONS
 - a. THE TOWN OF MCCORDSVILLE SPECIFICATIONS SHALL APPLY FOR STREETS & STORM SEWERS.
 - b. CITIZENS ENERGY GROUP SPECIFICATIONS SHALL APPLY FOR WATERMAINS.
 - c. THE TOWN OF MCCORDSVILLE SPECIFICATIONS SHALL APPLY FOR SANITARY SEWERS.
 - d. GAS, ELECTRIC, PHONE AND CABLE TV UTILITY COMPANIES SHALL BE CONTACTED PRIOR TO CONSTRUCTION.
 - IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO VERIFY EXISTING UTILITY LOCATIONS AND CONDITIONS. IT SHALL ALSO BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITIES FOR PROPER STAKING AND LOCATIONS FOR EACH PRIOR TO CONSTRUCTION.
 - ANY ERRORS OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH NOTICE, THEY SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.
 - ANY PARTS OF THE SANITARY OR STORM SEWER TRENCH WHICH LIES UNDER PAVED AREAS OR WITHIN 5 FEET THEREOF SHALL BE BACK FILLED WITH GRANULAR MATERIAL AS SHOWN IN THE DETAILS.
 - ALL CONSTRUCTION ACTIVITY ON THIS SITE SHALL BE PERFORMED IN COMPLIANCE WITH OSHA STANDARDS.
 - RIP-RAP IS REQUIRED ON ALL END SECTIONS OUTFALL PIPES. SEE EROSION AND SEDIMENT CONTROL PLAN FOR EXACT SIZE AND LOCATION.
 - CONTRACTOR TO STOCKPILE TOPSOIL AT THE LOCATION SHOWN ON THE PLANS.
 - IN ANY AREA OF CONSTRUCTION WHERE FIELD TILES CROSS THE PROPOSED HOUSE PAD, TILES SHALL BE REMOVED AND BACK FILLED. ALL FIELD TILES INTERCEPTED SHALL BE PERPETUATED INTO THE STORM SEWER SYSTEM OR LAKES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN ANY CIRCUMSTANCE WHERE THIS CANNOT BE ACCOMPLISHED.
 - ALL FILL AREAS SHALL BE COMPACTED TO MEET THE DENSITY OF THE SPECIFICATION SHEET OR DETAIL.
 - DECORATIVE SIGNS, SPRINKLER SYSTEMS, TREES, LANDSCAPING MOUNDS, OR OTHER SUCH AMENITIES ARE NOT PERMITTED IN THE STREET RIGHT-OF-WAY UNLESS APPROVED BY THE TOWN OF MCCORDSVILLE.
 - ALL STREETS SHALL HAVE A PIPE UNDERDRAIN INSTALLED PER THE TOWN OF MCCORDSVILLE DETAILS.
 - ALL SWALES SHALL INCLUDE UNDERDRAIN PIPE PER THE TOWN OF MCCORDSVILLE STANDARDS.
 - ALL ACCESSIBLE HANDICAP PATHWAYS, SIDEWALKS AND DRIVE CROSSINGS SHALL NOT EXCEED 5% RUNNING SLOPE AND 2% CROSS SLOPE OR THE LATEST REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA). HANDICAP RAMPS SHALL NOT EXCEED 1/12 SLOPE AND 2% CROSS SLOPE OR THE LATEST REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA).
 - THE CONTRACTOR SHALL NOTIFY THE TOWN OF MCCORDSVILLE AT LEAST 72 HOURS PRIOR TO ANY BONDED OR BANK CREDIT LETTER SITE IMPROVEMENTS ARE INSTALLED. A PRE-CONSTRUCTION MEETING SHALL BE SET UP WITH THE TOWN, CONTRACTOR, ENGINEER & DEVELOPER PRIOR TO ANY CONSTRUCTION.

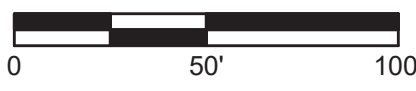


SECTION 3 STREET NAME CHART

LINE	STREET NAME
B	NOTTINGHAM LANE
C	CARDIFF DRIVE/CIRCLE
F	DUNKIRK DRIVE

NOTE: THE LOWEST ADJACENT GRADE FOR EACH BUILDING (OR LOWEST ELEVATION FOR ANY OPENING BELOW THE MAIN FINISHED FLOOR ELEVATION) SHALL BE A MINIMUM OF 1-FOOT ABOVE THE HIGHEST ADJACENT PONDING STAGE SHOWN ON THE PONDING PLAN (SHEETS C115-C116). IF A LOT IS ADJACENT TO A DETENTION POND, THE LOWEST ADJACENT GRADE FOR EACH BUILDING (INCLUDING WALKOUT BASEMENT FLOOR ELEVATION, OR LOWEST ELEVATION FOR ANY OPENING BELOW THE MAIN FINISHED FLOOR ELEVATION) SHALL BE A MINIMUM 2-Feet ABOVE THE POND EMERGENCY OVERFLOW WEIR ELEVATION (SEE CONTROL ELEVATION ON EMERGENCY OVERFLOW ROUTING DATA, SHEET C116) OR 1-FOOT ABOVE THE HIGHEST ADJACENT PONDING STAGE SHOWN ON THE PONDING PLAN, WHICHEVER IS HIGHER. IN ADDITION, ANY BASEMENT FLOOR ELEVATION THAT IS NOT A WALKOUT SHALL BE AT LEAST 1-FOOT ABOVE THE NORMAL POOL ELEVATION OF THE ADJACENT DETENTION POND.

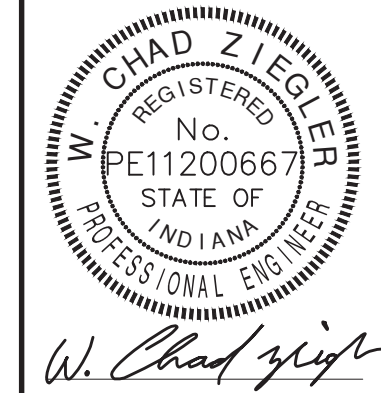
NOTE: SIDEYARD LOT GRADES, AS SHOWN HEREON, SHALL BE ESTABLISHED AT TIME OF PLOT PLAN AND BUILDING CONSTRUCTION TO MAINTAIN POSITIVE FLOW AWAY FROM THE STRUCTURE PER PAD GRADE. SIDEYARD GRADES ON LOT LINES WITH FLOOD ROUTING SHOWN SHALL BE ESTABLISHED AT TIME OF SITE DEVELOPMENT.



SEE SHEET C110 FOR GRADING PLAN SITE NOTES

NOTE: ANY TREE REMOVAL SHALL BE APPROVED BY THE DEVELOPER PRIOR TO CONSTRUCTION.

GRADING & DRAINAGE PLAN
WEAVER'S LANDING - SECTION 3
CR 700 WEST & CR 650 WEST
MCCORDSVILLE, INDIANA

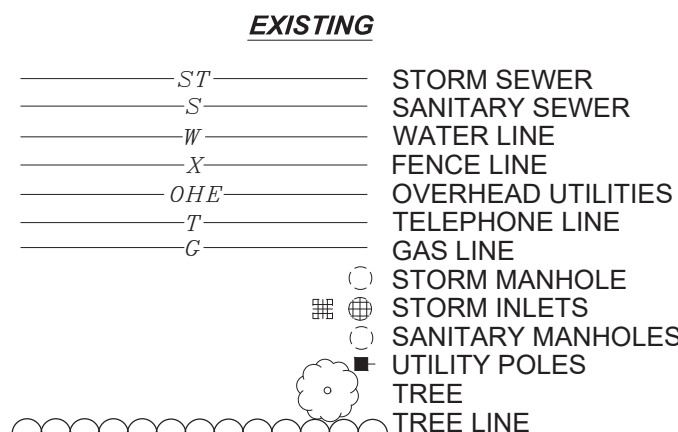
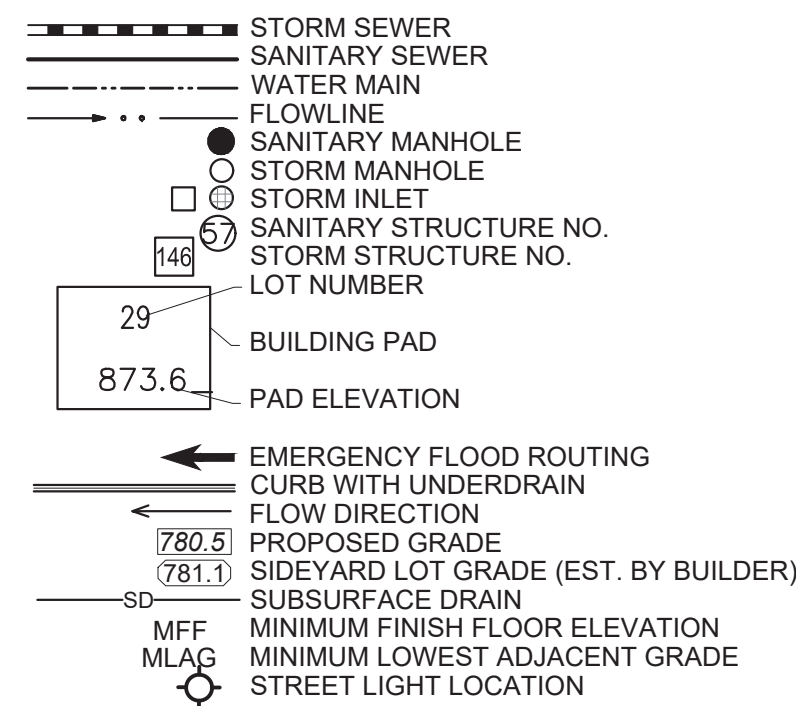


BANNING ENGINEERING
853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS: (317) 707-3700 FAX: (317) 707-3800
E-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com

Project No: 18003P-3
Sheet No:

C110

PROPOSED



GRADING DESIGN CONCEPT NOTES

1. THE INTENT OF THE DIRTWORK FOR THIS PROJECT IS TO BALANCE WITHIN ACCEPTABLE TOLERANCES.
2. STRIP 6" OF TOPSOIL BETWEEN THE BACK OF PADS AND THE BACK OF PADS (ENCOMPASSING THE STREETS AS SHOWN ON THE PLAN). ALL GRASS STRIPPED ARE WITHIN THE CONSTRUCTION LIMITS.
3. REFER TO THE CONSTRUCTION SEQUENCING ON THE EROSION CONTROL SHEETS FOR SUGGESTED ORDER OF WORK.
4. THE EXCAVATED MATERIAL IS ASSUMED TO BE ACCEPTABLE FOR STRUCTURAL FILL AND WAS CONSIDERED IN THE OVERALL BALANCE OF THE SITE. CONTRACTOR TO VERIFY IF EXCAVATED MATERIAL IS ACCEPTABLE STRUCTURAL FILL.
5. MASS GRADE THE SITE AS SHOWN ON PLAN ALLOWING FOR BUILDING AND PAVEMENT MATERIAL QUANTITY DEPTHS. ALL OPEN GRASS AREAS (EXCLUDING PADS) ARE TO RECEIVE 6" OF TOPSOIL REPLACEMENT.
6. REFER TO EROSION CONTROL PLAN SHEETS C400-C402, AND C400 FOR CONSTRUCTION LIMITS.

NOTE: SIDEYARD LOT GRADES, AS SHOWN HEREON, SHALL BE ESTABLISHED AT TIME OF PLOT PLAN AND BUILDING CONSTRUCTION TO MAINTAIN POSITIVE FLOW AWAY FROM THE STRUCTURE PER PAD GRADE. SIDEYARD GRADES ON LOT LINES WITH FLOOD ROUTING SHOWN SHALL BE ESTABLISHED AT TIME OF SITE DEVELOPMENT.

NOTE:
THE LOWEST ADJACENT GRADE FOR EACH BUILDING (OR LOWEST ADJACENT GRADE FOR ANY OPENING BELOW THE MAIN FINISHED FLOOR ELEVATION) SHALL BE THE LOWEST ADJACENT GRADE FOR THE HIGHEST ADJACENT PONDING STATE SHOWN ON THE PONDING PLAN (SHEETS C115-C116). IF A LOT IS ADJACENT TO A DETENTION POND, THE LOWEST ADJACENT GRADE FOR EACH BUILDING (INCLUDING WALKOUT BASEMENT FLOOR ELEVATION, OR LOWEST ELEVATION FOR ANY OPENING BELOW THE MAIN FINISHED FLOOR ELEVATION) SHALL BE A MINIMUM 2-FEET ABOVE THE PEAK AND EMERGENCY OVERFLOW VEER ELEVATION (SEE CONTROL ELEVATION ON EMERGENCY OVERFLOW ROUTING DATA, SHEET C116) OR 1-FOOT ABOVE THE HIGHEST ADJACENT PONDING STATE SHOWN ON THE PONDING PLAN, WHICHEVER IS HIGHER. IN ADDITION, ANY BASEMENT FLOOR ELEVATION THAT IS ABOVE THE WALKOUT OR AT LEAST 1-FOOT ABOVE THE NORMAL POOL ELEVATION OF THE ADJACENT DETENTION POND.

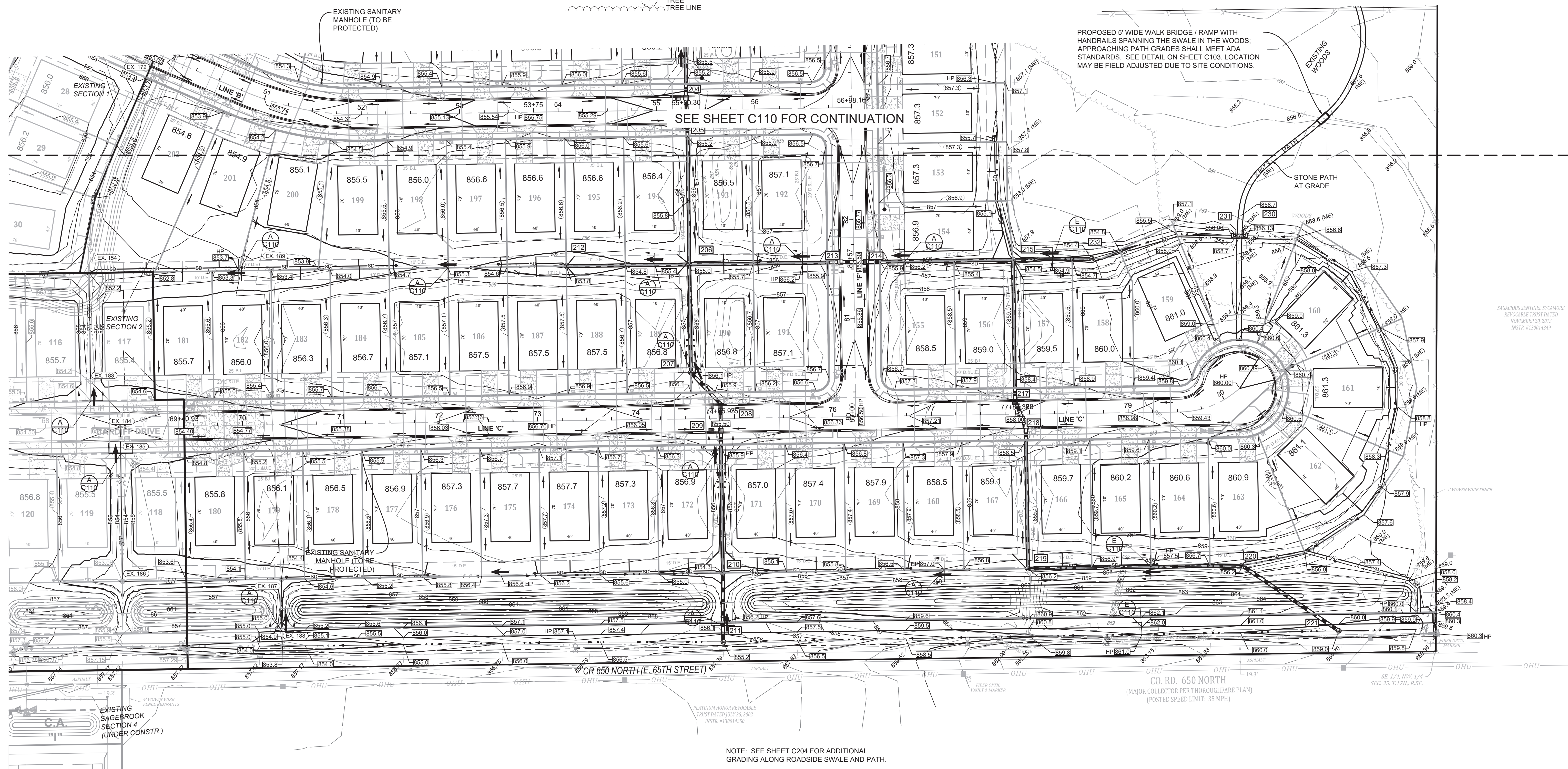
SEE SHEET C110 FOR
GRADING PLAN GENERAL
NOTES & DETAILS.

NOTE: ANY TREE REMOVAL SHALL BE APPROVED BY THE DEVELOPER PRIOR TO CONSTRUCTION.



SECTION 3 STREET NAME CHART

LINE	STREET NAME
B	NOTTINGHAM LANE
C	CARDIFF DRIVE/CIRCLE
F	DUNKIRK DRIVE



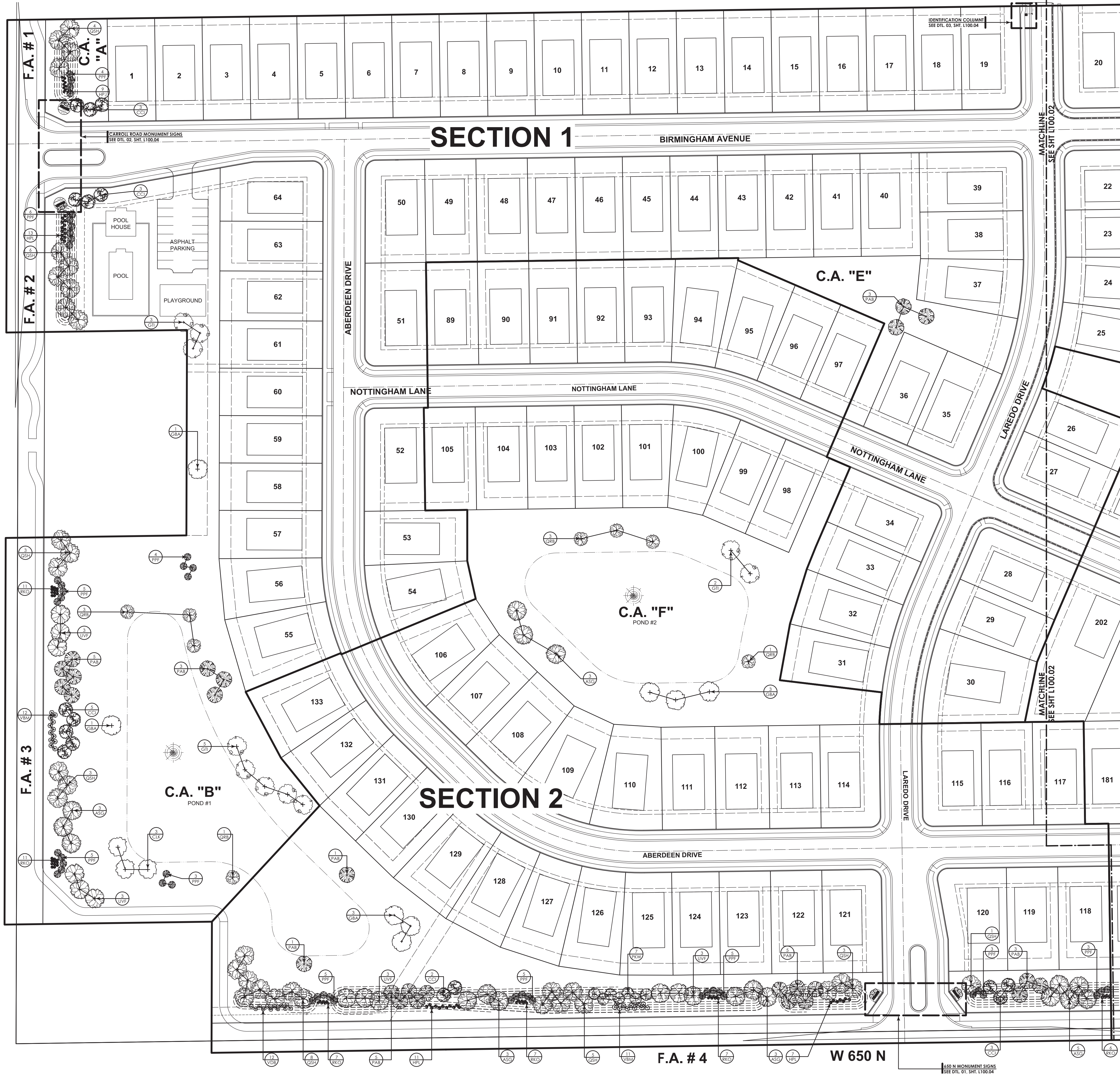
NOTE: SEE SHEET C204 FOR ADDITIONAL
GRADING ALONG ROADSIDE SWALE AND PATH.



W. Chad Ziegler



CARROLL ROAD



COMMON AREA (C.A.)

PROPOSED: 5 TREES PER ACRE
2 ORNAMENTAL TREES IS EQUIVALENT TO 1 SHADE TREE
C.A. "A": = 10,230 SF: 1 SHADE TREE REQUIRED = 1 SHADE TREE PROVIDED
C.A. "B": = 6.35 ACRES x 5 SHADE TREES/ACRE REQUIRED = 31.79: 20 SHADE TREES PROVIDED,
12 EVERGREEN TREES PROVIDED
C.A. "E": = 23,120 SF: 3 TREES REQUIRED: 3 EVERGREEN TREES PROVIDED
C.A. "F": = 2.4 ACRES x 5 SHADE/ACRE TREES REQUIRED = 12: 12 SHADE TREES PROVIDED

ROAD FRONTAGE AREA (F.A.)

PROPOSED: 7 TREES PER 100 LF
-3 SHADE TREES
-3 EVERGREEN TREES
-1 ORNAMENTAL TREES
PROPOSED: 7 SHRUBS PER 100 LF
F.A. # 1 = 131 LF OF FRONTAGE
PROVIDED: 4 SHADE TREES, 4 EVERGREEN TREES, 3 ORNAMENTAL TREES, & 9 SHRUBS
F.A. # 2 = 182 LF OF FRONTAGE
PROVIDED: 6 SHADE TREES, 6 EVERGREEN TREES, 3 ORNAMENTAL TREES, & 13 SHRUBS
F.A. # 3 = 489 LF OF FRONTAGE
PROVIDED: 15 SHADE TREES, 15 EVERGREEN TREES, 5 ORNAMENTAL TREES, & 34 SHRUBS
F.A. # 4 = 1137.5 LF OF FRONTAGE
PROVIDED: 34 SHADE TREES, 34 EVERGREEN TREES, 12 ORNAMENTAL TREES, & 68 SHRUBS

GENERAL NOTE:
1. FOR PLANT SCHEDULE INFORMATION, REFER TO SHEET L100.05.



PO BOX 276
McCordsville, IN 46055
(317) 220-0722

WEAVERS LANDING
C.R. N. 700 W. & C.R. W. 650 N.
VERNON TWP., HANCOCK CO.,
MCCORDSVILLE, INDIANA

05	SEE THIS SHT.	11/12/19
04	SEE THIS SHT.	10/14/19
03	SEE THIS SHT.	12/20/18
02	SEE THIS SHT.	11/26/18
01	SEE THIS SHT.	05/15/18
NO. REVISION/ISSUE		DATE



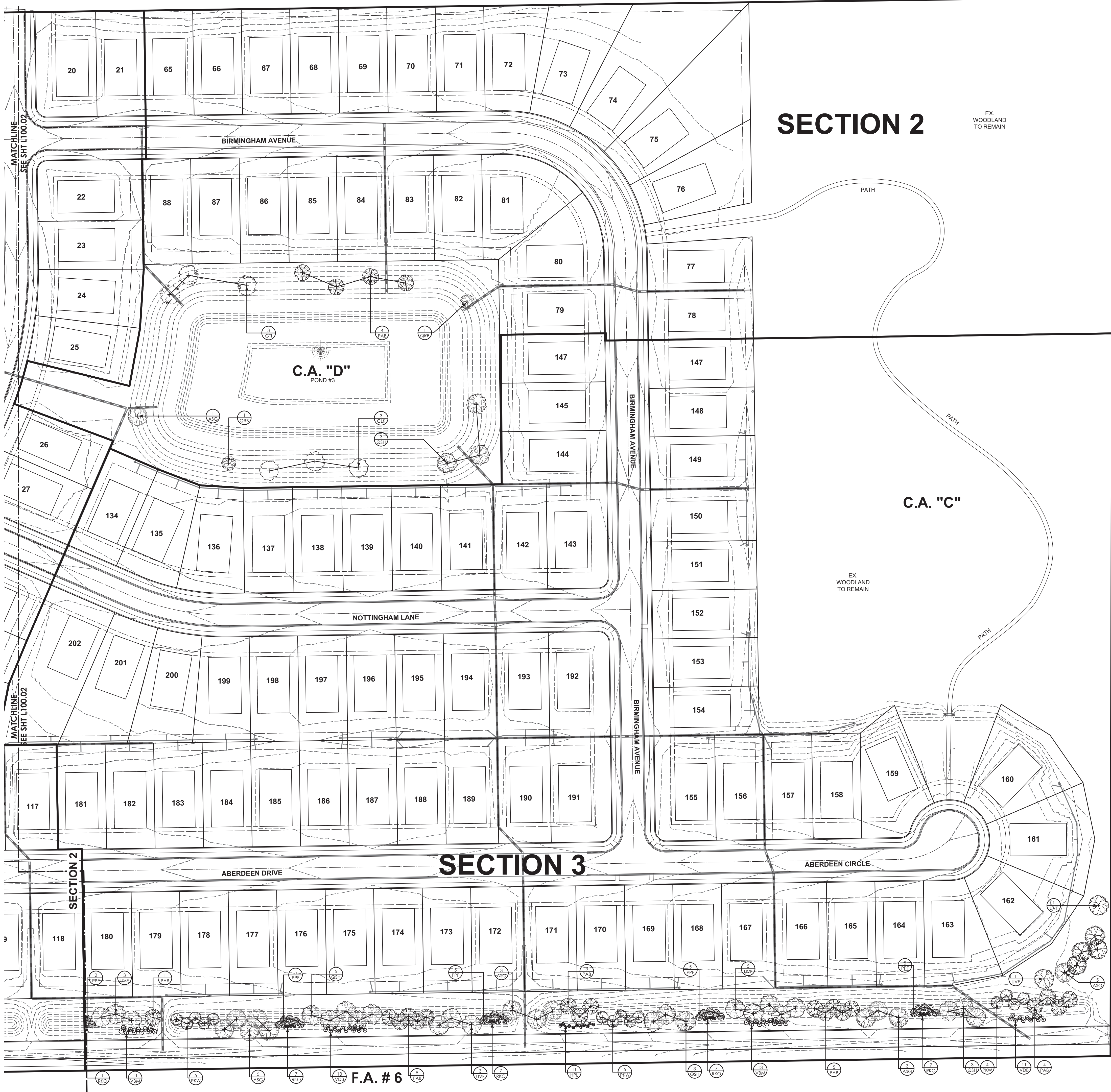
DATE ISSUED: MAY 14, 2018
© 2018 LANDMARK DBA, INC.
This drawing and the design concepts represented, as instruments of service, are the sole property of LANDMARK DBA, INC. and may not be used, reproduced, or copied in whole or part for any purpose without prior written authorization of LANDMARK DBA, INC.

SITE PLANTING PLAN

L100.01
PROJECT NUMBER 20180031



SCALE: 1" = 60'-0"
GRAPHIC SCALE
30' 0 60' 120'



COMMON AREA (C.A.)

PROPOSED: 5 TREES PER ACRE
2 ORNAMENTAL TREES IS EQUIVALENT TO 1 SHADE TREE
C.A. "C": = 9.15 ACRES; EXISTING WOODLAND TO REMAIN: NO TREES REQUIRED
C.A. "D": = 3.05 ACRES x 5 SHADE/ACRE TREES REQUIRED = 15.28: 12 SHADE TREES PROVIDED,
4 EVERGREEN TREES PROVIDED

ROAD FRONTAGE AREA (F.A.)

PROPOSED: 7 TREES PER 100 LF
-3 SHADE TREES
-3 EVERGREEN TREES
-1 ORNAMENTAL TREES
PROPOSED: 7 SHRUBS PER 100 LF

F.A. # 6 = 1,340 LF OF FRONTAGE
PROVIDED: 40 SHADE TREES, 40 EVERGREEN TREES, 14 ORNAMENTAL TREES, & 94 SHRUBS

GENERAL NOTE:
1. FOR PLANT SCHEDULE INFORMATION, REFER TO SHEET L100.05.



PO BOX 276
McCordsville, IN 46055
(317) 220-0722

WEAVERS LANDING
C.R. N. 700 W. & C.R. W. 650 N.
VERNON TWP., HANCOCK CO.,
MCCORDSVILLE, INDIANA

06	SEE THIS SHT.	11/09/20
05	SEE THIS SHT.	11/12/19
04	SEE THIS SHT.	10/14/19
03	SEE THIS SHT.	12/20/18
02	SEE THIS SHT.	11/26/18
01	SEE THIS SHT.	05/15/18
NO. REVISION/ISSUE		DATE



DATE ISSUED: MAY 14, 2018
© 2018 LANDMARK DBM, INC.
This drawing and the design concepts represented, as instruments of service, are the sole property of LANDMARK DBM, INC. and may not be used, reproduced, or copied in whole or part for any purpose without prior written authorization of LANDMARK DBM, INC.

SITE PLANTING PLAN

L100.02

PROJECT NUMBER 20180031



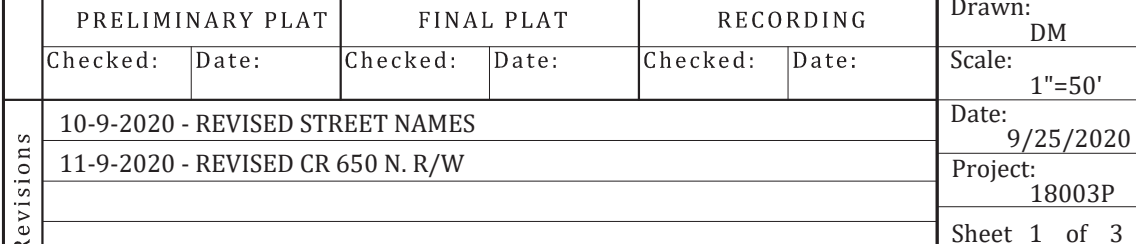
SCALE: 1" = 60'-0"
GRAPHIC SCALE 30' 0 60' 120'

INSTR. NO.: _____
CABINET: _____
SLIDE: _____

INSTR. NO.: _____
CABINET: _____
SLIDE: _____



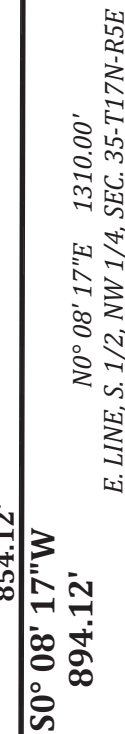
Jonathan D. Polson - Professional Surveyor - Indiana - # LS21500011



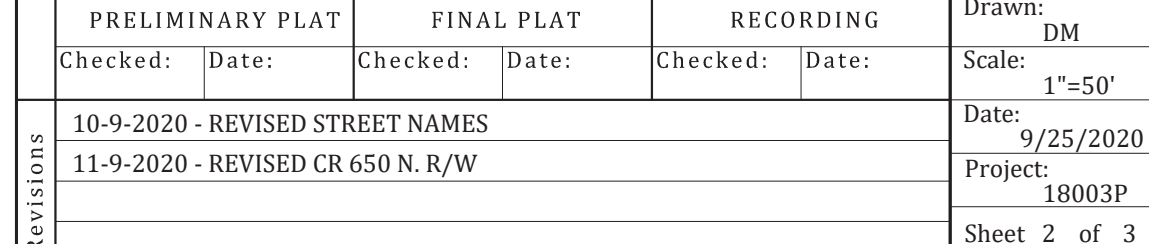
Drawn:	DM
Scale:	1"=50'
Date:	9/25/2020
Project:	18003P
Sheet	1 of 3

INSTR. NO.: _____
CABINET: _____
SLIDE: _____

NE COR., S. 1/2, NW 1/4
SEC. 35-T17N-R5E



Jonathan D. Polson - Professional Surveyor - Indiana - # LS21500011



Drawn:	DM
Scale:	1"=50'
Date:	9/25/2020
Project:	18003P
Sheet	2 of 3

WEAVER'S LANDING, SECTION 3 - FINAL PLAT

PART OF THE S. 1/2, NW 1/4 SEC. 35-T17N-R5E
HANCOCK COUNTY, INDIANA

INSTR. NO. : _____
CABINET : _____
SLIDE : _____

I, the undersigned Professional Surveyor, hereby certify that the included plat correctly represents a subdivision of a part of the South Half of the Northwest Quarter of Section 35, Township 17 North, Range 5 East in Vernon Township, Hancock County, Indiana, said part more particularly described as follows:

Land Description Weaver's Landing, Section 3

That portion of the South Half of the Northwest Quarter of Section 35, Township 17 North, Range 5 East of the Second Principal Meridian in Hancock County, Indiana, being a part of that 39.154 acre tract of land and being a part of the 38.954 acre tract of land shown on the plat of the ALTA/NSPS Land Title Survey certified by Brian L. Haggard, PS LSH#29800001 on June 12, 2018 as Banning Engineering's project number 18003 and recorded as Instrument Number 201911629 in the Office of the Recorder of said county (all references to monuments and courses herein are as shown on said plat of survey) described as follows:

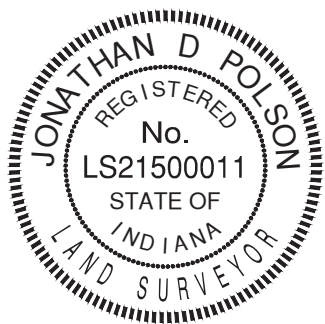
BEGINNING at a railroad spike found marking the southeast corner of said Northwest Quarter; thence South 89 degrees 11 minutes 26 seconds West along the south line thereof 1,268.32 feet to the southeast corner of Weaver's Landing, Section 2 per plat thereof recorded as Instrument Number _____ in the Office of the Recorder of said county; (the following four (4) calls along the easterly lines thereof); 1) thence North 00 degrees 48 minutes 34 seconds West 274.00 feet; 2) thence South 89 degrees 11 minutes 26 seconds West 29.57 feet; 3) thence North 00 degrees 48 minutes 34 seconds West 130.00 feet; 4) thence South 89 degrees 11 minutes 26 seconds West 74.38 feet to the southeast corner of Lot 30 in Weaver's Landing, Section 1 per plat thereof recorded as Instrument Number 201913859 in said recorder's office (the following three (3) calls along the easterly lines thereof); 1) thence North 11 degrees 29 minutes 27 seconds East 77.69 feet; 2) thence North 22 degrees 28 minutes 54 seconds East 57.65 feet; 3) thence North 23 degrees 21 minutes 48 seconds East 259.00 feet to the southerly line of Common Area "E" in said Weaver's Landing, Section 2 (the following eight (8) calls are along the southerly lines of said Weaver's Landing, Section 2); 1) thence South 66 degrees 38 minutes 12 seconds East 65.00 feet; 2) thence South 69 degrees 06 minutes 47 seconds East 55.38 feet; 3) thence South 86 degrees 28 minutes 01 seconds East 53.55 feet; 4) thence North 89 degrees 11 minutes 26 seconds East 319.83 feet; 5) thence North 00 degrees 48 minutes 34 seconds West 185.00 feet; 6) thence North 89 degrees 11 minutes 26 seconds East 130.00 feet; 7) thence South 00 degrees 48 minutes 34 seconds East 9.00 feet; 8) thence North 89 degrees 11 minutes 26 seconds East 627.68 feet to the east line of said South Half; thence South 00 degrees 08 minutes 17 seconds West along said east line 894.12 feet to the POINT OF BEGINNING, containing 24.616 acres, more or less.

This subdivision consists of 69 lots numbered 134-202 (all inclusive) and 1 Common Area labeled "G-2". The size of lots and width of streets are shown in feet and decimal parts thereof.

I further certify that I am a Professional Surveyor, licensed in compliance with the laws of the State of Indiana and that the within plat represents a subdivision of the lands surveyed within the cross-referenced survey plat, and that to the best of my knowledge and belief there has been no change from the matters of survey revealed by the cross-referenced survey on any lines that are common with the new subdivision.

Witness my signature this _____ day of _____, 20____.

Jonathan D. Polson
#LS21500011 - State of Indiana



ACCEPTANCE OF DEED OF DEDICATION

We, the undersigned Weaver's Landing Partners, LLC, owners of the real estate described in Instrument Number 201901381 Instrument #202001470 and Instrument #202001471 as recorded in the Hancock County Recorder's Office, do hereby certify that we have laid off, platted and subdivided, said real estate in accordance with the within plat. We do further certify that this plat is made and submitted with our free consent and desires.

This subdivision shall be known and designated as Weaver's Landing, Section 3. All streets shown and not heretofore dedicated are hereby dedicated to the public.

Front yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no building or structure.

A perpetual utility easement is hereby granted to any private or public utility or municipal department, their successors and assigns, within the area shown on the plat and marked "Utility Easement", to install, lay, construct, renew, operate, maintain and remove conduits, cables, pipes, poles and wires, overhead and underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision and other property with telephone, internet, cable tv, electric and gas, sewer and water service as a part of the respective utility systems; also is granted (subject to the prior rights of the public therein or other governing codes and ordinances) the right to use the streets and lots with aerial service wires to serve adjacent lots and street lights, the right to cut down and remove or trim and keep trimmed any trees or shrubs that interfere or threaten to interfere with any of the said private or public utility equipment, and the right is hereby granted to enter upon the lots at all times for all of the purposes aforesaid. No permanent structures, fences, or trees shall be placed on said area as shown on the plat and marked "Utility Easement," but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid user or the rights herein granted.

In addition, this Deed shall dedicate to the Town of McCordsville, Indiana, any and all sewer infrastructure installed for, by or on behalf of the undersigned, said infrastructure to include but not be limited to the sewer collection system, force main, lift station, or any other component part of the sewer system which serves the subject subdivision.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof, is hereby maintained in violation hereof, is hereby dedicated to the Town of McCordsville, Indiana, its assigns or designated agent or representative.

CERTIFICATE OF OWNERSHIP

Weaver's Landing Partners, LLC, does hereby certify that it is the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown on the herein drawn plat, as its free and voluntary act and deed.

Signature _____
Mark Todd Roberts, Member
Weaver's Landing Partners, LLC

State of Indiana)
County of _____)

Before me, the undersigned, a Notary Public in for said County and State, personally appeared Mark Todd Roberts and acknowledged the execution of this Instrument as his voluntary act and deed and affixed his signature hereto.

Witness my signature and seal this _____ day of _____, 20____.

Notary Public

Be it resolved by the McCordsville Town Council of McCordsville, Indiana, that the dedications shown on this plat are approved and accepted this _____ day of _____, 20____.

President

MCCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission the _____ day of _____, 20____, under the authority provided by:

NOTES:

1) Cross-reference is hereby made to a Boundary Survey of record, recorded as Instrument Number 201911628 and Instrument Number 201911629 in the Office of the Recorder of Hancock County, Indiana.

2) Dedicated Right-of-Way in this subdivision consists of 4.254 acres and 2443 lineal feet as measured along the centerline of the road.

3) The subject tract is zoned Weaver's Landing PUD Ordinance No. 091118A.

4) The Town of McCordsville is not responsible for snow plowing of the local roads within this subdivision.

SUPPLEMENTARY DECLARATION

This plat, together with all lots, streets, common areas, and real estate described herein is subject in all respects to the Declaration of Covenants Conditions and Restrictions of Weaver's Landing recorded with the Recorder of Hancock County Indiana, in Instrument # _____ (the "Covenants"), and this constitutes, a supplement declaration within the meaning of the Covenants.

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its easements be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its easements that are accepted in to the regulated drainage system are delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewer and tile drains as defined in McCordsville Stormwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains _____ linear feet of open ditches and _____ feet of subsurface drains that will be included in the Town's Regulated Drainage System.

This instrument was prepared by Jonathan D. Polson, Banning Engineering, 853 Columbia Road, Suite 101, Plainfield, IN 46168.

I affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law. Jonathan D. Polson

MINIMUM REQUIREMENTS

Minimum Lot Area	7,800 square feet
Minimum Lot Width at Building Line	60'
Minimum Front Yard Setback	25'
Minimum Side Yard Setback	6'
Aggregate Side Yard Setback	15'
Minimum Rear Yard Setback	25'
Minimum Livable Floor Area	1,600 square feet (single story)
	1,900 square feet (multi-story)
Maximum Lot Coverage	40%
Maximum Height - Principal	35'

PER TITLE 36S I.A.C. 1-12-18, THE INSTALLATION OF THE SUBDIVISION MONUMENTS MAY BE DELAYED FOR UP TO TWO YEARS FROM THE DATE IN WHICH THE PLAT WAS RECORDED. FOR THOSE MONUMENTS NOT INSTALLED PRIOR TO RECORDATION OF THIS PLAT, A MONUMENT AFFIDAVIT WILL BE RECORDED AND CROSS REFERENCED TO THIS PLAT AFTER THE COMPLETION OF THE INSTALLATION OF THE SUBDIVISION MONUMENTATION.

ALL MONUMENTS SHOWN WITHIN THIS PLAT WERE FOUND OR SET PRIOR TO THE RECORDING OF THIS PLAT.

☐ DENOTES A 5/8" REBAR, 24" LONG, WITH CAP STAMPED "BANNING ENG FIRM #0060", UNLESS OTHERWISE NOTED.

☒ DENOTES A STREET CENTERLINE MONUMENT, A 5/8" DIA. REBAR WITH 1-1/2" TAPERED ALUMINUM CAP STAMPED "BANNING ENG FIRM #0060", SET FLUSH OR A 2" MAG NAIL, TEMPORARY SET FLUSH WITH BINDER COURSE.

☒ DENOTES A MAG NAIL WITH WASHER STAMPED "BANNING ENG FIRM #0060" SET OR FOUND

BANNING
ENGINEERING
853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS: (317) 707-3700, FAX: (317) 707-3800
E-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com

	PRELIMINARY PLAT	FINAL PLAT	RECORDING	Drawn: DM
	Checked: _____	Date: _____	Checked: _____	Date: _____
REVISIONS	10-9-2020 - REVISED STREET NAMES			
	11-9-2020 - REVISED CR 650 N. R/W			
				Date: 9/25/2020
				Project: 18003P
				Sheet 3 of 3