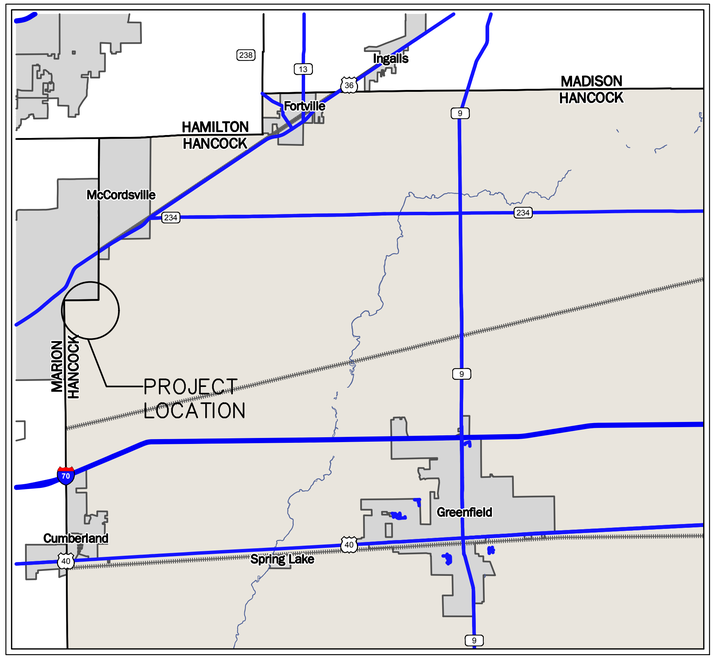
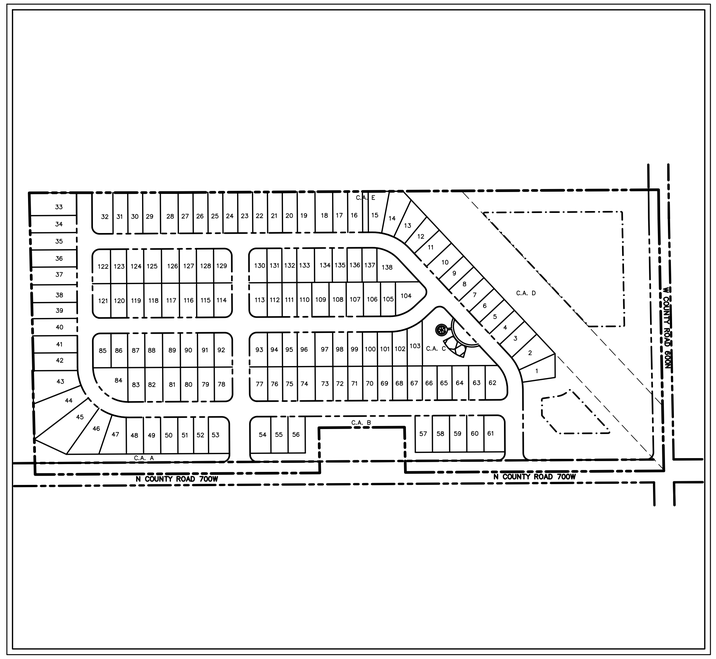
PRIMARY PLAT
FOR
THE MEADOWS AT SAGEBROOK
W COUNTY ROAD 600 N & N COUNTRY ROAD 700 W
MCCORDSVILLE, IN



LOCATION MAP
NOT TO SCALE



VICINITY MAP
SCALE: 1"=250'

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TITLE SHEET	C001
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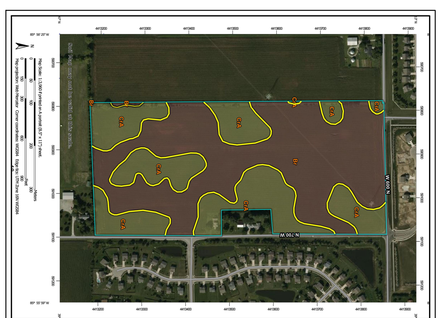
EXISTING TOPOGRAPHY	C101–C102
OVERALL PRIMARY PLAT	C200
PRIMARY PLAT	C201–C202
DEVELOPMENT PLAN	C301–C303
SITE DETAILS	C400



Br	Brookston silty clay loam, 0 to 2 percent slopes
CrA	Crosby silt loam, 0 to 2 percent slopes

SOILS MAP
NOT TO SCALE

FIRM: 18059C0105E, 18059C0106E
DATE: MARCH 17, 2014

FEMA MAP
NOT TO SCALE

BENCHMARK DATA
(NAVD 88 DATUM)

TBM #1
BENCH TIE SET 1.0' UP NORTH SIDE POWER POLE #06718 EAST SIDE N700W AND STANSBURY BLVD.
ELEV: 867.87

TBM #2
BENCH TIE SET 1.0' UP WEST SIDE POWER POLE #06722 EAST SIDE N700W AND W STANSBURY BLVD.
ELEV: 863.79

TBM #3
BENCH TIE SET 1.0' UP WEST SIDE POWER POLE #06726 EAST SIDE N700W, 2ND POLE SOUTH OF CR600N.
ELEV: 858.08

TBM #4
CUT "X" SOUTH BOLT ON FIRE HYDRANT 275'± EAST OF INTERSECTION AT CR600N AND N SAGEBROOK WAY, NORTH SIDE OF CR600N.
ELEV: 861.66

TBM #5
BENCH TIE SET 1.0' UP NORTH SIDE POWER POLE, NO #, 110' EAST AND 40' NORTH OF INTERSECTION AT CR600N AND N700W (62ND & CARROLL RD).
ELEV: 858.10

TBM #10
RAILROAD SPIKE IN SOUTH SIDE OF COMBO POLE AT NE CORNER OF CR600N AND LOOKING GLASS WAY.
ELEV: 856.094

LEGAL DESCRIPTION

Part of the Northeast Quarter of Section 2, Township 16 North, Range 5 East of the Second Principal Meridian, Hancock County, Indiana, more particularly described as follows:

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UTILITY CONTACTS

UTILITY	COMPANY	CONTACT	PHONE NO.
CABLE TELEVISION	COMCAST CABLE	EARL SMALL	(317) 982–1161
ELECTRIC	NINESTAR	JENNIFER MCMILLAN	(317) 323–2090
ELECTRIC EASEMENT	IPL	RON POLLARD	(317) 261–8617
FIBER OPTIC	AT&T	MATT SPINDLER	(317) 265–3050
GAS	VECTREN	JON EASTHAM	(765) 287–2119
SANITARY SEWER	AQUA INDIANA	JIM SHIELDS	(317) 967–0503
TELEPHONE	BRIGHT HOUSE NETWORKS	JASON KIRKMAN	(317) 632–9077
WATER	CITIZENS ENERGY GROUP	RICH NEWELL	(317) 927–6038

(REV. 01/14/20)

SITE DATA TABLE

SITE ZONING:	PUD
GROSS AREA:	±48.47 AC
PROPOSED PUBLIC RIGHT–OF–WAY:	±10.18 AC (21.0%)
COMMON AREA:	±13.73 AC (28.3%)
NORMAL POOL POND AREA:	±3.33 AC
PLAYGROUND AREA:	±0.77 AC
POWER LINE EASEMENT AREA:	±3.88 AC
TOTAL LOT AREA:	±24.56 AC (50.7%)
TOTAL LOTS:	138
GROSS DENSITY:	2.8 LOTS/ACRE
MINIMUM LOT SIZE:	6,240 SF
MIN. FRONT YARD:	30'
MIN. SIDE YARD:	5'
MIN. REAR YARD:	15'
N COUNTRY ROAD 700W FRONTAGE:	1,897 LF
W COUNTRY ROAD 600N FRONTAGE:	983 LF
LOCAL ROAD LENGTH:	6,327 LF
STANDARD PARKING (10'X20'):	6
TYPICAL R/W WIDTH:	80' (N C.R. 700W ROAD) 70' (W C.R. 600N ROAD) 60' (LOCAL ROAD) 54' (LOCAL SUBDIVISION)

OPEN SPACE TABLE

COMMON AREA A	±0.53 AC	COMMON AREA C	±0.77 AC
COMMON AREA B	±0.92 AC	COMMON AREA D	±11.44 AC
COMMON AREA E	±0.07 AC	TOTAL AREA	±13.73 AC

GENERAL NOTES:

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THE MEADOWS AT SAGEBROOK PRIMARY PLAT

W COUNTY ROAD 600 N & N COUNTY ROAD 700 W

JOSHUA H. CRIBELAR REGISTERED INDIANA PROFESSIONAL ENGINEER
APPROVED FOR OPENING NOT FOR CONSTRUCTION

CERTIFIED BY

ISSUANCE INDEX
DATE:
01/24/2020
PROJECT PHASE:
PRIMARY PLAT

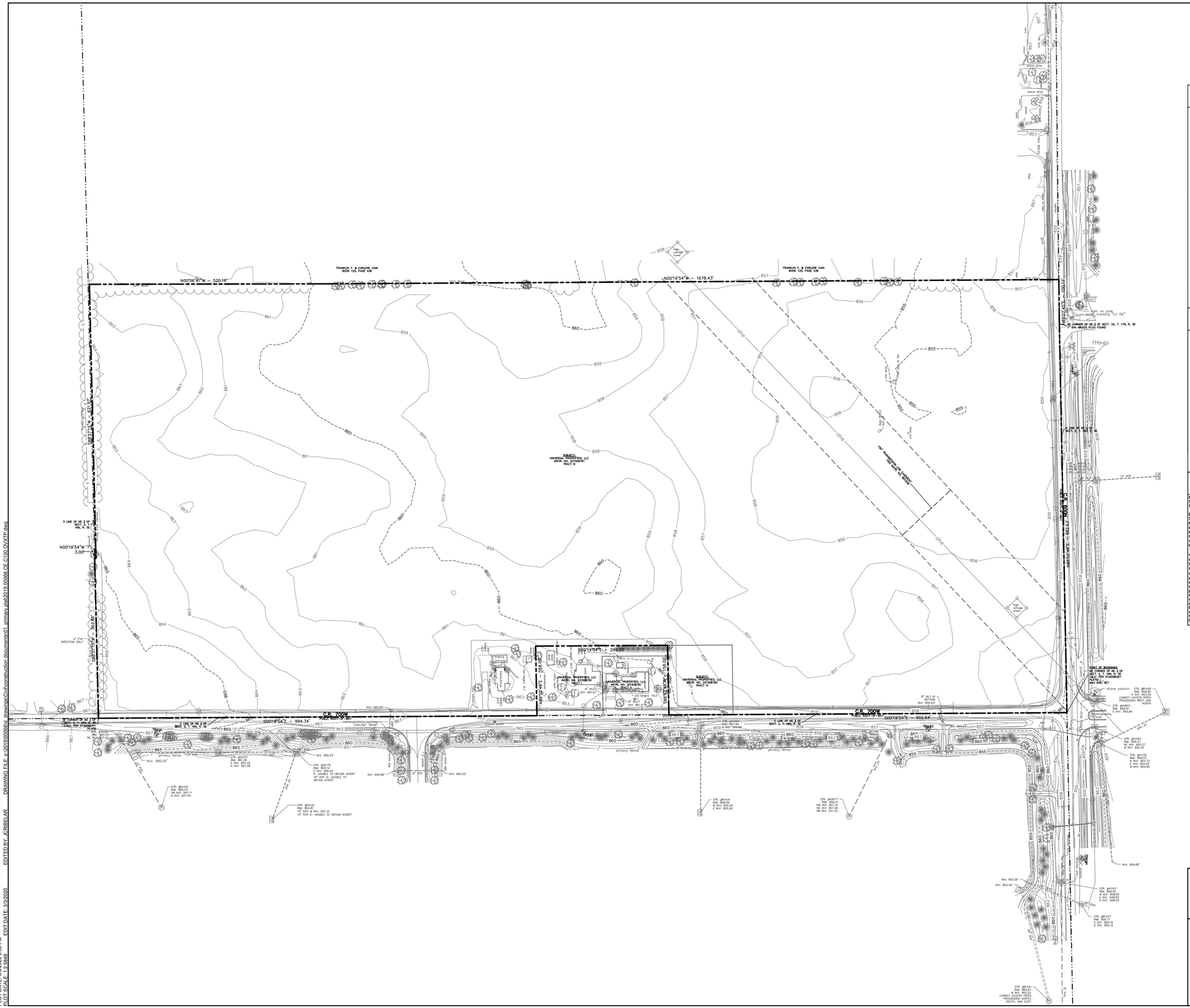
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TOWN COMMENTS	03/03/20

Project Number 2019.00066

TITLE SHEET

C001

PLOT DATE: 3/3/2020 5:50 PM
PLOT SCALE: 1:2.5949
EDIT DATE: 3/3/2020
EDITED BY: JCRIBELAR
DRAWING FILE: p:\2019\2000\6\d drawings\Civil\construction documents\01 primary plat\2019.00066_CE C000 TS.dwg



SCALE: 1"=100'

EXISTING LEGEND

Air Conditioner	Power Pole
Beehive Inlet	Sanitary MH
Bush	Sign
Clean Out	Sprinkler Control Valve
Curb Inlet	Stump
Drainage Inlet	Telephone Box
Drainage MH	Telephone Marker
Electric Meter Box	Telephone Pedestal
Fire Hydrant	Temporary Bench Mark
Flag Pole	Tree
Gas Marker	Water Meter
Gas Meter	Water Valve Shut Off
Gas Valve	Well
Ground Light	—w— Buried Water Line
Guy Wire	—t— Buried Telephone Line
Hose Bib	—g— Buried Gas line
Light Pole	—fo— Buried Fiber Optic Line
Mail Box	—ohe—Overhead Electric Line
PineTree	—e— Buried Electric line
Pole	—cty—Buried Cable Line
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N COUNTY ROAD 700 W

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REGISTERED
INDIANA
PROFESSIONAL ENGINEER

APPROVAL FOR CONSTRUCTION
NO SIGNATURE REQUIRED

CERTIFIED BY

ISSUANCE INDEX
DATE:
01/24/2020
PROJECT PHASE:
PRIMARY PLAT

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TOWN COMMENTS	03/03/20

Project Number 2019.00066

OVERALL EXISTING TOPOGRAPHY

C100

PLOT DATE: 3/3/2020 5:50 PM
PLOT SCALE: 1:2.5849
EDIT DATE: 3/3/2020
EDITED BY: JCRIBELAR
DRAWING FILE: p:\2019\00066\a\ drawings\Civil\construction documents\01 primary plat\2019.00066 CE C100 OVXTP.dwg

0' 50' 100'

SCALE: 1"=50'

EXISTING LEGEND

Air Conditioner	Power Pole
Beehive Inlet	Sanitary MH
Bush	Sign
Clean Out	Sprinkler Control Valve
Curb Inlet	Stump
Drainage Inlet	Telephone Box
Drainage MH	Telephone Marker
Electric Meter Box	Telephone Pedestal
Fire Hydrant	Temporary Bench Mark
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SCALE: 1"=50'

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- Fire Hydrant
- Flag Pole
- Gas Marker
- Gas Meter
- Gas Valve
- Ground Light
- Guy Wire
- Hose Bib
- Light Pole
- Mail Box
- PineTree
- Pole
- Post
- Power Pole
- Sanitary MH
- Sign
- Sprinkler Control Valve
- Stump
- Telephone Box
- Telephone Marker
- Telephone Pedestal
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DATE:
01/24/2020
PROJECT PHASE:
PRIMARY PLAT

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TOWN COMMENTS	03/03/20

Project Number 2019.00066

EXISTING TOPOGRAPHY

C102

DRAWING FILE: p:\2019\00066\d_drawings\Civil\construction documents\01 primary plat\2019.00066 CE C101 ExistingTopography.dwg
EDITED BY: JCRIBELAR
EDIT DATE: 3/3/2020
PLOT DATE: 3/3/2020 5:50 PM
PLOT SCALE: 1:2.5849

LEGAL DESCRIPTION

Part of the Northeast Quarter of Section 2, Township 16 North, Range 5 East of the Second Principal Meridian, Hancock County, Indiana, more particularly described as follows:

BEGINNING at a mag nail at the northeast corner of said Northeast Quarter; thence South 0 degrees 19 minutes 54 seconds East 902.64 feet along the east line of said Northeast Quarter (basis of bearings is the Indiana Geospatial Coordinate System, Hancock Zone) to a mag nail at the northeast corner of Tract II as described in Instrument Number 201508761, on file in the Office of the Recorder of Hancock County, Indiana; thence South 88 degrees 52 minutes 48 seconds West 158.00 feet along the north line of said Tract II and the north line of Tract I as described in said Instrument Number 201508761 to a 5/8-inch diameter rebar with a cap stamped "Structurepoint – 0094" set flush (hereafter referred to as "set rebar") at the northwest corner of said Tract I, the following two (2) courses are along the west and south lines thereof; 1)thence South 0 degrees 19 minutes 54 seconds East 299.25 feet to a set rebar; 2)thence North 88 degrees 52 minutes 48 seconds East 158.00 feet to mag nail on the east line of said Northeast Quarter, the following two (2) courses are along the east and south lines thereof; 1)thence South 0 degrees 19 minutes 54 seconds East 994.34 feet to a mag nail; 2)thence South 88 degrees 37 minutes 15 seconds West 362.86 feet to a set rebar; thence North 00 degrees 19 minutes 54 seconds West 3.00 feet to a set rebar on a line that is 3.00 feet north of and parallel with the south line of said Tract I; thence South 88 degrees 37 minutes 15 seconds West 621.97 feet to a set rebar; thence North 00 degrees 06 minutes 41 seconds West 520.16 feet to a set rebar; thence North 00 degrees 19 minutes 54 seconds West 1,678.43 feet to the north line of said Northeast Quarter; thence North 89 degrees 22 minutes 45 seconds East 100.12 feet to a brass plug at the southeast corner of the Southeast Quarter of Section 34, Township 17 North, Range 5 East; thence North 88 degrees 52 minutes 48 seconds East 882.63 feet along said north line to the POINT OF BEGINNING. Containing 48.467 acres, more or less.

BENCHMARK DATA

(NAVD 88 DATUM)

TBM #1
BENCH TIE SET 1.0' UP NORTH SIDE POWER POLE #06718 EAST SIDE N700W AND STANSBURY BLVD.
ELEV:867.87

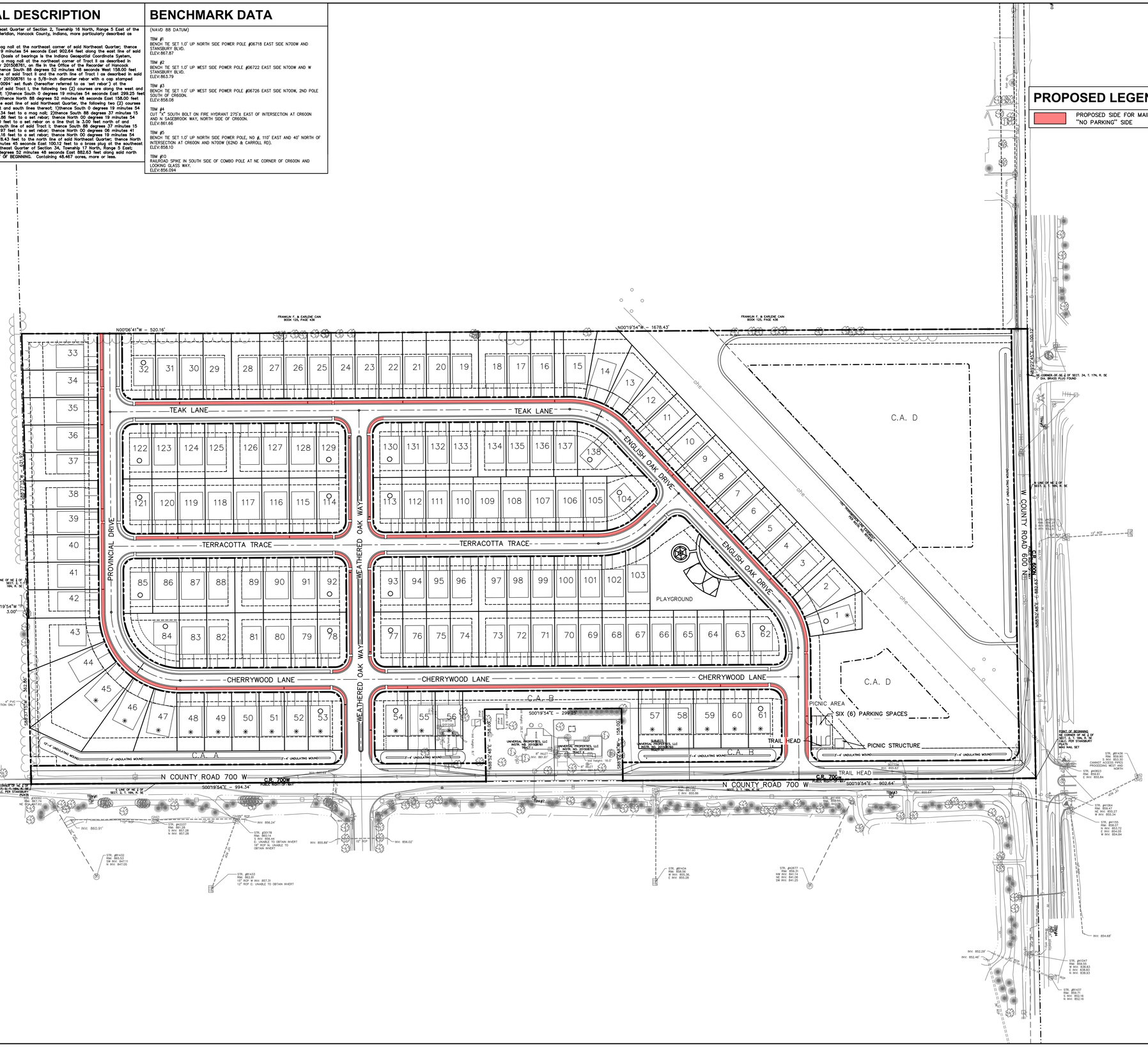
TBM #2
BENCH TIE SET 1.0' UP WEST SIDE POWER POLE #06722 EAST SIDE N700W AND W STANSBURY BLVD.
ELEV:863.79

TBM #3
BENCH TIE SET 1.0' UP WEST SIDE POWER POLE #06726 EAST SIDE N700W, 2ND POLE SOUTH OF CR600N.
ELEV:858.08

TBM #4
CUT "X" SOUTH BOLT ON FIRE HYDRANT 275'± EAST OF INTERSECTION AT CR600N AND N SAGEBROOK WAY, NORTH SIDE OF CR600N.
ELEV:861.66

TBM #5
BENCH TIE SET 1.0' UP NORTH SIDE POWER POLE, NO #, 110' EAST AND 40' NORTH OF INTERSECTION AT CR600N AND N700W (62ND & CARROLL RD).
ELEV:858.10

TBM #10
RAILROAD SPIKE IN SOUTH SIDE OF COMBO POLE AT NE CORNER OF CR600N AND LOOKING GLASS WAY.
ELEV:856.094



PROPOSED LEGEND

PROPOSED SIDE FOR MAILBOXES AND "NO PARKING" SIDE

EXISTING LEGEND

- Air Conditioner
- Beehive Inlet
- Bush
- Clean Out
- Curb Inlet
- Drainage Inlet
- Drainage MH
- Electric Meter Box
- Fire Hydrant
- Flag Pole
- Gas Marker
- Gas Meter
- Gas Valve
- Ground Light
- Guy Wire
- Hose Bib
- Light Pole
- Mail Box
- PineTree
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- Post
- Power Pole
- Sanitary MH
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SITE LEGEND

B/B	BACK–TO–BACK
B.S.L.	BUILDING SETBACK LINE
C.A.	COMMON AREA
D.E.	DRAINAGE EASEMENT
L.E.	LANDSCAPE EASEMENT
P.A.E.	PUBLIC ACCESS EASEMENT
R/W	RIGHT–OF–WAY
S.S.E	SANITARY SEWER EASEMENT
T.C.E	TREE CONSERVATION EASEMENT
U.&D.E	UTILITY, AND DRAINAGE EASEMENT
U.D.&S.E.	UTILITY, DRAINAGE, AND SANITARY EASEMENT
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MIN. REAR YARD:	15'
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W COUNTRY ROAD 600N FRONTAGE:	983 LF
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	70' (W C.R. 600N ROAD)
	60' (LOCAL ROAD)
	54' (LOCAL SUBDIVISION)

OPEN SPACE TABLE

COMMON AREA A	±0.53 AC	COMMON AREA C	±0.77 AC
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ARCHITECTURAL STANDARDS

✳ PERIMETER LOTS: ALL LOTS INDICATED WITH A (✳) AND/OR ABUTTING COUNTRY ROAD 700 WEST SHALL HAVE A REAR GABLE IN THE FORM OF ONE OF THE FOLLOWING: ENCLOSED SUNROOM, SCREENED IN PORCH, A COVERED BACK PORCH WITH A MINIMUM OF 8"X8" COLUMNS, REAR BUMP OUT AT LEAST TEN (10') FEET IN WIDTH BY FOUR (4') FEET IN DEPTH. IF A FIRST–FLOOR BRICK WRAP IS CHOSEN, A GABLE IS NOT REQUIRED ON THE REAR ELEVATION.

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GENERAL NOTES:

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SCALE: 1"=100'

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THE MEADOWS AT SAGEBROOK PRIMARY PLAT

W COUNTY ROAD 600 N & N COUNTY ROAD 700 W

JOSHUA H. CRIBELAR REGISTERED INDIANA PROFESSIONAL ENGINEER
APPROVAL PENDING NOT FOR CONSTRUCTION

CERTIFIED BY

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PRIMARY PLAT

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OVERALL PRIMARY PLAT

C200

PLOT DATE: 3/3/2020 5:50 PM
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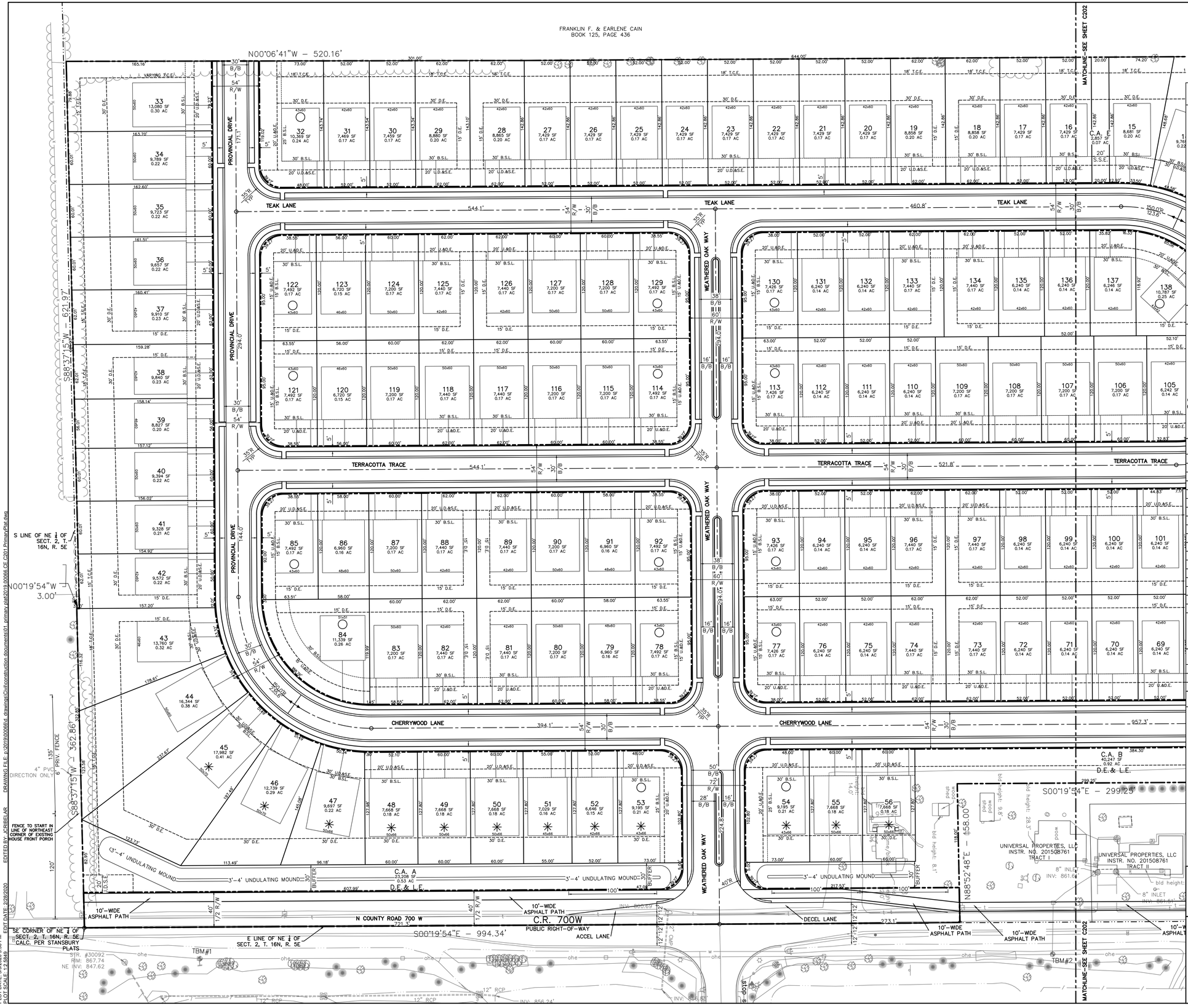
DRAWING FILE: p:\2019\00066\d_drawings\Civil\construction documents\01_primary plat\2019.00066.CE.C200.OVPP.dwg



EXISTING LEGEND

Air Conditioner	Power Pole
Beehive Inlet	Sanitary MH
Bush	Sign
Clean Out	Sprinkler Control Valve
Curb Inlet	Stump
Drainage Inlet	Telephone Box
Drainage MH	Telephone Marker
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Post	

SITE LEGEND

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B.S.L.	BUILDING SETBACK LINE
C.A.	COMMON AREA
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L.E.	LANDSCAPE EASEMENT
P.A.E.	PUBLIC ACCESS EASEMENT
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STATE OF INDIANA PROFESSIONAL ENGINEER

CERTIFIED BY

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PRIMARY PLAT

C201

PLOT DATE: 3/3/2020 5:59 PM
PLOT SCALE: 1:2.5849
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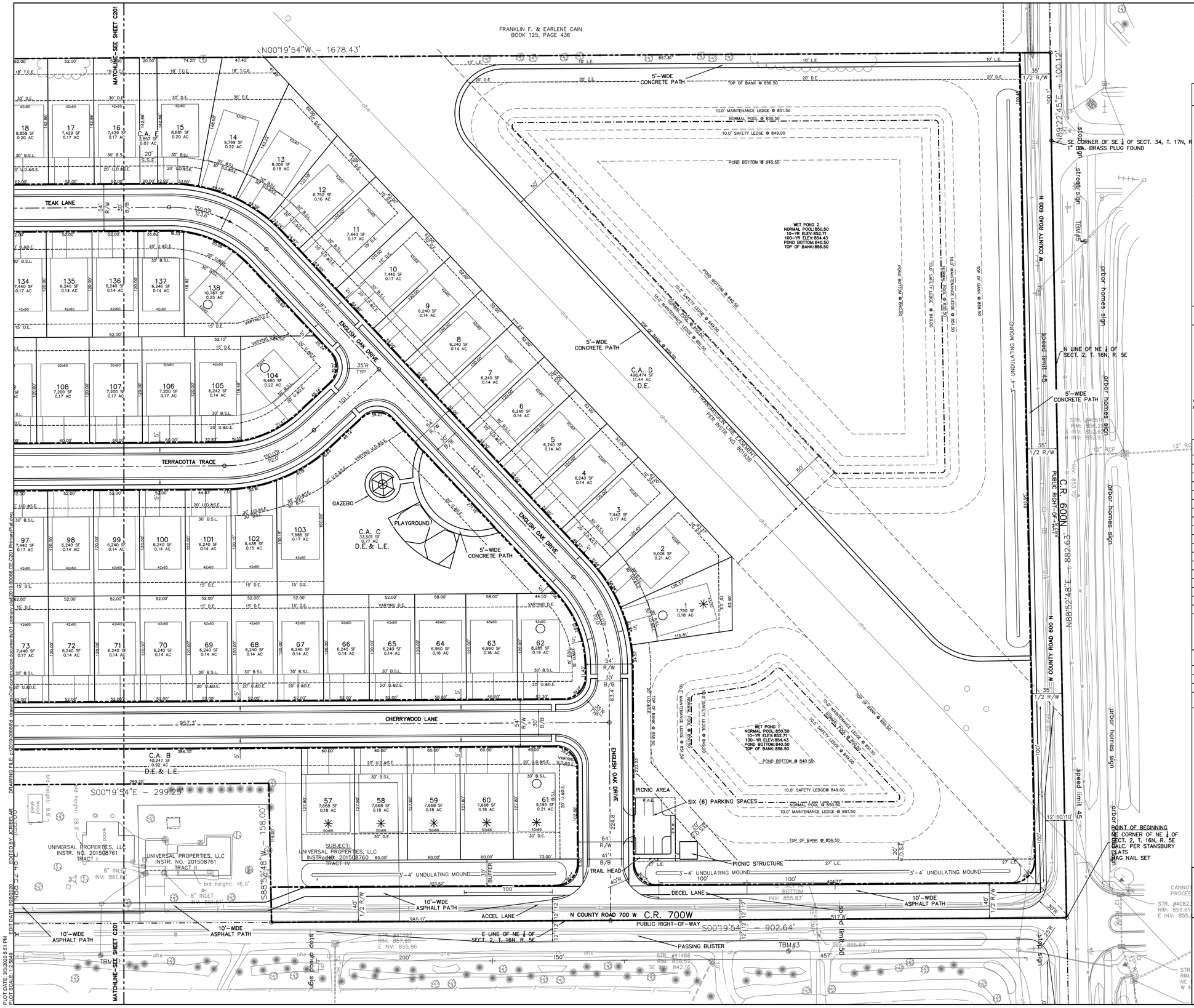

SCALE: 1"=50'

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SITE LEGEND

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L.E.	LANDSCAPE EASEMENT
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APPROVAL FOR CONSTRUCTION
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REGISTERED
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(IN PENDING)

CERTIFIED BY

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C202

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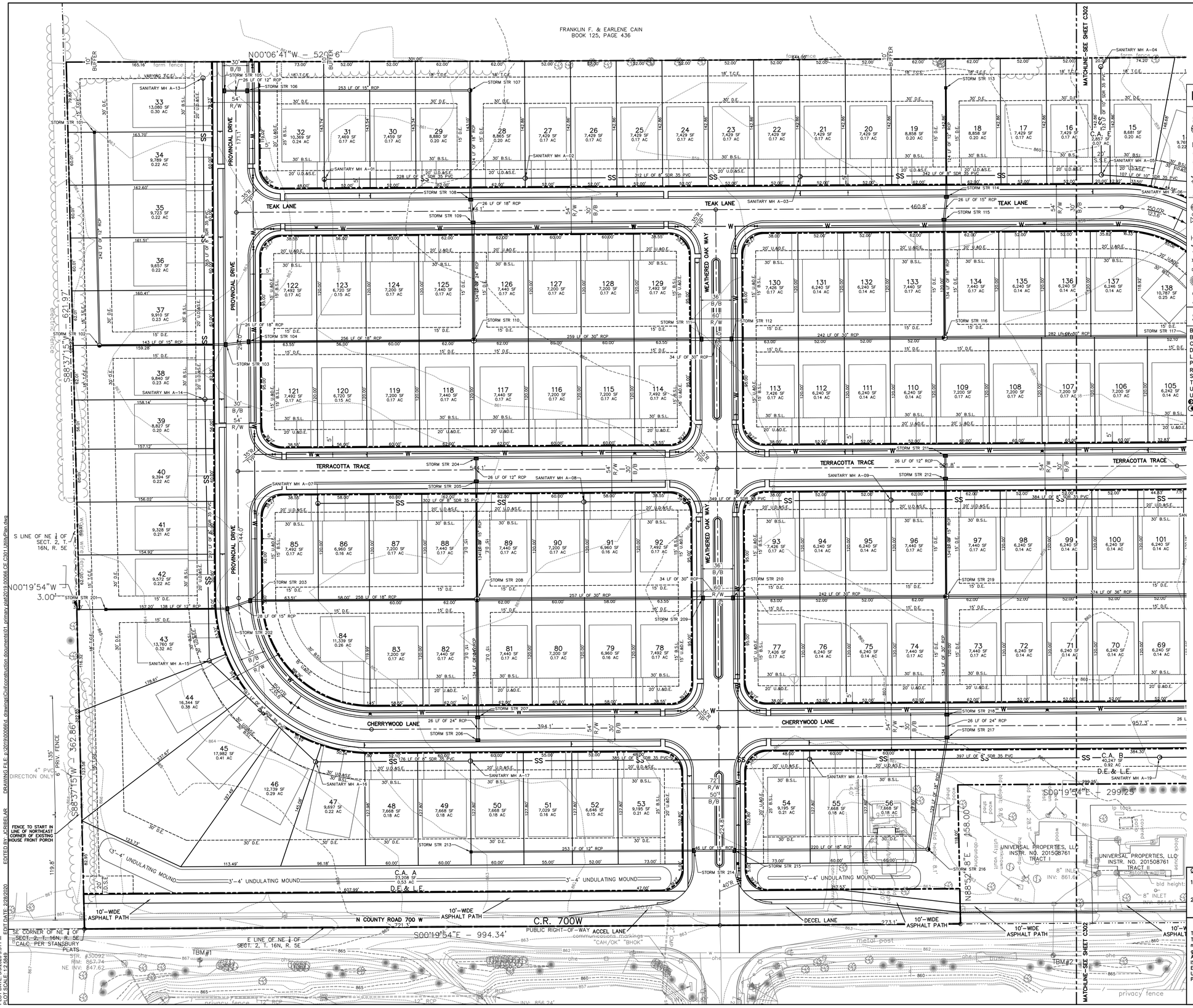

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U.D.&S.E.	UTILITY, DRAINAGE, AND SANITARY EASEMENT
SS	SANITARY SEWER & STRUCTURE
	STORM SEWER & STRUCTURES
W	8" C900 WATER MAIN
	HYDRANT & WATER VALVE
	NO PARKING SIGN (MAIL BOX TO BE LOCATED ON SAME SIDE OF ROAD)

GENERAL NOTES:

1. CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
"811" OR 1-800-382-5544
– INDIANA UNDERGROUND –

ARBOR HOMES

ARBOR HOMES
9225 HARRISON PARK COURT
INDIANAPOLIS, IN 46216

AMERICAN STRUCTUREPOINT INC.
9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

THE MEADOWS AT SAGEBROOK PRIMARY PLAT

W COUNTY ROAD 600 N &
N COUNTY ROAD 700 W

JOSHUA H. CRIBELAR REGISTERED INDIANA PROFESSIONAL ENGINEER
APPROVED FOR CONSTRUCTION
NOT FOR BIDDING OR RECORDING

CERTIFIED BY

ISSUANCE INDEX
DATE:
01/24/2020
PROJECT PHASE:
PRIMARY PLAT

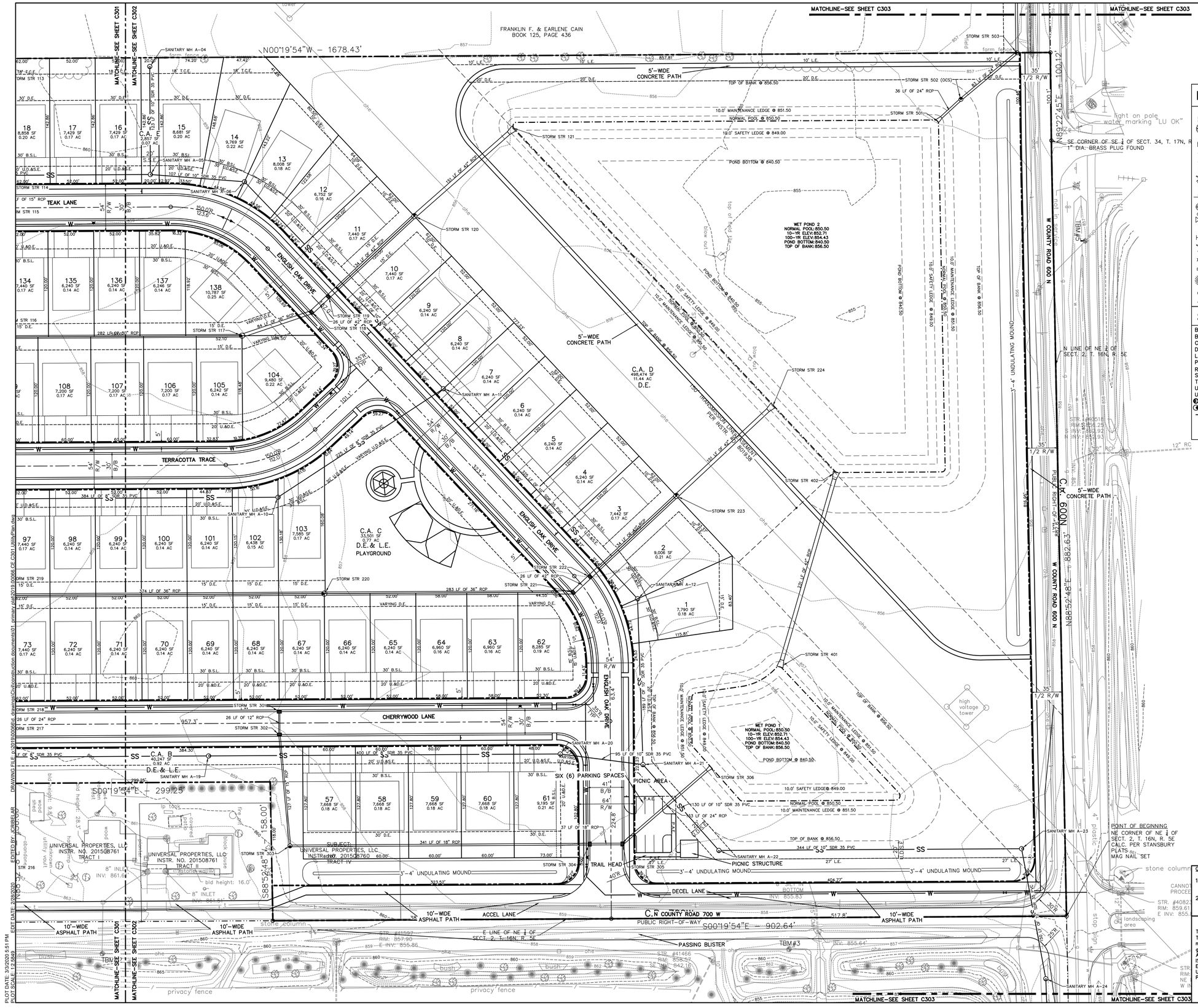
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TOWN COMMENTS	03/03/20

Project Number 2019.00066

DEVELOPMENT PLAN

C301

PLOT DATE: 3/3/2020 5:51 PM
PLOT SCALE: 1:2.5349
EDIT DATE: 2/28/2020
EDITED BY: JCRIBELAR
DRAWING FILE: J:\2019\00066\d_drawings\Civil\construction documents\01 primary plat\2019.00066.CE.C301.UtilityPlan.dwg



SCALE: 1"=50'

EXISTING LEGEND

Air Conditioner	Power Pole
Beehive Inlet	Sanitary MH
Bush	Sign
Clean Out	Sprinkler Control Valve
Curb Inlet	Stump
Drainage Inlet	Telephone Box
Drainage MH	Telephone Marker
Electric Meter Box	Telephone Pedestal
Fire Hydrant	Temporary Bench Mark
Flag Pole	Tree
Gas Marker	Water Meter
Gas Meter	Water Valve Shut Off
Gas Valve	Well
Ground Light	–w– Buried Water Line
Guy Wire	–t– Buried Telephone Line
Hose Bib	–g– Buried Gas line
Light Pole	–fo– Buried Fiber Optic Line
Mail Box	–ohe– Overhead Electric Line
PineTree	–e– Buried Electric line
Pole	–ctv–Buried Cable Line
Post	

SITE LEGEND

B/B	BACK–TO–BACK
B.S.L.	BUILDING SETBACK LINE
C.A.	COMMON AREA
D.E.	DRAINAGE EASEMENT
L.E.	LANDSCAPE EASEMENT
P.A.E.	PUBLIC ACCESS EASEMENT
R/W	RIGHT–OF–WAY
S.S.E	SANITARY SEWER EASEMENT
T.C.E	TREE CONSERVATION EASEMENT
U.&D.E	UTILITY, AND DRAINAGE EASEMENT
U.D.&S.E.	UTILITY, DRAINAGE, AND SANITARY EASEMENT
SS	SANITARY SEWER & STRUCTURE
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	HYDRANT & WATER VALVE
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THE MEADOWS AT SAGEBROOK PRIMARY PLAT

W COUNTY ROAD 600 N &
N COUNTY ROAD 700 W

JOSHUA H. CRIBBELAR
REGISTERED
APPROVED FOR PERMITS
NOT FOR CONSTRUCTION
INDIANA
PROFESSIONAL ENGINEER

CERTIFIED BY

ISSUANCE INDEX
DATE:
01/24/2020
PROJECT PHASE:
PRIMARY PLAT

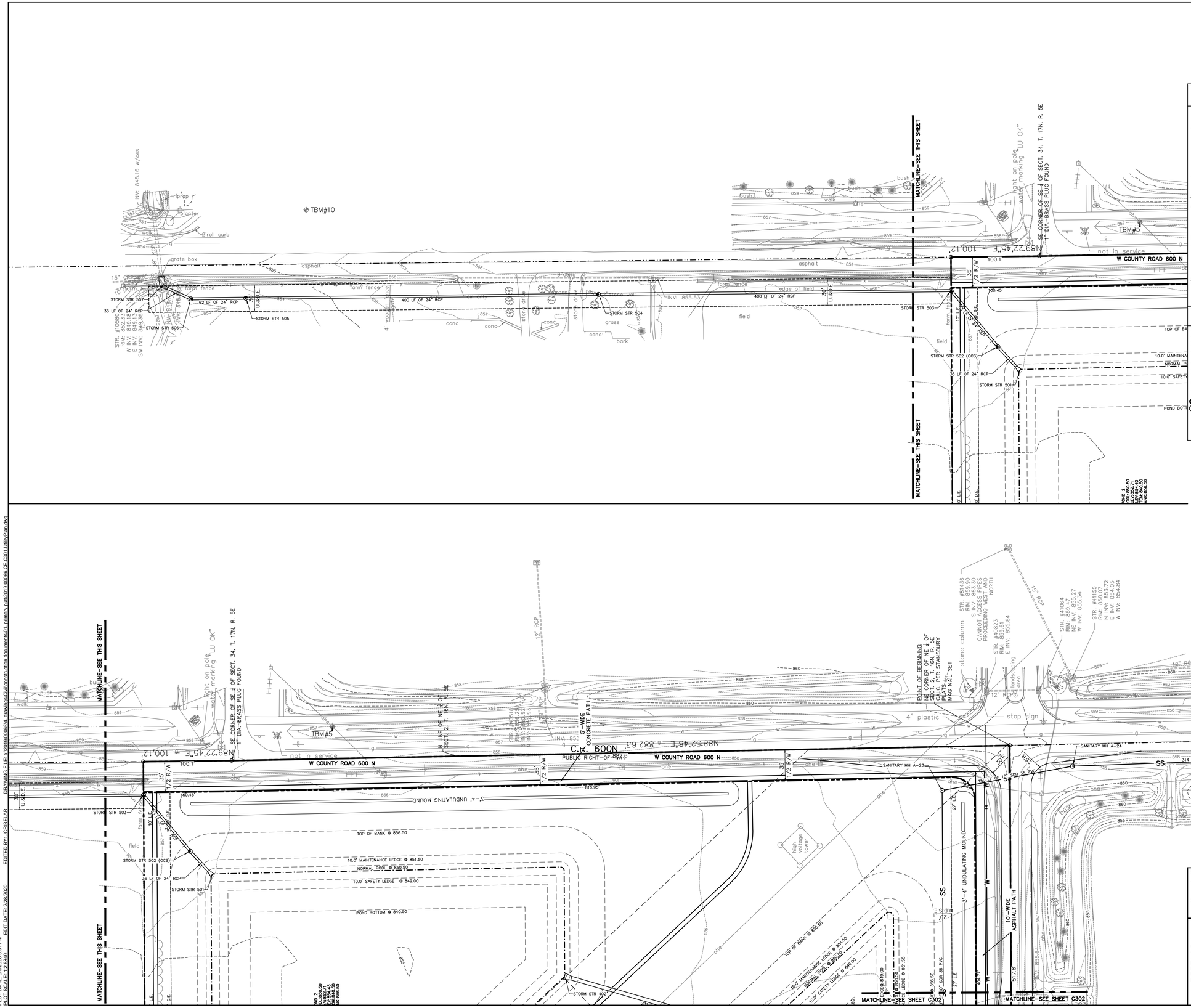
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TOWN COMMENTS	03/03/20

Project Number 2019.00066

DEVELOPMENT PLAN

C302

PLOT DATE: 3/3/2020 5:51 PM
PLOT SCALE: 1:2.5849
EDIT DATE: 2/28/2020
EDITED BY: JCRIBBELAR
DRAWING FILE: p:\2019\00066\cd_drawings\Development\construction documents\01_primary plat\2019.00066.CE.C301.UtilityPlan.dwg



EXISTING LEGEND

Air Conditioner	Power Pole
Beehive Inlet	Sanitary MH
Bush	Sign
Clean Out	Sprinkler Control Valve
Curb Inlet	Stump
Drainage Inlet	Telephone Box
Drainage MH	Telephone Marker
Electric Meter Box	Telephone Pedestal
Fire Hydrant	Temporary Bench Mark
Flag Pole	Tree
Gas Marker	Water Meter
Gas Meter	Water Valve Shut Off
Gas Valve	Well
Ground Light	—w— Buried Water Line
Guy Wire	—t— Buried Telephone Line
Hose Bib	—g— Buried Gas line
Light Pole	—fo— Buried Fiber Optic Line
Mail Box	—ohe—Overhead Electric Line
PineTree	—e— Buried Electric line
Pole	—cty—Buried Cable Line
Post	

SITE LEGEND

B/B	BACK-TO-BACK
B.S.L.	BUILDING SETBACK LINE
C.A.	COMMON AREA
D.E.	DRAINAGE EASEMENT
L.E.	LANDSCAPE EASEMENT
P.A.E.	PUBLIC ACCESS EASEMENT
R/W	RIGHT-OF-WAY
S.S.E	SANITARY SEWER EASEMENT
T.C.E	TREE CONSERVATION EASEMENT
U.&D.E	UTILITY, AND DRAINAGE EASEMENT
U.D.&S.E.	UTILITY, DRAINAGE, AND SANITARY EASEMENT
SS	SANITARY SEWER & STRUCTURE
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W	8" C900 WATER MAIN
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THE MEADOWS AT SAGEBROOK PRIMARY PLAT

W COUNTY ROAD 600 N &
N COUNTY ROAD 700 W

JOSHUA H. CRIBELAR REGISTERED PROFESSIONAL ENGINEER INDIANA
APPROVED FOR CONSTRUCTION NOT FOR SALE
CERTIFIED BY

ISSUANCE INDEX
DATE:
01/24/2020
PROJECT PHASE:
PRIMARY PLAT

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TOWN COMMENTS	03/03/20

Project Number 2019.00066

DEVELOPMENT PLAN

C303

PLOT DATE: 3/3/2020 5:51 PM
PLOT SCALE: 1:2.5849
EDIT DATE: 2/28/2020
EDITED BY: JCRIBELAR
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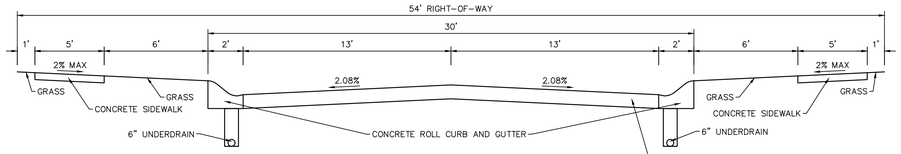
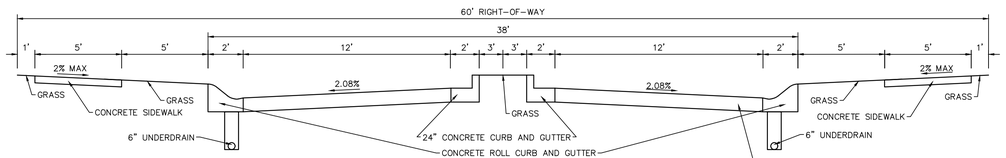


TYPICAL LOCAL ROAD RIGHT-OF-WAY SECTION

NOT TO SCALE

D= 12"
1) 1" HMA, TYPE A, 9.5 MM SURFACE
2) 3" HMA, TYPE A, 19.0 MM INTERMEDIATE
3) 4" COMPACTED AGGREGATE BASE #53
4" COMPACTED AGGREGATE BASE #2

(SEE KEYMAP, THIS SHEET, FOR DENOTED LOCAL ROAD PAVEMENT THICKNESS DESIGNATION)



WEATHERED OAK WAY BETWEEN TEAK LANE AND TERRACOTTA TRACE

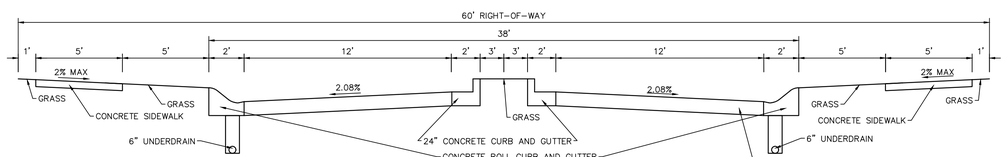
TYPICAL LOCAL ARTERIAL ROAD RIGHT-OF-WAY SECTION

NOT TO SCALE

NOTE: PER TOWN ENGINEER DESIGNATION, THIS SECTION OF LOCAL ARTERIAL R.O.W. WILL ONLY REQUIRE LOCAL SECTION PAVEMENT DEPTH.

D= 12"
1) 1" HMA, TYPE A, 9.5 MM SURFACE
2) 3" HMA, TYPE A, 19.0 MM INTERMEDIATE
3) 4" COMPACTED AGGREGATE BASE #53
4" COMPACTED AGGREGATE BASE #2

(SEE KEYMAP, THIS SHEET, FOR DENOTED LOCAL ARTERIAL ROAD PAVEMENT THICKNESS DESIGNATION)



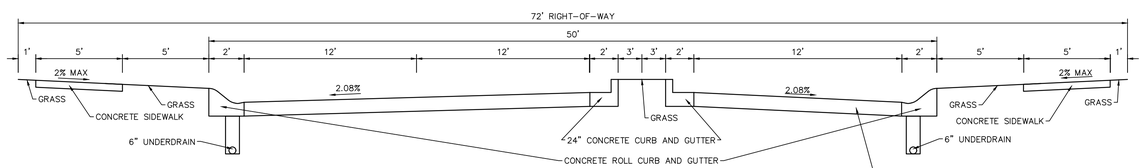
WEATHERED OAK WAY BETWEEN TERRACOTTA TRACE AND CHERRYWOOD LANE

TYPICAL LOCAL ARTERIAL ROAD RIGHT-OF-WAY SECTION

NOT TO SCALE

D= 15"
1) 1" HMA, TYPE A, 9.5 MM SURFACE
2) 3" HMA, TYPE A, 19.0 MM INTERMEDIATE
3) 3" HMA, TYPE A, 25.0 MM BASE
4) 4" COMPACTED AGGREGATE BASE #53
4" COMPACTED AGGREGATE BASE #2

(SEE KEYMAP, THIS SHEET, FOR DENOTED LOCAL ARTERIAL ROAD PAVEMENT THICKNESS DESIGNATION)



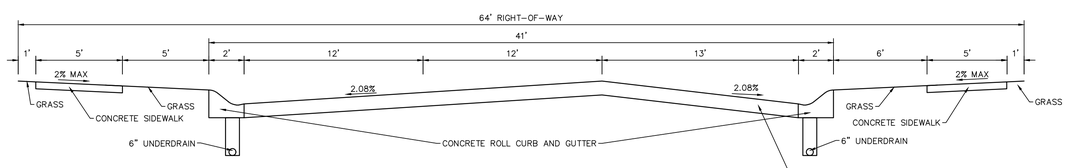
WEATHERED OAK WAY BETWEEN CHERRYWOOD LANE AND N COUNTY ROAD 700 W

TYPICAL LOCAL ARTERIAL ROAD RIGHT-OF-WAY SECTION

NOT TO SCALE

D= 15"
1) 1" HMA, TYPE A, 9.5 MM SURFACE
2) 3" HMA, TYPE A, 19.0 MM INTERMEDIATE
3) 3" HMA, TYPE A, 25.0 MM BASE
4) 4" COMPACTED AGGREGATE BASE #53
4" COMPACTED AGGREGATE BASE #2

(SEE KEYMAP, THIS SHEET, FOR DENOTED LOCAL ARTERIAL ROAD PAVEMENT THICKNESS DESIGNATION)



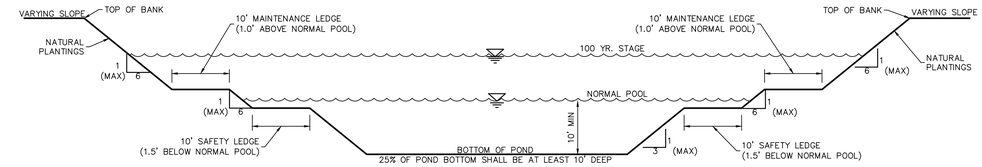
ENGLISH OAK DRIVE BETWEEN CHERRYWOOD LANE AND N COUNTY ROAD 700 W

TYPICAL LOCAL ARTERIAL ROAD RIGHT-OF-WAY SECTION

NOT TO SCALE

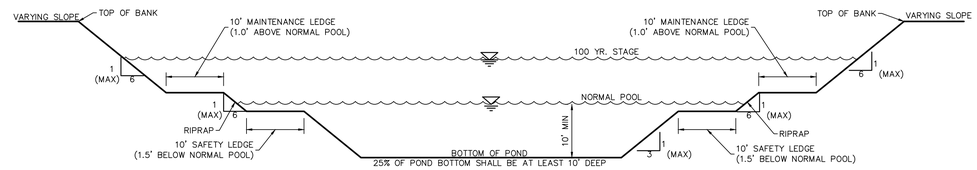
D= 15"
1) 1" HMA, TYPE A, 9.5 MM SURFACE
2) 3" HMA, TYPE A, 19.0 MM INTERMEDIATE
3) 3" HMA, TYPE A, 25.0 MM BASE
4) 4" COMPACTED AGGREGATE BASE #53
4" COMPACTED AGGREGATE BASE #2

(SEE KEYMAP, THIS SHEET, FOR DENOTED LOCAL ARTERIAL ROAD PAVEMENT THICKNESS DESIGNATION)



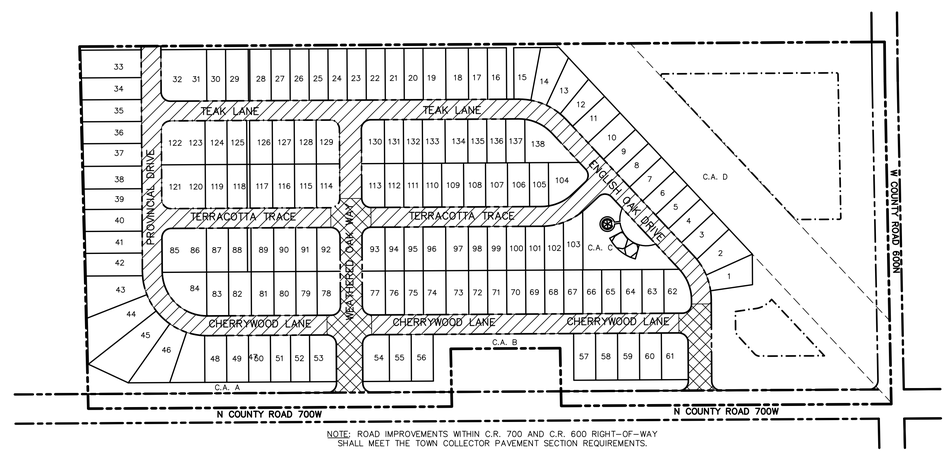
WET POND 1 CROSS-SECTION

NOT TO SCALE



WET POND 2 CROSS-SECTION

NOT TO SCALE



NOTE: ROAD IMPROVEMENTS WITHIN C.R. 700 AND C.R. 600 RIGHT-OF-WAY SHALL MEET THE TOWN COLLECTOR PAVEMENT SECTION REQUIREMENTS.

ROAD AND PAVEMENT KEYMAP

NOT TO SCALE

ARBOR HOMES

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INDIANAPOLIS, IN 46216

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THE MEADOWS AT SAGEBROOK PRIMARY PLAT

W COUNTY ROAD 600 N &
N COUNTY ROAD 700 W

JOSHUA H. CRIBELER REGISTERED INDIANA PROFESSIONAL ENGINEER
APPROVAL FOR CONSTRUCTION EXPIRES 2 YEARS FROM DATE
NOT FOR CONSTRUCTION UNTIL SIGNED & DATED

CERTIFIED BY

ISSUANCE INDEX
DATE:
01/24/2020
PROJECT PHASE:
PRIMARY PLAT

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TOWN COMMENTS	03/03/20

Project Number 2019.00066

SITE DETAILS

C400

PLOT DATE: 3/3/2020 5:51 PM
PLOT SCALE: 1:2.5849
EDIT DATE: 2/6/2020
EDITED BY: CAGRAWAL
DRAWING FILE: p:\2019\2019066\d_drawings\Civil\construction documents\01 primary plat\2019.00066 C1E C400 SiteDetails.dwg