

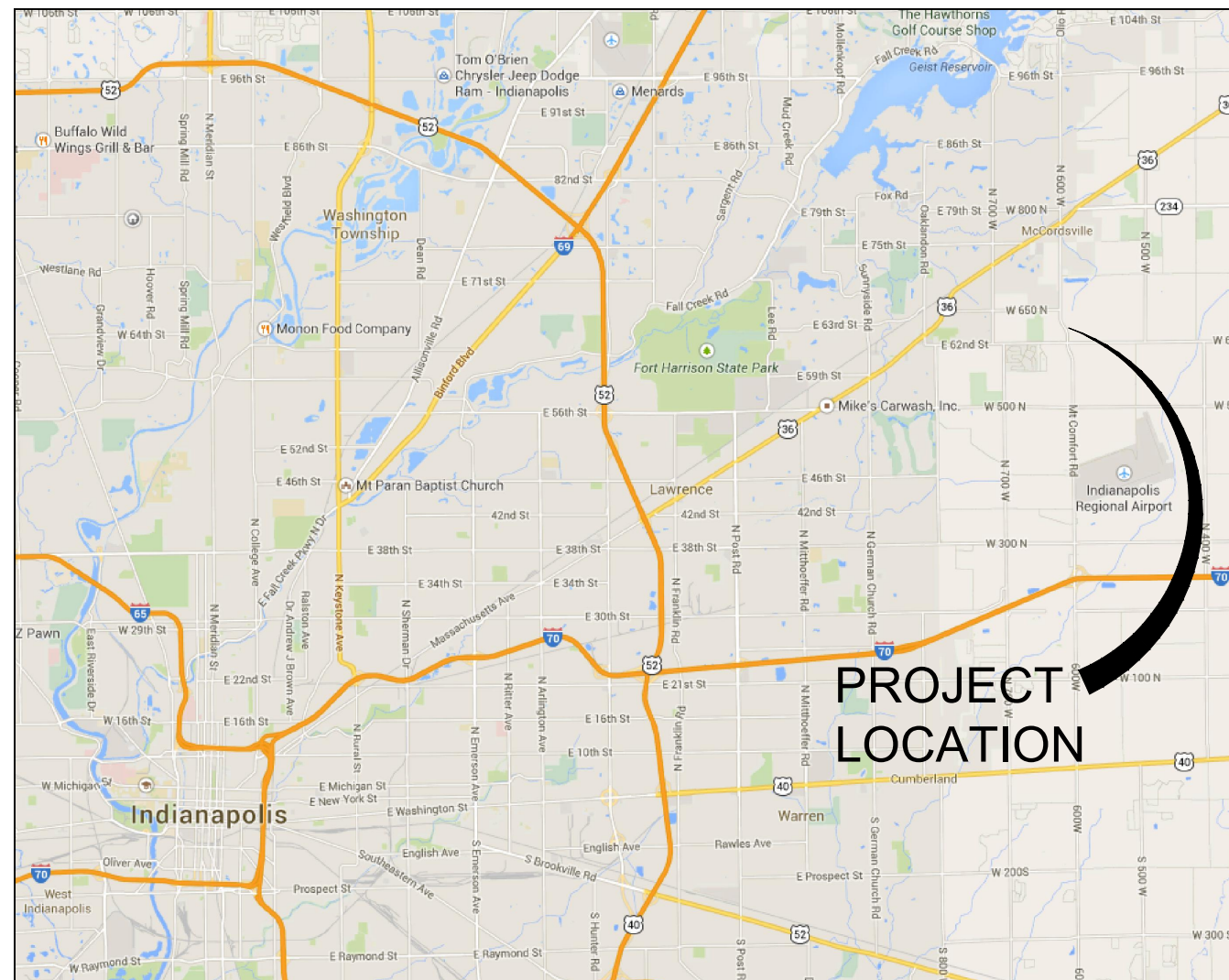
FINAL CONSTRUCTION PLANS

OUTLOOK CHRISTIAN CHURCH PHASE 3 IMPROVEMENTS

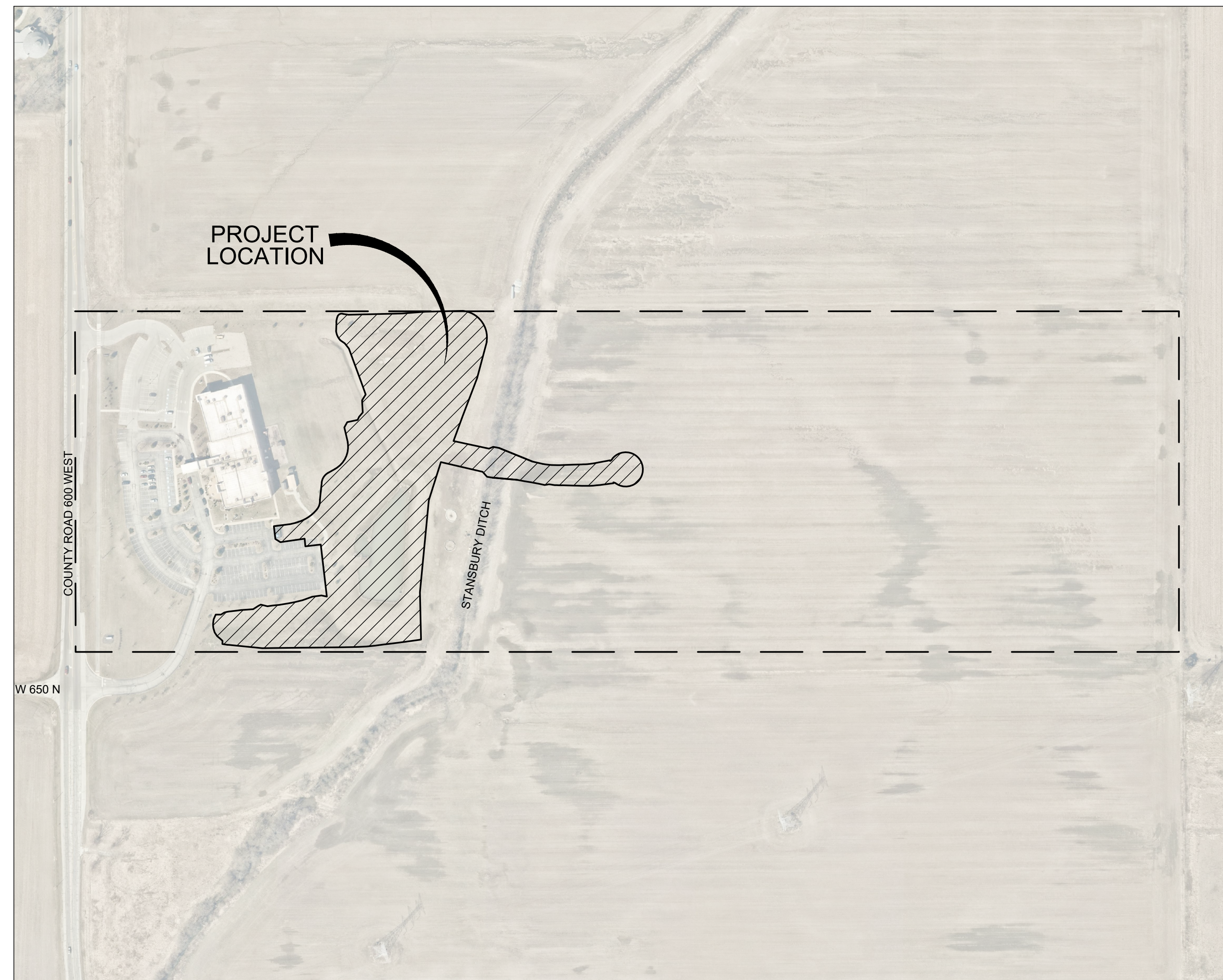
6531 NORTH 600 WEST

McCORDSVILLE, INDIANA

| | | | |
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| TITLE SHEET | | CHECKED | TEN |
| OUTLOOK CHRISTIAN CHURCH | | DRAWN | KLF/AMC |
| JOB No. | DATE | DESIGNED | D.M |
| | AUGUST 23, 2019 | APPR. | C.J |



VICINITY MAP
NO SCALE



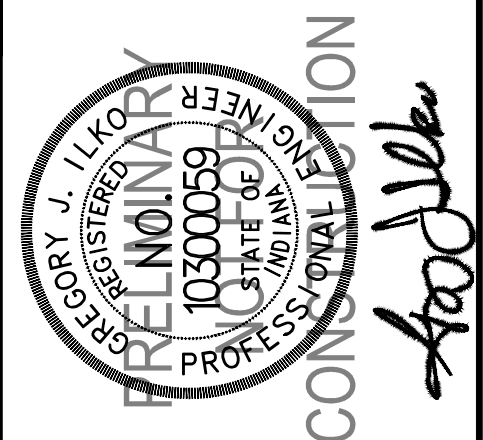
LOCATION MAP
NO SCALE

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| E01 | MASTER PLAN - PHOTOMETRIC PLAN |

OWNER
 OUTLOOK CHRISTIAN CHURCH
 6531 NORTH 600 WEST
 McCORDSVILLE, IN 46055
 PHONE: (317) 335-6815
 CONTACT: JOE MITCHELL
 EMAIL: jmitchell@outlookchurch.org

DEVELOPER
 T&W CHURCH SOLUTIONS
 3841 W. MORRIS STREET
 INDIANAPOLIS, IN 46241
 PHONE: (317) 244-7637
 CONTACT: KURT WILLIAMS
 EMAIL: kwilliams@twcorp.net

ENGINEER
 CROSSROAD ENGINEERS, PC
 3417 SHERMAN DRIVE
 BEECH GROVE, IN 46107
 PHONE: (317) 780-1555
 CONTACT: GREGORY J. ILKO
 EMAIL: gilko@crossroadengineers.com



| NO. | DATE | REVISIONS | BY | APPR. |
|-----|----------|---|-----|-------|
| 1 | 08.30.19 | MISCELLANEOUS REVISIONS PER TOWN OF McCORDSVILLE, INC REVIEW COMMENTS | D.M | C.J |
| 2 | 10.14.19 | MISCELLANEOUS REVISIONS PER TOWN OF McCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS | D.M | C.J |
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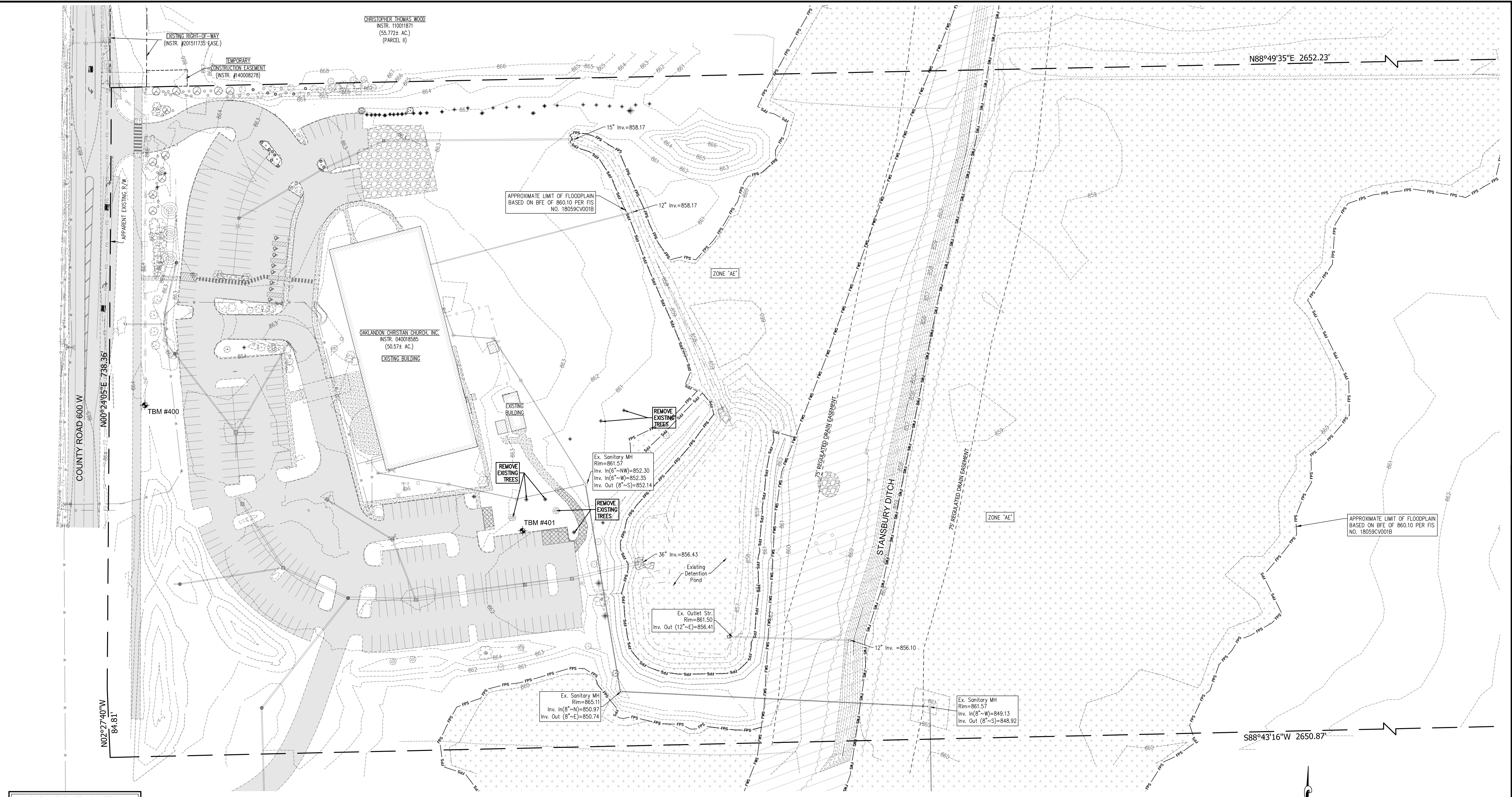
DIRECTORY PATH : F:\Active\T&W Corp\Outlook Christian Church\Cad\Plans\2019 FULL BUILDOUT PLANS
 DATE/USER : 10/14/2019 8:14 PM / Dmymers

TOPOGRAPHICAL SURVEY
OUTLOOK CHRISTIAN CHURCH

| | | | |
|----------------------|----------|---------|-----|
| JOB NO. | DRAWN | CHECKED | TEN |
| DATE AUGUST 23, 2019 | KLF/AMC | DJM | CJ |
| | DESIGNED | APPR. | |



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|-----|----------|-----|---|
| NO. | DATE | BY | REVISIONS |
| 1 | 08-30-19 | DJM | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE, INDIANA REVIEW COMMENTS |
| 2 | 10-14-19 | CJ | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS |
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EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.



UTILITIES

- Note: Listed below are the Indiana Underground Plant Protection Services Contacts; Others not listed may exist.
- | | | |
|--|---|--|
| SEWER AQUA INDIANA, INC. 8275 ALLISON POINTE TRAIL INDIANAPOLIS, IN 46250 PHONE: (317) 577-1390 CONTACT: KIERMAN TANSY | WATER CITIZENS WATER 1220 WATERWAY BLVD. INDIANAPOLIS, IN 46202 PHONE: (317) 264-7718 CONTACT: MARK SHOKLEY | CABLE COMCAST 9750 E. 150TH STREET NOBLESVILLE, IN 46060 PHONE: (765) 646-9113 CONTACT: DALE LAMBERT |
| GAS VECTREN ENERGY 1800 W. 26th STREET MUNCIE, IN 47302 PHONE: (765) 287-2119 CONTACT: JOY EASTHAM | MCCORDSVILLE PUBLIC WORKS 6280 W. 800 N. MCCORDSVILLE, IN 46055 PHONE: (317) 335-3493 CONTACT: RON CRIDER | BRIGHTHOUSE 3030 ROOSEVELT AVENUE INDIANAPOLIS, IN 46218 PHONE: (317) 632-9077 CONTACT: JASON KIRKMAN |
| FIBER OPTIC NINESTAR 2243 E. MAIN STREET GREENFIELD, IN 46140 PHONE: (317) 323-2090 CONTACT: JENNIFER McMILLAN | ELECTRIC NINESTAR 2243 E. MAIN STREET GREENFIELD, IN 46140 PHONE: (317) 323-2090 CONTACT: JENNIFER McMILLAN | |

FLOODPLAIN INFORMATION

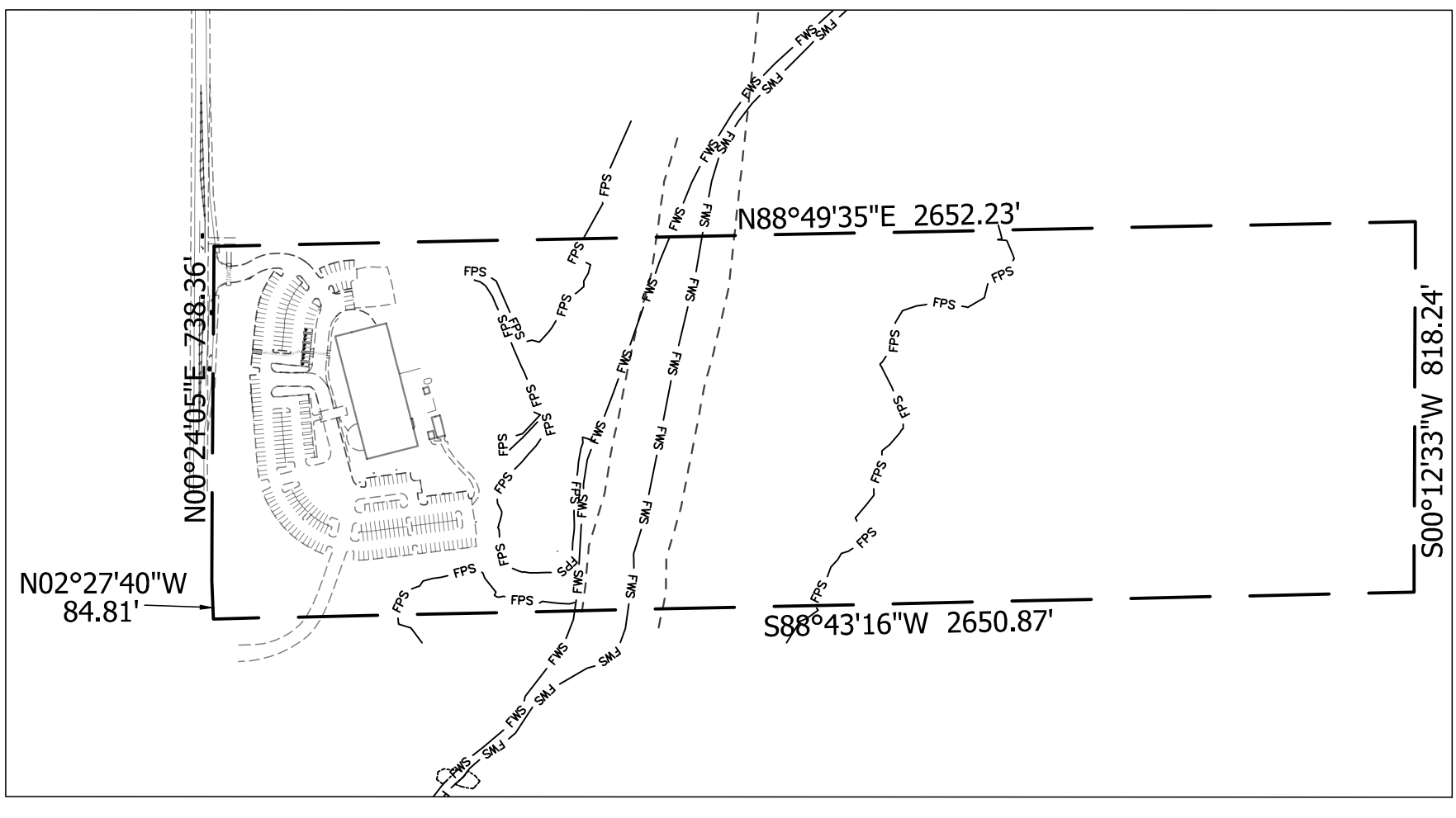
BY GRAPHIC PLOTTING ONLY, THIS TRACT OF LAND DESCRIBED HEREON LIES WITHIN ZONE "X" (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.) AND SPECIAL FLOOD HAZARD ZONE AE AS PLOTTED ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR HANCOCK COUNTY, INDIANA, COMMUNITY PANEL NO. 18059C0018, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 4, 2007.

TOPOGRAPHICAL NOTES

- CONTRACTOR SHALL DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS.
- UTILITIES ARE GRAPHICAL REPRESENTATION PER SURVEY AND MAPPING. CONTRACTOR SHALL FIELD VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION.

BENCHMARK INFORMATION

- BM #1
BRONZE DISK END. UP 10.5" ON TOP OF 10"x10" CONC. POST; WITNESS POST 1' WEST IN SW QUADRANT OF INTERSECTION OF E. 46TH STREET & N. 800 W. (CARROLL RD.); *US COAST GEODETIC SURVEY BENCHMARK X237 947*
ELEV. = 844.25 (NAVD 88)
TBM #400
RR SPIKE SET UP 1' IN WEST SIDE OF POWER POLE; 1ST POLE NORTH OF GAS RELIEF VALVE
ELEV. = 864.99
TBM #401
OUT "I" ON NORTH SIDE OF 24" DIAMETER CONCRETE LIGHT POLE BASE 3' ABOVE GROUND 4.35' EAST SOUTHEAST OF SOUTHEAST FENCE CORNER OF DUMPSTER PAD 2.5' NORTH OF EAST-WEST CURB LINE.
ELEV. = 865.23



KEYMAP
NOT TO SCALE

EXISTING LEGEND

| | | |
|-------------------|-------------|-----------------------|
| POWERPOLE | --- 800 --- | CONTOURS |
| LIGHT POLE | --- | PROPERTY LINE |
| GUIDE WIRE | --- | RIGHT-OF-WAY |
| FIBER OPTIC RISER | --- | PAVEMENT LINE |
| WATER VALVE | --- | EASEMENT LINE |
| FIRE HYDRANT | --- | FLOODPLAIN LINE |
| WATER METER | --- | FLOODWAY LINE |
| GAS VALVE | --- | FIELD LINE |
| FLAG POLE | --- | FENCE |
| CLEANOUT | --- | CHARLINK FENCE |
| SIGN | --- | WATER EDGE LINE |
| STORM INLETS | --- | WATER LINE |
| BUSHES & STUMP | --- | CABLE TV LINE |
| MONUMENT FOUND | --- | OVERHEAD UTILITY LINE |
| ASPHALT | --- | FIBER OPTIC LINE |
| BUILDING | --- | TREE LINE |
| CONCRETE | --- | SANITARY SEWER |
| GRAVEL | --- | W/MANHOLE |
| REMOVAL/DEMOLISH | --- | STORM SEWER |
| FLOODPLAIN | --- | W/END SECTION |
| FLOODWAY | --- | |

RECORD DESCRIPTION

INSTR. # 040018585
 PART OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 17 NORTH, RANGE 5 EAST IN HANCOCK COUNTY, INDIANA, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE WEST LINE OF SAID NORTHWEST QUARTER SECTION NORTH 00 DEGREES 17 MINUTES 02 SECONDS EAST (BASIS OF BEARINGS) 76.95 FEET FROM THE SOUTHWEST CORNER THEREOF; THENCE NORTH 0 DEGREES 17 MINUTES 02 SECONDS EAST ALONG SAID WEST LINE 823.20 FEET; THENCE NORTH 88 DEGREES 49 MINUTES 35 SECONDS EAST PARALLEL WITH THE NORTH LINE OF SAID QUARTER SECTION 2,684.08 FEET (2,675.15 FEET DEED) TO THE EAST LINE OF SAID QUARTER SECTION THENCE SOUTH 00 DEGREES 12 MINUTES 33 SECONDS WEST PARALLEL WITH THE SOUTH LINE OF SAID QUARTER SECTION 2,685.28 FEET TO THE POINT OF BEGINNING AND CONTAINING 50.57 ACRES, MORE OR LESS.

EXCEPT THAT PART CONVEYED TO HANCOCK COUNTY, INDIANA, BY A DEED RECORDED OCTOBER 6, 1993 AS INSTRUMENT NO. 9310020 IN THE OFFICE OF THE RECORDER OF HANCOCK COUNTY, INDIANA, TO-WIT:
 A PART OF THE NORTHWEST QUARTER AND A PART OF THE SOUTHWEST QUARTER OF SECTION 36, TOWNSHIP 17 NORTH, RANGE 5 EAST, HANCOCK COUNTY, INDIANA, DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT ON THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SECTION SOUTH 89 DEGREES 45 MINUTES 09 SECONDS EAST 15.00 FEET FROM THE SOUTHWEST CORNER OF NORTHWEST QUARTER OF SAID SECTION, WHICH THE POINT OF BEGINNING IS ON THE EAST BOUNDARY OF COUNTY ROAD 600 WEST; THENCE NORTH 00 DEGREES 24 MINUTES 09 SECONDS EAST 900.50 FEET ALONG THE BOUNDARY OF SAID COUNTY ROAD 600 WEST TO THE NORTH LINE OF THE OWNER'S LAND; THENCE NORTH 88 DEGREES 55 MINUTES 48 SECONDS EAST 15.00 FEET ALONG SAID NORTH LINE; THENCE SOUTH 00 DEGREES 24 MINUTES 09 SECONDS WEST 738.26 FEET; THENCE SOUTH 2 DEGREES 27 MINUTES 40 SECONDS EAST 100.12 FEET; THENCE SOUTH 0 DEGREES 09 MINUTES 29 SECONDS WEST 299.81 FEET; THENCE SOUTH 6 DEGREES 29 MINUTES 17 SECONDS EAST 130.86 FEET; THENCE SOUTH 0 DEGREES 05 MINUTES 38 SECONDS WEST 40.00 FEET; THENCE SOUTH 6 DEGREES 40 MINUTES 33 SECONDS WEST 130.86 FEET; THENCE SOUTH 5 DEGREES 35 MINUTES 11 SECONDS EAST 226.70 FEET TO THE SOUTH LINE OF THE OWNER'S LAND; THENCE SOUTH 08 DEGREES 54 MINUTES 20 SECONDS WEST 42.35 FEET ALONG SAID SOUTH LINE TO THE EAST BOUNDARY OF COUNTY ROAD 600 WEST; THENCE NORTH 0 DEGREES 05 MINUTES 38 SECONDS EAST 762.77 FEET ALONG THE BOUNDARY OF SAID COUNTY ROAD 600 WEST TO THE POINT OF BEGINNING AND CONTAINING 0.790 ACRES, MORE OR LESS.

NOTE: The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

CHRISTOPHER THOMAS WOOD
INSTR. 11001871
(55.772± AC.)
(PARCEL #)

47 SHADE/ORNAMENTAL TREES, 94 SHRUBS & MOUNDING

FUTURE PARKING

FUTURE PARKING

FUTURE PARKING

FUTURE MULCH PATH

FUTURE PARK ACTIVITY FIELDS

FUTURE MULTI-USE PATH

FUTURE BUILDING ADDITION

APPROXIMATE LIMIT OF FLOODPLAIN
BASED ON BFE OF 860.10 PER FIS
NO. 18059CV0016

OSKLANDON CHRISTIAN CHURCH, INC.
INSTR. 040016585
(50.57± AC.)
EXISTING BUILDING

DETENTION POND EXPANSION

STANSBURY DITCH

FUTURE PARKING

FUTURE MULCH PATH

50 0 50 100

SCALE: 1" = 50'

PARKING ANALYSIS

| | |
|---|-------------------|
| CHURCH | |
| EXISTING SEATS | = 650 SEATS |
| FUTURE SEATS | = 550 SEATS |
| TOTAL SEATS (PER MASTER PLAN) | = 1200 SEATS |
| REQUIRED RATIO | = 1 SPACE/3 SEATS |
| TOTAL REQUIRED SPACES | = 400 SPACES |
| EXISTING STANDARD PARKING SPACES | = 256 SPACES |
| EXISTING HANDICAP ACCESSIBLE SPACES | = 19 SPACES |
| FUTURE STANDARD PARKING SPACES | = 317 SPACES |
| EXISTING SPACES REMOVED BY FUTURE IMPROVEMENTS | = 24 SPACES |
| TOTAL PARKING SPACES (MASTER PLAN FULL BUILDOUT) | = 568 SPACES |
| <ul style="list-style-type: none"> ALL STANDARD PARKING SPACES SHALL BE 9'x20' OR 10'x18'; FOR A MINIMUM OF 150 FT. ALL HANDICAP SPACES SHALL CONFORM TO THE REQUIRED ADA SPECIFICATIONS. | |

SITE DIMENSION LEGEND

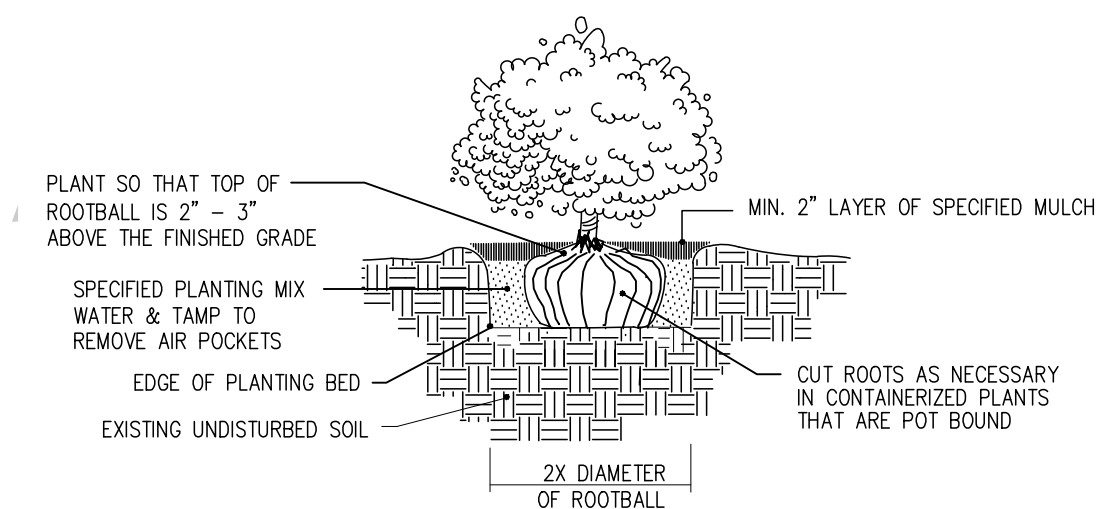
- (A) MULCH SEEDING/LANDSCAPE AREAS
- (C) STRAIGHT CONCRETE CURB (SEE DETAIL-SHEET 700)
- (D) MONOLITHIC CURB AND WALK (SEE DETAIL-SHEET 700)
- (J) SAWCUT
- (K) TYPICAL ASPHALT SECTION
1" HMA SURFACE 0.5mm, ON
3.0" HMA INTERMEDIATE 19.0mm, ON
6" COMPACTED AGGREGATE #53, ON
COMPACTED SUBGRADE (SEE DETAIL-SHEET 700)
- (K1) TEMPORARY CUL-DE-SAC SECTION
6" COMPACTED AGGREGATE #53, ON
COMPACTED SUBGRADE (SEE DETAIL-SHEET 700)
- (M) DRAINAGE SWALE
- (T) CURB TURNOUT (SEE DETAIL-SHEET 700)
- (X) TEMPORARY DUMPSTER ENCLOSURE (BY OTHERS)
- PROPERTY LINE
- DITCH LINE
- STORM SEWER W/ END SECTIONS
- ☉ SHADE/ORNAMENTAL TREE (OWNER TO COORDINATE WITH TOWN FOR APPROVED SPECIES PRIOR TO PLANTING)
- ⊙ SHRUB (OWNER TO COORDINATE WITH TOWN FOR APPROVED SPECIES PRIOR TO PLANTING)

SITE DIMENSION NOTES

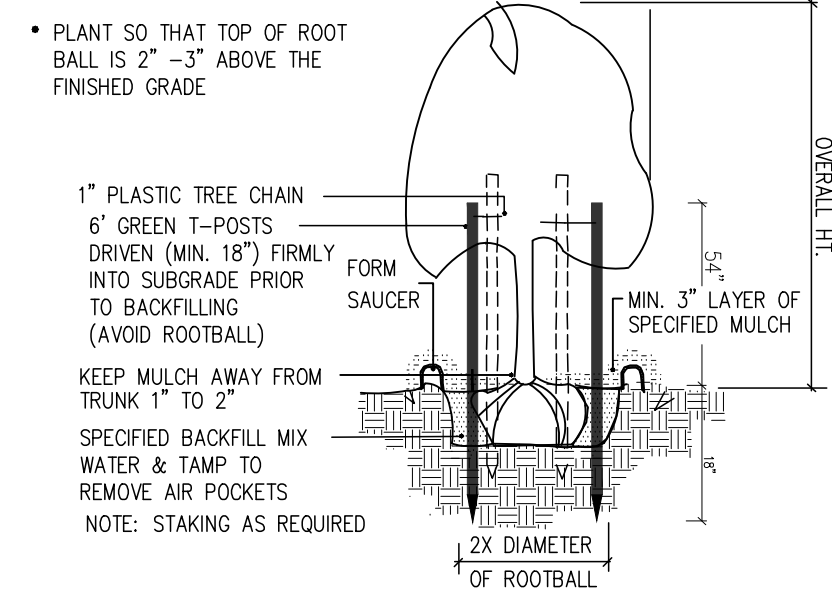
- LIGHTING SHALL CONFORM TO TOWN OF MCCORDSVILLE STANDARDS. CONTRACTOR SHALL COORDINATE WITH OWNER AND/OR TOWN FOR LIGHT STYLES AND LAYOUT.
- CONTRACTOR SHALL NOTIFY ENGINEER, IF PROOF ROLL OF SUBGRADE FAILS, TO DETERMINE IF UNDERCUTTING OF SUBGRADE IS NECESSARY.
- ALL RADI DIMENSIONS ARE TO THE PROPOSED EDGE OF ASPHALT/FACE OF CURB.
- SIGNAGE SHALL INCLUDE ALL NECESSARY HARDWARE AND FITTINGS, INCLUDING 10 FT. OF 11 GAUGE FLANGED CHANNEL SIGN POST.
- REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL SIGNAGE. VERIFY CONFLICTS WITH OWNER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND PROVIDING ALL NECESSARY FLAGMAN, BARRELS, SIGNAGE, ETC. DURING CONSTRUCTION. ALL APPLICABLE M.U.C.D. STANDARDS SHALL GOVERN THIS WORK.
- CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANY'S AND BUILDING PLANS FOR WATER, CABLE, ELECTRIC, GAS, AND TELEPHONE CONNECTION SERVICE POINTS.
- EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL, PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.
- CONTRACTOR TO COORDINATE WITH ARCHITECT AND MEP PLANS FOR ALL INTERNAL UTILITY SERVICE CONNECTIONS.
- ALL EXISTING CURBING AND SIDEWALK TO BE REMOVED SHALL BE SAWCUT AT THE NEAREST EXISTING JOINT BEYOND THE REMOVAL LIMITS.
- TEMPORARY DUMPSTER ENCLOSURE SHALL BE CONSIST OF A CEDAR PRIVACY FENCE AND GATE.

LANDSCAPE NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- THE LANDSCAPE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT BE REQUIRED ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL SHREDDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (2" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- HYDROSEED ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDED AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL LANDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. HYDROSEEDED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEDED OR RESEEDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.



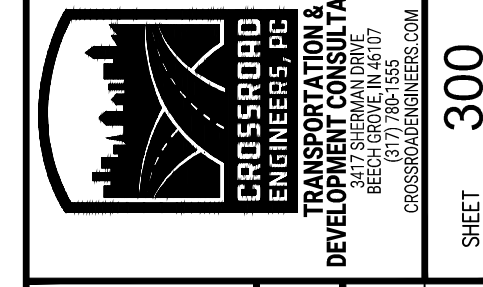
SHRUB/GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



TREE PLANTING AND STAKING DETAIL
NOT TO SCALE

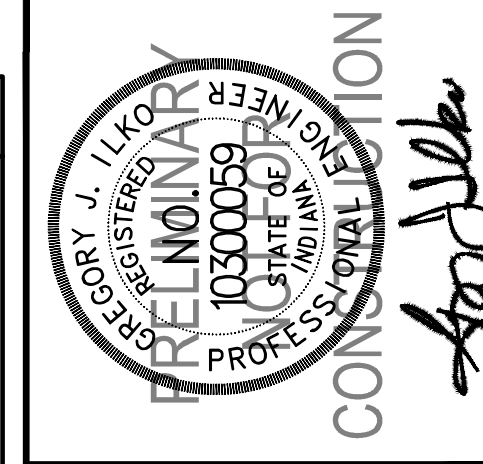
NOTE: THE 20' BUFFERYARD ALONG THE NORTH PROPERTY LINE AND ALL PLANTINGS WITHIN SAID BUFFERYARD SHALL BE MAINTAINED IN PERPETUITY.

NOTE: NO EARTHWORK DISTURBING ACTIVITY MAY COMMENCE UNTIL A STORM WATER MANAGEMENT PERMIT IS OBTAINED.



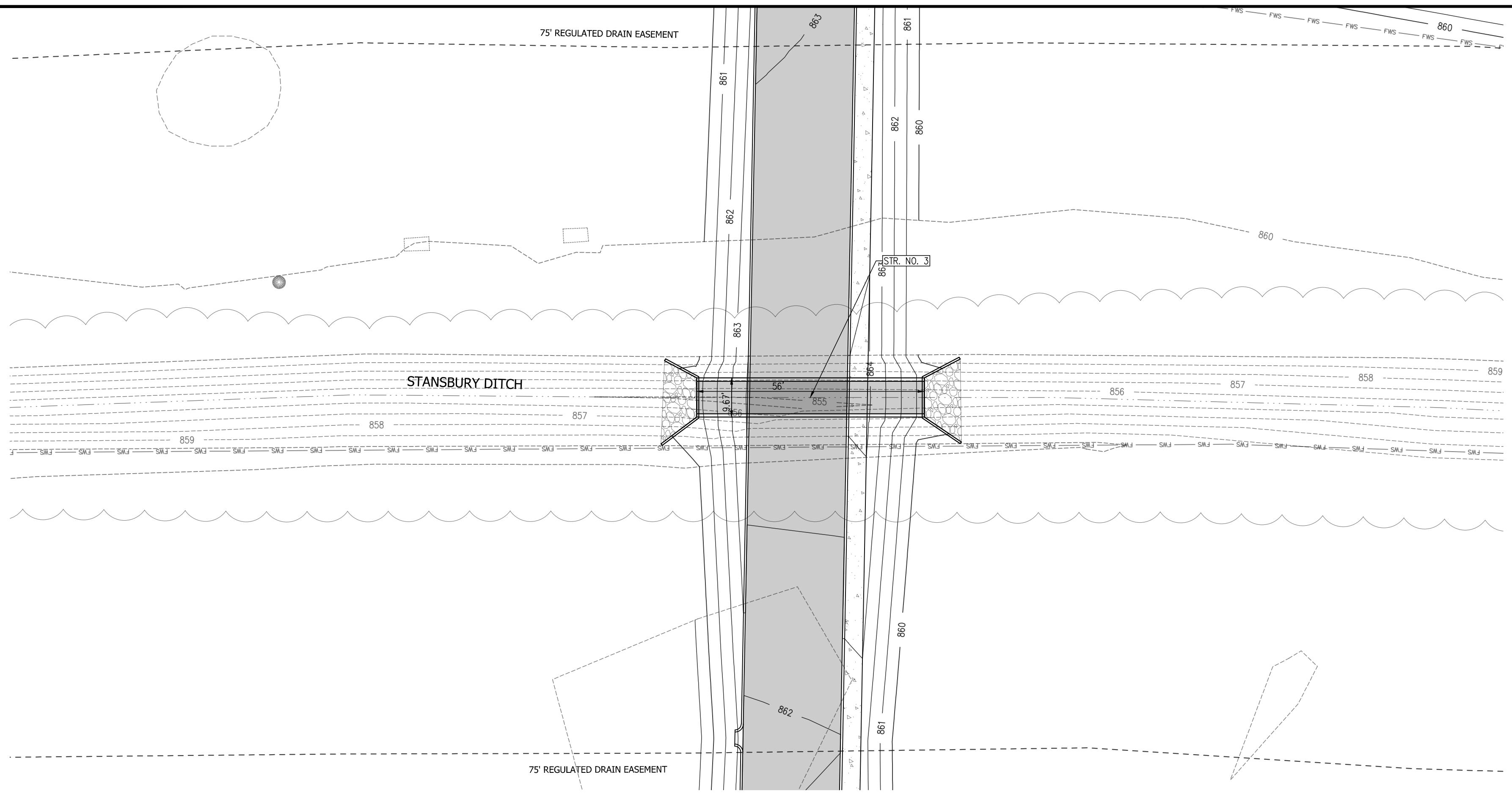
**SITE DIMENSION PLAN -
PHASE 3 IMPROVEMENTS
OUTLOOK CHRISTIAN CHURCH**

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|----------|---------|-----------------|----------|----|----|
| JOB NO. | DATE | AUGUST 23, 2019 | DESIGNED | BY | CU |
| DRAWN | KLF/AMC | CHECKED | TEN | CU | |
| APPROVED | | | | | |

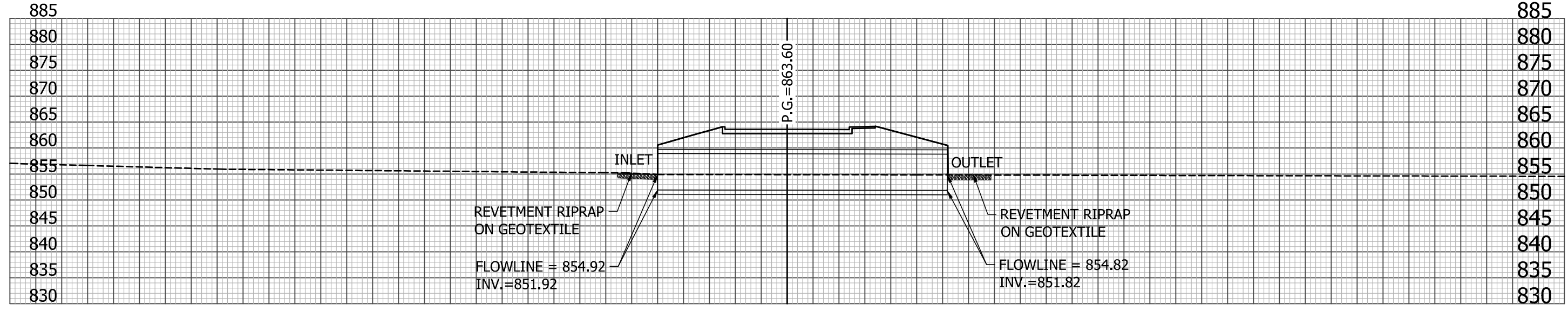


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| NO. | DATE | REVISIONS |
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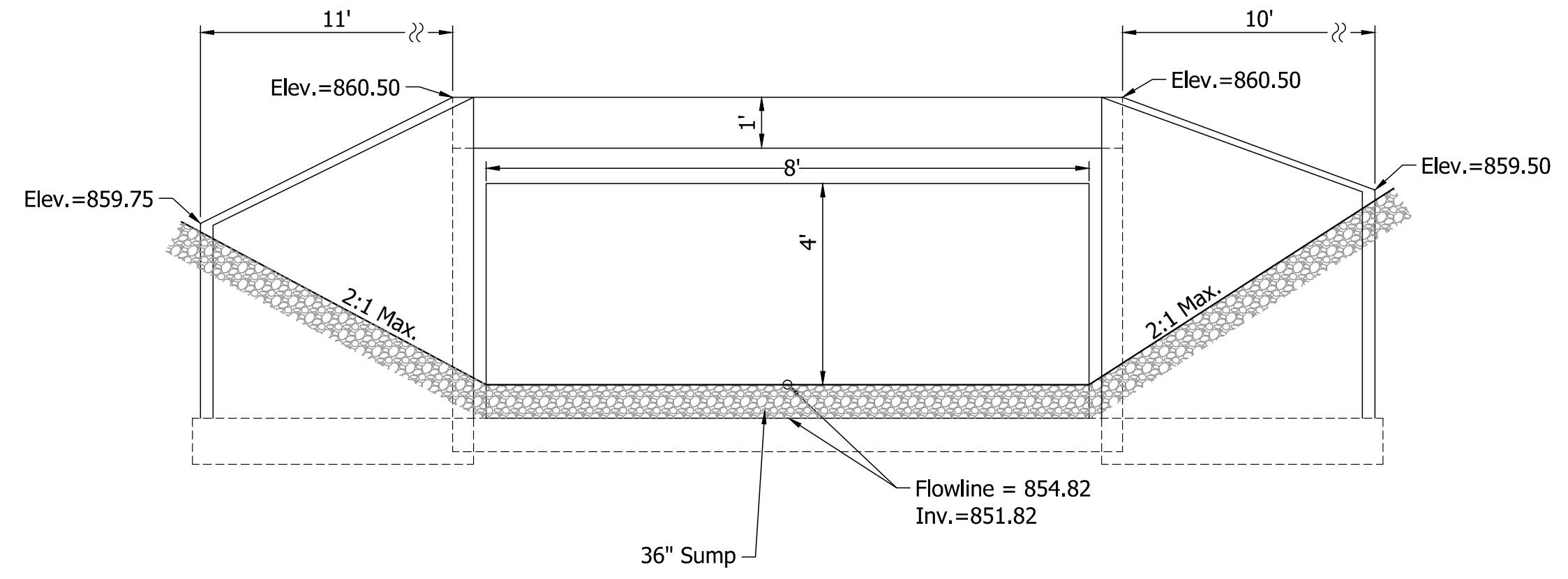


PLAN
Scale: 1" = 20'

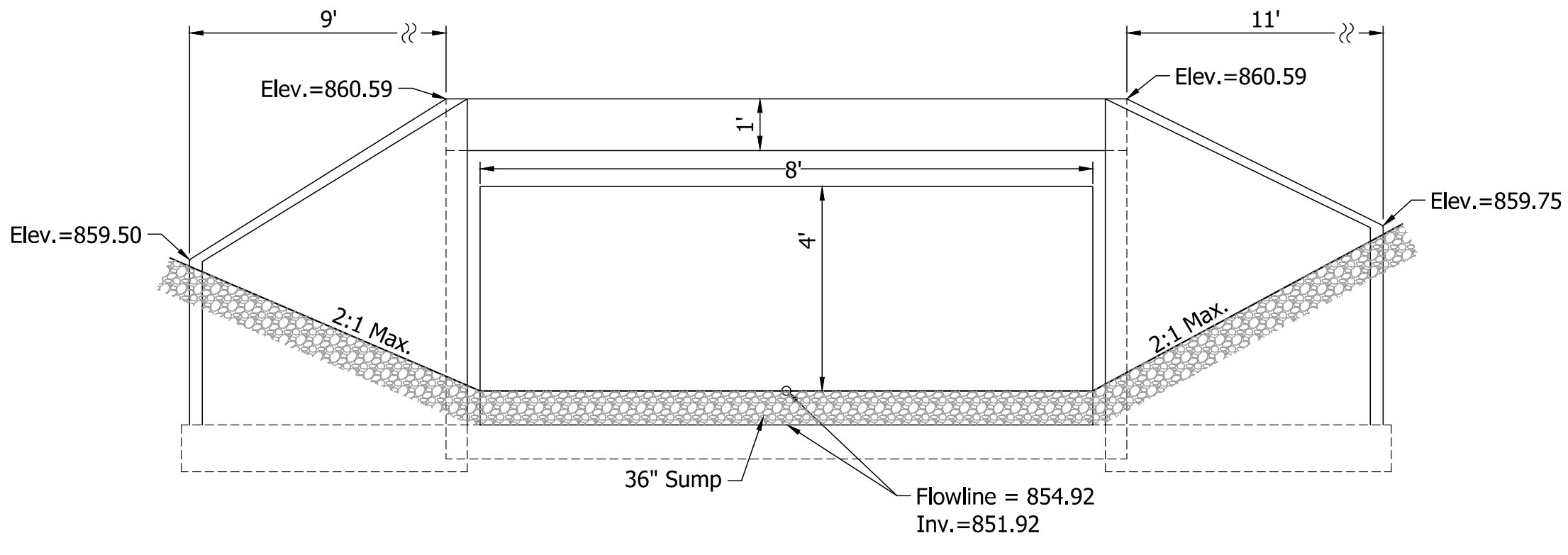


SECTION
Scale: 1" = 20'

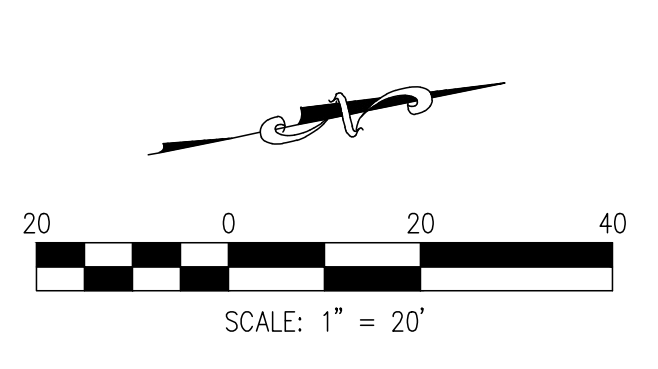
PRECAST REINFORCED CONCRETE FOUR-SIDED CULVERT
8'-0" OPENING x 7'-0" RISE



ELEVATION - NORTH WALL - DOWNSTREAM END
No Scale



ELEVATION - SOUTH WALL - UPSTREAM END
No Scale



GENERAL NOTES
Headwalls and wingwalls may be precast or cast in place.

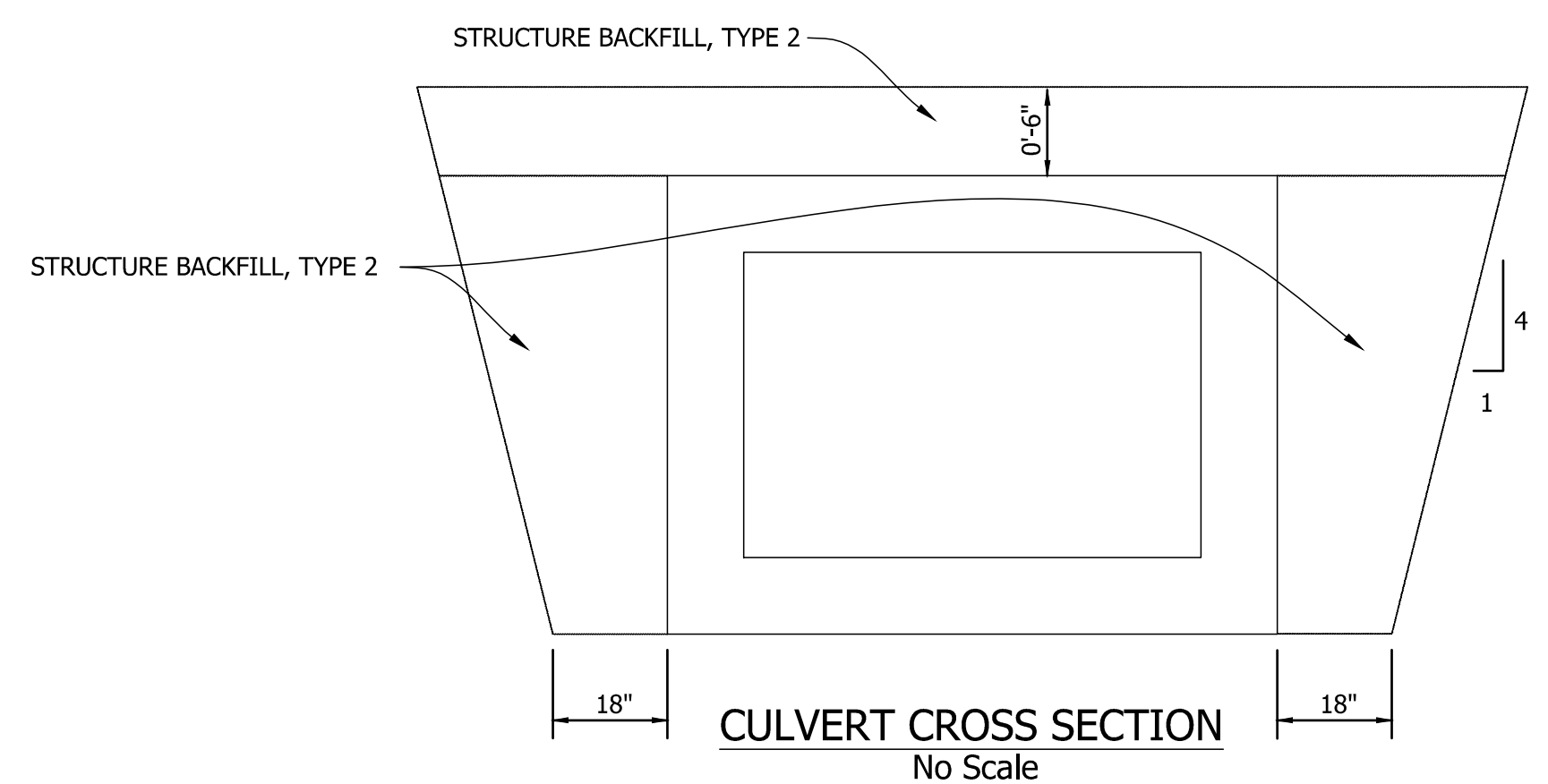
DESIGN DATA

Live Load
The Structure shall be designed for HL-93 loading in accordance with AASHTO LRFD Bridge Design Specifications, 6th Edition, and all subsequent interim specifications.

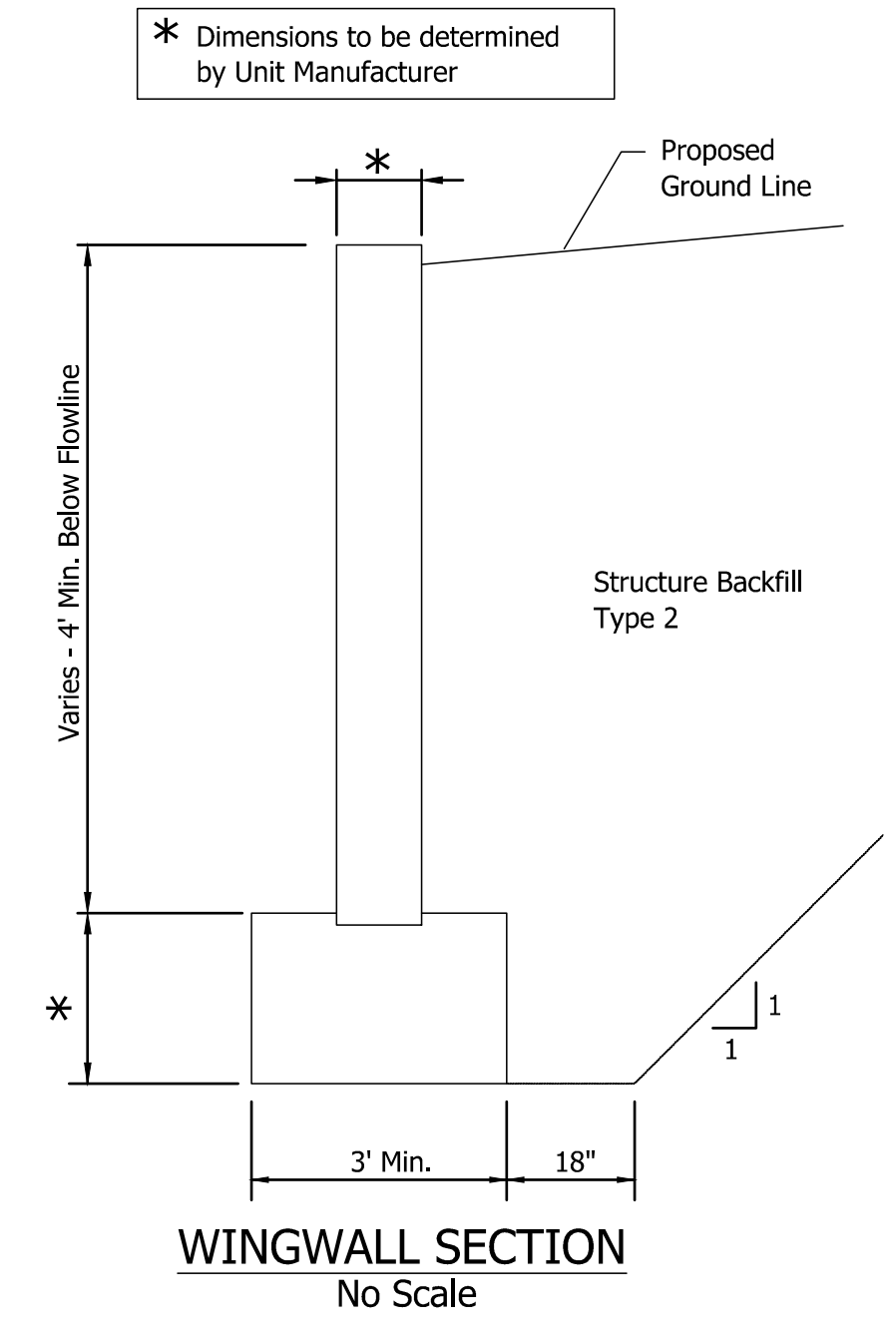
Dead Load
Designed for self-weight plus 35 psf for future wearing surface.

HYDRAULIC DATA

DRAINAGE AREA 265.6 acres
Q100 120.00 cfs
PROPOSED BACKWATER 0.42 ft
Q100 VELOCITY 3.75 fps
ROADWAY OVERFLOW WATERWAY AREA 0 ft



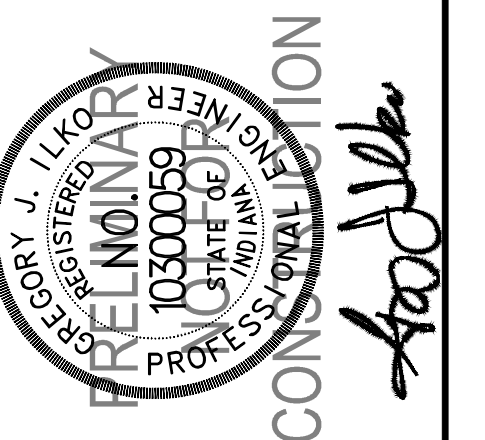
CULVERT CROSS SECTION
No Scale



WINGWALL SECTION
No Scale

NOTE: THE 20' BUFFER-YARD ALONG THE NORTH PROPERTY LINE AND ALL PLANTINGS WITHIN SAID BUFFER-YARD SHALL BE MAINTAINED IN PERPETUITY.

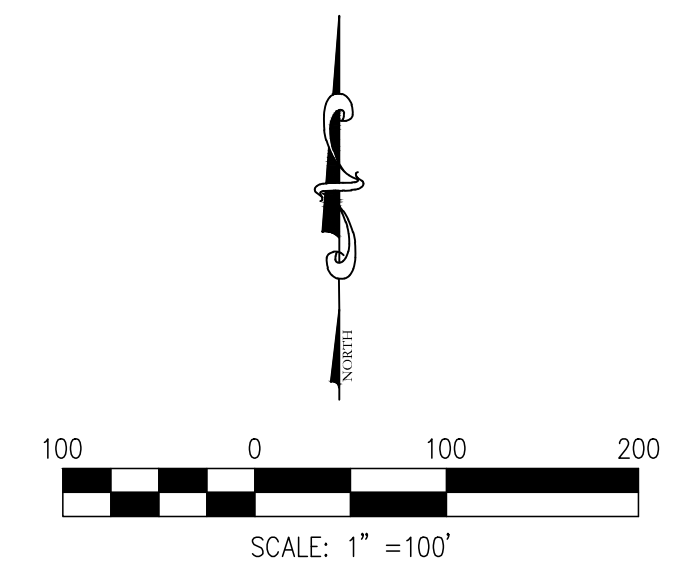
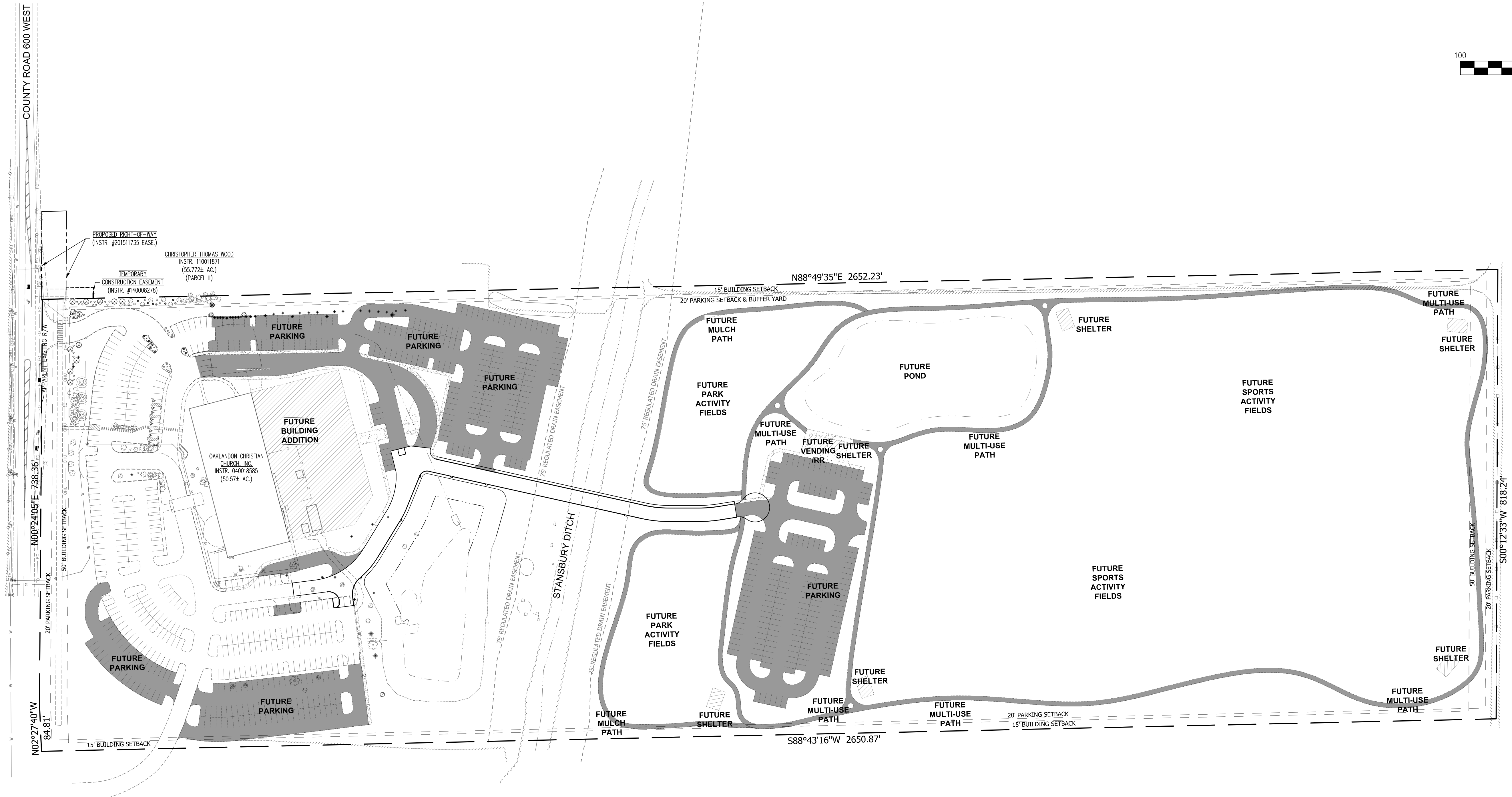
NOTE:
NO EARTHWORK DISTURBING ACTIVITY MAY COMMENCE UNTIL A STORM WATER MANAGEMENT PERMIT IS OBTAINED.



| NO. | DATE | REVISIONS | BY | APPR. |
|-----|----------|---|------|-------|
| 1 | 08.30.19 | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE, TIC REVIEW COMMENTS | D.M. | C.J. |
| 2 | 10.14.19 | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS | D.M. | C.J. |
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NOTE: THE 20' BUFFERYARD ALONG THE NORTH PROPERTY LINE AND ALL PLANTINGS WITHIN SAID BUFFERYARD SHALL BE MAINTAINED IN PERPETUITY.

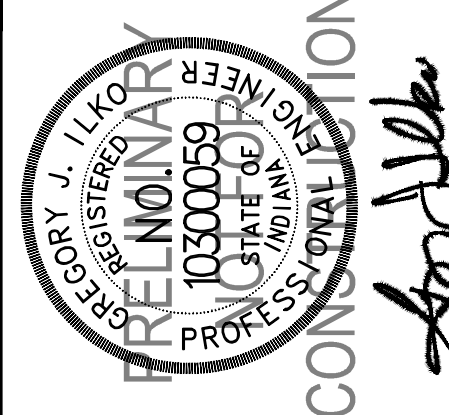
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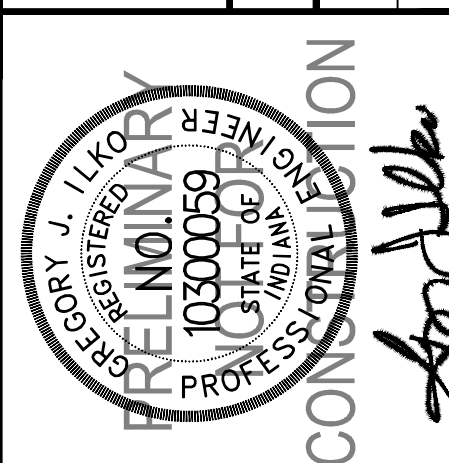
MASTER PLAN IMPROVEMENTS

OUTLOOK CHRISTIAN CHURCH

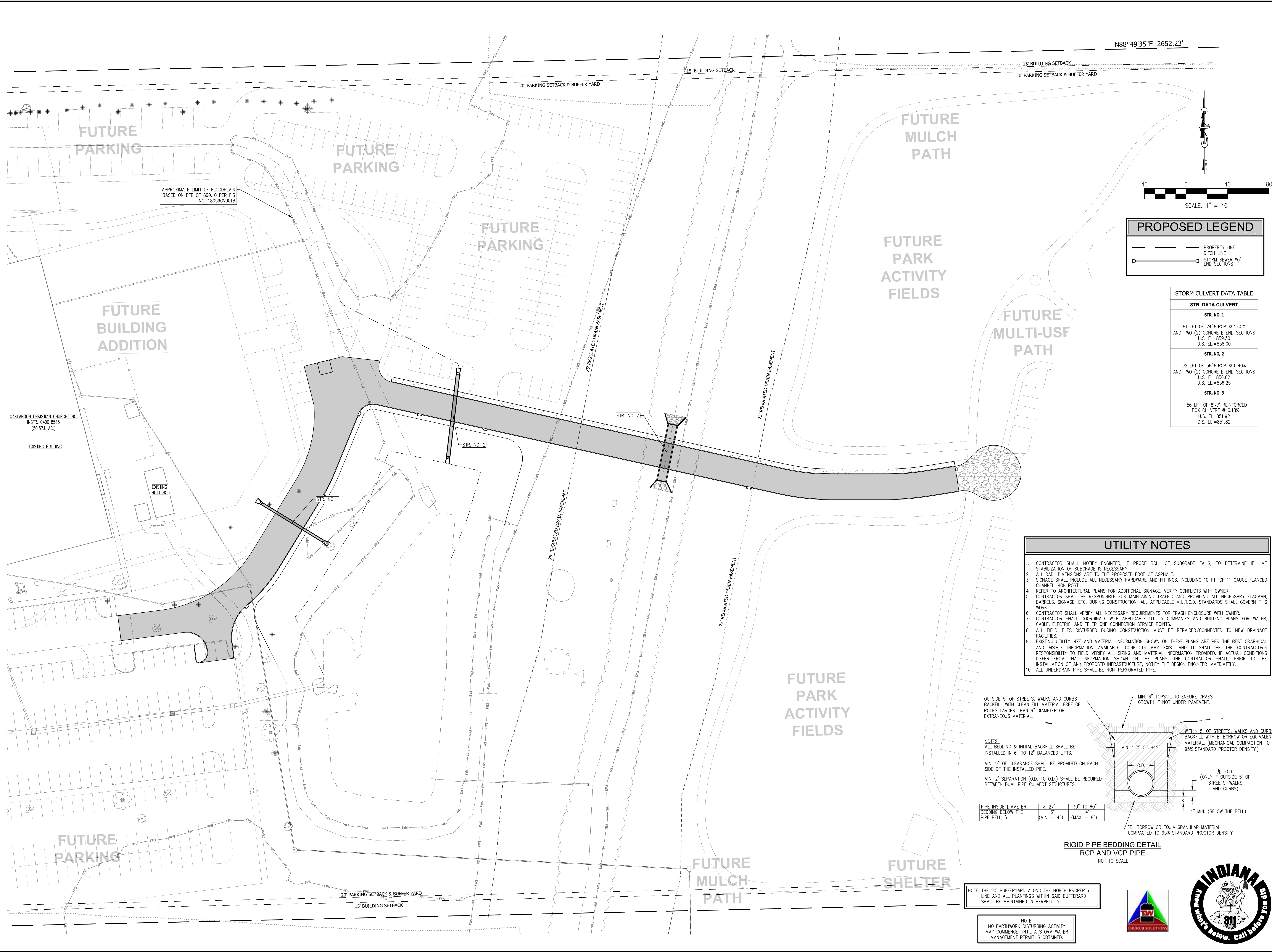
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| JOB No. | DRAWN | KLF/JMC | CHECKED | TEN |
| DATE | AUGUST 23, 2019 | DESIGNED | DJM | APPR. |
| | | | | CJ |



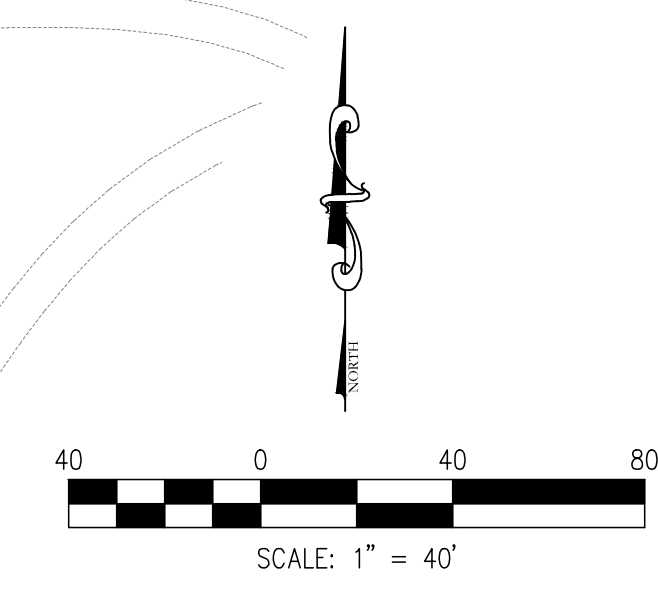
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| 2 | 10.14.19 | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS | DJM | CJ |
| 1 | 09.30.19 | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE, IAC REVIEW COMMENTS | DJM | CJ |



| NO. | DATE | BY | REVISIONS |
|-----|----------|-----|---|
| 1 | 08-30-19 | DJM | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS |
| 2 | 10-14-19 | CJL | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE, IAC REVIEW COMMENTS |
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N88°49'35"E 2652.23'



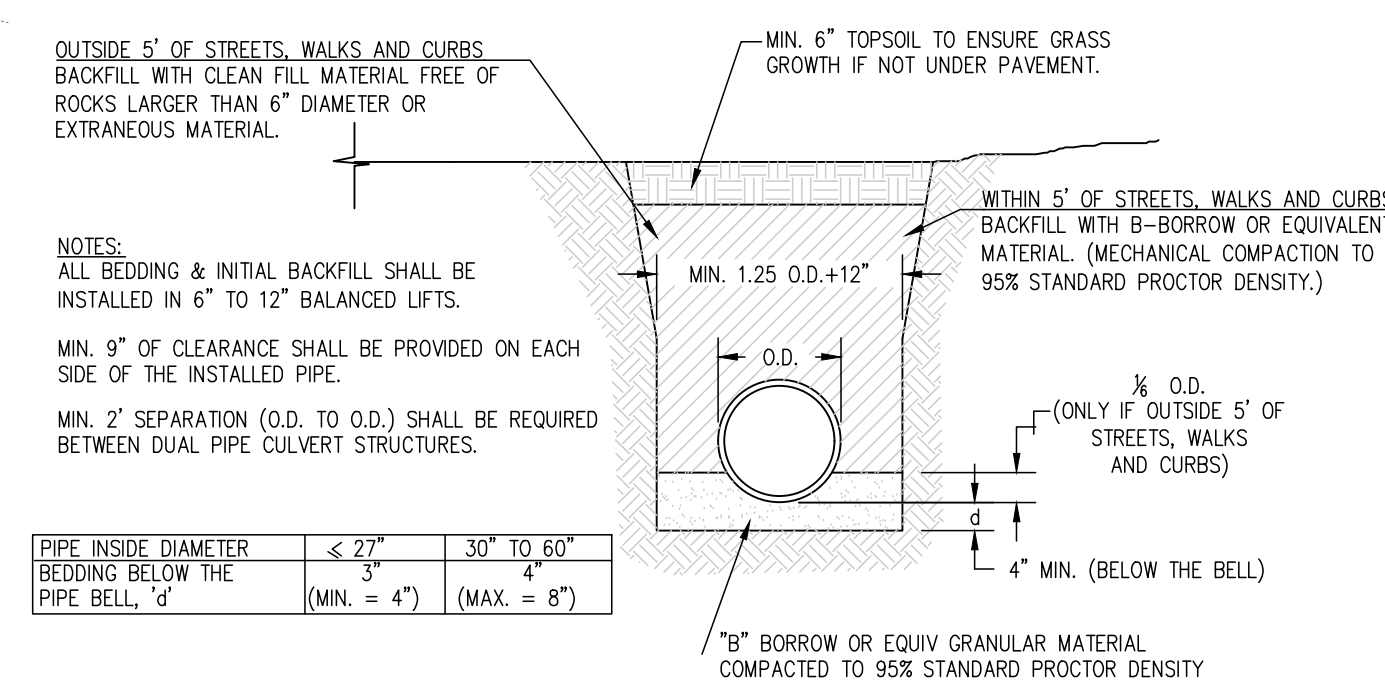
PROPOSED LEGEND

| | |
|--|-----------------------------|
| | PROPERTY LINE |
| | DITCH LINE |
| | STORM SEWER W/ END SECTIONS |

STORM CULVERT DATA TABLE

| STR. DATA CULVERT |
|--|
| STR. NO. 1 |
| 81 LFT OF 24" RCP @ 1.60% AND TWO (2) CONCRETE END SECTIONS U.S. EL.=859.30 D.S. EL.=858.00 |
| STR. NO. 2 |
| 92 LFT OF 36" RCP @ 0.40% AND TWO (2) CONCRETE END SECTIONS U.S. EL.=856.62 D.S. EL.=856.25 |
| STR. NO. 3 |
| 56 LFT OF 8'x7' REINFORCED BOX CULVERT @ 0.18% U.S. EL.=851.82 D.S. EL.=851.82 |

- UTILITY NOTES**
- CONTRACTOR SHALL NOTIFY ENGINEER, IF PROOF ROLL OF SUBGRADE FAILS, TO DETERMINE IF LINE STABILIZATION OF SUBGRADE IS NECESSARY.
 - ALL RADI DIMENSIONS ARE TO THE PROPOSED EDGE OF ASPHALT.
 - SIGNAGE SHALL INCLUDE ALL NECESSARY HARDWARE AND FITTINGS, INCLUDING 10 FT. OF 11 GAUGE FLANGED CHANNEL SIGN POST.
 - REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL SIGNAGE, VERIFY CONFLICTS WITH OWNER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRAFFIC AND PROVIDING ALL NECESSARY FLAGMAN, BARRELS, SIGNAGE, ETC. DURING CONSTRUCTION. ALL APPLICABLE M.U.T.C.D. STANDARDS SHALL GOVERN THIS WORK.
 - CONTRACTOR SHALL VERIFY ALL NECESSARY REQUIREMENTS FOR TRASH ENCLOSURE WITH OWNER.
 - CONTRACTOR SHALL COORDINATE WITH APPLICABLE UTILITY COMPANIES AND BUILDING PLANS FOR WATER, CABLE, ELECTRIC, AND TELEPHONE CONNECTION SERVICE POINTS.
 - ALL FIELD TILES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED/CONNECTED TO NEW DRAINAGE FACILITIES.
 - EXISTING UTILITY SIZE AND MATERIAL INFORMATION SHOWN ON THESE PLANS ARE PER THE BEST GRAPHICAL AND VISIBLE INFORMATION AVAILABLE. CONFLICTS MAY EXIST AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL SIZING AND MATERIAL INFORMATION PROVIDED. IF ACTUAL CONDITIONS DIFFER FROM THAT INFORMATION SHOWN ON THE PLANS, THE CONTRACTOR SHALL, PRIOR TO THE INSTALLATION OF ANY PROPOSED INFRASTRUCTURE, NOTIFY THE DESIGN ENGINEER IMMEDIATELY.
 - ALL UNDERDRAIN PIPE SHALL BE NON-PERFORATED PIPE.



NOTE: THE 20' BUFFERYARD ALONG THE NORTH PROPERTY LINE AND ALL PLANTINGS WITHIN SAID BUFFERARD SHALL BE MAINTAINED IN PERPETUITY.

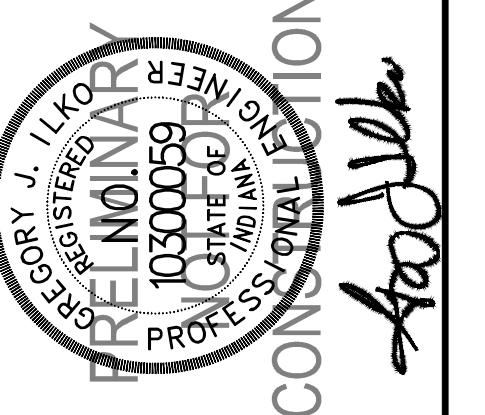
NOTE: NO EARTHWORK DISTURBING ACTIVITY MAY COMMENCE UNTIL A STORM WATER MANAGEMENT PERMIT IS OBTAINED.



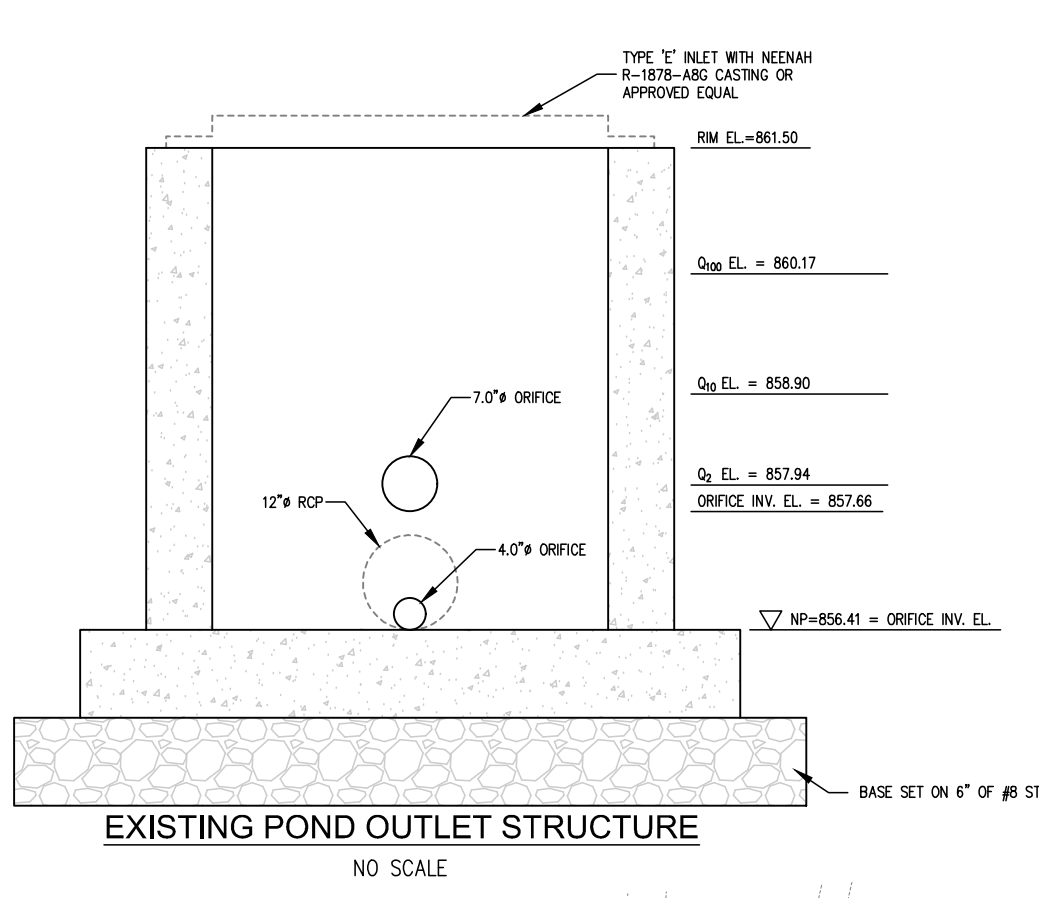
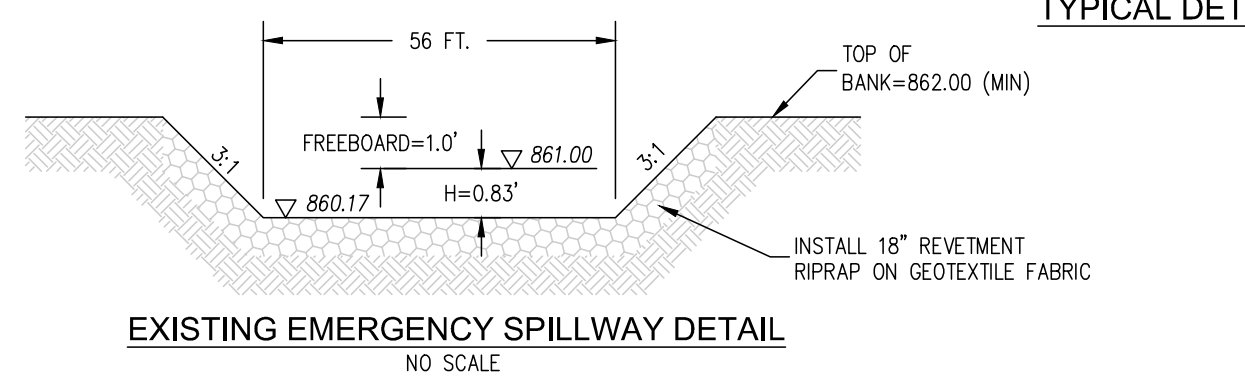
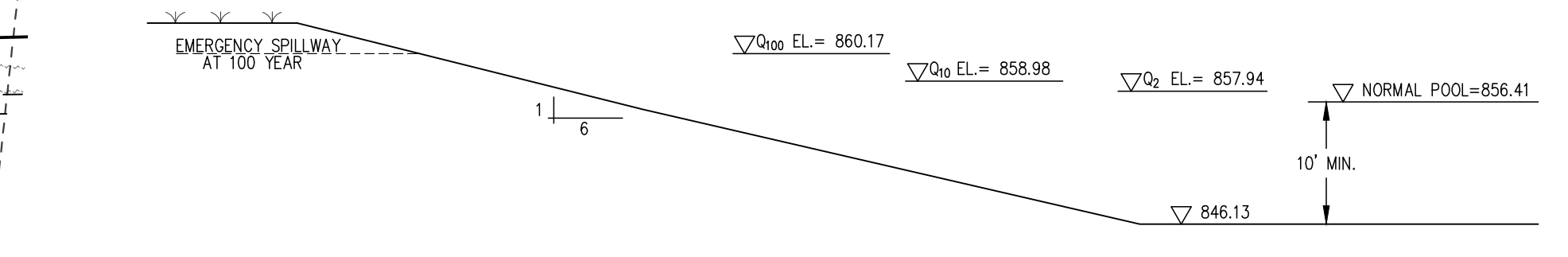
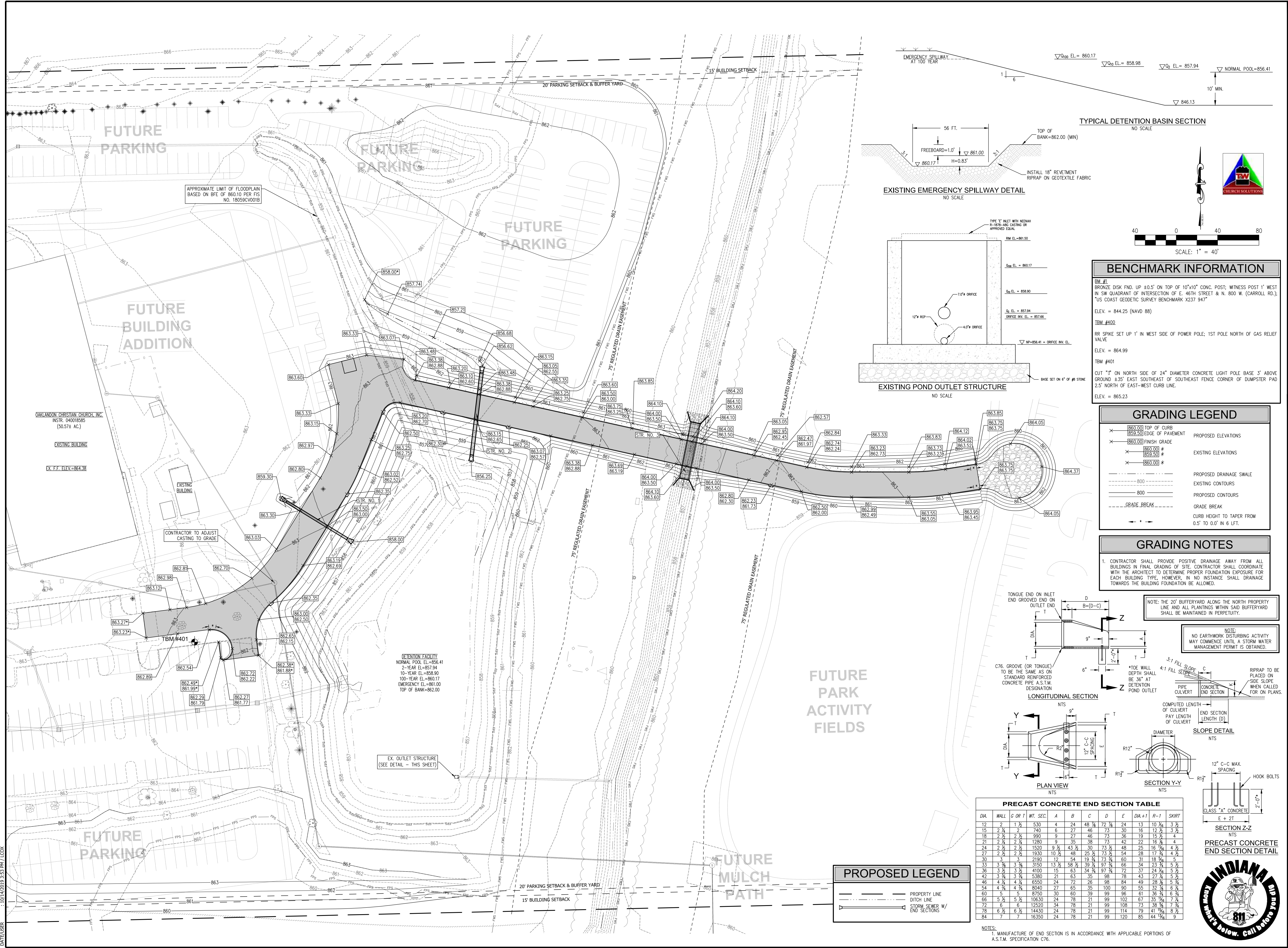
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 DATE/USER : 10/14/2019 3:53 PM / LLOX

OUTLOOK CHRISTIAN CHURCH, INC.
 INSTR. 040018685
 (50.574 AC.)
 EXISTING BUILDING

APPROXIMATE LIMIT OF FLOODPLAIN
 BASED ON BFE OF 860.10 PER FIS
 NO. 18059CV001B



| NO. | DATE | REVISIONS |
|-----|----------|---|
| 1 | 08-30-19 | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS |
| 2 | 10-14-19 | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS |
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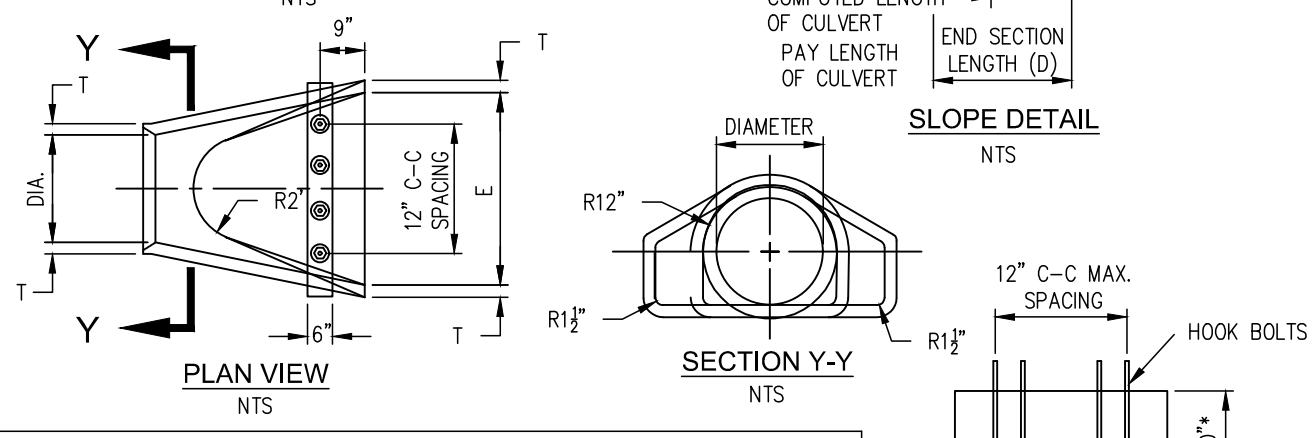
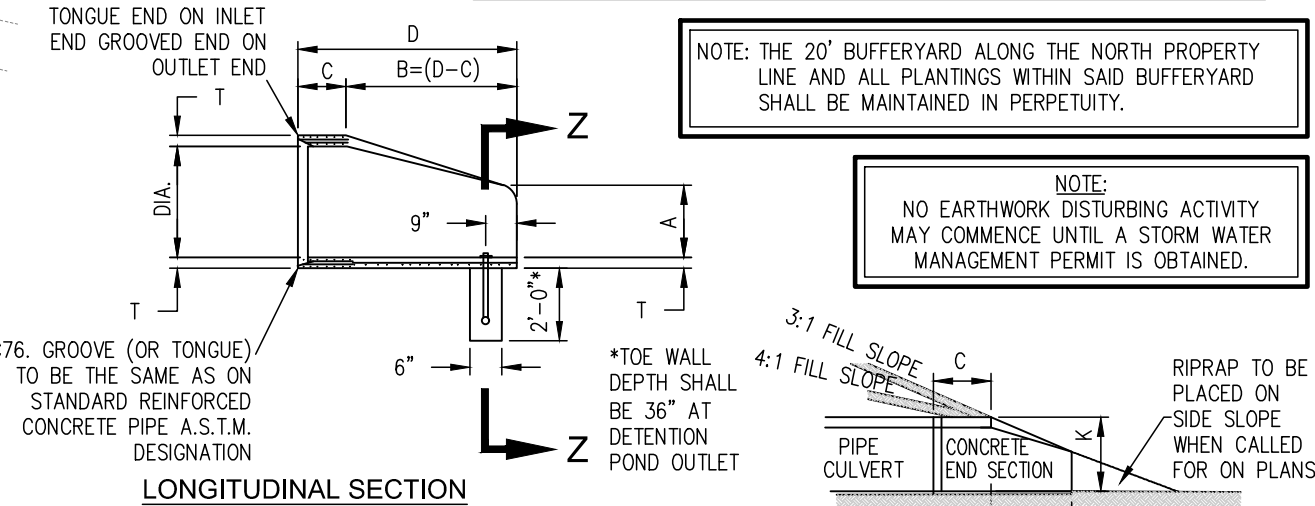


| BENCHMARK INFORMATION | |
|-----------------------|--|
| BM #1 | BRONZE DISK END, UP ±0.5' ON TOP OF 10"x10" CONC. POST, WITNESS POST 1' WEST IN SW QUADRANT OF INTERSECTION OF E. 46TH STREET & N. 800 W. (CARROLL RD.); "US COAST GEODETIC SURVEY BENCHMARK X237 947" |
| ELEV. | = 844.25 (NAVD 88) |
| TBM #400 | RR SPIKE SET UP 1' IN WEST SIDE OF POWER POLE; 1ST POLE NORTH OF GAS RELIEF VALVE |
| ELEV. | = 864.99 |
| TBM #401 | CUT "I" ON NORTH SIDE OF 24" DIAMETER CONCRETE LIGHT POLE BASE 3' ABOVE GROUND ±35' EAST SOUTHEAST OF SOUTHEAST FENCE CORNER OF DUMPSTER PAD 2.5' NORTH OF EAST-WEST CURB LINE. |
| ELEV. | = 865.23 |

| GRADING LEGEND | |
|----------------|--|
| — | PROPOSED ELEVATIONS |
| — | EXISTING ELEVATIONS |
| — | PROPOSED DRAINAGE SWALE |
| — | EXISTING CONTOURS |
| — | PROPOSED CONTOURS |
| — | GRADE BREAK |
| — | CURB HEIGHT TO TAPER FROM 0.5' TO 0.0' IN 6 LFT. |

GRADING NOTES

1. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS IN FINAL GRADING OF SITE. CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT TO DETERMINE PROPER FOUNDATION EXPOSURE FOR EACH BUILDING TYPE. HOWEVER, IN NO INSTANCE SHALL DRAINAGE TOWARDS THE BUILDING FOUNDATION BE ALLOWED.

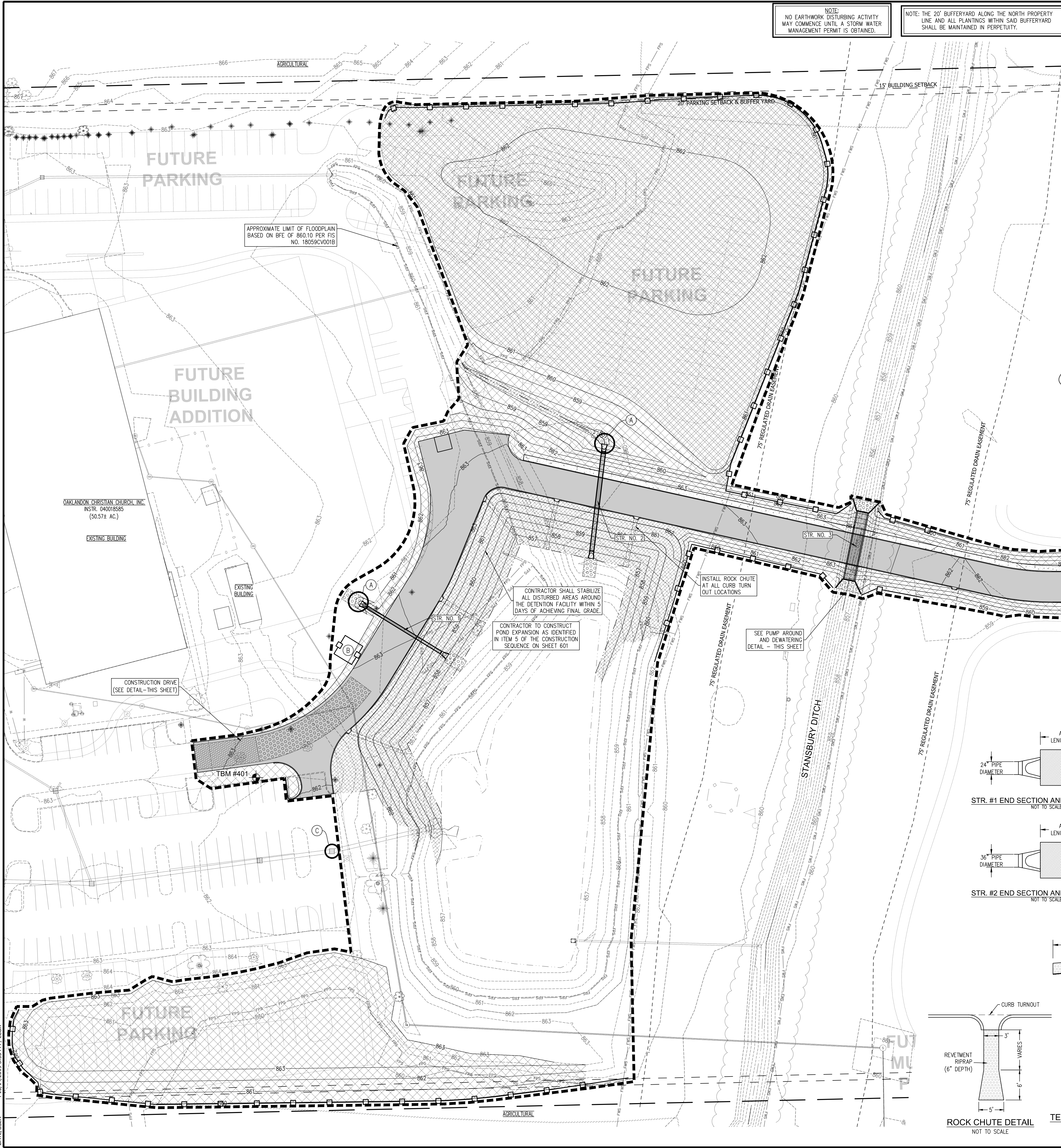


| PRECAST CONCRETE END SECTION TABLE | | | | | | | | | | | | | |
|------------------------------------|-------|--------|----------|--------|--------|--------|--------|-----|---------|--------|-------|--|--|
| DIA. | WALL | G OR T | WT. SEC. | A | B | C | D | E | DIA. #1 | R-1 | SKIRT | | |
| 12 | 2 | 1 1/2 | 530 | 4 | 24 | 48 1/2 | 72 1/2 | 24 | 13 | 10 1/2 | 3 1/2 | | |
| 15 | 2 1/2 | 2 | 740 | 6 | 27 | 46 1/2 | 73 1/2 | 30 | 16 | 12 1/2 | 3 1/2 | | |
| 18 | 2 1/2 | 2 1/2 | 990 | 9 | 27 | 46 1/2 | 73 1/2 | 36 | 19 | 15 1/2 | 4 | | |
| 21 | 2 1/2 | 2 1/2 | 1280 | 9 | 35 | 58 1/2 | 73 1/2 | 42 | 22 | 18 1/2 | 4 | | |
| 24 | 2 1/2 | 2 1/2 | 1520 | 9 1/2 | 43 1/2 | 30 | 73 1/2 | 48 | 25 | 18 1/2 | 4 1/2 | | |
| 27 | 2 1/2 | 2 1/2 | 1930 | 10 1/2 | 48 | 25 1/2 | 73 1/2 | 54 | 28 | 17 1/2 | 4 1/2 | | |
| 30 | 3 | 3 | 2190 | 12 | 54 | 19 1/2 | 73 1/2 | 60 | 31 | 18 1/2 | 5 | | |
| 33 | 3 1/2 | 3 1/2 | 3150 | 13 1/2 | 58 1/2 | 39 1/2 | 97 1/2 | 66 | 34 | 23 1/2 | 5 1/2 | | |
| 36 | 3 1/2 | 3 1/2 | 4100 | 15 | 63 | 34 1/2 | 97 1/2 | 72 | 37 | 24 1/2 | 5 1/2 | | |
| 42 | 3 1/2 | 3 1/2 | 5380 | 21 | 63 | 35 | 98 | 78 | 43 | 27 1/2 | 5 1/2 | | |
| 46 | 4 1/2 | 4 1/2 | 6550 | 24 | 72 | 26 | 98 | 84 | 49 | 28 1/2 | 5 1/2 | | |
| 54 | 4 1/2 | 4 1/2 | 8040 | 27 | 65 | 35 | 100 | 90 | 55 | 32 1/2 | 6 1/2 | | |
| 60 | 5 | 5 | 8750 | 30 | 60 | 39 | 99 | 96 | 61 | 36 1/2 | 6 1/2 | | |
| 66 | 5 1/2 | 5 1/2 | 10630 | 24 | 78 | 21 | 99 | 102 | 67 | 35 1/2 | 7 1/2 | | |
| 72 | 6 | 6 | 12520 | 34 | 78 | 21 | 99 | 108 | 73 | 38 1/2 | 7 1/2 | | |
| 78 | 6 1/2 | 6 1/2 | 14430 | 24 | 78 | 21 | 99 | 114 | 79 | 41 1/2 | 8 1/2 | | |
| 84 | 7 | 7 | 16350 | 24 | 78 | 21 | 99 | 120 | 85 | 44 1/2 | 9 | | |

| PROPOSED LEGEND | |
|-----------------|-----------------------------|
| — | PROPERTY LINE |
| — | DITCH LINE |
| — | STORM SEWER W/ END SECTIONS |

NOTES:
 1. MANUFACTURE OF END SECTION IS IN ACCORDANCE WITH APPLICABLE PORTIONS OF A.S.T.M. SPECIFICATION C76.

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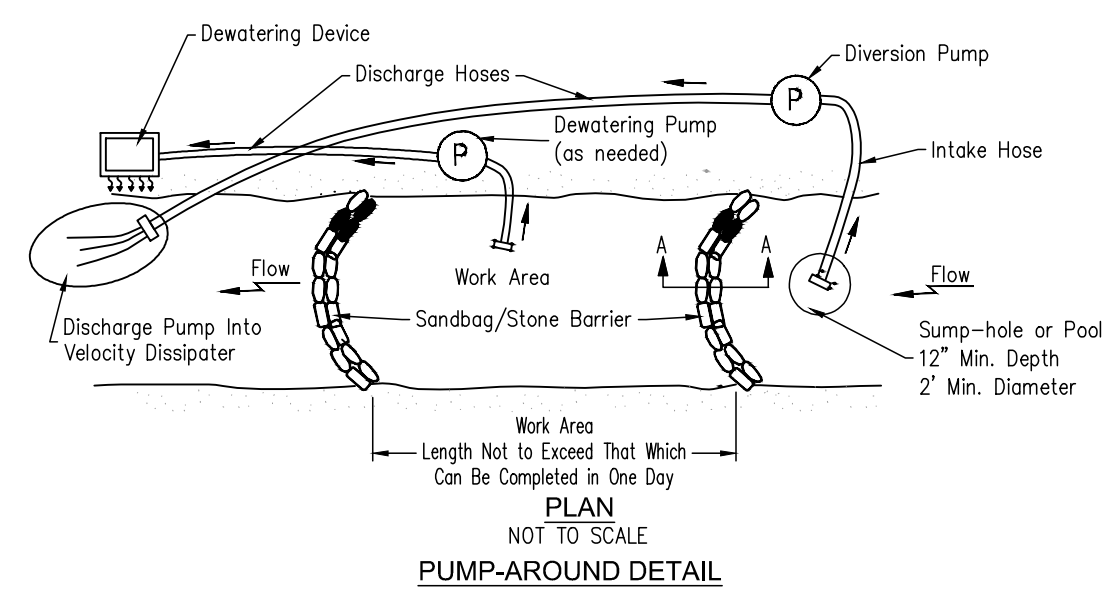
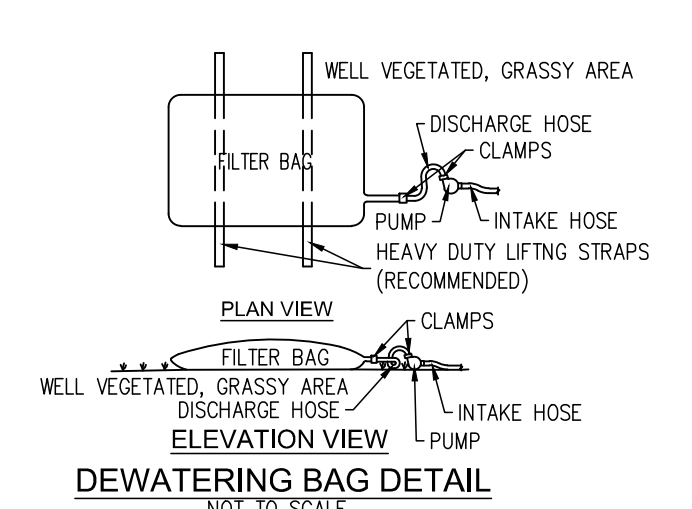
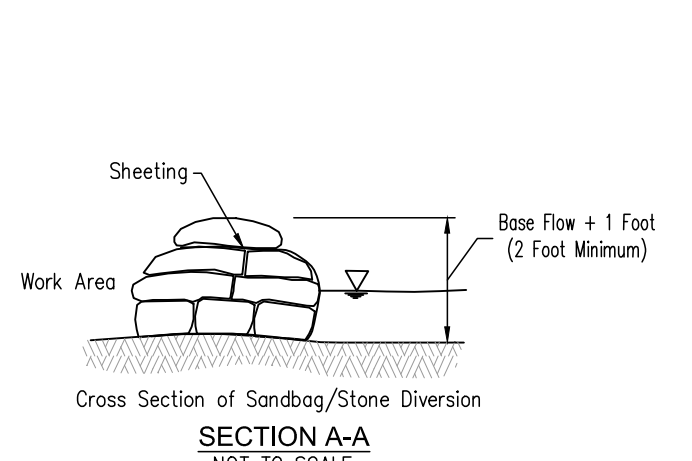
NOTE: NO EARTHWORK DISTURBING ACTIVITY MAY COMMENCE UNTIL A STORM WATER MANAGEMENT PERMIT IS OBTAINED.

NOTE: THE 20' BUFFERYARD ALONG THE NORTH PROPERTY LINE AND ALL PLANTINGS WITHIN SAID BUFFERYARD SHALL BE MAINTAINED IN PERPETUITY.

- PUMP AROUND DIVERSION MATERIAL SPECIFICATIONS:**
- In-stream Barrier:** Either riprap or sandbags. Sandbags maybe filled on site or pre-filled and made of butyl or polypropylene materials which are resistant to ultraviolet radiation, tearing, and puncture and should be woven tightly enough to prevent leakage of the fill material (i.e., sand, fine gravel, etc.).
 - Sheeting:** Seamless polyethylene plastic sheeting with a minimum 4-mil thickness impervious and resistant to puncture, tearing and ultraviolet degradation or equivalent.
 - Pumping Equipment:** Electric, diesel or gasoline venturi, vacuum, or centrifugal primed pump. Appropriately sized rigid intake and discharge pipe/hose with positive restrained joints. Necessary connectors and properly stored fuel.
 - Dewatering Structure:** Sediment/grit bag per manufacturers specifications.
 - Velocity Dissipator:** Riprap or sandbag lined "plunge pool" sized to be non-errosive at the discharge pipe velocity.

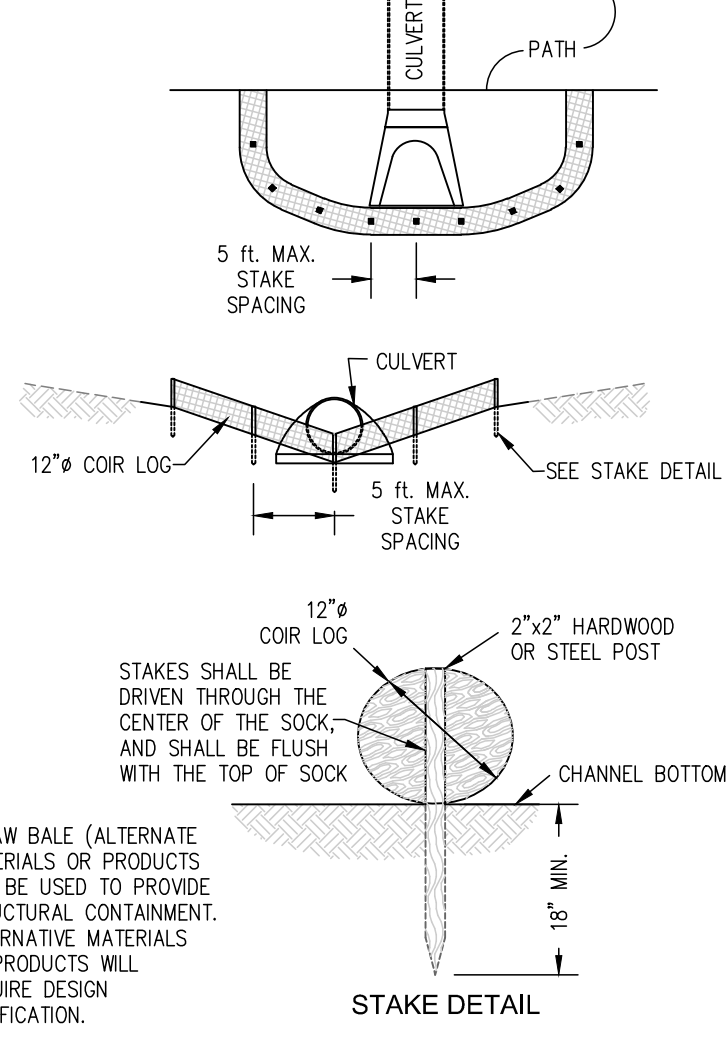
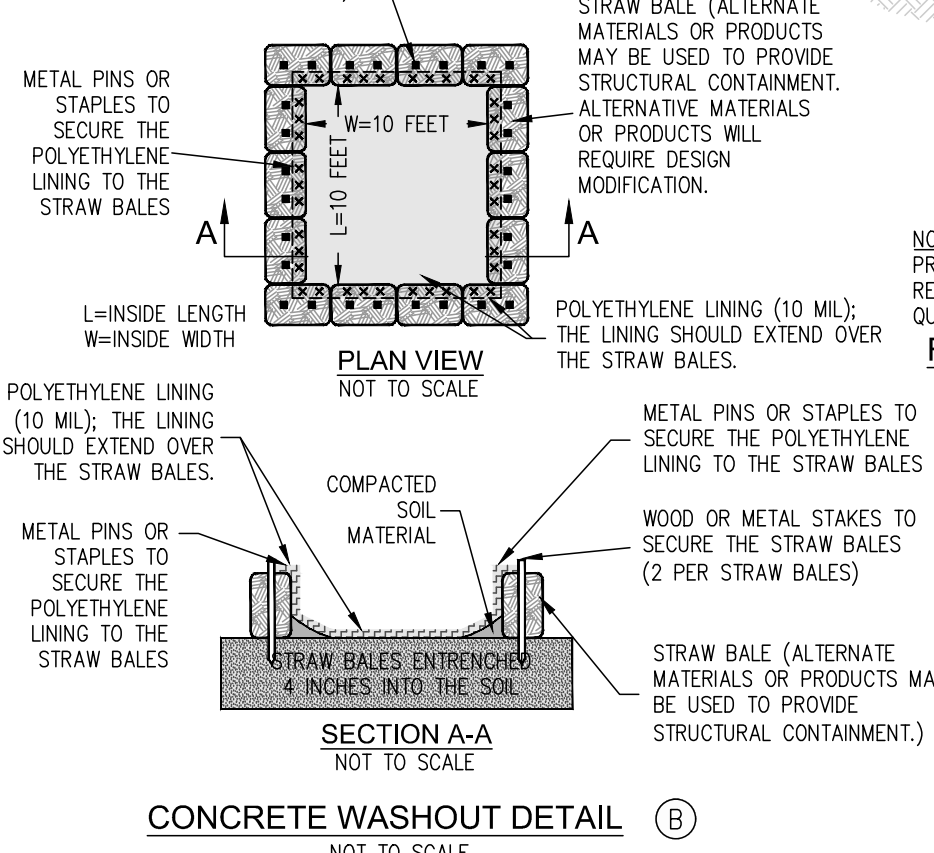
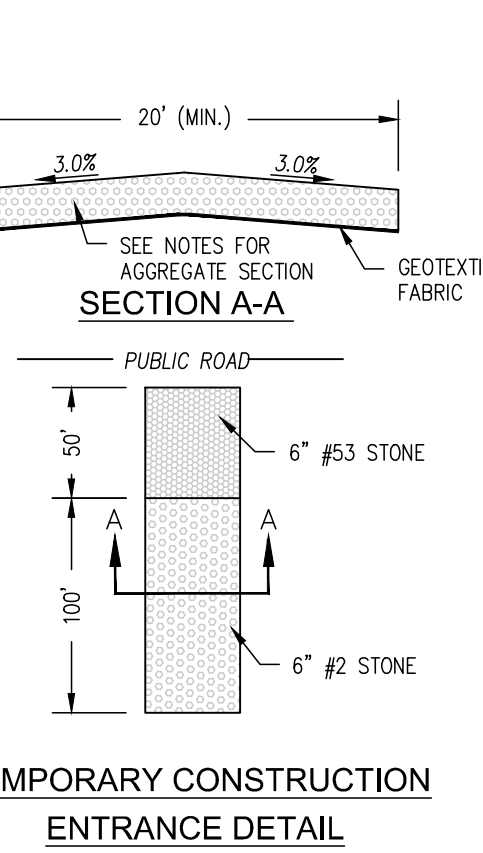
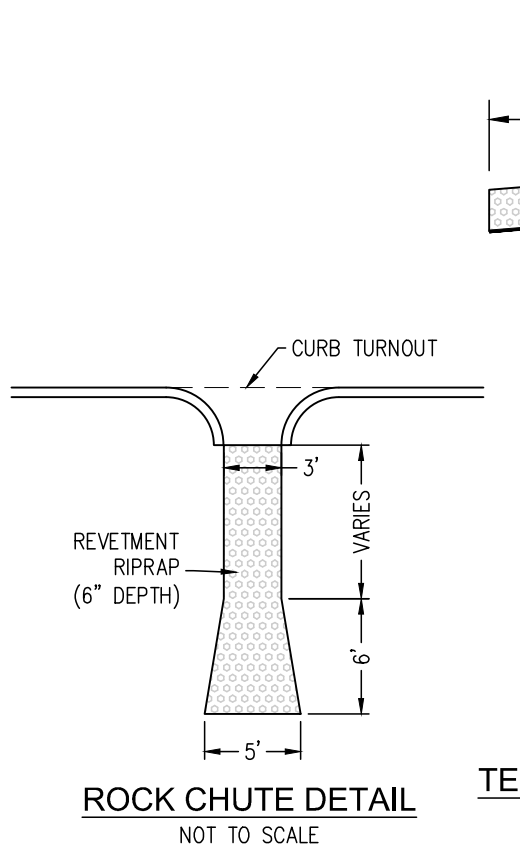
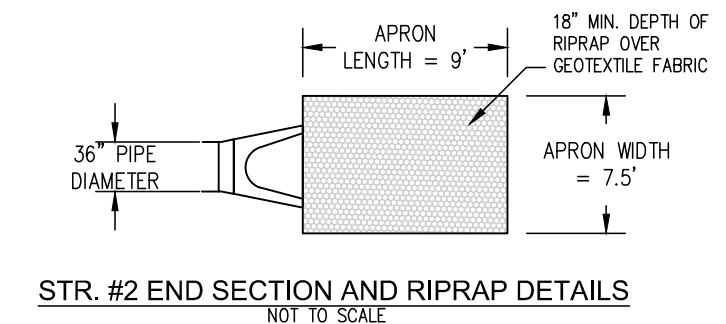
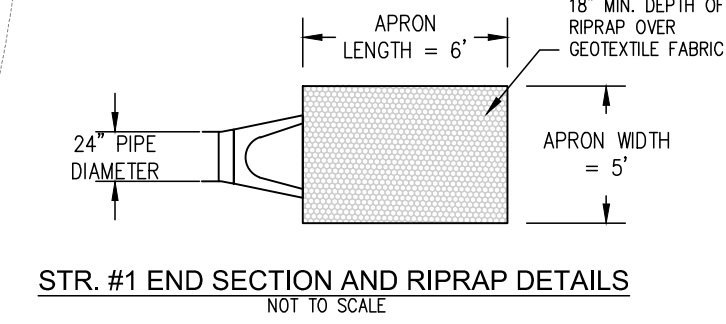
- CONSTRUCTION RECOMMENDATIONS:**
- Sandy material may be used to fill sandbags.
 - The length of stream dewatered should be determined by the amount of work that can be completed in one workday. Continuous pumping adds increased costs and risks of failure and delay.
 - Where possible, utilize existing pools within the stream in place of an excavated sump-hole.
 - Strategic placement of the in-stream barrier can eliminate multiple installations during construction.
 - Remove all large debris located within the foundation of the barrier to ensure proper sealing and reduce leakage through the barrier.
 - Sandbag/stone barrier should be monitored daily for leakage and repaired as necessary.

- INSTALLATION GUIDELINES:**
- Excavate sump hole or identify existing pool upstream of the work area.
 - Install velocity dissipator downstream of the work area.
 - Set up pump and hose/pipe.
 - Install upstream and downstream barriers and start pump.
 - Use de-watering pump and dewatering device to remove water left between the in-stream barriers after primary pump installation and as needed during construction.
 - Complete in-stream construction activities and remove in-stream barriers.
 - Restore/repair impacted stream areas.



| EROSION CONTROL LEGEND | |
|------------------------|--|
| | MULCHED SEEDING |
| | EROSION CONTROL BLANKET (NORTH AMERICAN GREEN SC-150 OR EQUAL) AND MULCHED SEEDING |
| | REVETMENT RIPRAP |
| | CONSTRUCTION DRIVE (SEE DETAIL-THIS SHEET) |
| | EXISTING CONTOURS |
| | PROPOSED CONTOURS |
| | SILT FENCE SLOPE CHECK (NUTEC 3 NWS-6 OR APPROVED EQUAL) |
| | CONSTRUCTION LIMITS |
| | FILTER TUBE/FILTER SOCK (COIR LOG) (SEE DETAIL-THIS SHEET) |
| | CONCRETE WASHOUT AREA (SEE DETAIL-THIS SHEET) |
| | SILT SACK INLET FILTER (SEE DETAIL-SHEET 601) |

- EROSION CONTROL NOTES**
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY STATE, COUNTY, OR LOCAL OFFICIALS.
 - ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY THE INSPECTOR.
 - THERE SHALL BE NO DIRT, DEBRIS, OR STORAGE OF MATERIALS WITHIN THE EXISTING PARKING AREAS.
 - CONSTRUCTION STAGING AREA (TO BE DETERMINED BY CONTRACTOR) SHALL INCLUDE THE NOI POSTING, PORT-O-LETS, TRASH CONTAINERS, AND FUELING TANKS.
 - A TRAINED INDIVIDUAL MUST PERFORM AN INSPECTION ONCE A WEEK AND AFTER EVERY 1/2" OR MORE RAIN EVENT. A LOG OF THE INSPECTION REPORTS MUST BE KEPT AND MADE AVAILABLE TO THE TOWN INSPECTOR UPON REQUEST.
 - ALL EROSION CONTROL PRACTICES AND MEASURES SHALL BE IN ACCORDANCE WITH THE INDIANA STORM WATER QUALITY MANUAL.
 - CONTRACTOR SHALL BE REQUIRED TO REPAIR ALL ASPHALT PAVEMENT THAT BECOMES DETERIORATED DUE TO CONSTRUCTION ACTIVITIES.



EROSION CONTROL PLAN

OUTLOOK CHRISTIAN CHURCH

DATE: AUGUST 23, 2019

DESIGNED: D.M.

DRAWN: KLF/AMC

CHECKED: TEN

APPROVED: C.J.

NO. 1

DATE 10.14.19

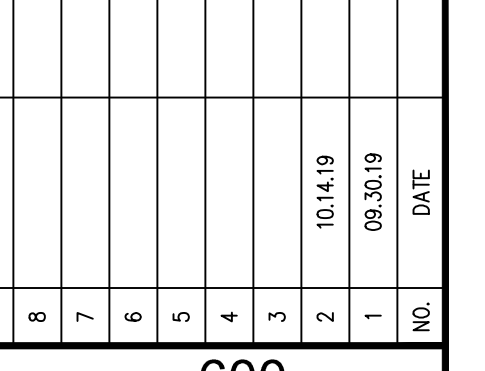
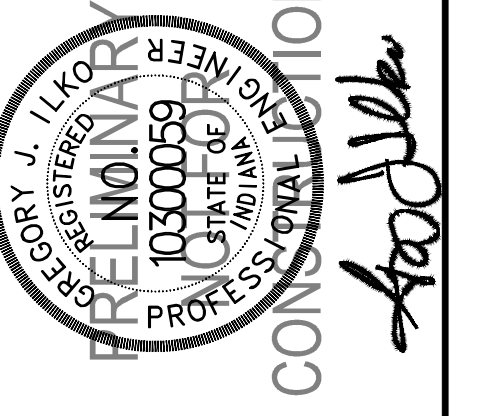
REVISIONS PER TOWN OF MCCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS

NO. 2

DATE 09.30.19

REVISIONS

SHEET 600



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 DATE/USER : 10/14/2019 3:53 PM / LLOX

EROSION CONTROL PLAN INDEX

Table with 2 columns: PLAN ELEMENTS and details. Rows include A2 through A23 covering various erosion control measures like silt fences, stormwater discharge, and site preparation.

Table with 2 columns: PLAN ELEMENTS and details. Rows include B1 through B8 covering stormwater pollution prevention measures like silt fences, sediment control, and outlet protection.

Table with 2 columns: PLAN ELEMENTS and details. Rows include B9 through B13 covering stormwater quality measures like stabilization structures, temporary surface stabilization, and permanent surface stabilization.

Table with 2 columns: PLAN ELEMENTS and details. Rows include B14 through B15 covering material handling and spill prevention, and monitoring and maintenance guidelines.

Table with 2 columns: PLAN ELEMENTS and details. Rows include C1 through C5 covering stormwater pollution prevention - post construction measures like proposed pollutants, quality measures, and maintenance guidelines.

MONITORING AND MAINTENANCE GUIDELINES

- GRAVEL CONSTRUCTION DRIVE AND PARKING AREA: A. Inspect existing site entrance and parking lot weekly and after each storm event and log condition per IDEM. TOPSOIL: A. Inspect weekly until vegetation is established and log condition per IDEM. TEMPORARY AND PERMANENT SEEDINGS: A. Inspect periodically, especially after storm events, until the stand is successfully established.

- EROSION CONTROL BLANKET: A. During vegetative establishment, inspect after storm events for any erosion below the blanket. MULCHING: A. Inspect after storm events to check for movement of mulch or for erosion. RIPRAP: A. Inspect periodically for displaced rock material, slumping, and erosion at edges, especially downstream or downslope.

- CONCRETE WASHOUT: A. Concrete washout area shall be installed prior to any concrete placement on site. SOIL SACK INLET PROTECTION: A. Inspect the silt sack inlet protection periodically and after each "X" storm event. CONSTRUCTION SEQUENCE & SCHEDULE OF EROSION CONTROL IMPLEMENTATION: 1. Silt fence shall be placed around existing structures and in ditches as shown in these plans before any land disturbing activities are started.

- GENERAL EROSION CONTROL REQUIREMENTS FOR COMPLIANCE WITH IDEM GENERAL PERMIT RULES FOR STORM WATER RUNOFF FROM CONSTRUCTION SITES: 1. All Erosion Control practices shall be in accordance with the latest edition of the INDIANA STORM WATER QUALITY MANUAL. 2. The Erosion Control measures included in this plan shall be installed prior to initial land disturbance activities or as soon as practical.

ADDITIONAL MATERIAL HANDLING AND SPILL PREVENTION PLAN

- A. Purpose: The purpose of this plan is to: 1. To help protect the health and safety of those working on the site as well as the environment. 2. Preventing the contamination of storm water runoff.

- B. Prevention and Readiness: 1. The contractor or responsible party will prepare a contact list in the event of a spill on the site. 2. The contractor/owner shall maintain a list of qualified contractors, Vac-trucks, tank pumpers and other equipment or businesses qualified to do clean-up operations.

- C. Spill Response: Minor - Small spills that typically involve oil, gasoline, paint, hydraulic fluid etc. Major or Hazardous Spills - More than ten gallons, there is the potential for death, injury or illness to humans or animals or has the potential for surface or groundwater pollution.

- D. The following procedures and practices will help prevent unnecessary spills: I. Vehicle and Equipment Fueling: Description and Purpose: Vehicle equipment fueling procedures and practices are designed to prevent fuel spills and leaks.

- II. Solid Waste Management: Description of Purpose: Solid waste management procedures and practices are designed to prevent or reduce the discharge of pollutants to stormwater from solid or construction waste by providing designated waste collection areas and containers.

- III. Erosion Control Blanket: Description of Purpose: The Erosion Control Blanket is a geotextile fabric that is placed over the soil surface to prevent erosion and to provide a seed bed for vegetation.

Table with 2 columns: SOIL TYPE and SEED MIXTURES. Rows include Creeping Red Fescue, Kentucky Bluegrass, Tall Fescue, etc. with columns for species, level, and seed rate.

IMPLEMENTATION

- The following steps will help keep a clean site and reduce stormwater pollution: 1. Select designated waste collection areas onsite. 2. Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use.

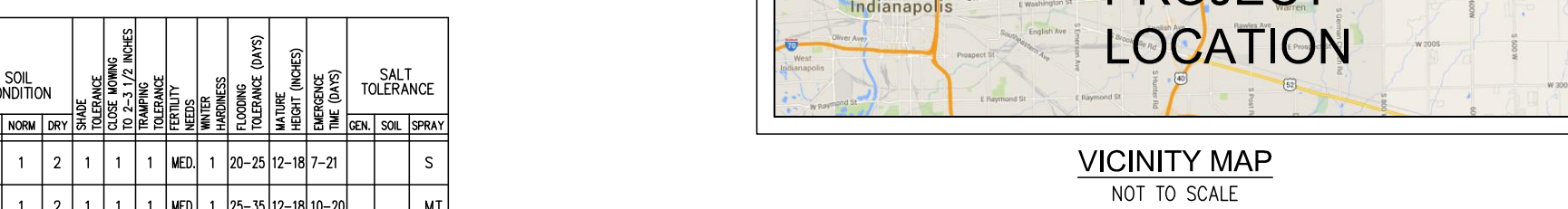
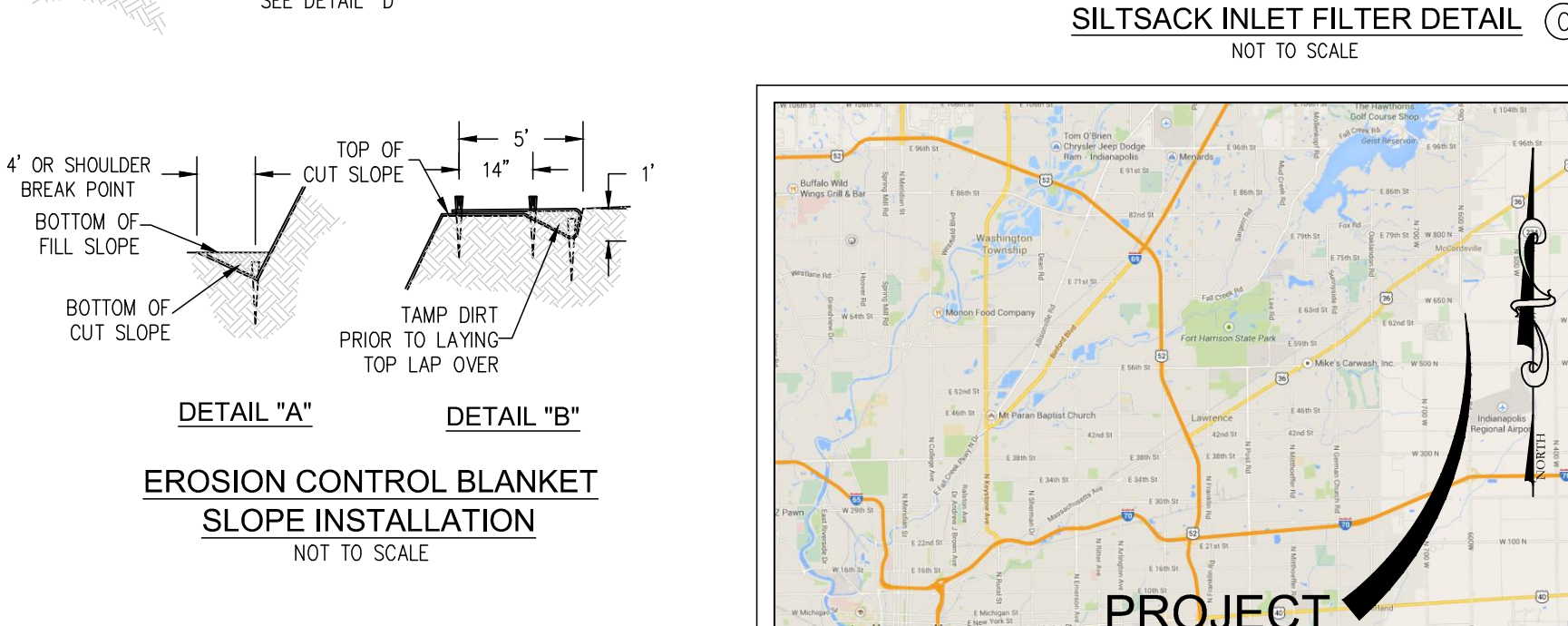
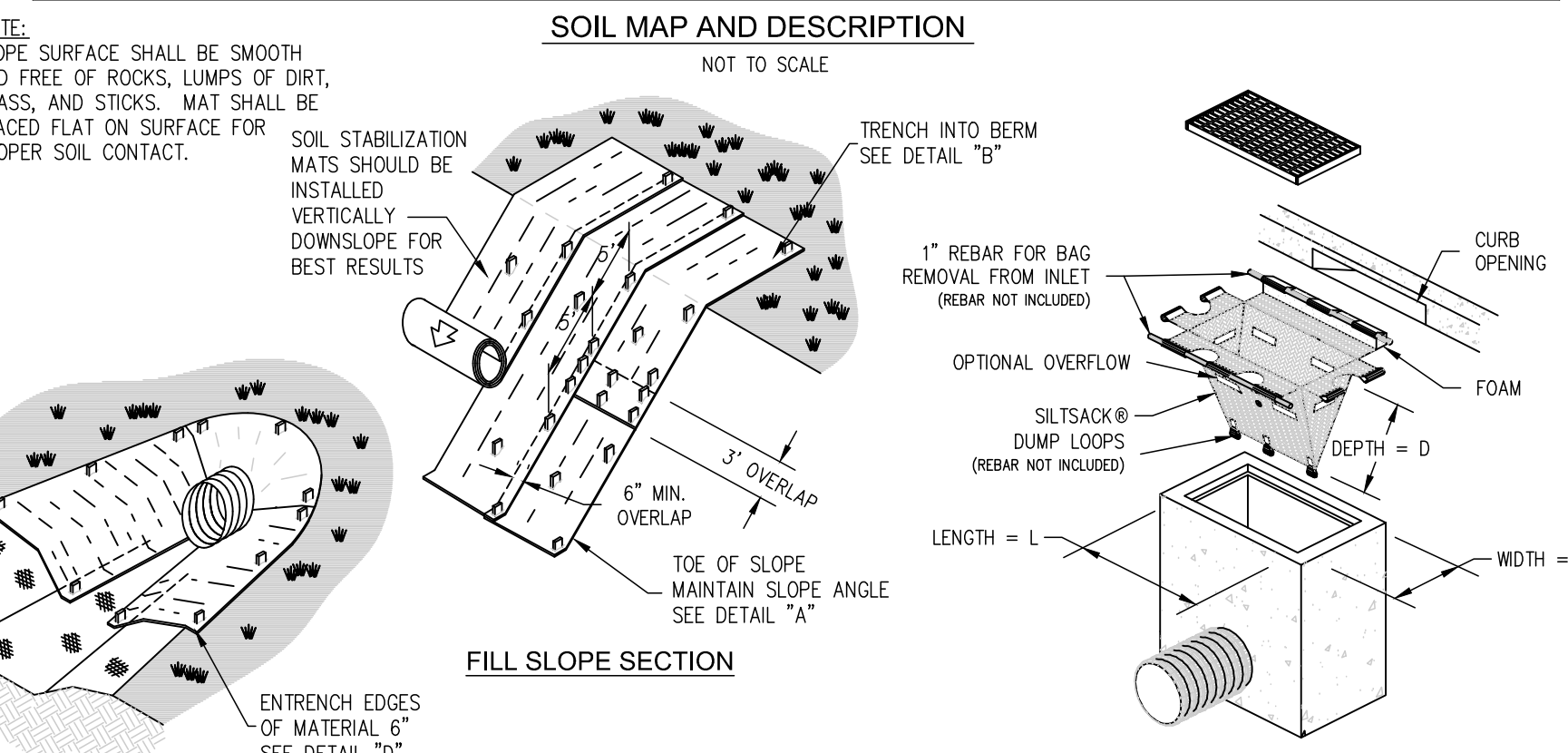
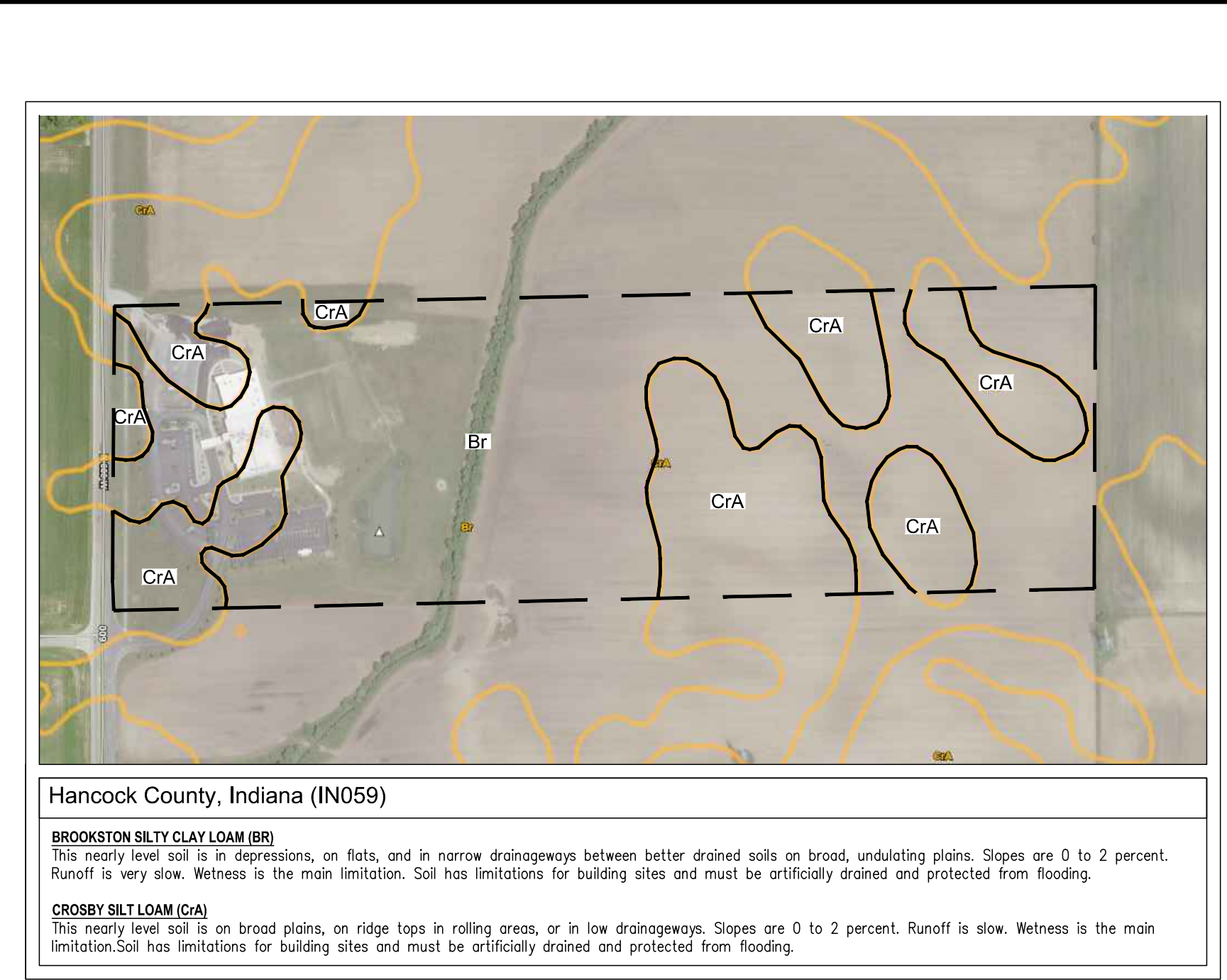
- III. Concrete Washout: The following steps will help reduce stormwater pollution from concrete wastes: 1. Discuss the concrete management techniques described in the BMP (such as handling of concrete waste and washout) with the ready-mix concrete supplier before any deliveries are made.

- IV. Vehicle Maintenance Areas: Purpose - To prevent spills during the normal maintenance of construction machinery. Implementation - Where and when feasible, maintenance shall be performed offsite in covered facility with an impervious floor.

- V. Fluids, paints, solvents and other chemicals storage and use: Purpose - To prevent spills during the use and storage of the materials. Implementation - Store materials in their original containers.

- VI. Disposal of sediment laden water: Purpose - To prevent the purposeful discharge of sediment laden water into waters of the United States. Implementation - The sediment and any other pollutant from all pumping or dewatering operations that discharge into storm sewers, wetlands, drainage ways or water bodies must be removed from the water before it's discharged.

Table with 2 columns: SOIL TYPE and SEED MIXTURES. Rows include Creeping Red Fescue, Kentucky Bluegrass, Tall Fescue, etc. with columns for species, level, and seed rate.



RECORD DESCRIPTION: A table providing detailed information about the project, including the instrument number, date, and a description of the property boundaries and area.

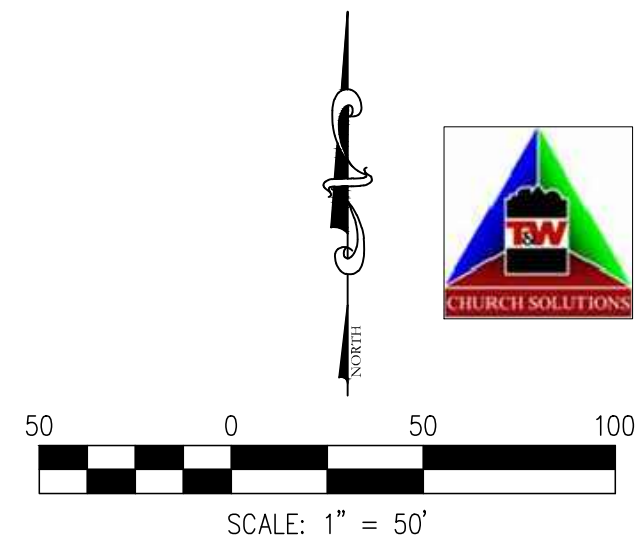
Professional engineering stamp for Gregory J. Jankowski, License No. 103005, State of Indiana. Includes project title 'EROSION CONTROL DETAILS', client name 'OUTLOOK CHRISTIAN CHURCH', and sheet number '601'.

**MASTER PLAN -
 LANDSCAPE PLAN**
OUTLOOK CHRISTIAN CHURCH

DATE: AUGUST 23, 2019
 JOB NO. []
 DRAWN: KLF/JMC
 CHECKED: TEN
 DESIGNED: D.M.
 APPR.: C.J.



| NO. | DATE | REVISIONS |
|-----|----------|-----------|
| 1 | 08-30-19 | DATE |
| 2 | 10-14-19 | BY |
| 3 | | D.M. |
| 4 | | C.J. |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |



LANDSCAPING REQUIREMENTS (5 TREES/100')

| PROPERTY LINE | LENGTH | TREES REQUIRED | TREES PROVIDED |
|---------------------|--------|----------------|----------------|
| NORTH-WEST OF CREEK | 940' | 47 | 47 |
| NORTH-EAST OF CREEK | 1500' | 75 | 75 |

PERIMETER REQUIREMENTS (10 SHRUBS/100')

| PROPERTY LINE | LENGTH | SMALL SHRUBS REQUIRED | SMALL SHRUBS PROVIDED |
|---------------------|--------|-----------------------|-----------------------|
| NORTH-WEST OF CREEK | 940' | 94 | 94 |
| NORTH-EAST OF CREEK | 1500' | 150 | 150 |

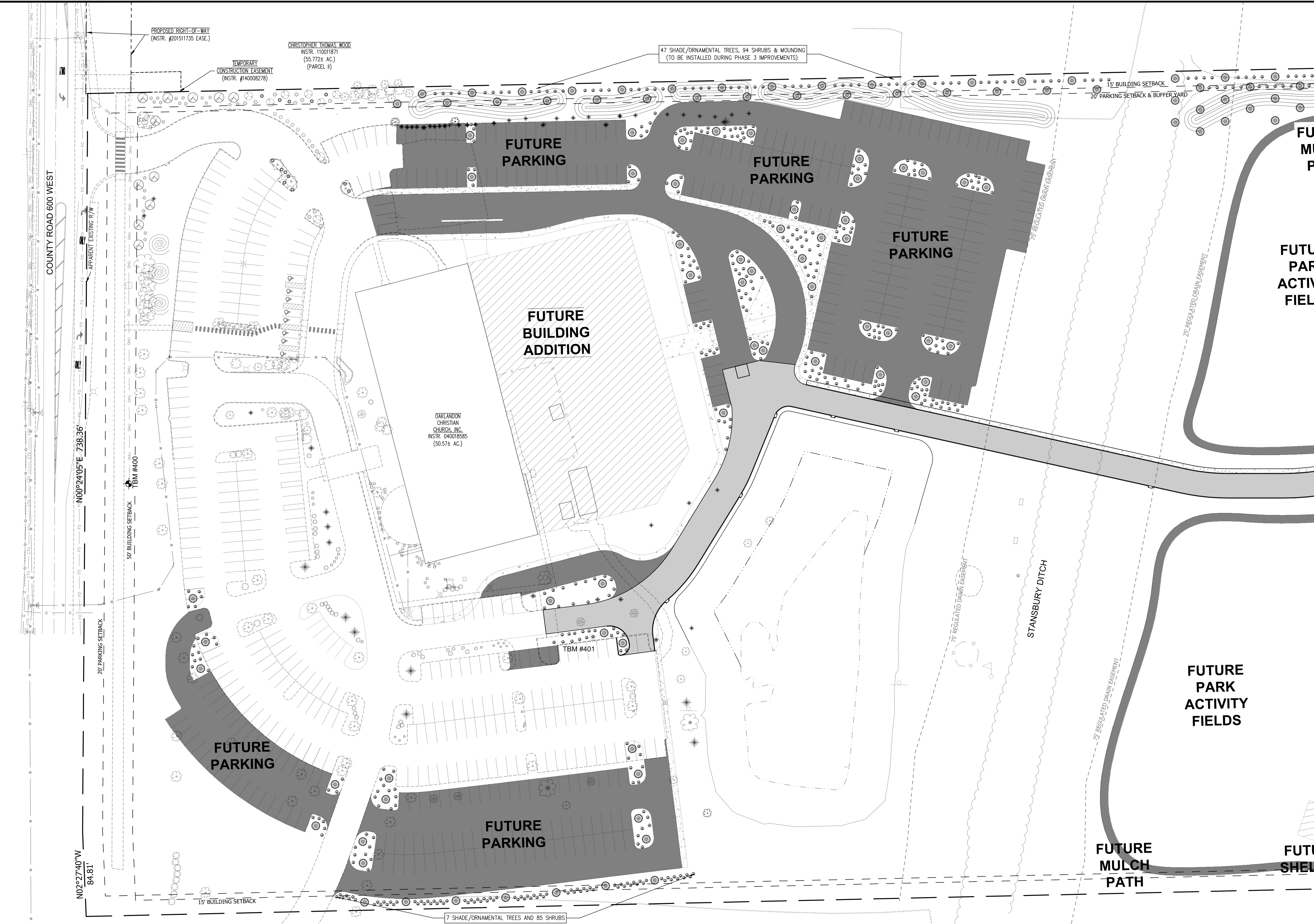
INTERIOR LANDSCAPING-WEST OF CREEK
 FUTURE PARKING LOT TOTAL AREA = 212,486 S.F.
 MINIMUM 5% INTERIOR LANDSCAPE = 10,624 S.F.
 INTERIOR LANDSCAPE AREA PROVIDED = 21,017 S.F. (9.9%)

INTERIOR LANDSCAPING-EAST OF CREEK
 FUTURE PARKING LOT TOTAL AREA = 80,826 S.F.
 MINIMUM 5% INTERIOR LANDSCAPE = 4,041 S.F.
 INTERIOR LANDSCAPE AREA PROVIDED = 8,922 S.F. (11.0%)

LANDSCAPE LEGEND

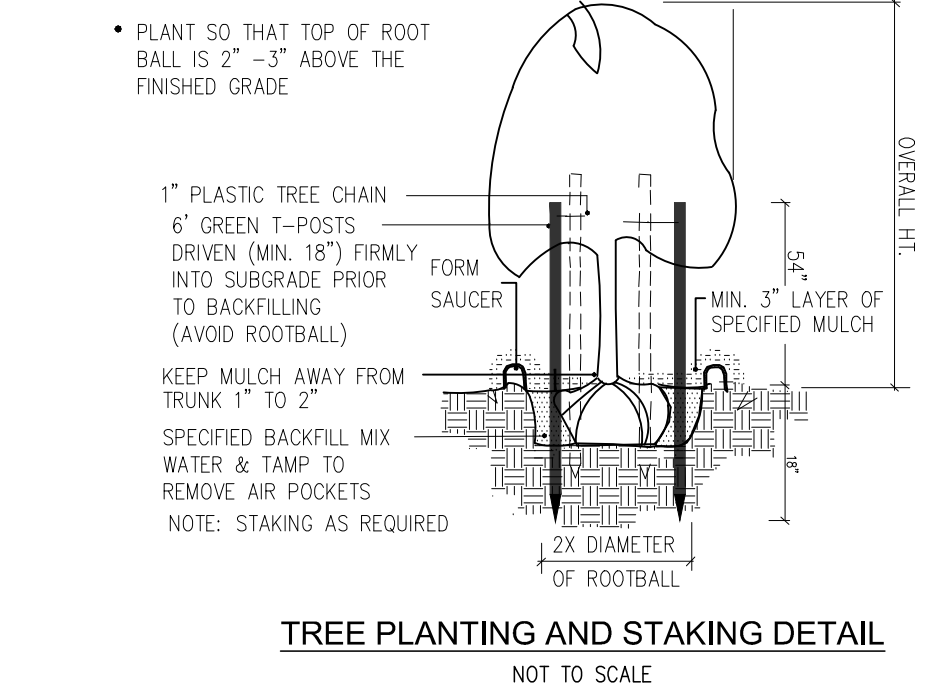
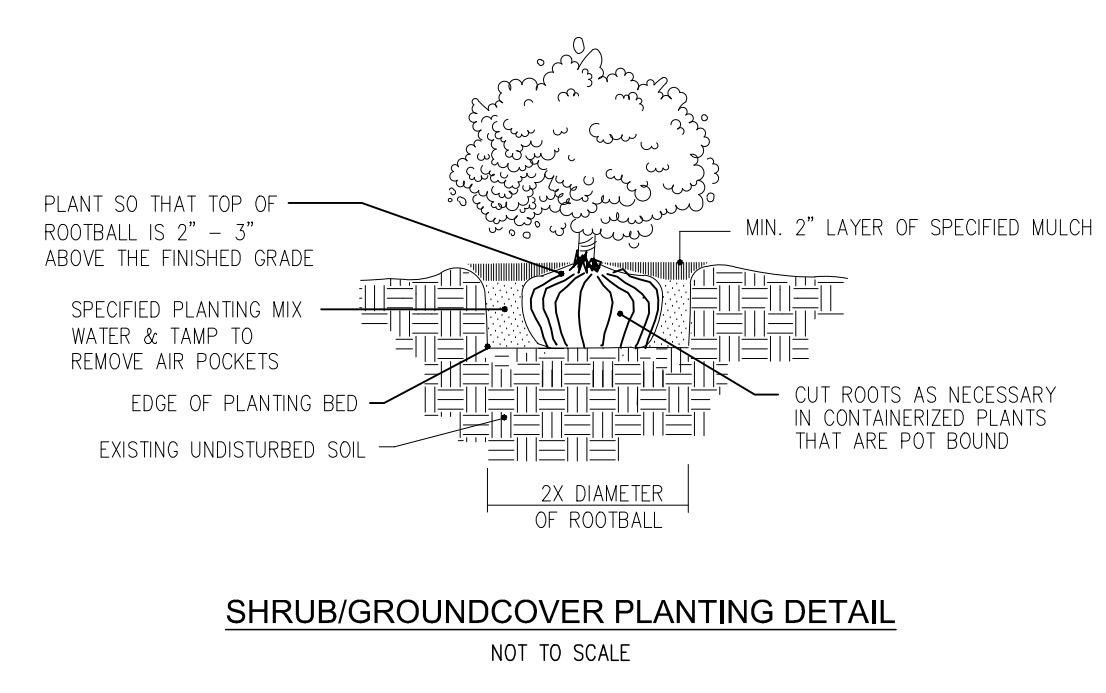
- SHADE/ORNAMENTAL TREE (OWNER TO COORDINATE WITH TOWN FOR APPROVED SPECIES PRIOR TO PLANTING)
- SHRUB (OWNER TO COORDINATE WITH TOWN FOR APPROVED SPECIES PRIOR TO PLANTING)

MATCHLINE - SHEET 801



LANDSCAPE NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN). BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +/-0.1' OF FINISH GRADE. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
- THE LANDSCAPE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
- CONTRACTOR SHALL ENSURE THAT THE GRADE IN SOD AREAS SHALL BE 1" BELOW FINISH GRADE BEFORE INSTALLING SOIL AMENDMENTS, AND 2" BELOW FINISH GRADE IN SHRUB AREAS BEFORE INSTALLING SOIL AMENDMENTS. MULCH COVER WITHIN 6" OF CONCRETE WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- INSTALL 5 OUNCE, WOVEN, NEEDLE-PUNCHED POLYPROPYLENE FABRIC UNDER ALL MULCHED AREAS AND INDIVIDUAL TREE RINGS.
- INSTALL SHREDDED HARDWOOD MULCH TOPDRESSING IN ALL PLANTING BEDS (2" DEPTH) AND ALL TREE RINGS (3" DEPTH). DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE.
- HYDROSEED ALL DISTURBED AREAS OUTSIDE OF PROPERTY LIMITS (UNLESS SHOWN AS SOD).
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E. MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES, PLANT LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
- PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOBSITE BY THE OWNER OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESTING OF TREES, MOWING AND AERATION OF LAWNS, WEEDING, RESEEDING AREAS WHICH HAVE NOT GERMINATED WELL, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
- SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL STAND OF GRASS AT NO ADDITIONAL COST TO THE OWNER.
- TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - ALL HANDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2" INCHES BEFORE FIRST MOWING. HYDROSEEDDED AREAS SHALL SHOW ACTIVE, HEALTHY GROWTH. BARE AREAS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDDED OR RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.



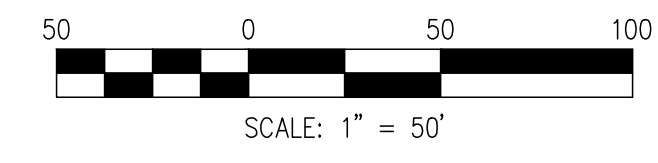
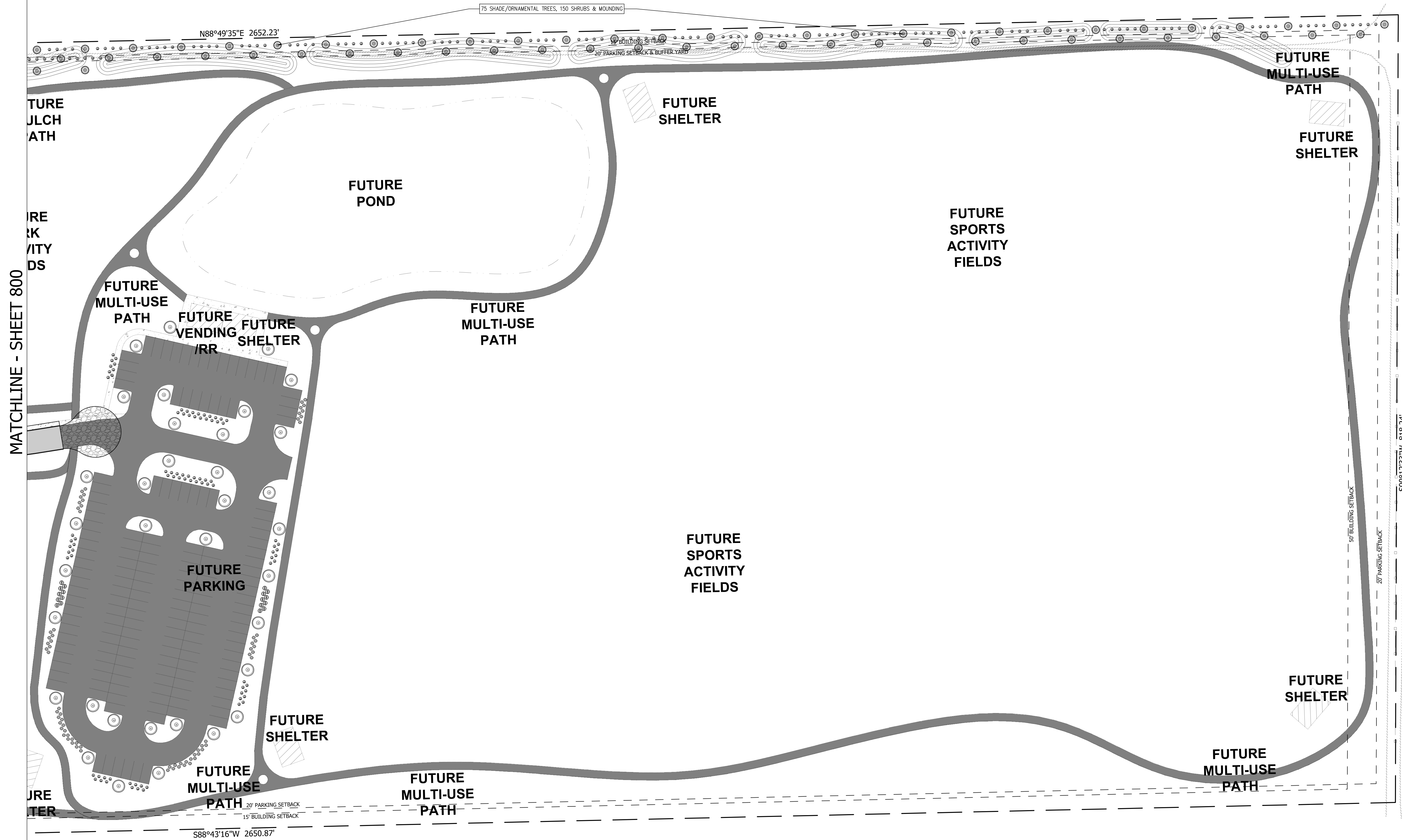
ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY STATE OR COUNTY OFFICIALS.

NOTE: NO EARTHWORK DISTURBING ACTIVITY MAY COMMENCE UNTIL A STORM WATER MANAGEMENT PERMIT IS OBTAINED.

NOTE: THE 20' BUFFERYARD ALONG THE NORTH PROPERTY LINE AND ALL PLANTINGS WITHIN SAID BUFFERYARD SHALL BE MAINTAINED IN PERPETUITY.

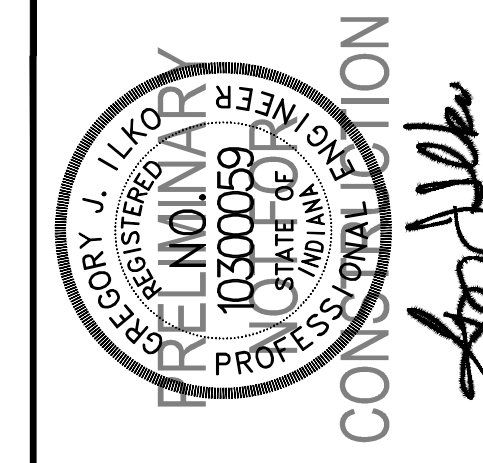


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 DATE/USER : 10/14/2019 3:53 PM / LLOX



MASTER PLAN - LANDSCAPE PLAN OUTLOOK CHRISTIAN CHURCH

| | | | |
|---------|-----------------|----------|-----|
| JOB No. | DRAWN | CHECKED | TEN |
| DATE | AUGUST 23, 2019 | DESIGNED | DJM |
| | | APPR. | CJ |



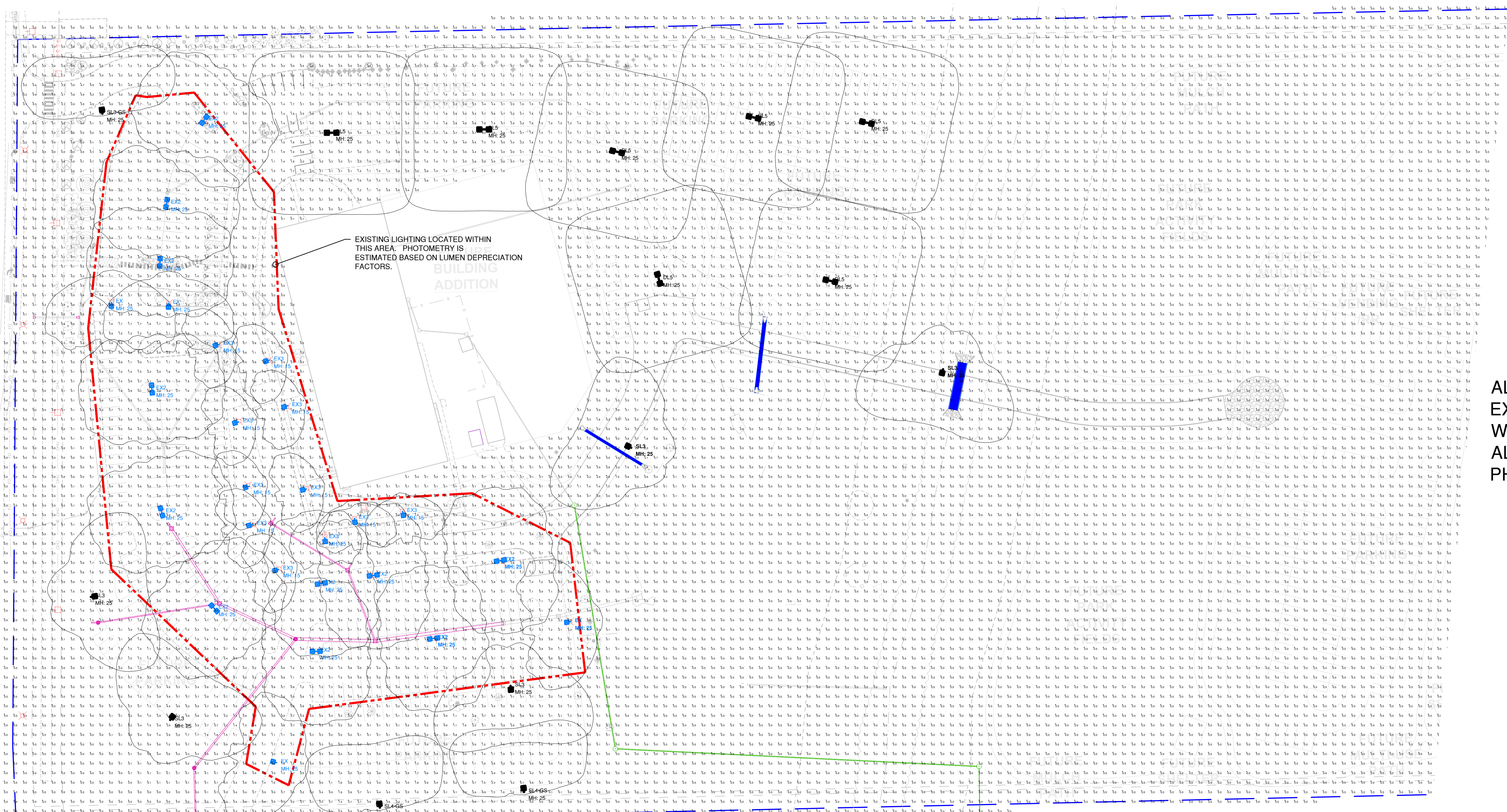
| NO. | DATE | REVISIONS | BY | APPR. |
|-----|----------|---|-----|-------|
| 1 | 09.30.19 | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE, IAC REVIEW COMMENTS | DJM | CJ |
| 2 | 10.14.19 | MISCELLANEOUS REVISIONS PER TOWN OF MCCORDSVILLE & HANCOCK COUNTY SURVEYOR COMMENTS | DJM | CJ |
| 3 | | | | |
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LANDSCAPE LEGEND, DETAILS AND SPECIFICATIONS ON SHEET 800

NOTE: NO EARTHWORK DISTURBING ACTIVITY MAY COMMENCE UNTIL A STORM WATER MANAGEMENT PERMIT IS OBTAINED.

NOTE: THE 20' BUFFERYARD ALONG THE NORTH PROPERTY LINE AND ALL PLANTINGS WITHIN SAID BUFFERYARD SHALL BE MAINTAINED IN PERPETUITY.





ALL FUTURE LIGHTING SHALL MATCH ALL OTHER EXISTING LIGHT FIXTURES/POLES WITHIN THE DEVELOPMENT AND SHALL MEET ALL REQUIRED SPECIFICATIONS IN REGARDS TO PHOTOMETRICS.



| Label | CalcType | Units | Avg | Min | Max | AugMin | MaxMin |
|----------------------|------------|-------|------|-----|-----|--------|--------|
| DRIVEWAY ADDITION | Footcandle | FC | 0.85 | 0.1 | 0.9 | N/A | N/A |
| EXISTING PARKING | Footcandle | FC | 1.04 | 0.5 | 0.9 | N/A | N/A |
| FUTURE PARKING NORTH | Footcandle | FC | 0.84 | 0.1 | 0.9 | N/A | N/A |
| FUTURE PARKING SOUTH | Footcandle | FC | 1.65 | 0.9 | 0.1 | 0.50 | 0.50 |

| Symbol | Qty | Label | Arrangement | Description | Lum. Watts | Total Watts |
|--------|-----|-------|-------------|--|------------|-------------|
| □ | 7 | SL-05 | DIM | NEW TRIM 0113400 LED AREA LIGHT / 2' POLE 0110881 / TYPE II OPTIC | 167 | 2018 |
| □ | 1 | SL-05 | SINGLE | NEW 0112641 LED AREA LIGHT / 2' POLE 0110881 / TYPE II OPTIC / LOWER | 167 | 167 |
| □ | 5 | SL-05 | SINGLE | NEW 0112641 LED AREA LIGHT / 2' POLE 0110881 / TYPE II OPTIC | 167 | 835 |
| □ | 2 | SL-05 | SINGLE | NEW 0112547 LED AREA LIGHT / 2' POLE 0110881 / TYPE II OPTIC / LOWER | 167 | 334 |
| □ | 11 | EX-02 | DIM | EXISTING 200W METAL HALIDE FIXTURE AND 2' POLE | 201 | 2211 |
| □ | 4 | EX-03 | SINGLE | EXISTING 200W METAL HALIDE FIXTURE AND 2' POLE | 201 | 804 |
| □ | 11 | EX-03 | SINGLE | EXISTING 100W METAL HALIDE FIXTURE AND 2' POLE | 100 | 1210 |

LIGHTING PLAN
SCALE: 1" = 40' (24x36) 1" = 80' +/- (11x17)

- LIGHTING NOTES:**
- Light poles are 25' tall.
 - Footcandle values are calculated at 2'-6" A.F.G.
 - Footcandle values are maintained with a .90 lumen loss factor.

National Lighting Vendor:
For pricing and technical assistance contact: Rob Thomson of CBMC INC, tel# 317-828-4119 / rthomson@cbmcinc.com
William Proctor - Lighting Consultant - wproctor@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and/or IECC Energy Codes.
The information contained in this document is proprietary to CBMC Lighting Solutions. This document is prepared for a specific site and incorporates calculations based on data available from the client at this time. By accepting and using this document, the recipient agrees to protect its contents from further dissemination, [other than that within the organization necessary to evaluate such specification] without the written permission of CBMC Lighting Solutions. The contents of this document are not to be reproduced or copied in whole or in part without the written permission of CBMC Lighting Solutions. copyright © 2018 CBMC Lighting Solutions all rights reserved.

CBMC LIGHTING SOLUTIONS
5855 KOPETSKY DR. SUITE G. | INDIANAPOLIS, IN 46217
317-780-8350 | WWW.CBMCINC.COM



This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.
Contractor to check and verify all dimensions on site before commencing any work shown.

CROSSROAD ENGINEERS, P.C.
3417 SHERMAN DRIVE
BEECH GROVE, IN 46107
CrossRoadEngineers.com

OUTLOOK CHRISTIAN CHURCH
Lighting Photometric Calculations
DRIVEWAY ADDITION
Scale: NTS Project No: CB15725-R2 Revision
Date: 10/14/19 Drawing No:
Drawn By: WP
Checked By: PM / JK
E01 **2**