

APPROVAL PENDING - NOT FOR CONSTRUCTION

Alexander Ridge

Section 3

Developed by:

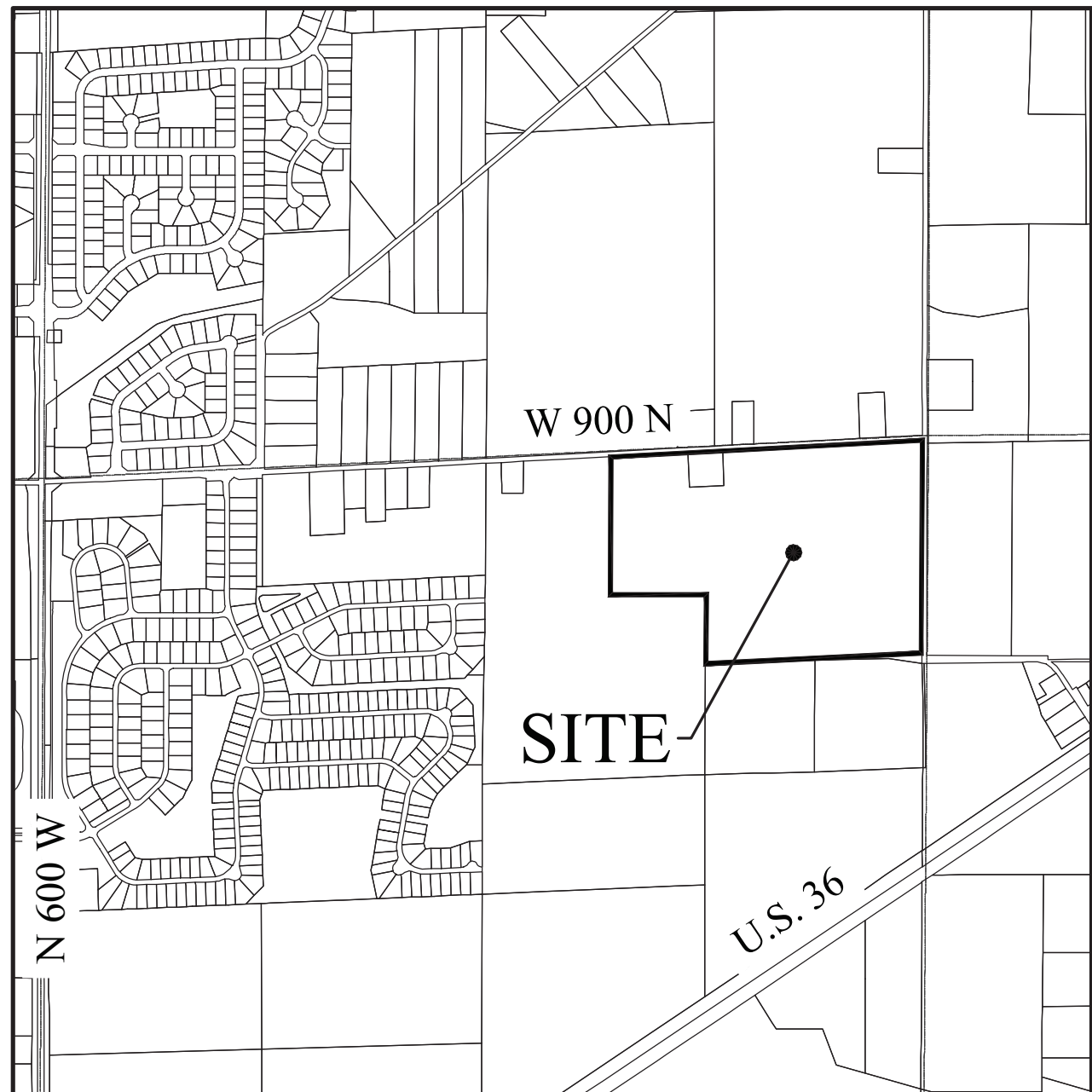
LENNAR

11555 North Meridian Street, SUITE 400

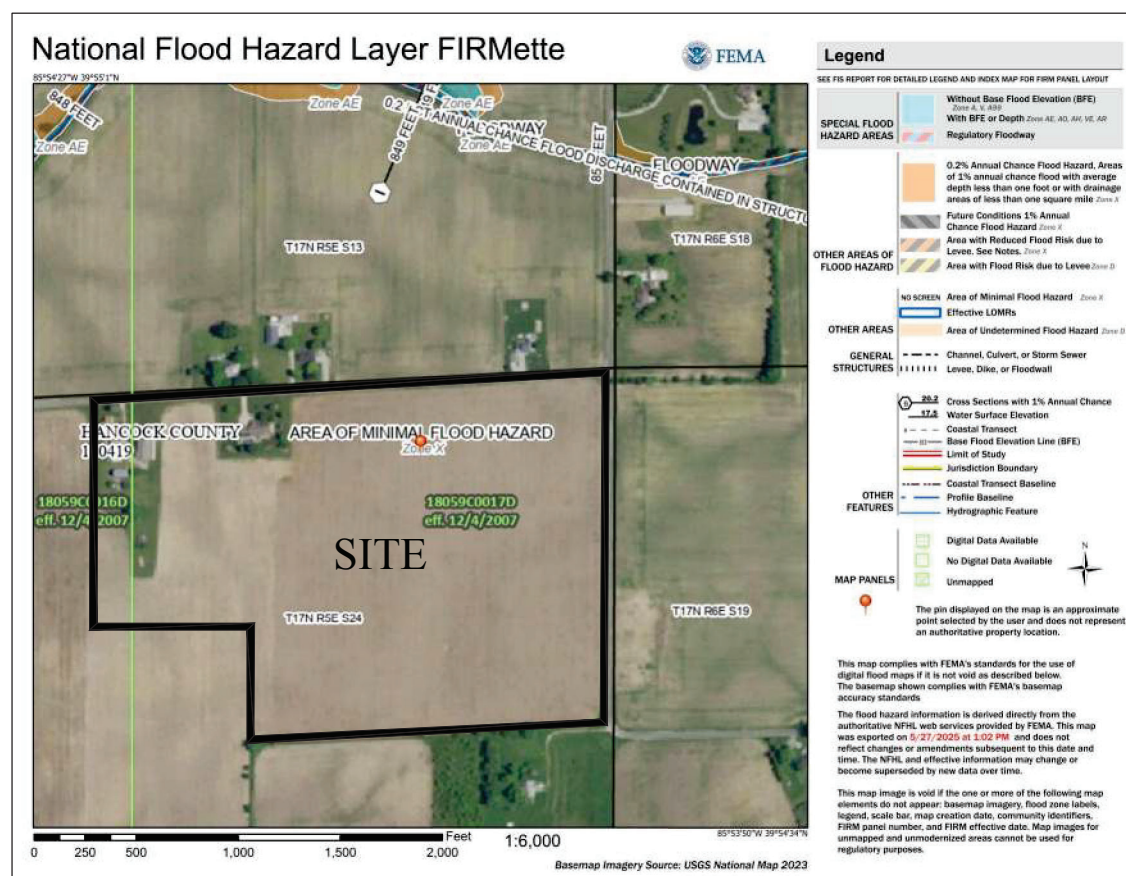
Carmel, Indiana 46032

Phone: (317) 659-3200

Contact Person: Greg Binter



LOCATION MAP
(N.T.S.)



FLOOD MAP
(N.T.S.)
INDEX

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SHT.	DESCRIPTION
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REVISIONS

SHT.	DESCRIPTION

DESIGN DATA	
107 LOTS	
53.290 AC.	= 2.01 LOTS/ACRE

DENALI DRIVE	968.97 L.F.
ELBERT DRIVE	883.73 L.F.
EVEREST DRIVE	625.78 L.F.
FARMSTEAD LANE	962.55 L.F.
JENNIFER RIDGE WAY	454.04 L.F.
SUNFLOWER COURT	529.86 L.F.
SUSAN CIRCLE	417.01 L.F.
SYRACUSE WAY	722.93 L.F.
RED BARN PASS	167.00 L.F.
W. GLENVIEW DRIVE	127.52 L.F.
TOTAL	5,859.39 L.F.

ALEXANDER RIDGE SEC. 3 LOT INDEX

TOTAL	107
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SECTION 1	SECTION 2
COMMON AREA INDEX	COMMON AREA INDEX
C.A.#1 19,266 sq. ft.	C.A.#5 37,541 sq. ft.
C.A.#2 160,135 sq. ft.	C.A.#6 6,777 sq. ft.
C.A.#3 57,017 sq. ft.	C.A.#7 5,418 sq. ft.
C.A.#4 63,636 sq. ft.	C.A.#8 183,582 sq. ft.
TOTALS 300,054 sq. ft.	TOTALS 233,318 sq. ft.
6.888 Ac.	5.356 Ac.

SECTION 3
COMMON AREA INDEX
C.A.#9 292,247 sq. ft.
C.A.#10 236,452 sq. ft.
C.A.#11 81,841 sq. ft.
C.A.#12 53,025 sq. ft.
TOTALS 663,565 sq. ft.
15.233 Ac.

UTILITY CONTACTS

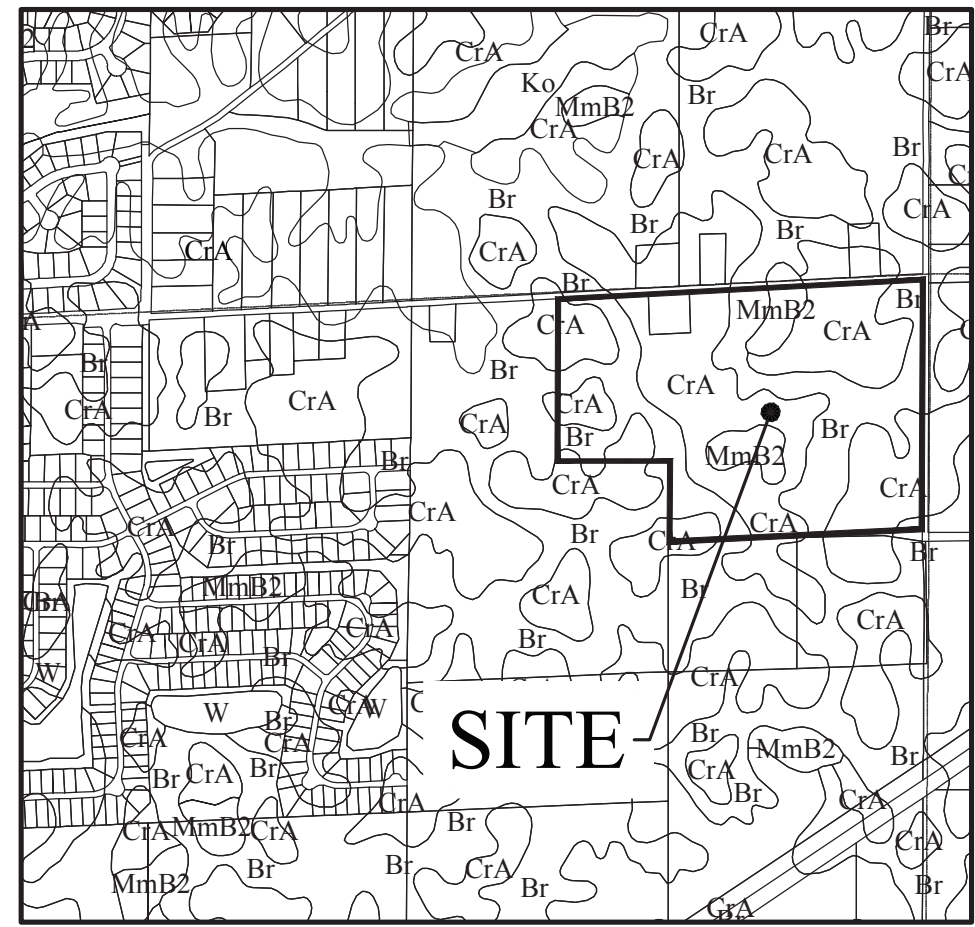
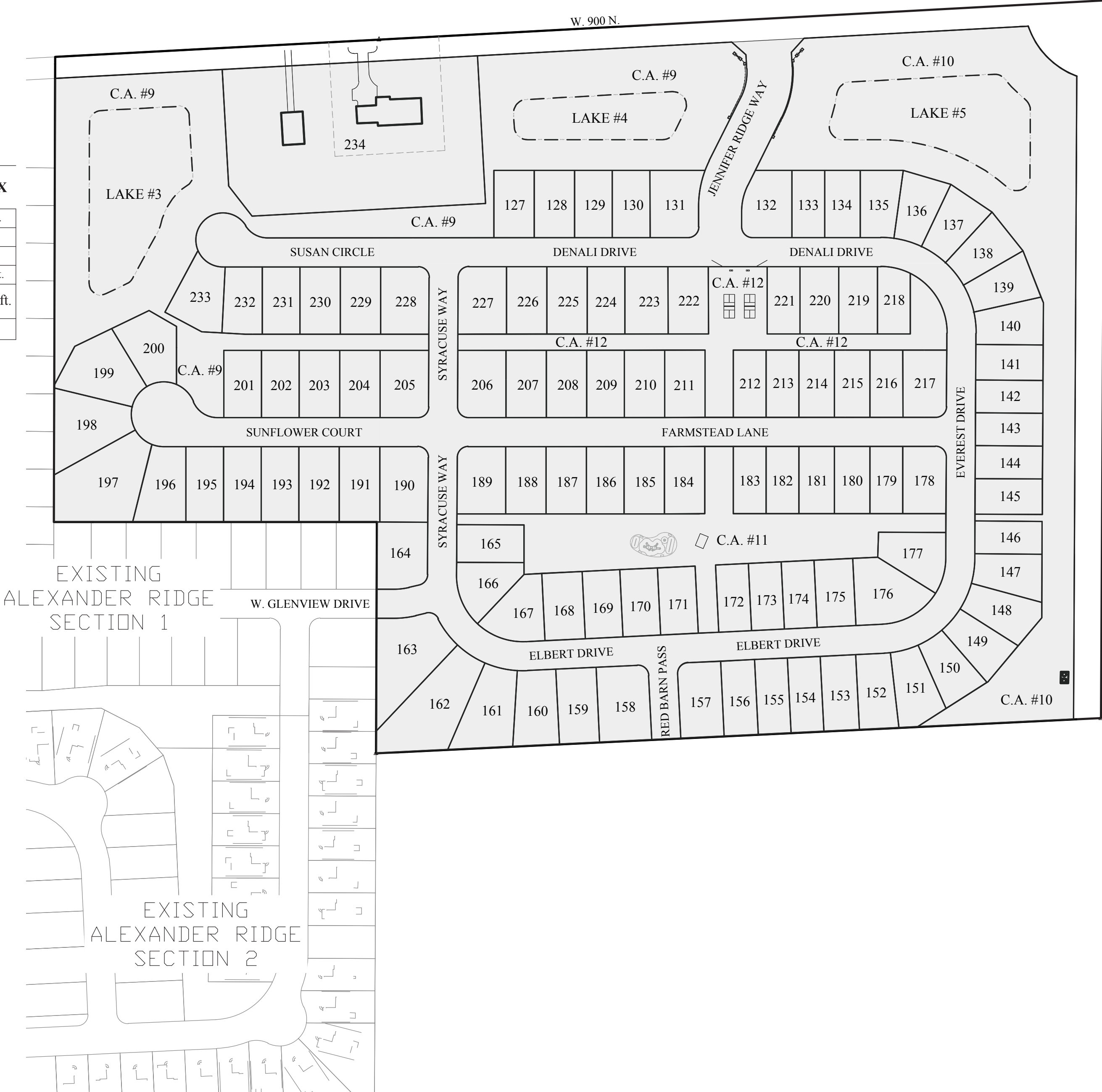
Citizens Energy Group (Water)
2150 Dr. Martin Luther King Jr. Street
Indianapolis, Indiana 46202
Contact: Brad Hostetler
Ph: (317) 927-4351

NineStar Connect
2243 East Main Street
Greenfield, Indiana 46140
Contact: Eric Meyer
Ph: (317) 323-2074

Comcast
5330 East 65th. Street
Indianapolis, Indiana 46220
Contact: Matt Stringer
Ph: (317) 774-3384

Vectren Energy
201 West South Street
Greenfield, Indiana 46140
Contact: Nick Dearing
Ph: (765) 648-3246

McCordsville Utility Department (Wastewater)
6280 W 800 N
McCordsville, Indiana 46055
Contact: Stephanie Crider
Ph: (317) 335-1044



SOILS MAP
(N.T.S.)

Map Unit: Br - Brookston silty clay loam

Br--Brookston silty clay loam
This poorly drained soil has a seasonal high watertable above the surface or within 1.0 ft. and is in depressions. Slopes are 0 to 2 percent. The native vegetation is water tolerant grasses and hardwoods. The surface layer is silty clay loam and has moderate or high organic matter content (2.0 to 5.0 percent). Permeability is moderately slow (0.2 to 0.6 in/hr) in the most restrictive layer above 60 inches. Available water capacity is high (10.0 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 6.1 to 7.3. This soil is hydric. Wetness is a management concern for crop production. This soil responds well to tile drainage.

Map Unit: Crosby silt loam-Urban land complex, 0 to 2 percent slopes

CrA--Crosby silt loam, 0 to 2 percent slopes
This is a somewhat poorly drained soil and has a seasonal high watertable at 0.5 to 2.0 ft. and is on rises on uplands. Slopes are 0 to 2 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low or moderate organic matter content (1.0 to 3.0 percent). Permeability is very slow (< 0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is moderate (6.2 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and wetness are management concerns for crop production. This soil responds well to tile drainage.

Map Unit: MmB2- Miami silt loam, 2 to 6 percent slopes, eroded

This moderately well drained soil has a seasonal high watertable at 2.0 to 3.5 ft. and is on sideslopes and rises on uplands. Slopes are 2 to 6 percent. The native vegetation is hardwoods. The surface layer is silt loam and has moderately low organic matter content (1.0 to 2.0 percent). Permeability is very slow (< 0.06 in/hr) in the most restrictive layer above 60 inches. Available water capacity is low (5.9 inches in the upper 60 inches). The pH of the surface layer in non-limed areas is 5.1 to 6.0. Droughtiness and water erosion are management concerns for crop production.

LAND DESCRIPTION

I, the undersigned Professional Land Surveyor, hereby certify the included plat correctly represents a subdivision of a part of the Northeast Quarter of Section 24, Township 17 North, Range 05 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana, being more particularly described as follows:

Commencing at the northwest corner of said Quarter Section; thence North 86 degrees 54 minutes 57 seconds East, along the North line of said Quarter Section, a distance of 747.79 feet to Northeast corner of Alexander Ridge, Section 1, per plat thereof recorded in Plat Cabinet D, Slide 299, as Instrument Number 202407378 in the Office of the Recorder of Hancock County, Indiana, and the POINT OF BEGINNING of this description: thence continuing North 86 degrees 54 minutes 57 seconds East, along said line, a distance of 1952.75 feet to the Northeast corner of said Quarter Section; thence South 00 degrees 18 minutes 01 second West, along the East line of said Quarter Section, a distance of 1,333.96 feet to the Southeast corner of the Northeast Quarter of said Quarter Section; thence South 87 degrees 13 minutes 16 seconds West, along the South line of said Quarter-Quarter Section, a distance of 1,348.48 feet to the Southwest corner thereof; thence North 00 degrees 14 minutes 26 seconds East, along the West line of said Quarter-Quarter Section, a distance of 430.13 feet to the Northeast corner of Lot 20 in the aforementioned Alexander Ridge, Section 1; thence North 90 degrees 00 minutes 00 seconds West, along a North line of said Subdivision, a distance of 600.39 feet to the Northwest corner of Lot 12 in said Subdivision; thence North 00 degrees 10 minutes 08 seconds East, along an East line of said Subdivision, a distance of 864.13 feet to the place of beginning, containing 53.290 acres, more or less, the above described tract of land also includes Lot Number One (1) In Lowell Alexander-Minor Subdivision, of a Part of the North Half of the Northeast Quarter of Section 24, Township 17 North, Range 5 East, in Vernon Township, Hancock County, Indiana, as per plat thereof recorded May 24, 1993, as Instrument #93-4996, In Plat Cabinet B, Slide 137, in said Recorder's Office.

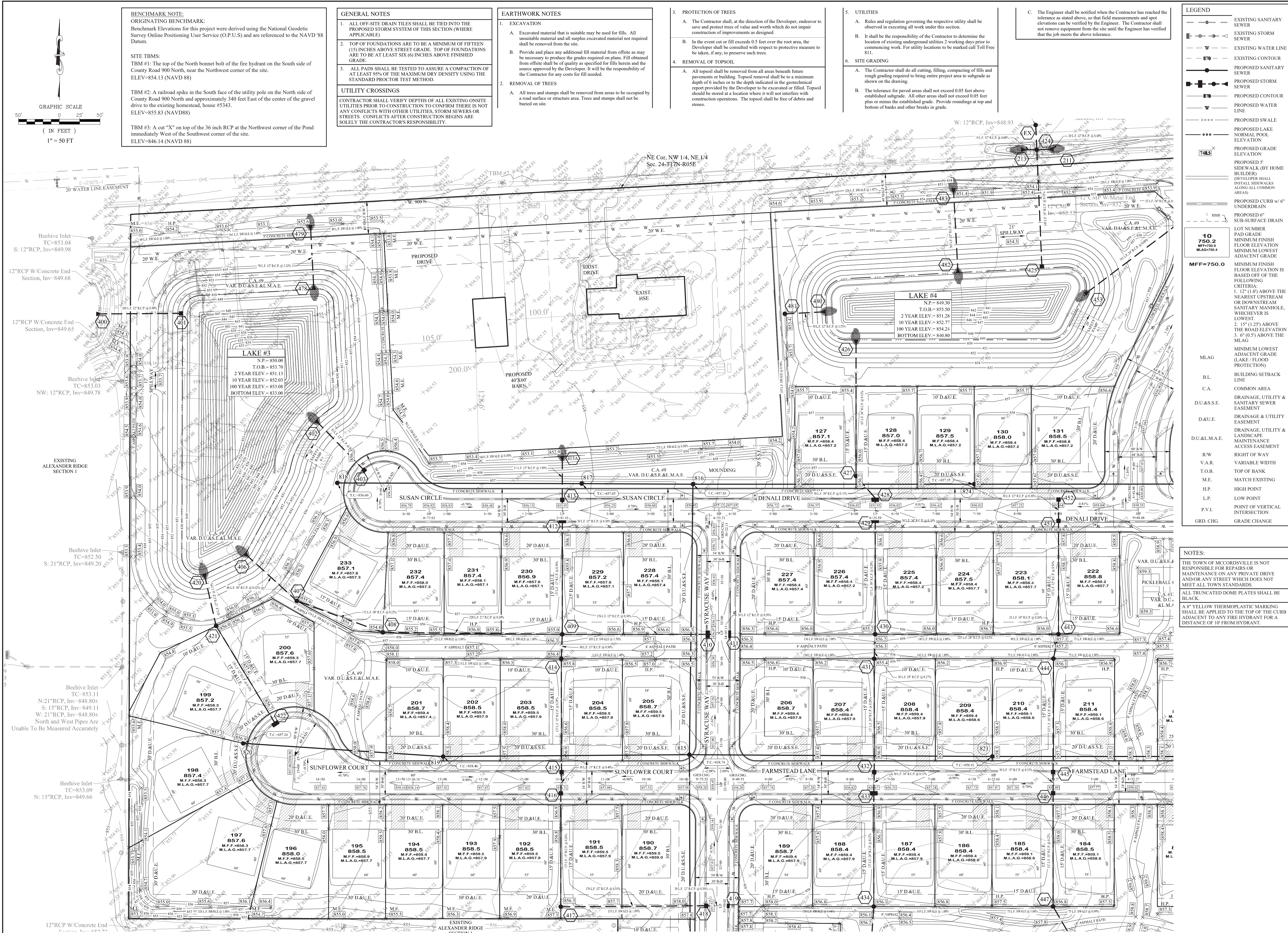
PLANS PREPARED BY:
STOEPPELWERTH & ASSOCIATES, INC.
CONSULTING ENGINEERS & LAND SURVEYORS
7965 E. 106TH STREET, FISHERS, INDIANA 46038
PHONE: (317)-849-5935
FAX: (317)-849-5942
CONTACT PERSON: KEITH R. GILSON
EMAIL: kgilson@stoepfelwerth.com

PLANS CERTIFIED BY:

BRIAN M. BROWN
PROFESSIONAL ENGINEER

06/05/25





APPROVAL PENDING (NOT FOR CONSTRUCTION)

STOEPELWERTH

ALWAYS ON

SITE DEVELOPMENT PLAN

ALEXANDER RIDGE

SECTION 3

DRAWN BY: GEM/CW

CHECKED BY: KRG

SHEET NO. C200

McCordsville

104403OLF-S3

DATE: 06/06/25

REVISIONS:

BY:

7965 East 10th Street, Fishers, IN 46038-2505

phone 317.849.5985 fax 317.849.5942

REGISTERED PROFESSIONAL ENGINEER

No. PE11200386

STATE OF INDIANA

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACTION, A ROUTE REPORT, OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 06/06/25

NOTES:

THE TOWN OF MCCORDSVILLE IS NOT RESPONSIBLE FOR REPAIRS OR MAINTENANCE ON ANY PRIVATE DRIVE AND/OR ANY STREET WHICH DOES NOT MEET ALL TOWN STANDARDS.

ALL TRUNCATED DOME PLATES SHALL BE BLACK.

A 8" YELLOW THERMOPLASTIC MARKING SHALL BE APPLIED TO THE TOP OF THE CURB ADJACENT TO ANY FIRE HYDRANT FOR A DISTANCE OF 10' FROM HYDRANT.

LEGEND	
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING CONTOUR
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED CONTOUR
	PROPOSED WATER LINE
	PROPOSED SWALE
	PROPOSED LAKE NORMAL POOL ELEVATION
	PROPOSED GRADE ELEVATION
	PROPOSED 5' SIDEWALK (BY HOME BUILDER)
	PROPOSED 6' SUB-SURFACE DRAIN
	PROPOSED CURB w/ 6' UNDERDRAIN
	PROPOSED 6' SUB-SURFACE DRAIN
	LOT NUMBER
	PAD GRADE
	MINIMUM FINISH FLOOR ELEVATION
	MINIMUM LOWEST ADJACENT GRADE
	MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE FOLLOWING CRITERIA:
	1. 12" (1.0') ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.
	2. 15" (1.25') ABOVE THE ROAD ELEVATION
	3. 6" (0.5') ABOVE THE MLAG
	MINIMUM LOWEST ADJACENT GRADE (LAKE FLOOD PROTECTION)
	B.L. BUILDING SETBACK LINE
	C.A. COMMON AREA
	D.U.&S.S.E. DRAINAGE, UTILITY & SANITARY SEWER EASEMENT
	D.&U.E. DRAINAGE & UTILITY EASEMENT
	D.U.&L.M.A.E. DRAINAGE, UTILITY & LANDSCAPE ACCESS EASEMENT
	R/W RIGHT OF WAY
	V.A.R. VARIABLE WIDTH
	T.O.B. TOP OF BANK
	M.E. MATCH EXISTING
	H.P. HIGH POINT
	L.P. LOW POINT
	P.V.I. POINT OF VERTICAL INTERSECTION
	GRD. CHG. GRADE CHANGE

R.C.P. © 8



IN FEET

1" = 50 FT

ORIGINATING BENCHMARK:

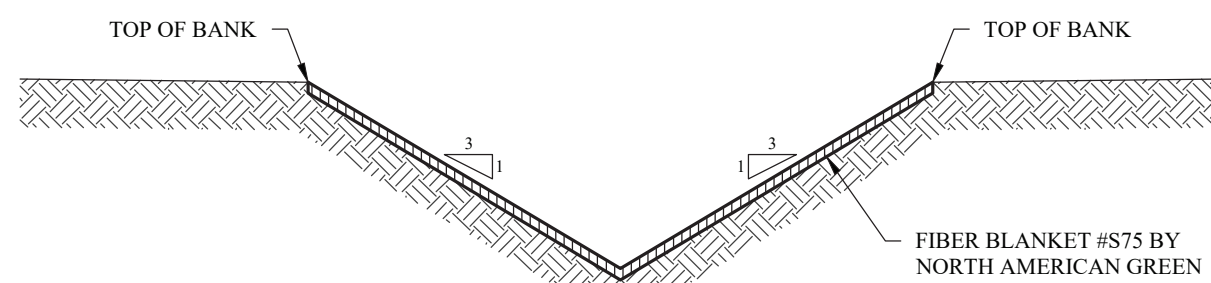
Benchmark Elevations for this pro

TBM #1: The

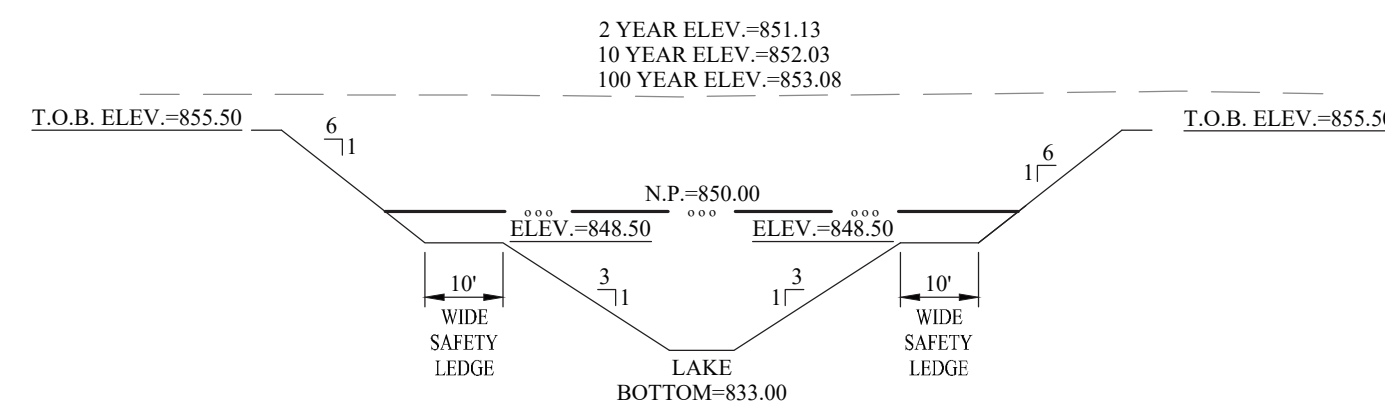
FI EV-855 83 (NAYD88)

TBM #3: A cut X on top of the 36 inch RCP at the Northwest corner of the Pond immediately West of the Southwest corner of the site.

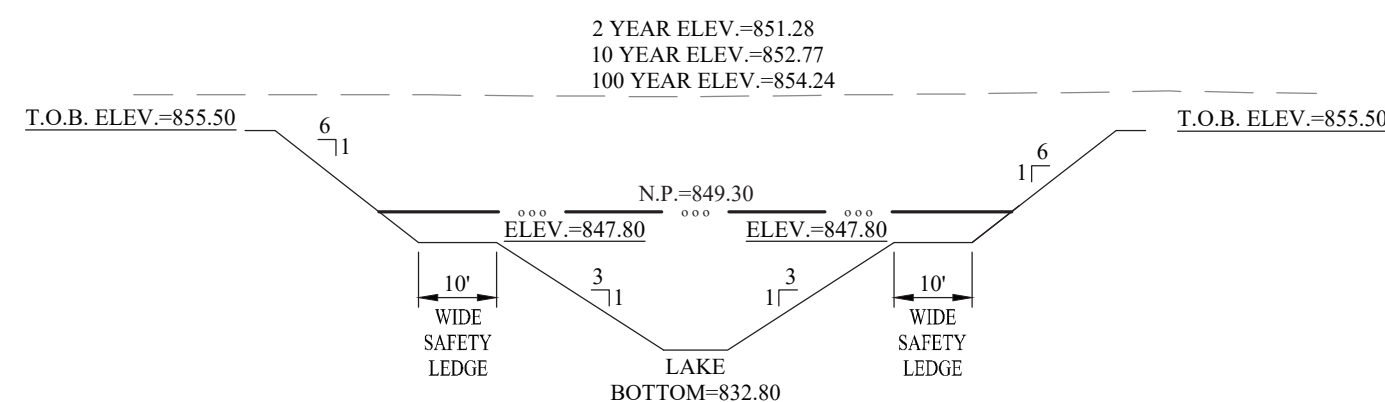
ELEV=846.14 (NAVD 88)



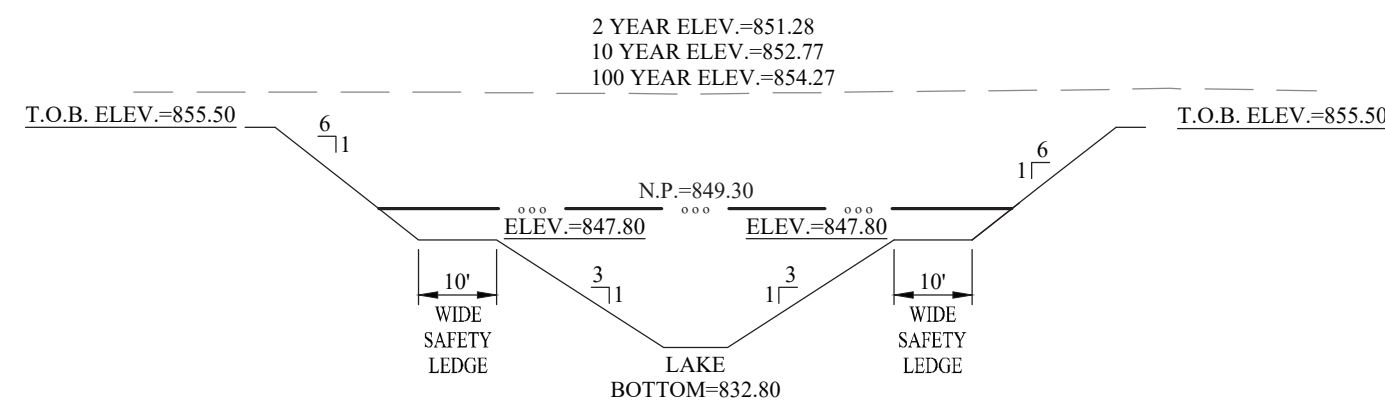
NOT-TO-SCALE



CROSS SECTION
LAKE #3
"A"-"A"



CROSS SECTION
LAKE # 4
"B"-"B"



CROSS SECTION
LAKE # 5
"C"-"C"

LEGEND	
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	EXISTING WATER LINE
	EXISTING CONTOUR
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED CONTOUR
	PROPOSED WATER LINE
	PROPOSED SWALE
	PROPOSED LAKE NORMAL POOL ELEVATION
	PROPOSED GRADE ELEVATION
	PROPOSED 5' SIDEWALK (BY HOME BUILDER)
	DRIVEWAY SHALL INSTALL SIDEWALKS AROUND ALL COMING AREAS
	PROPOSED CURB w/ 6" UNDERDRAIN
	PROPOSED 6" SUB-SURFACE DRAIN
	LOT NUMBER
	MINIMUM FINISH FLOOR ELEVATION
	MINIMUM LOWEST ADJACENT GRADE
	MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE FOLLOWING CRITERIA: 1. 12" (1.0') ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST 2. 15" (1.25') ABOVE THE ROAD ELEVATION 3. 6" (0.5') ABOVE THE M.L.G. MINIMUM LOWEST - ADJACENT GRADE (LAKE / FLOOD PROTECTION)
	M.L.G.
	BUILDING SETBACK LINE
	COMMON AREA
	DRAINAGE, UTILITY & SANITARY SEWER EASEMENT
	DRAINAGE & UTILITY EASEMENT
	DRAINAGE, UTILITY & LANDSCAPE MAINTENANCE ACCESS EASEMENT
	RIGHT OF WAY
	VARIABLE WIDTH
	TOP OF BANK
	MATCH EXISTING
	HIGH POINT
	LOW POINT
	POINT OF VERTICAL INTERSECTION
	GRADE CHANGE

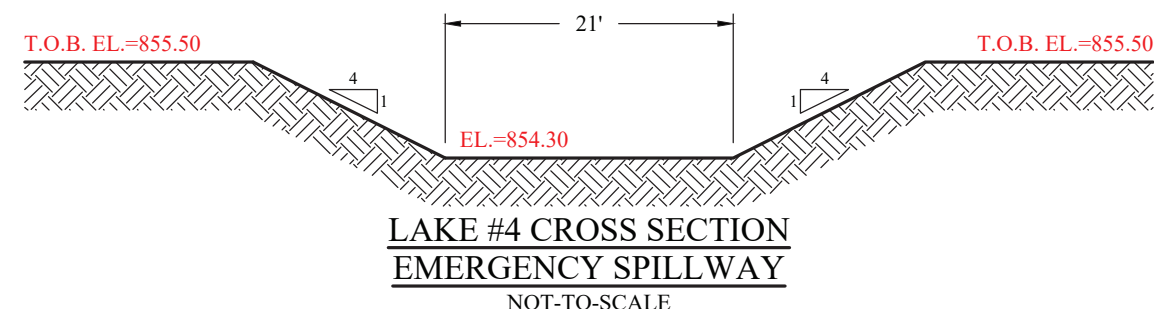
THE TOWN OF MCCORDSVILLE IS NOT RESPONSIBLE FOR REPAIRS OR MAINTENANCE ON ANY PRIVATE DRIVE AND/OR ANY STREET WHICH DOES NOT MEET ALL TOWN STANDARDS.

ALL TRUNCATED DOME PLATES SHALL BE BLACK.

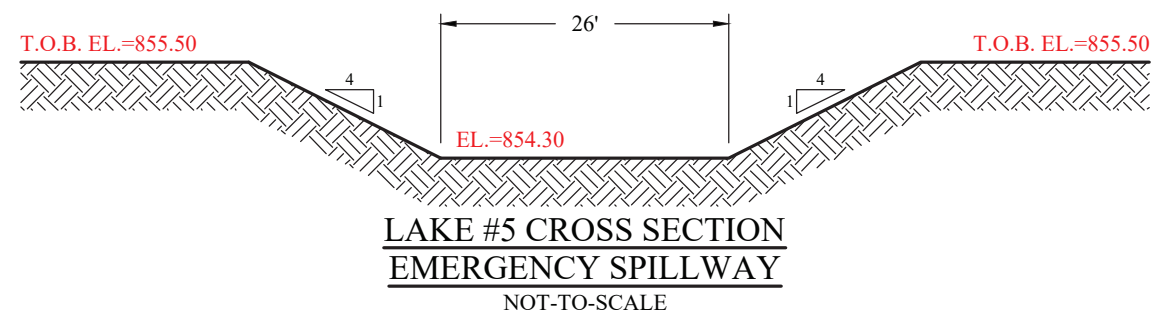
A 8" YELLOW THERMOPLASTIC MARKING SHALL BE APPLIED TO THE TOP OF THE CURB ADJACENT TO ANY FIRE HYDRANT FOR A DISTANCE OF 10' FROM HYDRANT.



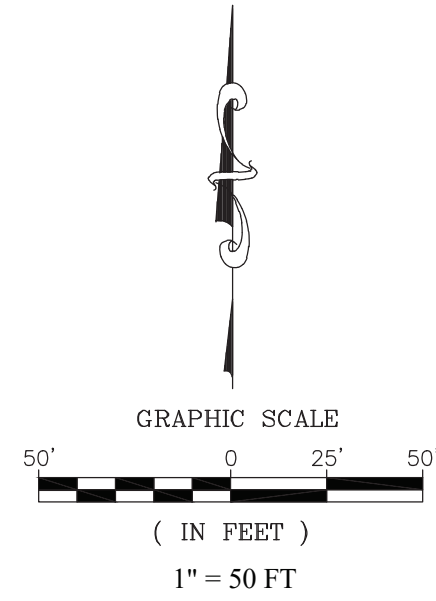
LAKE #3 CROSS SECTION
EMERGENCY SPILLWAY
NOT-TO-SCALE



LAKE #4 CROSS SECTION
EMERGENCY SPILLWAY
NOT-TO-SCALE



LAKE #5 CROSS SECTION
EMERGENCY SPILLWAY
NOT-TO-SCALE



BENCHMARK NOTE:
ORIGINATING BENCHMARK:
Benchmark Elevations for this project were derived using the National Geodetic Survey Online Positioning User Service (O.P.U.S) and are referenced to the NAVD'88 Datum.

SITE TBMS:
TBM #1: The top of the North bonnet bolt of the fire hydrant on the South side of County Road 900 North, near the Northwest corner of the site.
ELEV=854.13 (NAVD 88)

TBM #2: A railroad spike in the South face of the utility pole on the North side of County Road 900 North and approximately 340 feet East of the center of the gravel drive to the existing homestead, house #5343.
ELEV=855.83 (NAVD88)

TBM #3: A cut "X" on top of the 36 inch RCP at the Northwest corner of the Pond immediately West of the Southwest corner of the site.
ELEV=846.14 (NAVD 88)

NOTES:
THE TOWN OF MCCORDSVILLE IS NOT RESPONSIBLE FOR REPAIRS OR MAINTENANCE ON ANY PRIVATE DRIVE AND/OR ANY STREET WHICH DOES NOT MEET ALL TOWN STANDARDS.

ALL TRUNCATED DOME PLATES SHALL BE BLACK.

A 8" YELLOW THERMOPLASTIC MARKING SHALL BE APPLIED TO THE TOP OF THE CURB ADJACENT TO ANY FIRE HYDRANT FOR A DISTANCE OF 10' FROM HYDRANT.

- EARTHWORK NOTES**
- EXCAVATION**
 - Excavated material that is suitable may be used for fills. All unsuitable material and all surplus excavated material not required shall be removed from the site.
 - Provide and place any additional fill material from offsite as may be necessary to produce the grades required on plans. Fill obtained from offsite shall be of quality as specified for fills herein and the source approved by the Developer. It will be the responsibility of the Contractor for any costs for fill needed.
 - REMOVAL OF TREES**
 - All trees and stumps shall be removed from areas to be occupied by a road surface or structure area. Trees and stumps shall not be buried on site.
 - PROTECTION OF TREES**
 - The Contractor shall, at the direction of the Developer, endeavor to save and protect trees of value and worth which do not impair construction of improvements as designed.
 - In the event cut or fill exceeds 0.5 feet over the root area, the Developer shall be consulted with respect to protective measure to be taken, if any, to preserve such trees.
 - REMOVAL OF TOPSOIL**
 - All topsoil shall be removed from all areas beneath future pavements or building. Topsoil removal shall be to a minimum depth of 6 inches or to the depth indicated in the geotechnical report provided by the Developer to be excavated or filled. Topsoil should be stored at a location where it will not interfere with construction operations. The topsoil shall be free of debris and stones.
 - UTILITIES**
 - Rules and regulation governing the respective utility shall be observed in executing all work under this section.
 - It shall be the responsibility of the Contractor to determine the location of existing underground utilities 2 working days prior to commencing work. For utility locations to be marked call Toll Free 811.
 - SITE GRADING**
 - The Contractor shall do all cutting, filling, compacting of fills and rough grading required to bring entire project area to subgrade as shown on the drawing.
 - The tolerance for paved areas shall not exceed 0.05 feet above established subgrade. All other areas shall not exceed 0.05 feet plus or minus the established grade. Provide roundings at top and bottom of banks and other breaks in grade.
 - The Engineer shall be notified when the Contractor has reached the tolerance as stated above, so that field measurements and spot elevations can be verified by the Engineer. The Contractor shall not remove equipment from the site until the Engineer has verified that the job meets the above tolerance.

- GENERAL NOTES**
- ALL OFF-SITE DRAIN TILES SHALL BE TIED INTO THE PROPOSED STORM SYSTEM OF THIS SECTION (WHERE APPLICABLE)
 - TOP OF FOUNDATIONS ARE TO BE A MINIMUM OF FIFTEEN (15) INCHES ABOVE STREET GRADE. TOP OF FOUNDATIONS ARE TO BE AT LEAST SIX (6) INCHES ABOVE FINISHED GRADE.
 - ALL PADS SHALL BE TESTED TO ASSURE A COMPACTION OF AT LEAST 95% OF THE MAXIMUM DRY DENSITY USING THE STANDARD PROCTOR TEST METHOD.
- UTILITY CROSSINGS**
CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ONSITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES. STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.

LEGEND

- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- EXISTING WATER LINE
- EXISTING CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED CONTOUR
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED LAKE
- PROPOSED NORMAL POOL ELEVATION
- PROPOSED GRADE ELEVATION
- PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
- PROPOSED CURB w/ 6" UNDERDRAIN
- PROPOSED 6" SUB-SURFACE DRAIN
- LOT NUMBER
- PAD GRADE
- MINIMUM FINISH FLOOR ELEVATION
- MINIMUM LOWEST ADJACENT GRADE
- MINIMUM FINISH FLOOR ELEVATION IS BASED OFF OF THE FOLLOWING CRITERIA:
1. 12" (1.0') ABOVE THE NEAREST UPSTREAM OR DOWNSTREAM SANITARY MANHOLE, WHICHEVER IS LOWEST.
2. 15" (1.25') ABOVE THE ROAD ELEVATION
3. 6" (0.5') ABOVE THE MLAG
MINIMUM LOWEST ADJACENT GRADE (LAKE/ FLOOD PROTECTION)
- MLAG
- B.L. BUILDING SETBACK LINE
- C.A. COMMON AREA

10
750.2
M.F.F.=750.9
M.L.A.G.=750.4
MFF=750.0

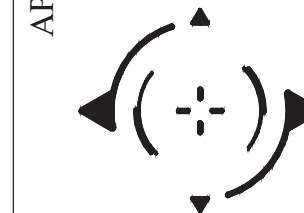
D.U.&S.S.E.	DRAINAGE, UTILITY & SANITARY SEWER EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&L.M.A.E.	DRAINAGE, UTILITY & LANDSCAPE MAINTENANCE ACCESS EASEMENT
R/W	RIGHT OF WAY
V.A.R.	VARIABLE WIDTH
T.O.B.	TOP OF BANK
M.E.	MATCH EXISTING
H.P.	HIGH POINT
L.P.	LOW POINT
P.V.I.	POINT OF VERTICAL INTERSECTION
GRD. CHG.	GRADE CHANGE

APPROVAL PENDING (NOT FOR CONSTRUCTION)

SITE DEVELOPMENT PLAN

ALEXANDER RIDGE

SECTION 3



STOEPELWERTH

ALWAYS ON

7965 East 10th Street, Fishers, IN 46038-2505
phone 317.840.5985 fax 317.840.5942

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACTION OR ORIGINAL BOUNDARY SURVEY. A ROUTE REPORT OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 06/06/25

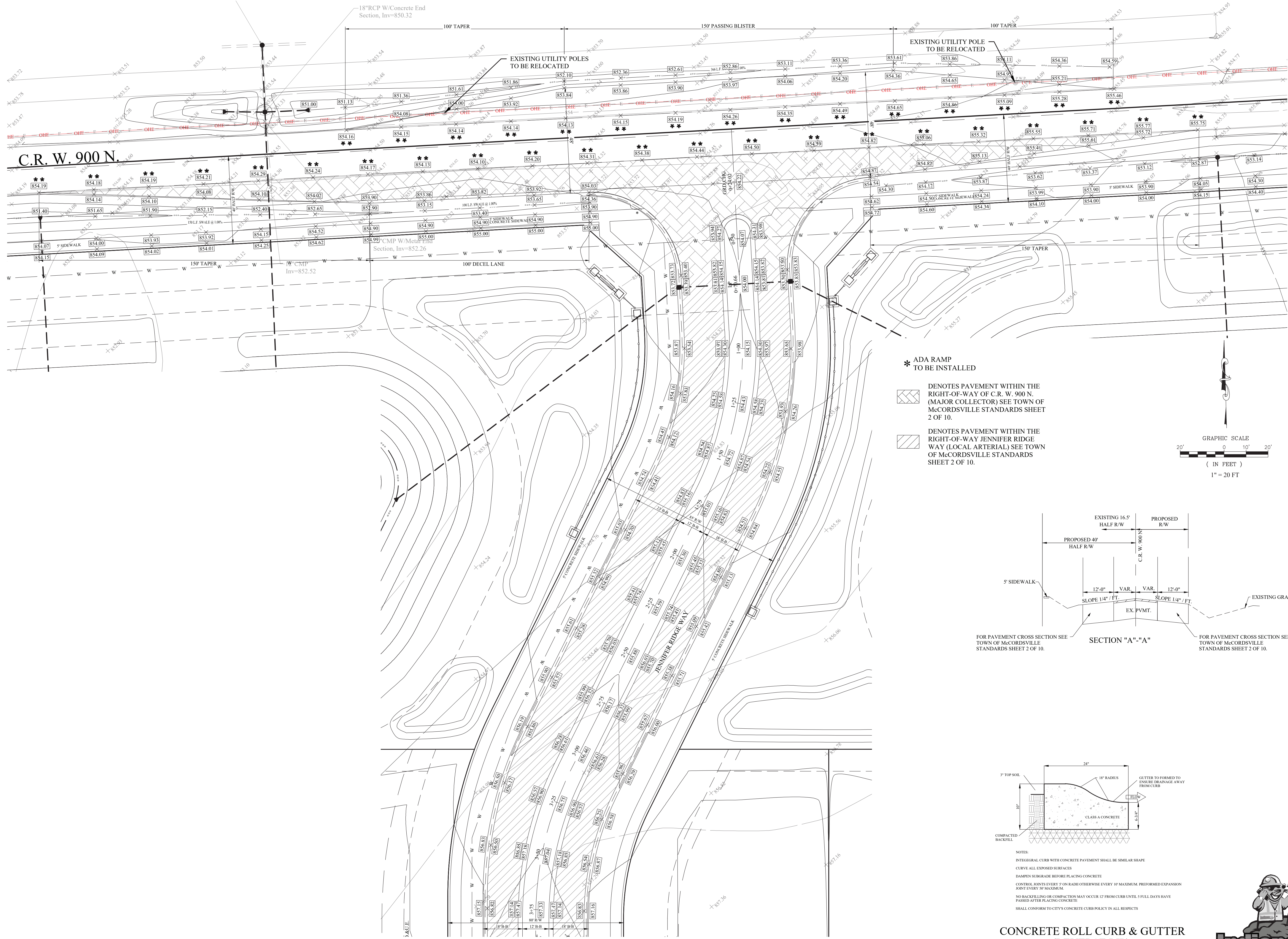


DATE MARK

BY

MCCORDSVILLE

HANCOCK COUNTY, INDIANA



INTERSECTION DETAIL
DENALI DRIVE & JENNIFER RIDGE WAY

CONCRETE ROLL CURB & GUTTER
(REVERSE LIP)
NOT TO SCALE

NOTES:
INTEGRAL CURB WITH CONCRETE PAVEMENT SHALL BE SIMILAR SHAPE
CURVE ALL EXPOSED SURFACES
DAMPEN SUBGRADE BEFORE PLACING CONCRETE
CONTROL JOINTS EVERY 5' ON RADII OTHERWISE EVERY 10' MAXIMUM. PREFORMED EXPANSION
JOINT EVERY 90' MAXIMUM.
NO BACKFILLING OR COMPACTION MAY OCCUR 12' FROM CURB UNTIL 3 FULL DAYS HAVE
PASSED AFTER PLACING CONCRETE.
SHALL CONFORM TO CITY'S CONCRETE CURB POLICY IN ALL RESPECTS



INTERSECTION DETAILS

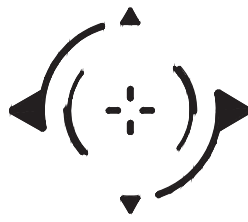
ALEXANDER RIDGE

SECTION 3

McCordsville

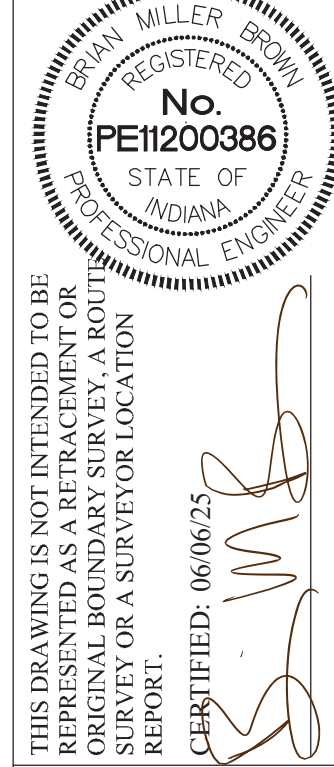
APPROVAL PENDING/NOT FOR CONSTRUCTION

STOEPPELWERTH



ALWAYS ON

7905 East 104th Street, Fishers, IN 46038-2505
phone: 317.849.5925 fax: 317.849.5942



DATE

MARK

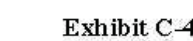
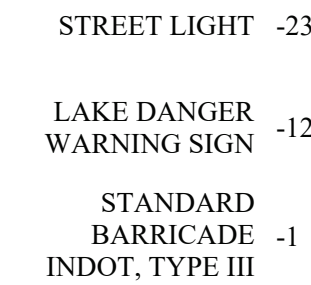
REVISIONS

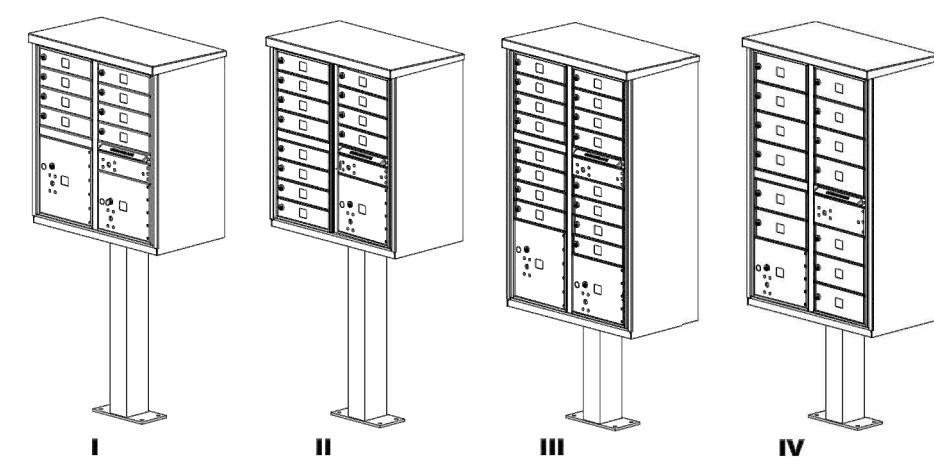
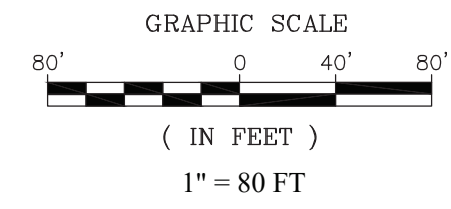
BY



ALL STREET LIGHTS SHALL MEET THE TOWN OF MCCORDSVILLE ZONING AND SUBDIVISION CONTROL ORDINANCE.

ALL STREET SIGNS SHALL BE MOUNTED ON BLACK POST, SIGNS SHALL HAVE BLACK BACK-SIDES, AND BE IN KEEPING WITH EXHIBIT C-4 OF THE PUD.





	TYPE I	TYPE II	TYPE III	TYPE IV
INSTALLED HEIGHT	62"	62"	62"	62"
DEPTH	17-7/8"	17-7/8"	17-7/8"	17-7/8"
WIDTH	30-1/2"	30-1/2"	30-1/2"	30-1/2"
WEIGHT (WITHOUT PEDESTAL)	107 LBS	111 LBS	147 LBS	137 LBS
WEIGHT (WITH PEDESTAL)	125 LBS	129 LBS	162 LBS	152 LBS
QTY OF STANDARD COMPARTMENTS	8	12	16	13
QTY OF PARCEL COMPARTMENTS	2	1	2	1
PARCEL COMPARTMENT HEIGHT	10", 13"	10"	10", 13"	10"

AF PART # 50194 Rev B 3



CBU PLAN
ALEXANDER RIDGE
SECTION 3

APPROVAL PENDING/NOT FOR CONSTRUCTION

PROVAL PENDING/NOT FOR CONSTRUCTION
STOEPPELWERTH

EPPEL
ALWAYS ON
7965 East 106th Street, Fishers, IN
phone: 317.849.5935 fax: 317.849.5936

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 06/06/25

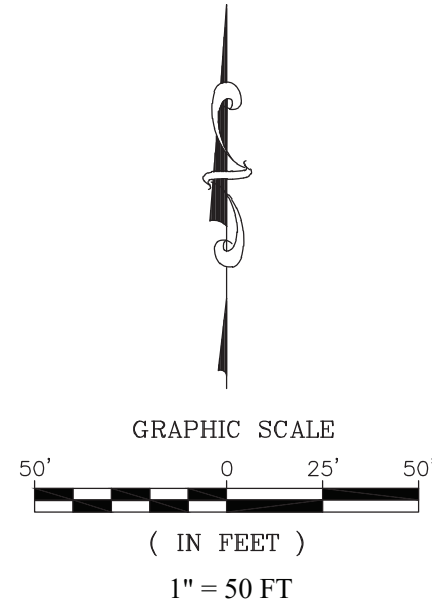
[Signature]

SEAN MILLER BROWN
REGISTERED
No. PE11200386
STATE OF INDIANA
PROFESSIONAL ENGINEER

THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

[illegible]

File Name: S:\104403\LEN-SD\DWG\CG08 - Sub-Surface Drain Plan.dwg - C608
Drawn By: GEM/CDW
Checked By: KRG
Plotted By: June 5, 2025 6:35:22 AM / Christopher Wells



LEGEND

- EXISTING SANITARY SEWER
- => EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- w — PROPOSED WATER LINE
- - - PROPOSED SSD
- - - EXISTING SSD

ALL LOTS WILL BE SLAB CONSTRUCTION ONLY



APPROVAL PENDING/NOT FOR CONSTRUCTION

STOEPPELWERTH

SUB-SURFACE DRAIN PLAN

ALEXANDER RIDGE

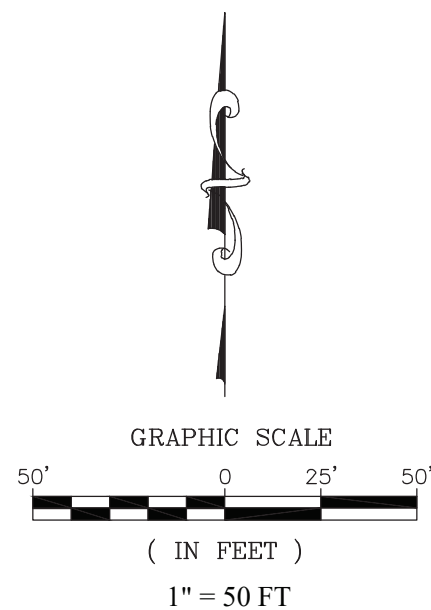
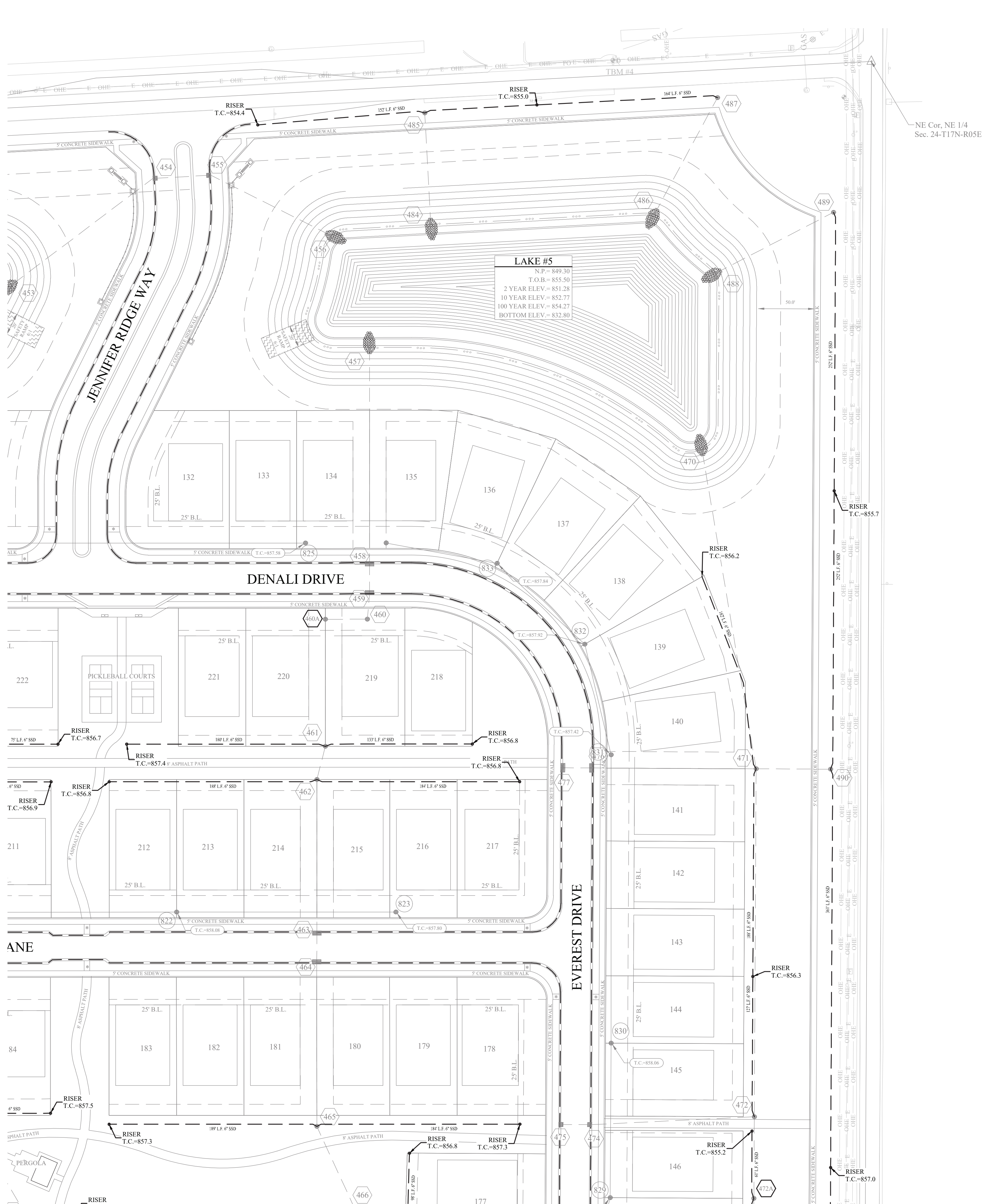
SECTION 3

MCCORDSVILLE HANCOCK COUNTY, INDIANA

DRAWN BY: GEM/CDW
CHECKED BY: KRG
SHEET NO: **C608**
S.A.A. JOB NO: 104403OLF-S3

THIS DRAWING IS NOT INTENDED TO BE USED FOR ANY OTHER PURPOSE THAN THE ORIGINAL BOUNDARY SURVEY AND ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.
CERTIFIED: 06/06/25

File Name: S:\104403\LEN-S3\DWG\CS08 - Sub-Surface Drain Plan.dwg - C609
Modified By: June 4, 2025 6:52:55 PM / Christopher Wells
Plotted By: June 5, 2025 6:35:33 AM / Christopher Wells



- LEGEND
- EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - w — PROPOSED WATER LINE
 - PROPOSED SSD
 - - - EXISTING SSD

ALL LOTS WILL BE SLAB CONSTRUCTION ONLY



APPROVAL PENDING/NOT FOR CONSTRUCTION

STOEPPELWERTH

SUB-SURFACE DRAIN PLAN

ALEXANDER RIDGE

SECTION 3

McCORDSVILLE

HANCOCK COUNTY, INDIANA

DRAWN BY:
GEM/CDW

CHECKED BY:
KRG

SHEET NO.
C609

S.A.A. JOB NO.
104403OLF-S3

THIS DRAWING IS NOT INTENDED TO BE A SUBSTITUTE FOR AN ORIGINAL BOUNDARY SURVEY. A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 06/06/25

BY

REVISIONS

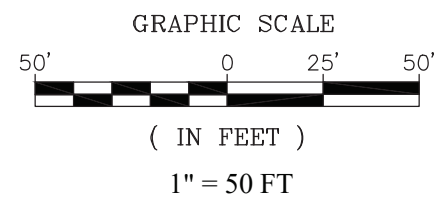
DATE

MARK

File Name: S:\104403\LEN-SD\DWG\C608 - Sub-Surface Drain Plan.dwg - C610
Modified By: J. Miller
Plotted By: June 5, 2025 6:35:43 AM / Christopher Wells



ALL LOTS WILL BE SLAB
CONSTRUCTION ONLY



- LEGEND
- EXISTING SANITARY SEWER
 - EXISTING STORM SEWER
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - PROPOSED WATER LINE
 - PROPOSED SSD
 - EXISTING SSD

APPROVAL PENDING/NOT FOR CONSTRUCTION

STOEPPELWERTH

ALWAYS ON

7905 East 104th Street, Fishers, IN 46038-2505
phone: 317.845.5935 fax: 317.845.5942

SUB-SURFACE DRAIN PLAN

ALEXANDER RIDGE

SECTION 3

MCCORDSVILLE

HANCOCK COUNTY, INDIANA

DRAWN BY:
GEM/CDW

CHECKED BY:
KRG

SHEET NO.

C610

S.A.A. JOB NO.
1044403OLF-S3

DATE

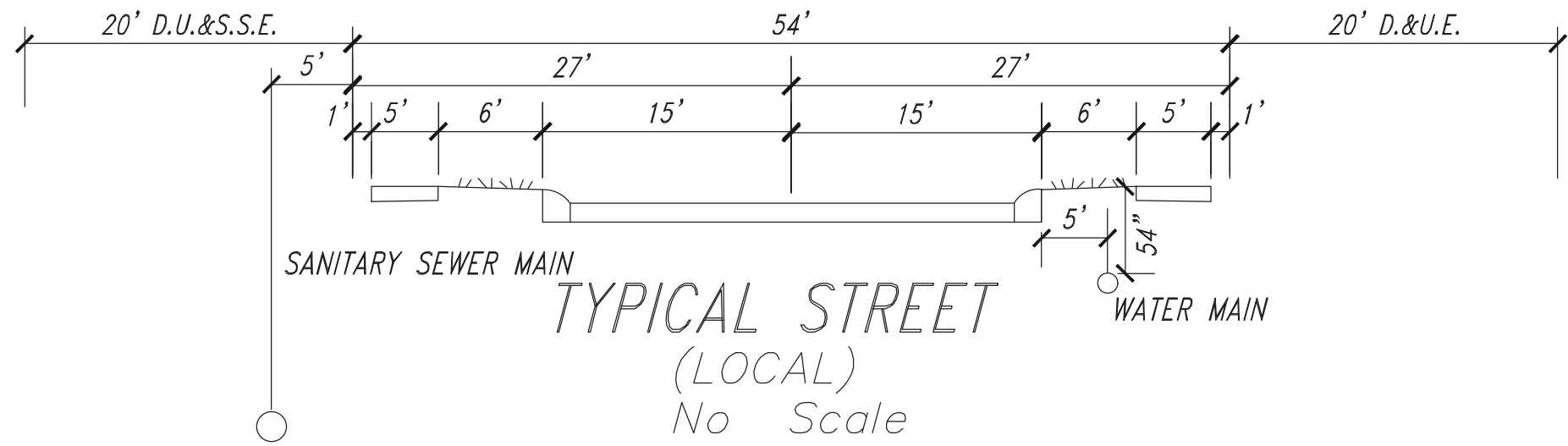
MARK

REVISIONS

BY

THIS DRAWING IS NOT INTENDED TO BE
USED FOR ANY OTHER PURPOSE THAN THE
ORIGINAL BOUNDARY SURVEY, A ROUTE
SURVEY OR A SURVEYOR LOCATION
REPORT.
CERTIFIED: 06/06/25

BRAND MILLER
REGISTERED
No.
PE1200386
STATE OF
INDIANA
PROFESSIONAL ENGINEER

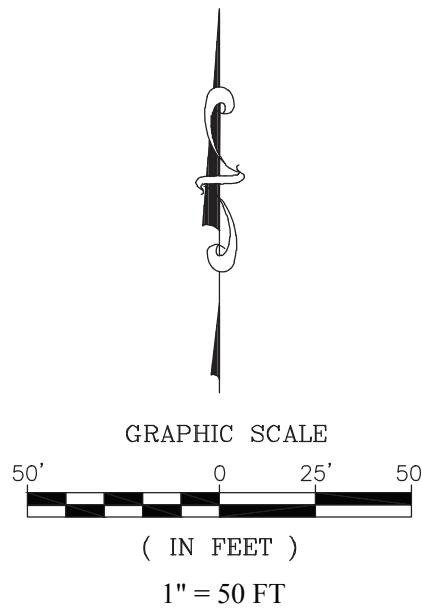


NOTES:

1. CONTRACTOR MUST HAVE AND FOLLOW CITIZENS WATER STANDARDS AND SPECIFICATIONS (LATEST VERSION)
2. FOR WATER SPECIFICATIONS, SEE THE MOST RECENT CITIZENS WATER SPECIFICATIONS AND STANDARDS.
3. MINIMUM COVER OVER TOP OF ALL WATER MAINS TO BE 54" FROM FINISH GRADE.
4. FIRE HYDRANTS SHALL HAVE A 5-INCH STORZ'S CONNECTION INSTALL.
5. VALVES TO BE PLACED IN GRASS AREAS.
6. ALL MAIN AND LATERAL ROAD CROSSINGS TO BE FULL DEPTH GRANULAR BACKFILL.
7. STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. ANY QUESTIONS, ASK CEG INSPECTOR.

NOTES:

8. ALL WATER MAINS MUST MAINTAIN A MINIMUM OF 10" HORIZONTAL SEPARATION AND A MINIMUM OF 18" VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWERS.
9. METER PIT LID MATERIAL WILL MEET THE REQUIREMENTS IN SECTION 8.23 OF THE WATER STANDARDS MANUAL.
10. #10 TRACER WIRE SHALL BE INSTALLED ON THE TOP OF ALL MAINS AND PULLED THROUGH VALVE BOXES.
11. TEMPORARY HYDRANTS CAN BE REUSED AS NEW HYDRANTS IF APPROVED BY THE INSPECTOR DURING CONSTRUCTION. IF THE HYDRANT(S) WILL NOT BE REUSED, RETURN TO CITIZENS ENERGY GROUP.



LEGEND

EXISTING FEATURES

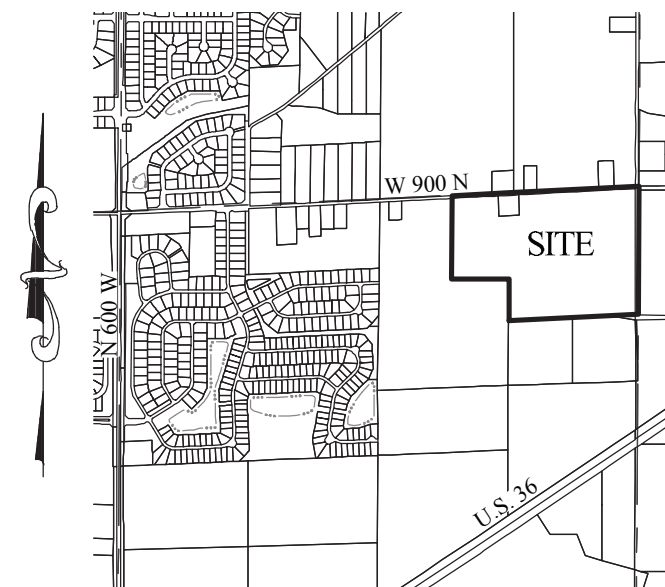
W	WATER MAIN
G	GAS MAIN
FM	FORCEMAIN, SANITARY
SS	SANITARY SEWER
ST	STORM SEWER

PROPOSED FEATURES

WM	WATER MAIN
SS	SANITARY SEWER
ST	STORM SEWER
PI	PARCEL ID
B	BEND
HV	HYDRANT WITH VALVE
GV	GATE VALVE
TJ	T.J. TEE
MS	M.J. SLEEVE
KB	KICKER BLOCK
P	PLUG
SP	SINGLE METER PIT & 1" HDPE WATER SERVICE LATERAL
C	CROSS

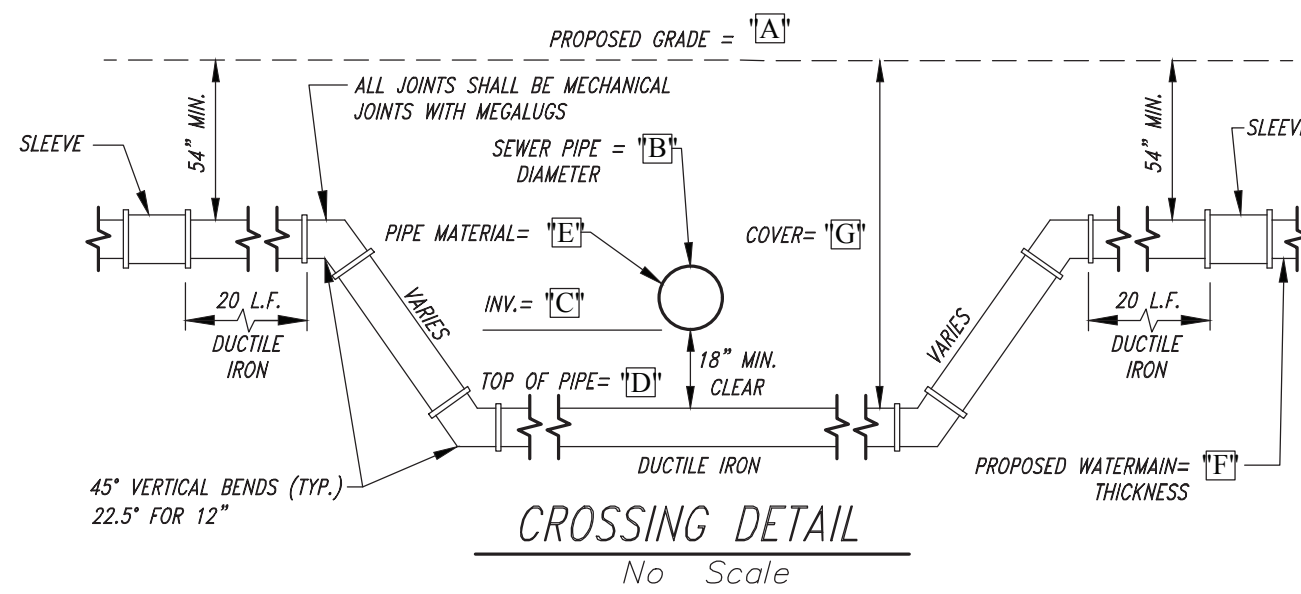
Project Location

Scale: 1" = 2000'



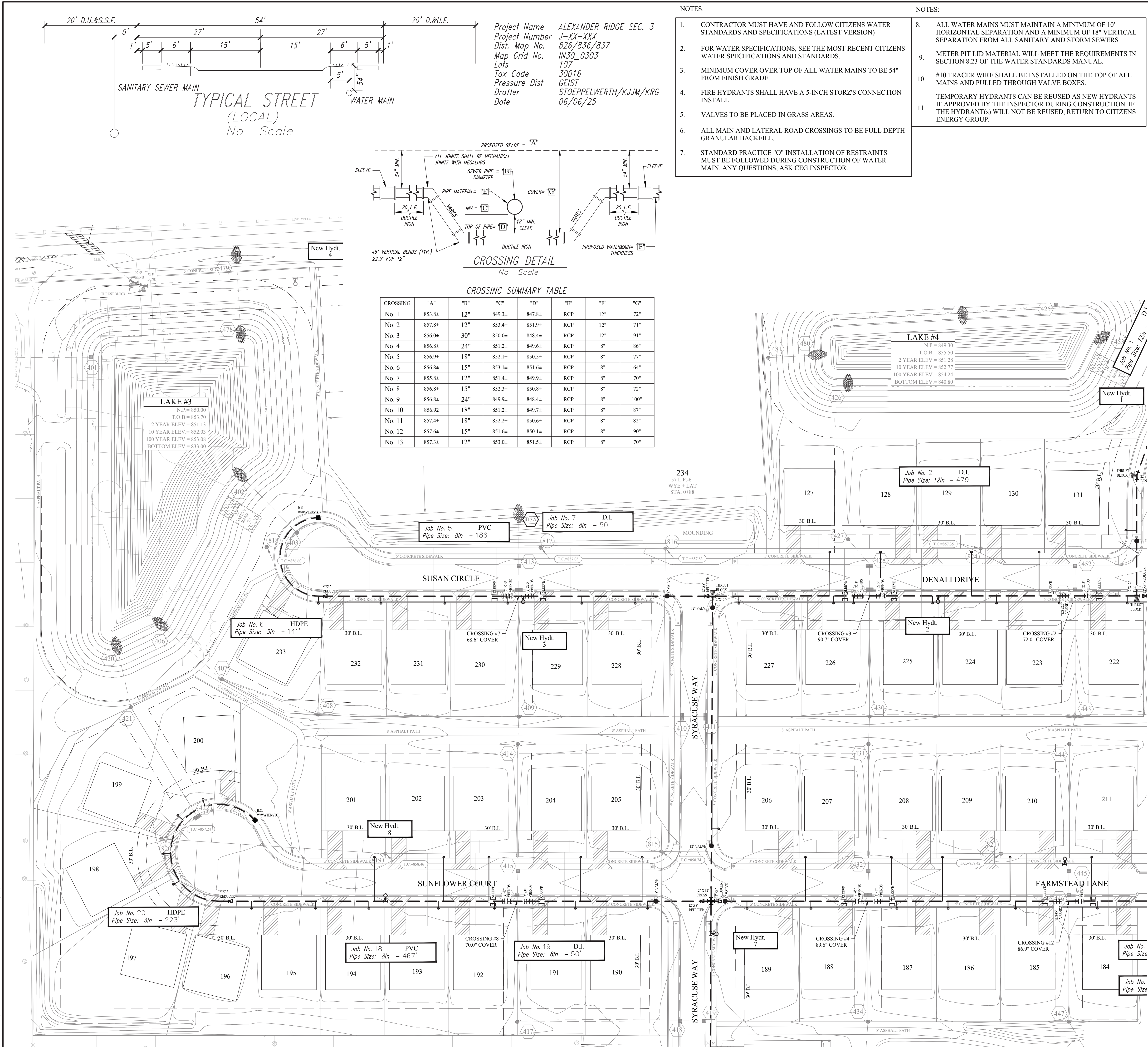
CITIZENS WATER PROJECT LEGEND

Project Name: ALEXANDER RIDGE, SECTION 3				
Project Number: J-XX-XXX _ OFFSITE				
JOB #	Street Name	Pipe Size	Pipe Type	Total Pipe
1	W. 900 N.	12"	D.I.	2,036'
# of Service Lines			TOTAL	2,036'
1	SINGLE SERVICE LINE PIPE	1"	HDPE	10'



CROSSING SUMMARY TABLE

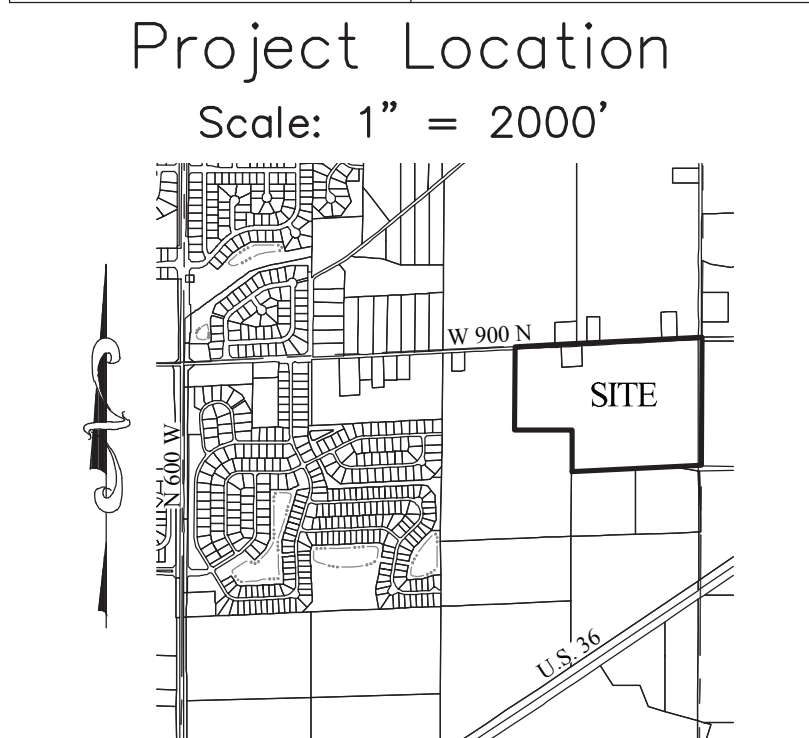
CROSSING	"A"	"B"	"C"	"D"	"E"	"F"	"G"
No. 1	854.4±	12"	851.2±	849.7±	RCP	12"	57"
No. 2	854.4±	18"	849.0±	847.5±	RCP	12"	82"
No. 3	856.4±	12"	849.7±	848.2±	RCP	12"	99"
No. 4	855.3±	12"	850.0±	848.5±	RCP	12"	81"



GRAPHIC SCALE
50' 0 25' 50'
(IN FEET)
1" = 50 FT

Know what's below.
Call before you dig.

LEGEND	
EXISTING FEATURES	
W	WATER MAIN
G	GAS MAIN
FM	FORCEMAIN, SANITARY
SS	SANITARY SEWER
ST	STORM SEWER
PROPOSED FEATURES	
WM	WATER MAIN
SS	SANITARY SEWER
ST	STORM SEWER
PI	PARCEL ID
B	BEND
HV	HYDRANT WITH VALVE
GV	GATE VALVE
TJT	T.J. TEE
MS	M.J. SLEEVE
KB	KICKER BLOCK
P	PLUG
SP	SINGLE METER PIT & 1" HDPE WATER SERVICE LATERAL
C	CROSS



CITIZENS WATER PROJECT LEGEND				
Project Name: ALEXANDER RIDGE, SECTION 3				
Project Number: J-XX-XXX				
JOB #	Street Name	Pipe Size	Pipe Type	Total Pipe
1	JENNIFER RIDGE WAY	12"	D.I.	422'
2	DENALI DRIVE	12"	D.I.	479'
3	DENALI DRIVE	8"	PVC	400'
4	DENALI DRIVE	8"	D.I.	50'
5	SUSAN CIRCLE	8"	P.V.C.	186'
6	SUSAN CIRCLE	3"	HDPE	141'
7	SUSAN CIRCLE	8"	D.I.	50'
8	SYRACUSE WAY	12"	D.I.	634'
9	SYRACUSE WAY	8"	PVC	82'
10	W. GLENVIEW DRIVE	12"	D.I.	153'
11	ELBERT DRIVE	8"	P.V.C.	715'
12	ELBERT DRIVE	8"	D.I.	150'
13	RED BARN PASS	8"	P.V.C.	137'
14	RED BARN PASS	8"	D.I.	50'
15	EVEREST STREET	8"	P.V.C.	569'
16	FARMSTEAD LANE	8"	P.V.C.	763'
17	FARMSTEAD LANE	8"	D.I.	150'
18	SUNFLOWER COURT	8"	P.V.C.	467'
19	SUNFLOWER COURT	8"	D.I.	50'
20	SUNFLOWER COURT	3"	HDPE	223'
# of Service Lines			TOTAL	5,871'
107	SINGLE SERVICE LINE PIPE	1"	HDPE	2881'

APPROVAL PENDING/NOT FOR CONSTRUCTION

STOEPPELWERTH

ALWAYS ON
7905 East 104th Street, Fishers, IN 46038-2505
phone: 317.849.5925 fax: 317.849.5942

WATER PLAN

ALEXANDER RIDGE

SECTION 3

McCordsville

DRAWN BY: GEM/CDW
CHECKED BY: KRG

SHEET NO.

C701

S & A JOB NO.
104403OLF-S3

BRAND MILLER
REGISTERED
No. PE1200386
STATE OF INDIANA
PROFESSIONAL ENGINEER

THIS DRAWING IS NOT INTENDED TO BE USED FOR ANY OTHER PROJECT OR FOR ANY OTHER PURPOSE THAN THAT SPECIFICALLY STATED ON THE ORIGINAL BOUNDARY SURVEY OR ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

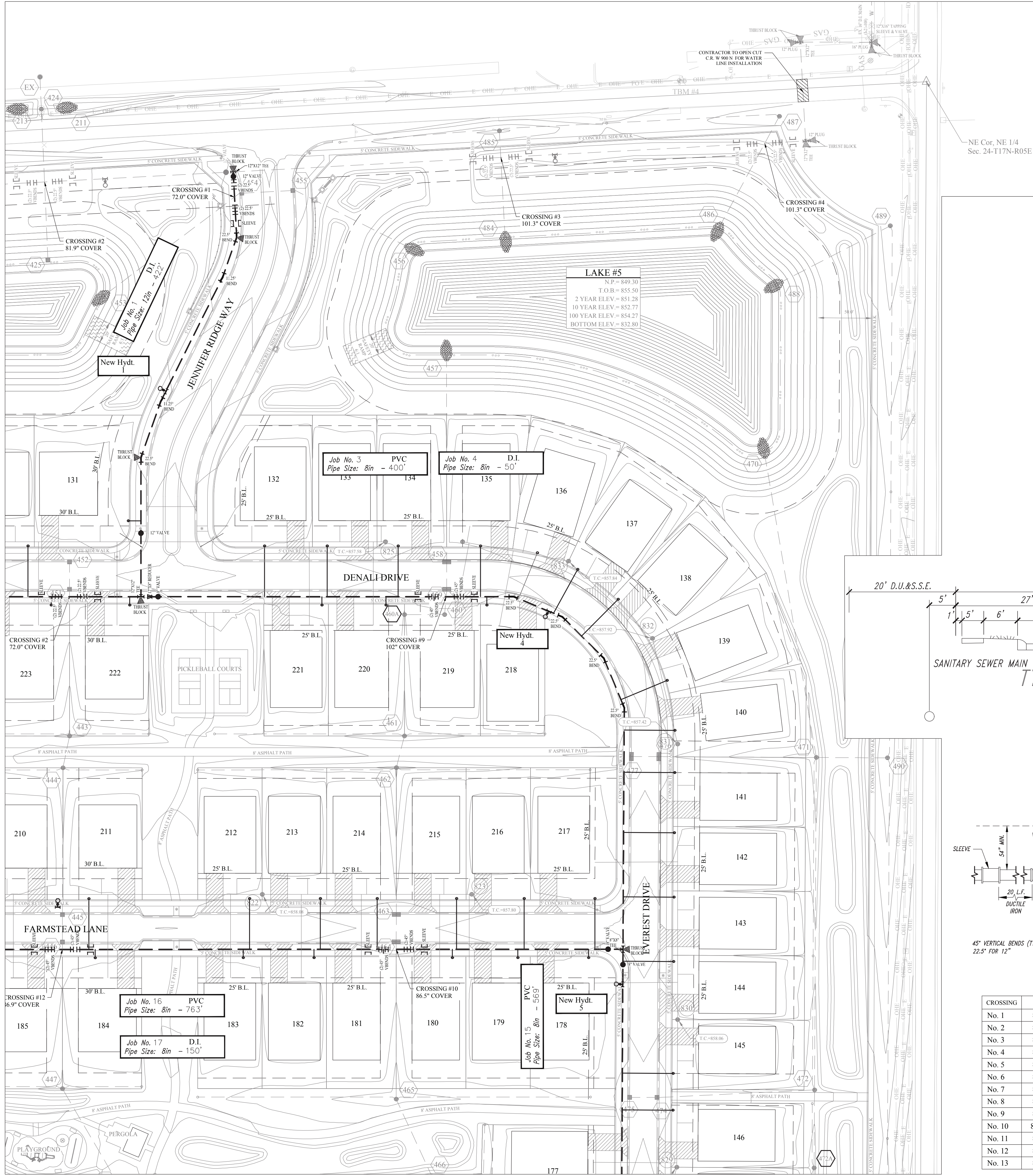
CERTIFIED: 06/06/25

DATE

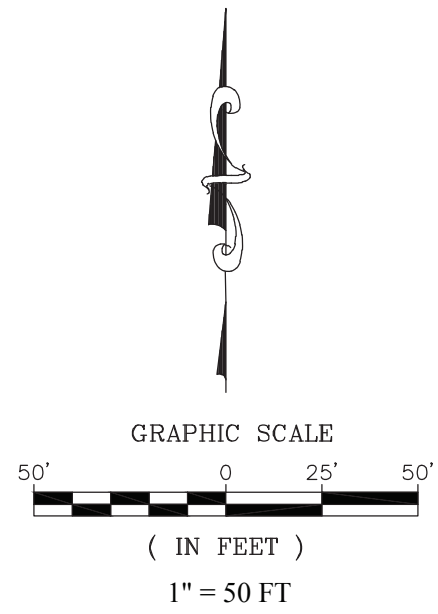
MARK

REVISIONS

BY

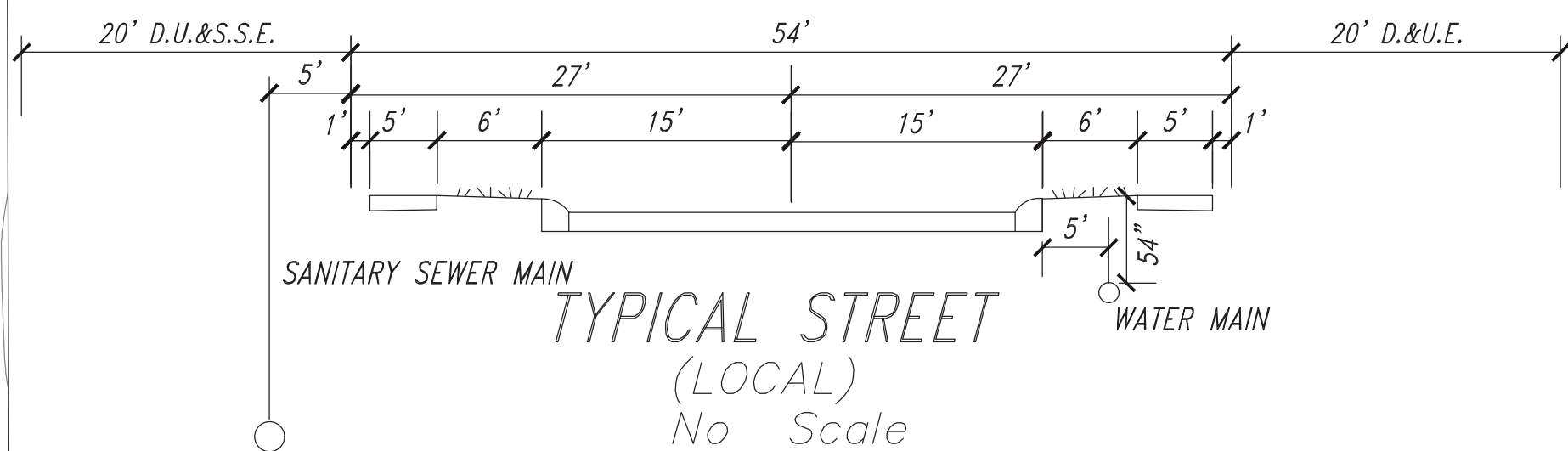


Project Name ALEXANDER RIDGE SEC. 3
Project Number J-XX-XXX
Dist. Map No. 826/836/837
Map Grid No. IN30_0303
Lots 107
Tax Code 30016
Pressure Dist GEIST
Drafter STOEPPELWERTH/KJJM/KRG
Date 06/06/25

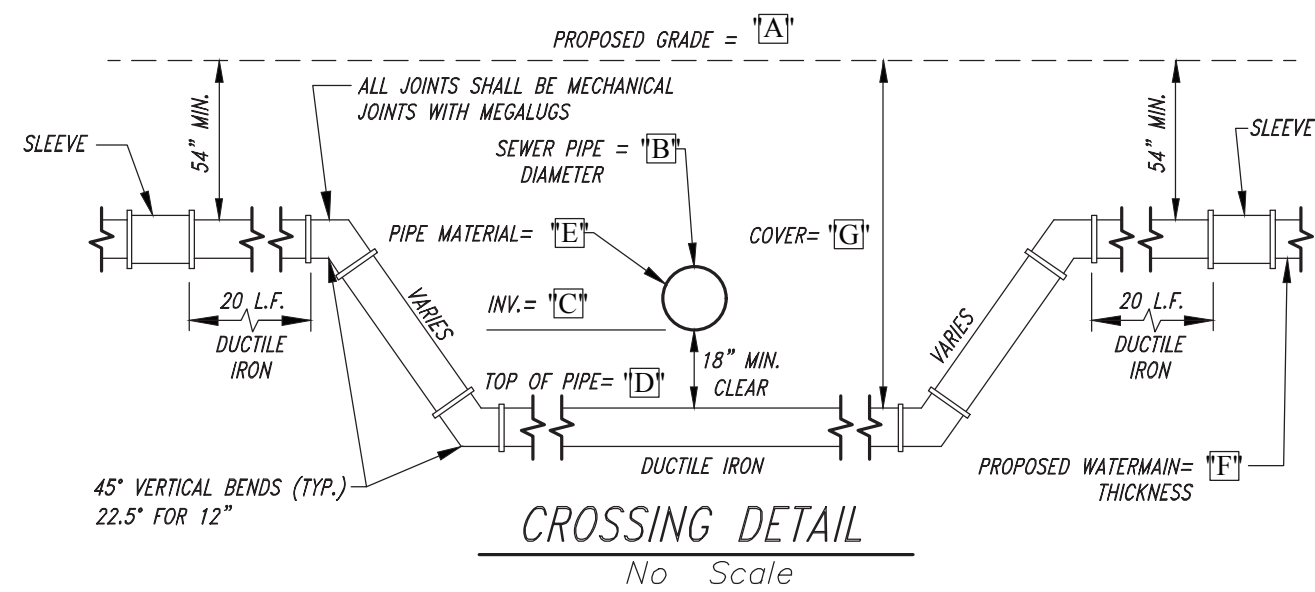
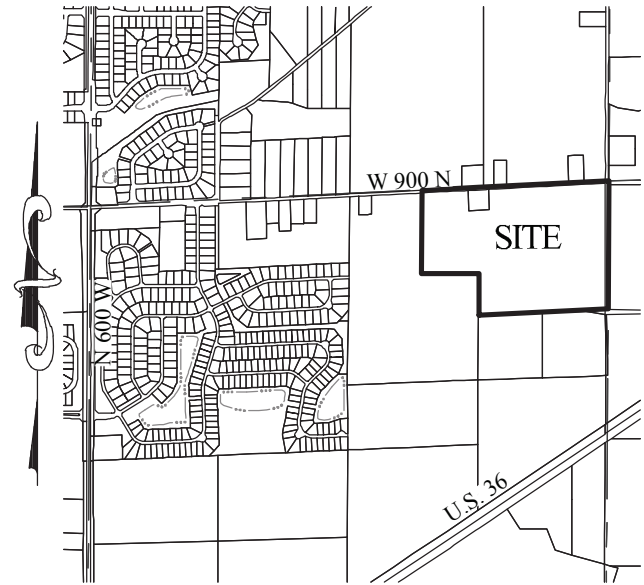


- NOTES:
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LEGEND	
EXISTING FEATURES	
	WATER MAIN
	GAS MAIN
	FORCEMAIN, SANITARY
	SANITARY SEWER
	STORM SEWER
PROPOSED FEATURES	
	WATER MAIN
	SANITARY SEWER
	STORM SEWER
	PARCEL ID
	BEND
	HYDRANT WITH VALVE
	GATE VALVE
	T.J. TEE
	M.J. SLEEVE
	KICKER BLOCK
	PLUG
	SINGLE METER PIT & 1' HDPE WATER SERVICE LATERAL
	CROSS



Project Location
Scale: 1" = 2000'



CROSSING SUMMARY TABLE							
CROSSING	"A"	"B"	"C"	"D"	"E"	"F"	"G"
No. 1	853.8±	12"	849.3±	847.8±	RCP	12"	72"
No. 2	857.8±	12"	853.3±	851.8±	RCP	12"	72"
No. 3	856.0±	30"	850.0±	848.4±	RCP	12"	91"
No. 4	856.8±	24"	850.8±	849.3±	RCP	8"	90"
No. 5	856.9±	18"	851.6±	850.1±	RCP	8"	82"
No. 6	857.0±	15"	852.7±	851.1±	RCP	8"	70"
No. 7	855.8±	15"	851.6±	850.0±	RCP	8"	69"
No. 8	856.8±	15"	852.5±	851.0±	RCP	8"	70"
No. 9	856.8±	24"	849.8±	848.3±	RCP	8"	102"
No. 10	856.92	21"	851.2±	849.7±	RCP	8"	87"
No. 11	857.4±	18"	852.8±	851.2±	RCP	8"	87"
No. 12	857.6±	15"	851.9±	850.3±	RCP	8"	87"
No. 13	857.3±	12"	853.1±	851.6±	RCP	8"	69"

CITIZENS WATER PROJECT LEGEND			
Project Name: ALEXANDER RIDGE, SECTION 3			
Project Number: J-XX-XXX			
JOB #	Street Name	Pipe Size	Total Pipe
1	JENNIFER RIDGE WAY	12"	D.I. 422'
2	DENALI DRIVE	12"	D.I. 479'
3	DENALI DRIVE	8"	PVC 400'
4	DENALI DRIVE	8"	D.I. 50'
5	SUSAN CIRCLE	8"	P.V.C. 186'
6	SUSAN CIRCLE	3"	HDPE 141'
7	SUSAN CIRCLE	8"	D.I. 50'
8	SYRACUSE WAY	12"	D.I. 634'
9	SYRACUSE WAY	8"	PVC 82'
10	W. GLENVIEW DRIVE	12"	D.I. 153'
11	ELBERT DRIVE	8"	P.V.C. 715'
12	ELBERT DRIVE	8"	D.I. 150'
13	RED BARN PASS	8"	P.V.C. 137'
14	RED BARN PASS	8"	D.I. 50'
15	EVEREST STREET	8"	P.V.C. 569'
16	FARMSTEAD LANE	8"	P.V.C. 763'
17	FARMSTEAD LANE	8"	D.I. 150'
18	SUNFLOWER COURT	8"	P.V.C. 467'
19	SUNFLOWER COURT	8"	D.I. 50'
20	SUNFLOWER COURT	3"	HDPE 223'
# of Service Lines		TOTAL	5,871'
107	SINGLE SERVICE LINE PIPE	1"	HDPE 2881'

APPROVAL PENDING/NOT FOR CONSTRUCTION

STOEPPELWERTH

REGISTERED PROFESSIONAL ENGINEER
No. PE1200386
STATE OF INDIANA
DATE: 06/06/25
SIGNATURE: [Signature]

7905 East 104th Street, Fishers, IN 46038-2505
phone: 317.849.5925 fax: 317.849.5942

ALWAYS ON

WATER PLAN

ALEXANDER RIDGE

SECTION 3

McCordsville

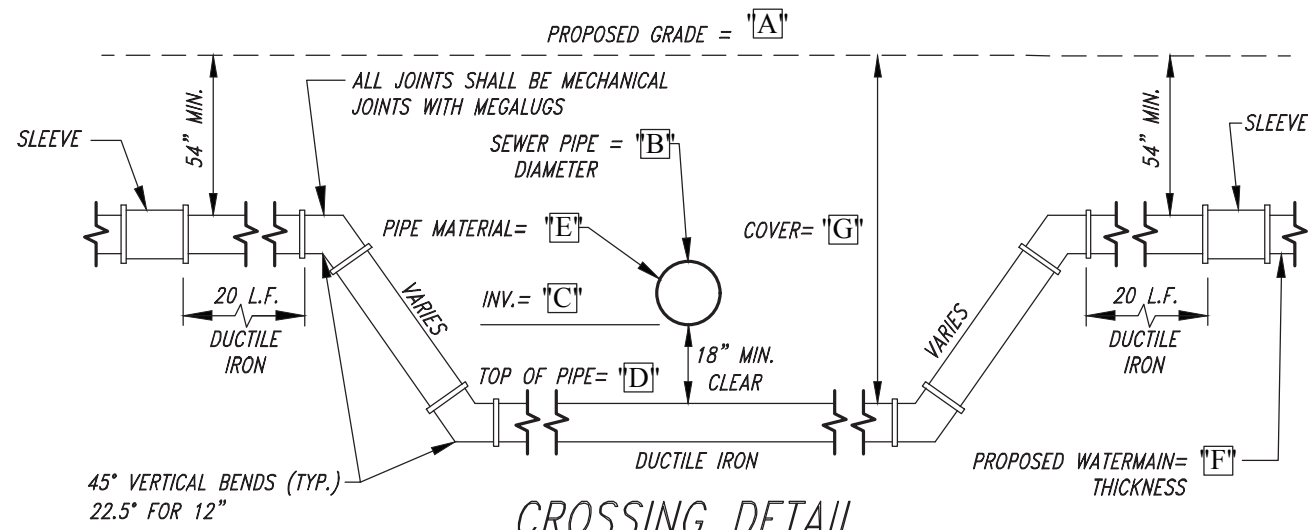
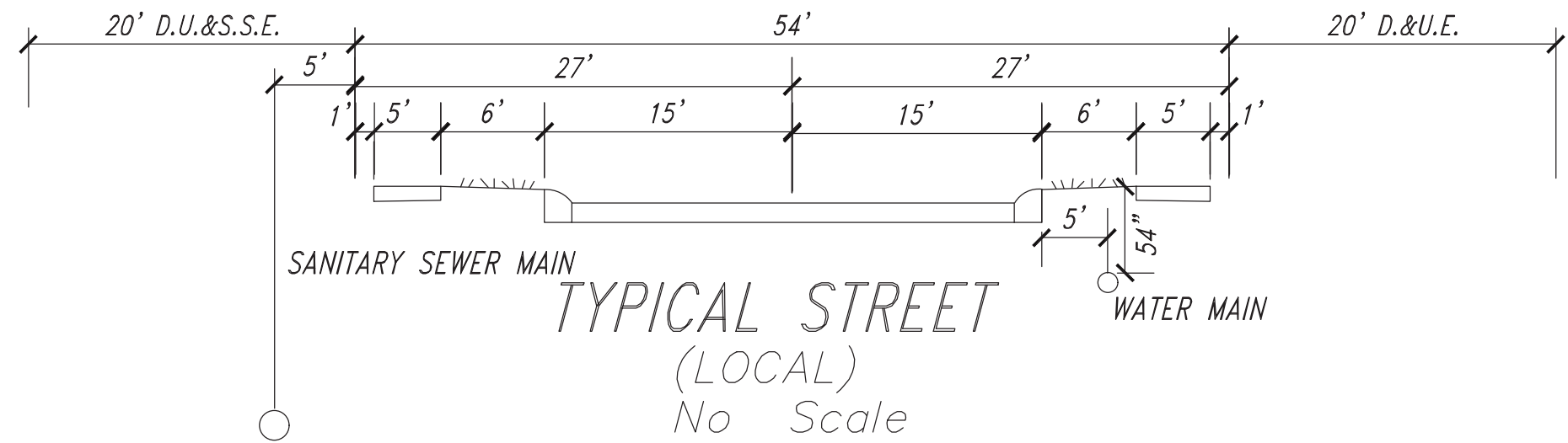
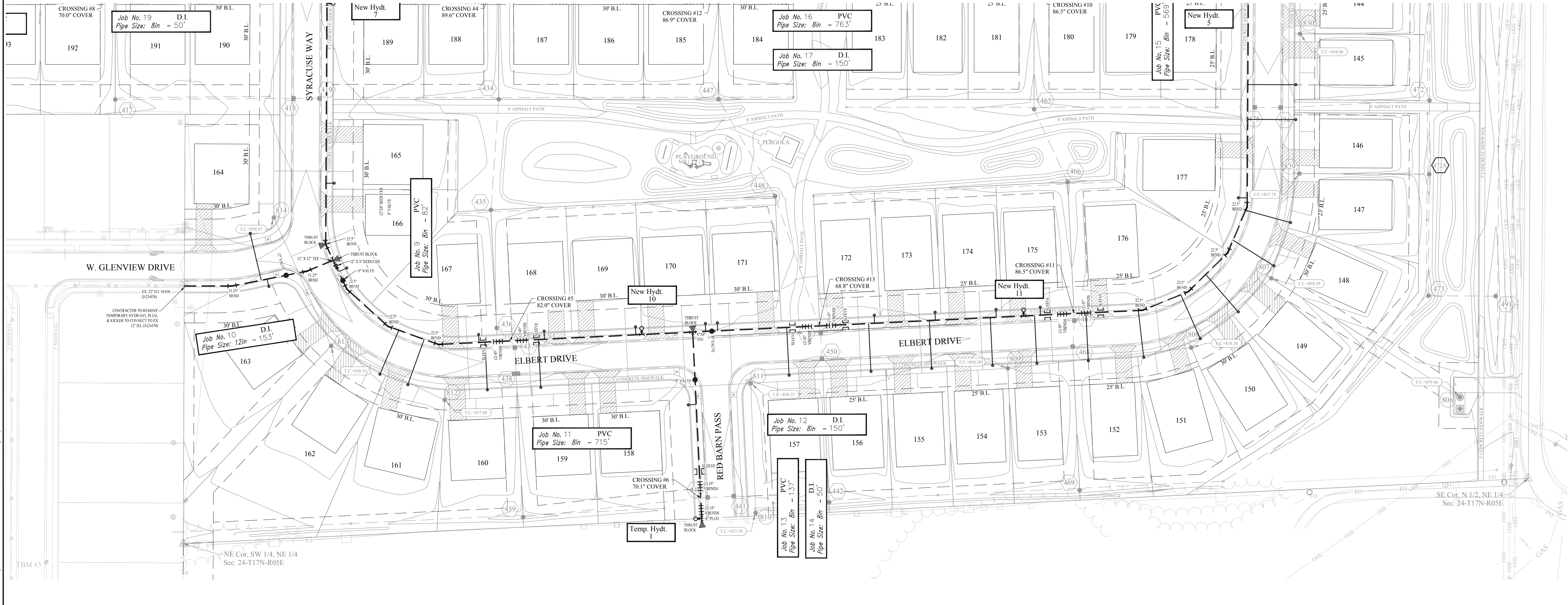
HANCOCK COUNTY, INDIANA

DRAWN BY: GEM/CDW
CHECKED BY: KRG

SHEET NO.

C702

S.A.A JOB NO. 104403OLF-S3



CROSSING SUMMARY TABLE						
CROSSING	"A"	"B"	"C"	"D"	"E"	"G"
No. 1	853.8+	12"	849.3+	847.8+	RCP	12"
No. 2	857.8+	12"	853.3+	851.8+	RCP	12"
No. 3	856.0+	30"	850.0+	848.4+	RCP	12"
No. 4	856.8+	24"	850.8+	849.3+	RCP	8"
No. 5	856.9+	18"	851.6+	850.1+	RCP	8"
No. 6	857.0+	15"	852.7+	851.1+	RCP	8"
No. 7	855.8+	15"	851.6+	850.0+	RCP	8"
No. 8	856.8+	15"	852.5+	851.0+	RCP	8"
No. 9	856.8+	24"	849.8+	848.3+	RCP	8"
No. 10	856.92	21"	851.2+	849.7+	RCP	8"
No. 11	857.4+	18"	852.8+	851.2+	RCP	8"
No. 12	857.6+	15"	851.9+	850.3+	RCP	8"
No. 13	857.3+	12"	853.1+	851.6+	RCP	8"

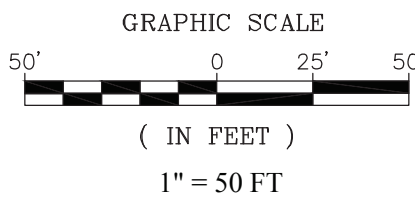
CITIZENS WATER PROJECT LEGEND				
Project Name: ALEXANDER RIDGE, SECTION 3				
Project Number: J-XX-XXX				
JOB #	Street Name	Pipe Size	Pipe Type	Total Pipe
1	JENNIFER RIDGE WAY	12"	D.I.	422'
2	DENALI DRIVE	12"	D.I.	479'
3	DENALI DRIVE	8"	PVC	400'
4	DENALI DRIVE	8"	D.I.	50'
5	SUSAN CIRCLE	8"	P.V.C.	186'
6	SUSAN CIRCLE	3"	HDPE	141'
7	SUSAN CIRCLE	8"	D.I.	50'
8	SYRACUSE WAY	12"	D.I.	634'
9	SYRACUSE WAY	8"	PVC	82'
10	W. GLENVIEW DRIVE	12"	D.I.	153'
11	ELBERT DRIVE	8"	P.V.C.	715'
12	ELBERT DRIVE	8"	D.I.	150'
13	RED BARN PASS	8"	P.V.C.	137'
14	RED BARN PASS	8"	D.I.	50'
15	EVEREST STREET	8"	P.V.C.	569'
16	FARMSTEAD LANE	8"	P.V.C.	763'
17	FARMSTEAD LANE	8"	D.I.	150'
18	SUNFLOWER COURT	8"	P.V.C.	467'
19	SUNFLOWER COURT	8"	D.I.	50'
20	SUNFLOWER COURT	3"	HDPE	223'
# of Service Lines			TOTAL	5,871'
107	SINGLE SERVICE LINE PIPE	1"	HDPE	2881'

NOTES:

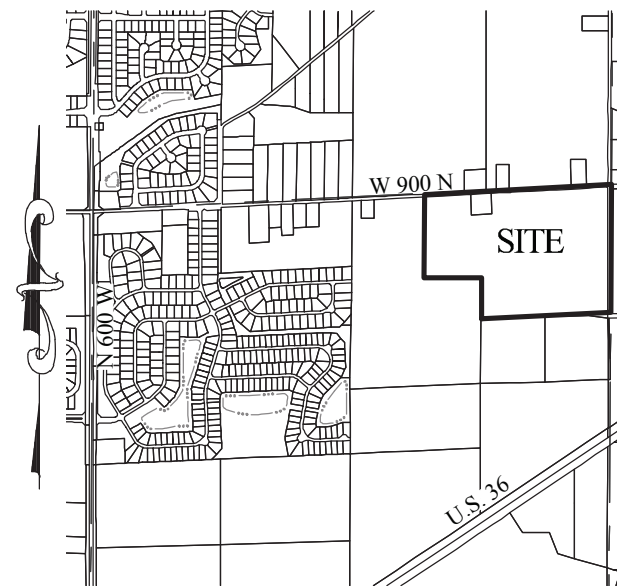
- CONTRACTOR MUST HAVE AND FOLLOW CITIZENS WATER STANDARDS AND SPECIFICATIONS (LATEST VERSION)
- FOR WATER SPECIFICATIONS, SEE THE MOST RECENT CITIZENS WATER SPECIFICATIONS AND STANDARDS.
- MINIMUM COVER OVER TOP OF ALL WATER MAINS TO BE 54" FROM FINISH GRADE.
- FIRE HYDRANTS SHALL HAVE A 5-INCH STORZ'S CONNECTION INSTALL.
- VALVES TO BE PLACED IN GRASS AREAS.
- ALL MAIN AND LATERAL ROAD CROSSINGS TO BE FULL DEPTH GRANULAR BACKFILL.
- STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. ANY QUESTIONS, ASK CEG INSPECTOR.
- ALL WATER MAINS MUST MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND A MINIMUM OF 18" VERTICAL SEPARATION FROM ALL SANITARY AND STORM SEWERS.
- METER PIT LID MATERIAL WILL MEET THE REQUIREMENTS IN SECTION 8.23 OF THE WATER STANDARDS MANUAL.
- #10 TRACER WIRE SHALL BE INSTALLED ON THE TOP OF ALL MAINS AND PULLED THROUGH VALVE BOXES.
- TEMPORARY HYDRANTS CAN BE REUSED AS NEW HYDRANTS IF APPROVED BY THE INSPECTOR DURING CONSTRUCTION. IF THE HYDRANT(S) WILL NOT BE REUSED, RETURN TO CITIZENS ENERGY GROUP.

Project Name ALEXANDER RIDGE SEC. 3
Project Number J-XX-XXX
Dist. Map No. 826/836/837
Map Grid No. IN30_0303
Lots 107
Tax Code 30016
Pressure Dist GEIST
Drafter STOEPPELWERTH/KJJM/KRG
Date 06/06/25

LEGEND	
EXISTING FEATURES	
— W —	WATER MAIN
— G —	GAS MAIN
— FM —	FORCEMAIN, SANITARY
— S —	SANITARY SEWER
— SS —	STORM SEWER
PROPOSED FEATURES	
— W —	WATER MAIN
— S —	SANITARY SEWER
— SS —	STORM SEWER
— P —	PARCEL ID
— B —	BEND
— H —	HYDRANT WITH VALVE
— G —	GATE VALVE
— T —	T.J. TEE
— M —	M.J. SLEEVE
— K —	KICKER BLOCK
— P —	PLUG
— S —	SINGLE METER PIT & 1" HDPE WATER SERVICE LATERAL
— C —	CROSS



Project Location
Scale: 1" = 2000'



APPROVAL PENDING/NOT FOR CONSTRUCTION

STOEPPELWERTH

WATER PLAN

ALEXANDER RIDGE

SECTION 3

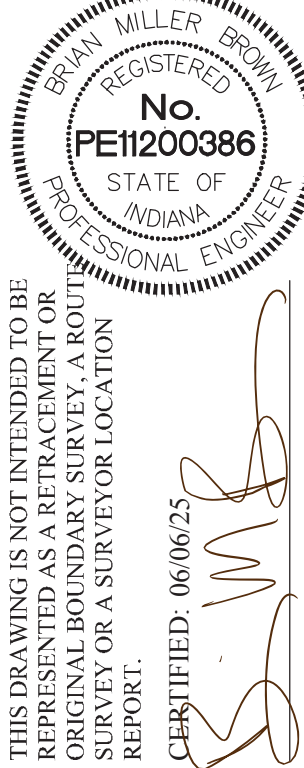
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SHEET NO.

C703

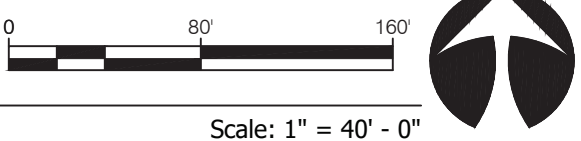
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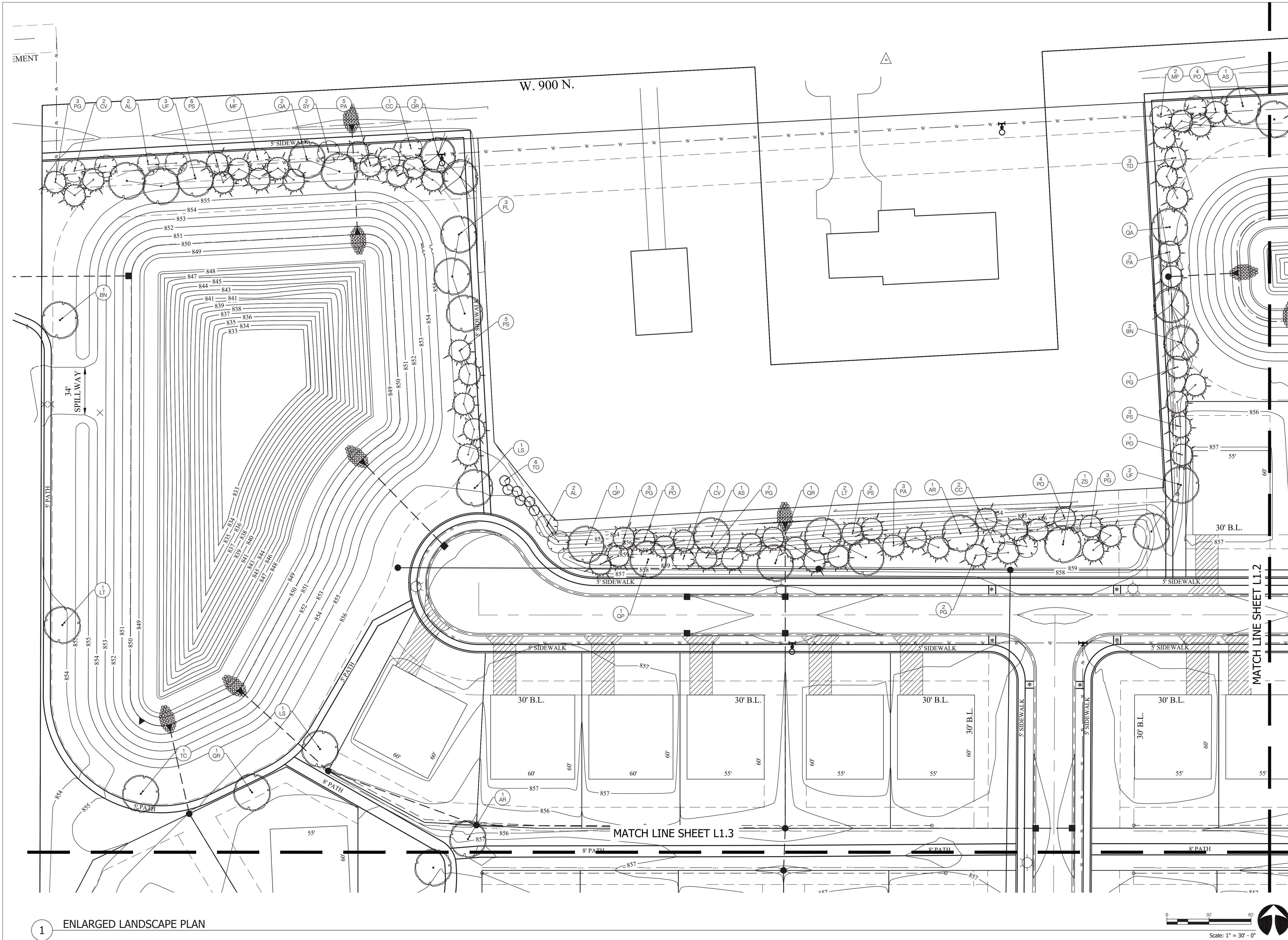
THIS DRAWING IS NOT INTENDED TO BE USED FOR ANY PURPOSE OTHER THAN THE ORIGINAL BOUNDARY SURVEY AND ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.



STOEPPELWERTH
ALWAYS ON
7905 East 104th Street, Fishers, IN 46038-2505
phone: 317.849.5925 fax: 317.849.5942

HANCOCK COUNTY, INDIANA
McCordsville





1 ENLARGED LANDSCAPE PLAN

Project Info
Alexander Ridge
McCordsville, IN

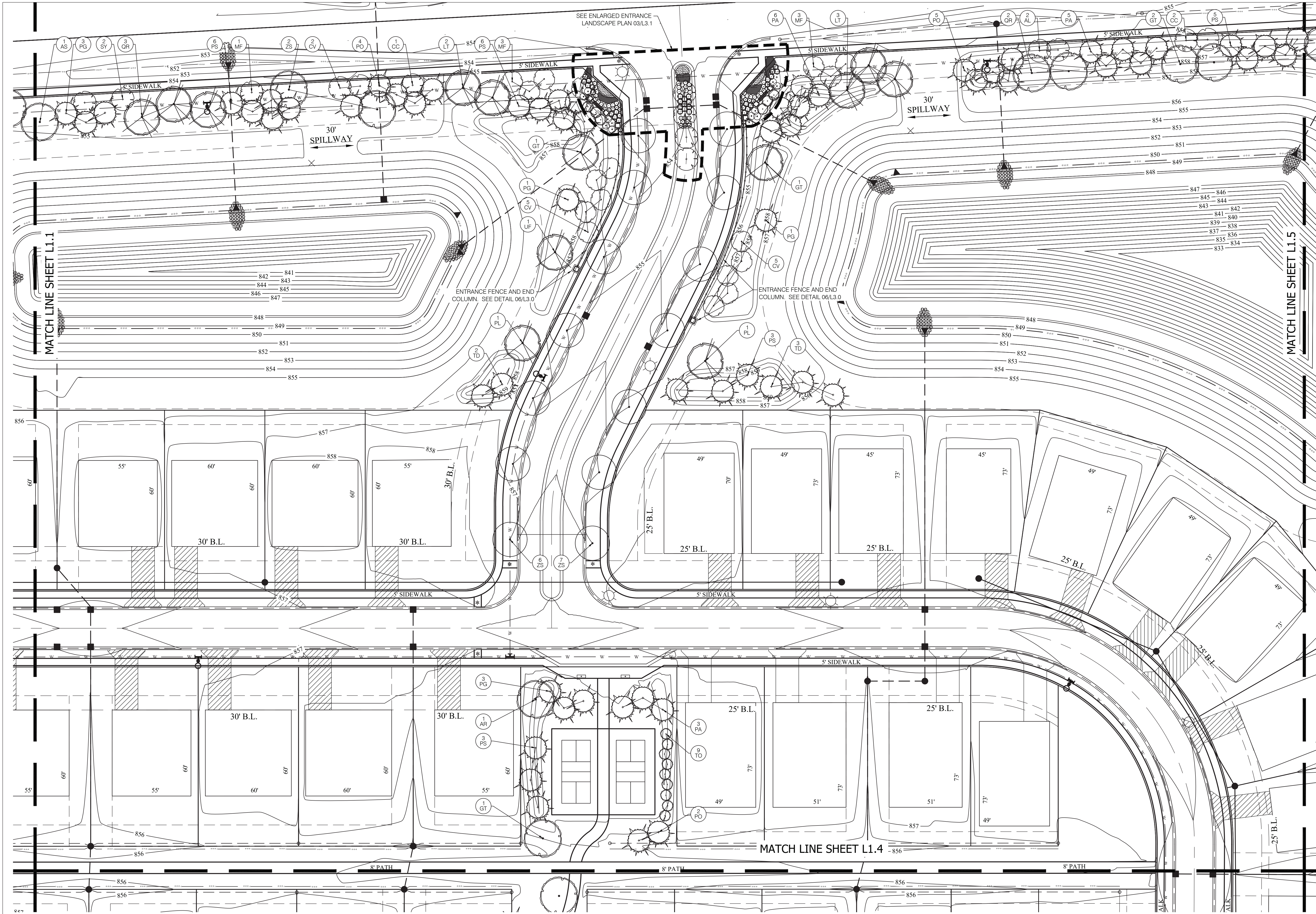
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Drawing Scope
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Drawing Info
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Revision: 05/07/2025

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1 ENLARGED LANDSCAPE PLAN

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Project Info
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McCordsville, IN

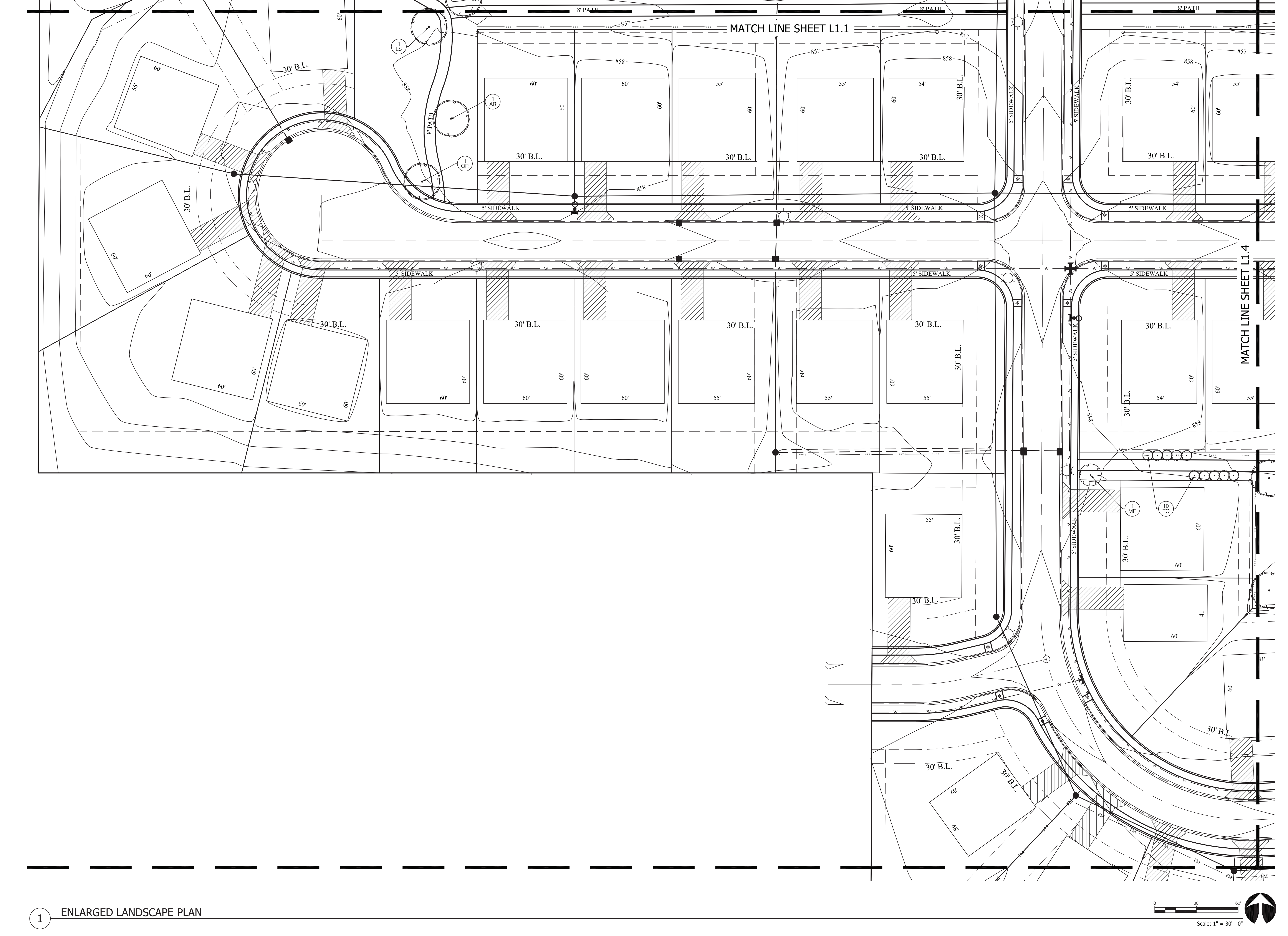
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Drawing Scope
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Drawing Scope

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LANDSCAPE PLAN**

Drawing Info

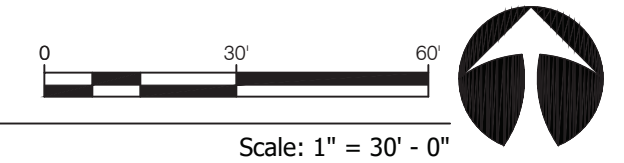
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Revision: 05/07/2025

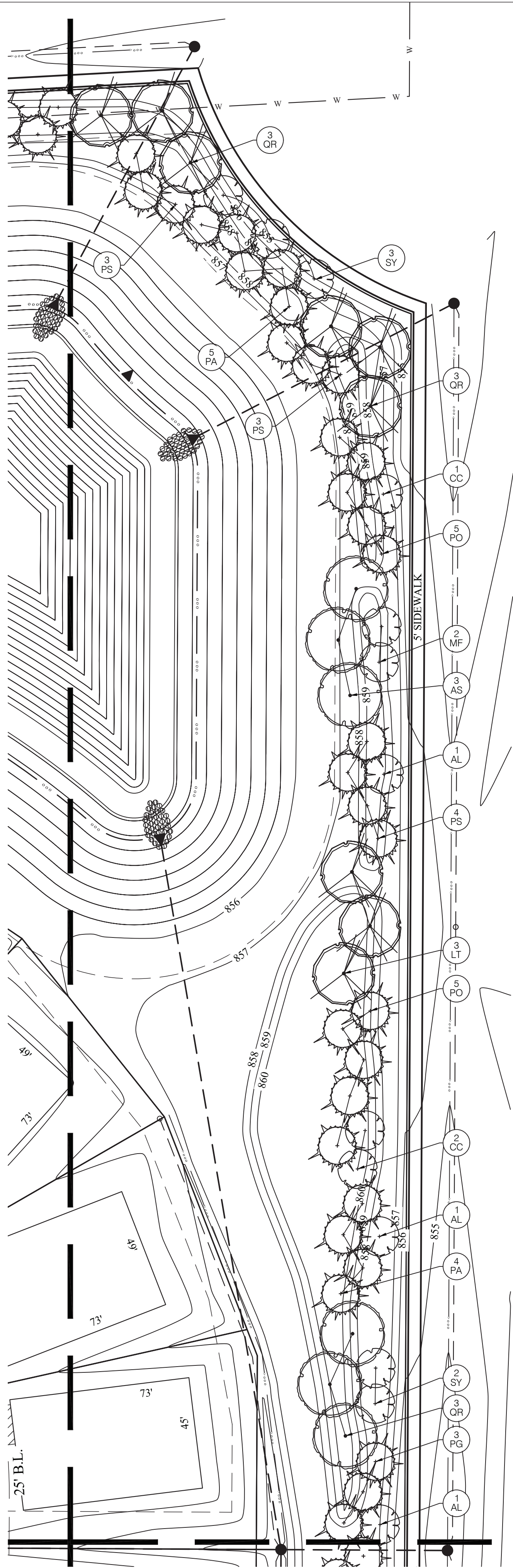
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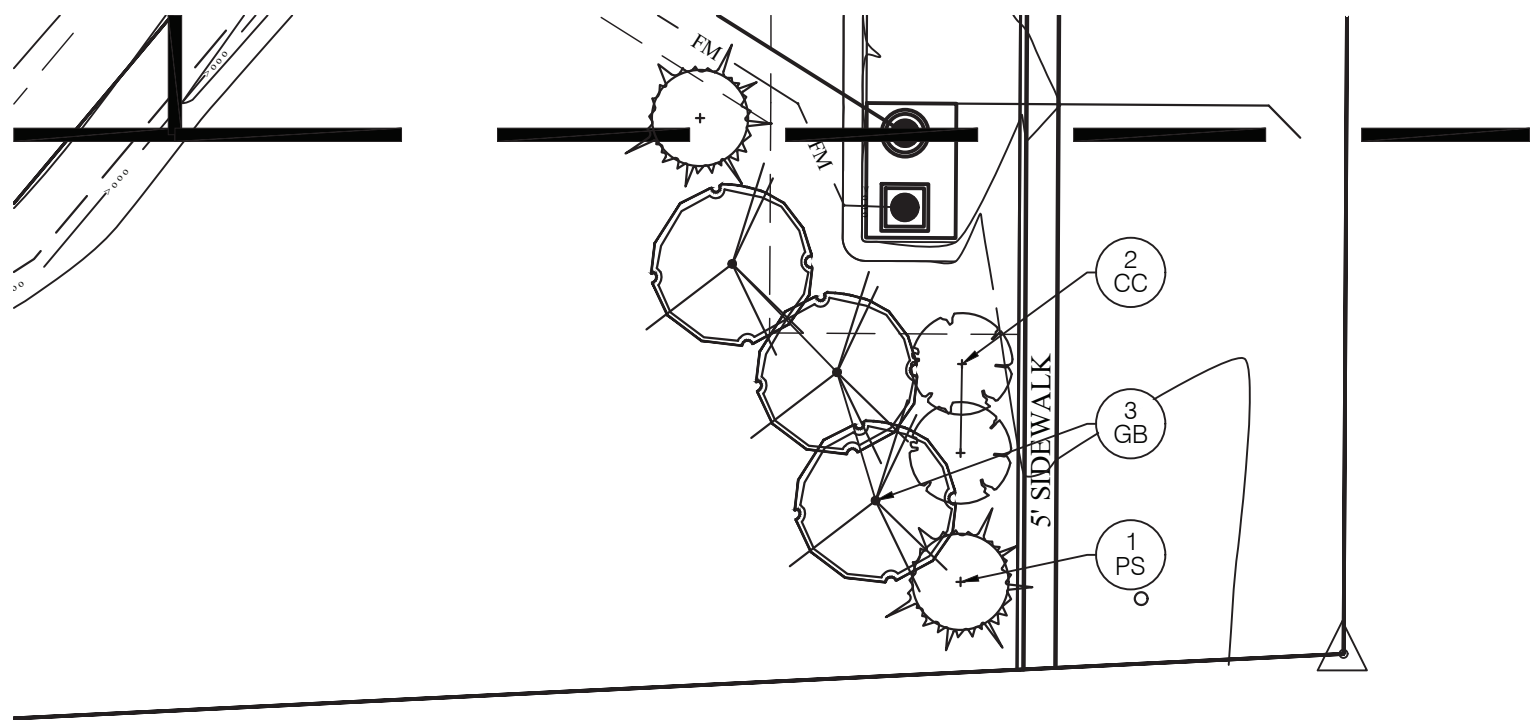


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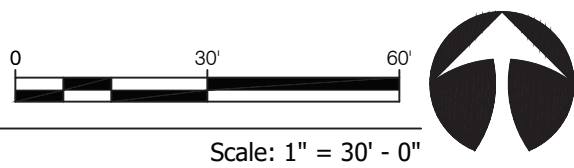




PLANT SCHEDULE						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
AL	11	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	1.5" CAL.	AS SHOWN	4' Clear Trunk
AN	300	Annuals	Annuals	1 QT.	6" O.C.	By Owner
AR	8	Acer rubrum 'October Glory'	October Glory Maple	2.5" CAL.	AS SHOWN	5' Clear Trunk
AS	8	Acer saccharum	Sugar Maple	2.5" CAL.	AS SHOWN	5' Clear Trunk
BN	3	Betula nigra	River Birch	2.5" CAL.	AS SHOWN	Min. 3 Cane
BX	33	Buxus microphylla 'Green Velvet'	Littleleaf Boxwood	24" H.T.	AS SHOWN	F.T.B.
CA	18	Clethra alnifolia 'Compacta'	Dwarf Summersweet	24" H.T.	AS SHOWN	F.T.B.
CC	14	Cercis canadensis	Eastern Redbud	1.5" CAL.	AS SHOWN	4' Clear Trunk
CK	20	Calamagrostis acutiflora 'Karl Forester'	Karl Forester's Feather Reed Grass	2 GAL.	AS SHOWN	
CV	19	Crataegus viridis 'Winter King'	Winter King Hawthorn	1.5" CAL.	AS SHOWN	4' Clear Trunk
GB	6	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2.5" CAL.	AS SHOWN	5' Clear Trunk/ Male Only
GT	10	Gleditsia triacanthos 'Skyline'	Skyline Honey Locust	2.5" CAL.	AS SHOWN	5' Clear Trunk
HE	43	Heuchera 'Palace Purple'	Palace Purple Coral Bell	1 GAL.	18" O.C.	
HY	18	Hydrangea macrophylla 'Nikko Blue'	Big Leaf Nikko Blue Hydrangea	24" H.T.	5" O.C.	F.T.B.
JC	10	Juniperus chinensis 'Sea Green'	Sea Green Juniper	24" H.T.	5" O.C.	F.T.B.
LM	140	Liriope muscarii 'Variegata'	Variegated Lilyturf	1 QT.	12" O.C.	
LS	3	Liquidambar styraciflua	American Sweetgum	2.5" CAL.	AS SHOWN	5' Clear Trunk
LT	14	Liriodendron tulipifera	Tulip Poplar	2.5" CAL.	AS SHOWN	5' Clear Trunk
MF	21	Malus floribunda	Pink Flowering Crabapple	2" CAL.	AS SHOWN	4' Clear Trunk
MS	2	Magnolia x soulangiana	Saucer Magnolia	1.5" CAL.	AS SHOWN	
PA	48	Picea abies	Norway Spruce	6" H.T.	AS SHOWN	F.T.B.
PL	9	Platanus x acerifolia 'Bloodgood'	London Planetree	2.5" CAL.	AS SHOWN	5' Clear Trunk
PG	41	Picea glauca densata	Black Hills Spruce	6" H.T.	AS SHOWN	F.T.B.
PO	57	Picea omorika	Serbian Spruce	6" H.T.	AS SHOWN	F.T.B.
PS	52	Pinus strobus	White Pine	6" H.T.	AS SHOWN	F.T.B.
QA	6	Quercus alba	White Oak	2.5" CAL.	AS SHOWN	5' Clear Trunk
QP	2	Quercus palustris	Pin Oak	2.5" CAL.	AS SHOWN	5' Clear Trunk
QR	20	Quercus rubra	Northern Red Oak	2.5" CAL.	AS SHOWN	5' Clear Trunk
RR	16	Rosa 'Radon' PPAF	Pink Knockout Rose	24" H.T.	5" O.C.	F.T.B.
SY	20	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	1.5" CAL.	AS SHOWN	4' Clear Trunk
TC	1	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2.5" CAL.	AS SHOWN	5' Clear Trunk
TD	11	Taxodium distichum	Bald Cypress	6" H.T.	AS SHOWN	F.T.B.
TO	39	Thuja occidentalis	Arborvitae / Northern White Cedar	6" H.T.	AS SHOWN	F.T.B.
UF	9	Ulmus americana 'Valley Forge'	Valley Forge American Elm	2.5" CAL.	AS SHOWN	5' Clear Trunk
VO	12	Viburnum opulus 'Compactum'	European Cranberry Viburnum	24" H.T.	5" O.C.	F.T.B.
WF	34	Weigela florida 'Red Prince'	Red Prince Weigela	24" H.T.	AS SHOWN	F.T.B.
ZS	16	Zelkova serrata 'Village Green'	Japanese Zelkova	2.5" CAL.	AS SHOWN	5' Clear Trunk



1 ENLARGED LANDSCAPE PLAN



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Consultants

Project Info

Alexander Ridge

McCordsville, IN



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Drawing Scope

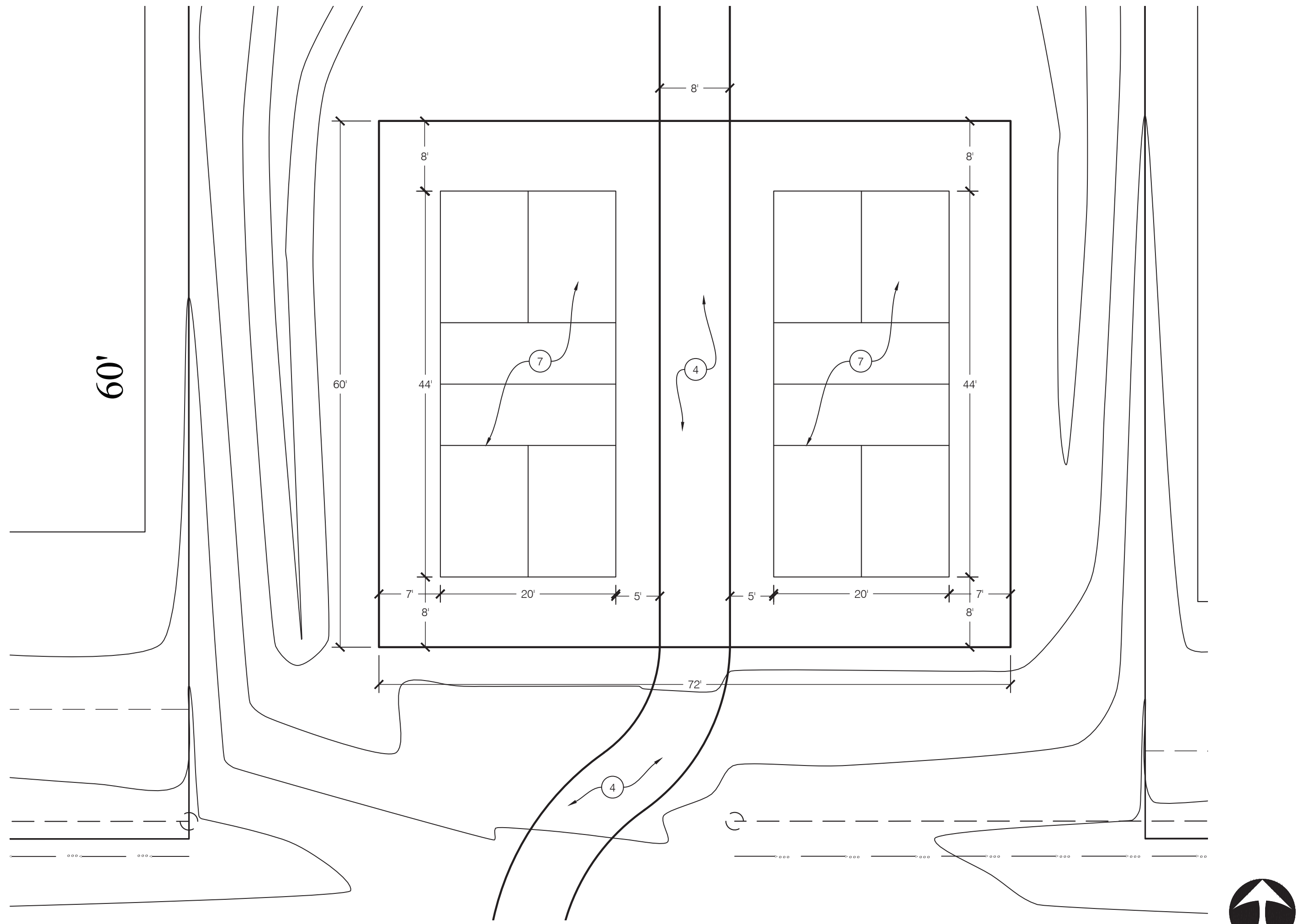
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Drawing Info

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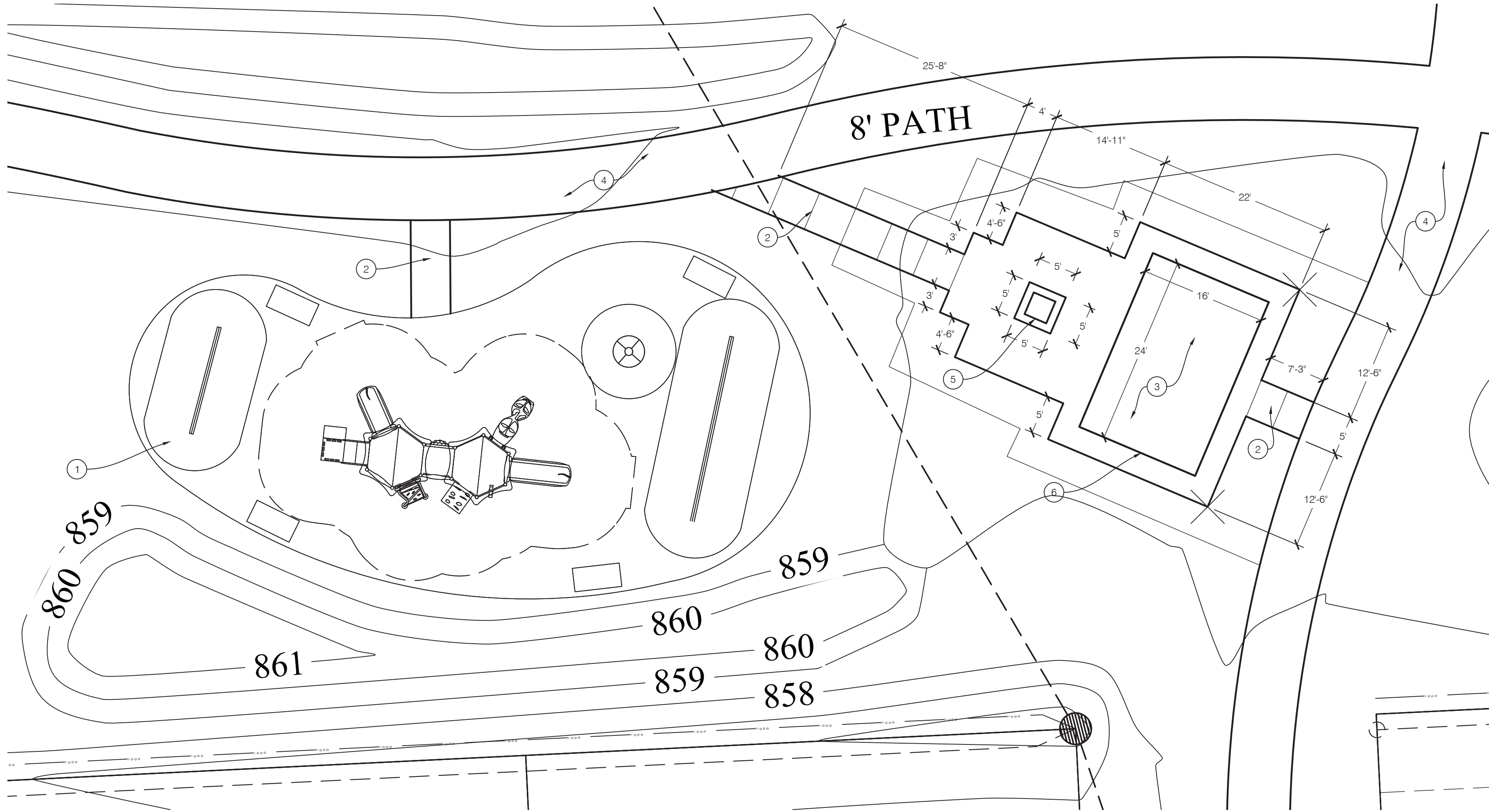
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1 AMENITY AREA SITE AND LANDSCAPE PLAN



Scale: 1" = 40' - 0"



1 AMENITY AREA SITE AND LANDSCAPE PLAN



Scale: 1" = 40' - 0"

KEY NOTES

- 1 PLAYGROUND EQUIPMENT BY OWNER. LAYOUT SHOWN IS APPROXIMATE. FINAL EQUIPMENT WILL DETERMINE ACTUAL LAYOUT AND LIMITS REQUIRED. SOFTFALL PLAYGROUND SURFACE BY OWNER.
- 2 ACCESSIBLE CONCRETE ACCESS PATH.
- 3 STANDARD FINISH CONCRETE AMENITY AREA SURFACE.
- 4 8' WIDE ASPHALT MULTI-PURPOSE PATH.
- 5 GAS FIRE PIT TO MATCH PHASE 1 SIZE AND FINISH, CONTROLS AND EQUIPMENT.
- 6 SHELTER STRUCTURE TO MATCH PHASE 1 MATERIAL, FINISH AND DETAILS.
- 7 ASPHALT PICKLEBALL COURTS. COLOR AND 4" STRIPING TO BE SELECTED BY OWNER.



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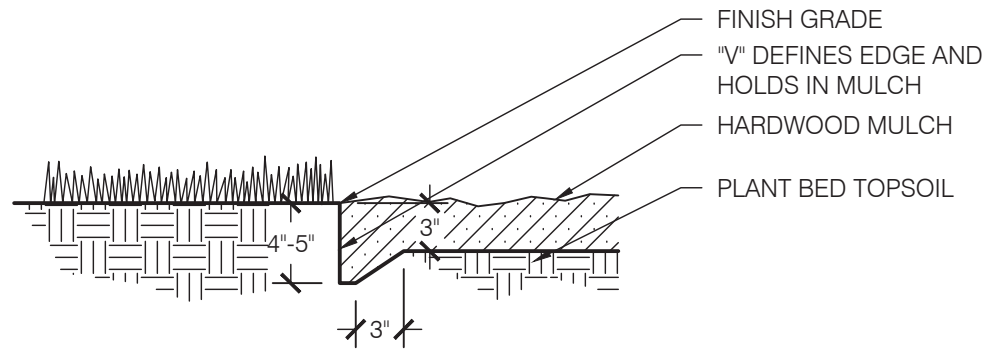
**AMENITY AREA
AND PICKLEBALL
LAYOUT PLAN**

Drawing Info

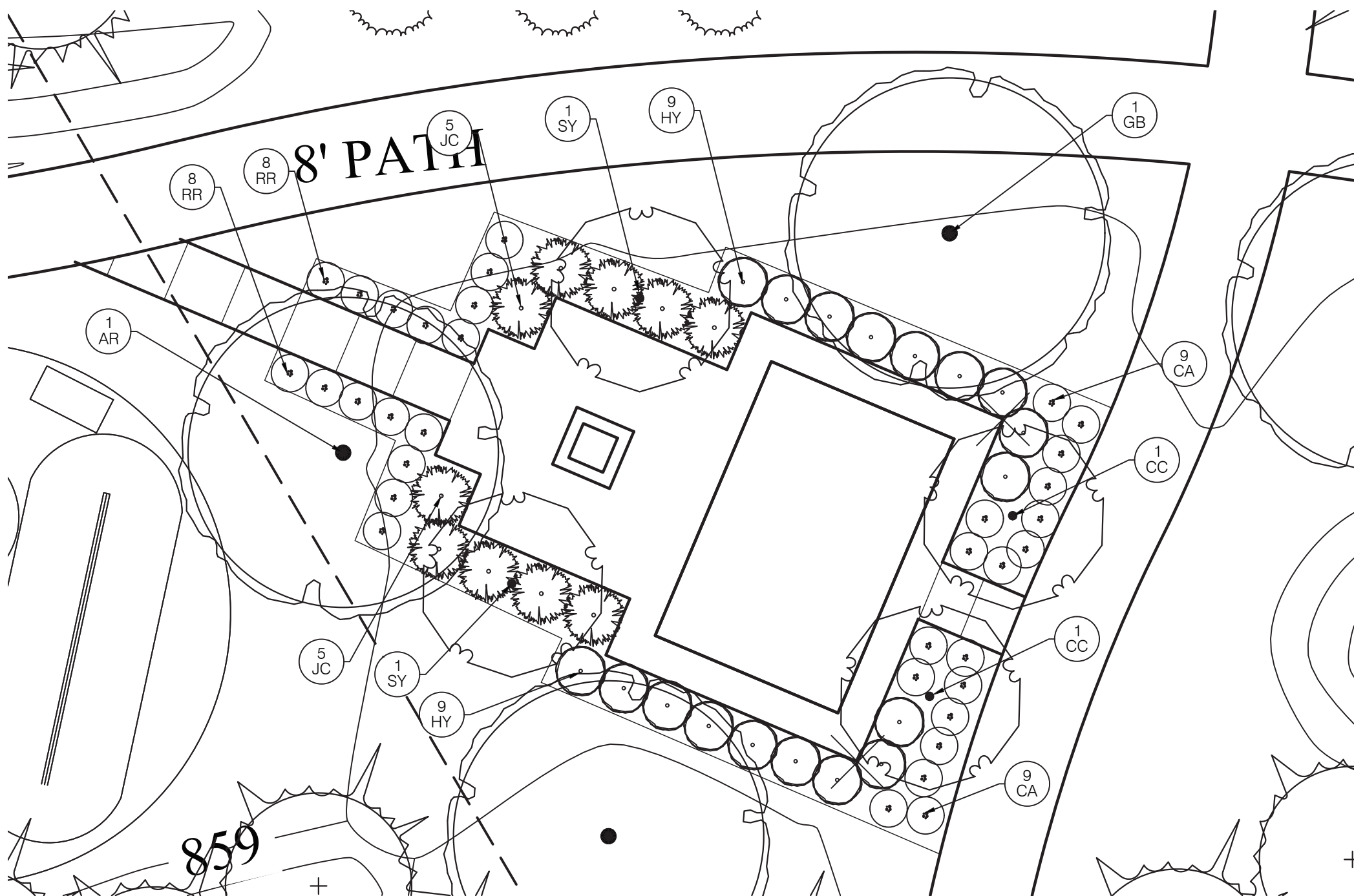
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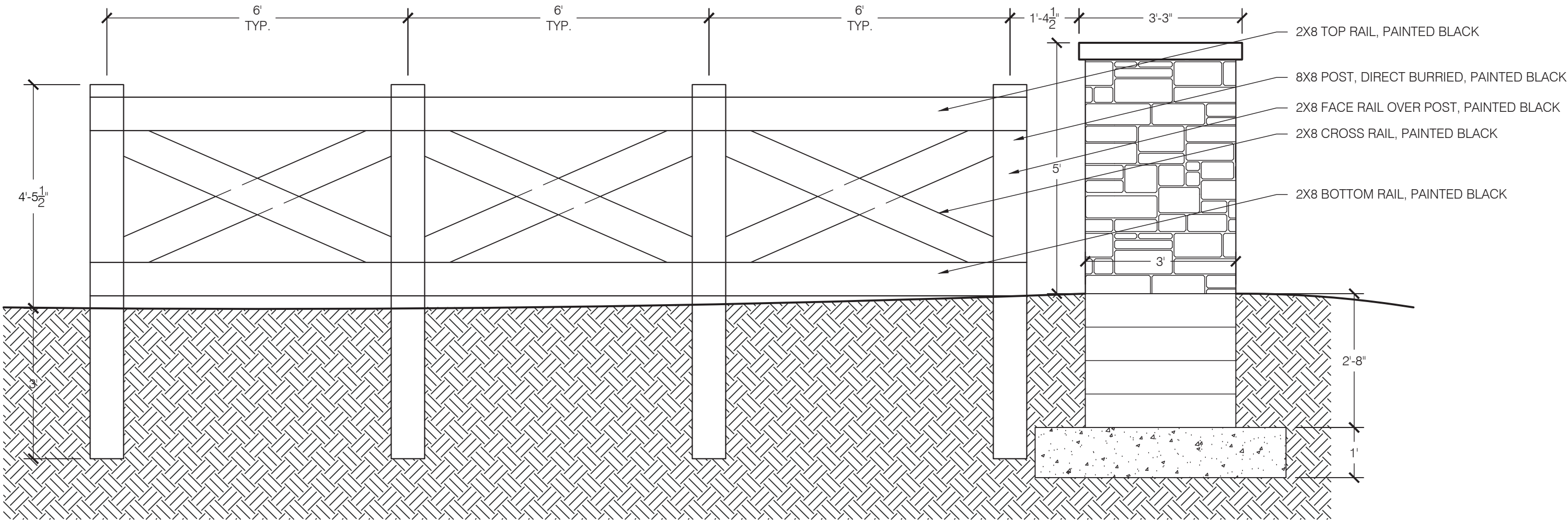


4 TYPICAL SPADE EDGE DETAIL



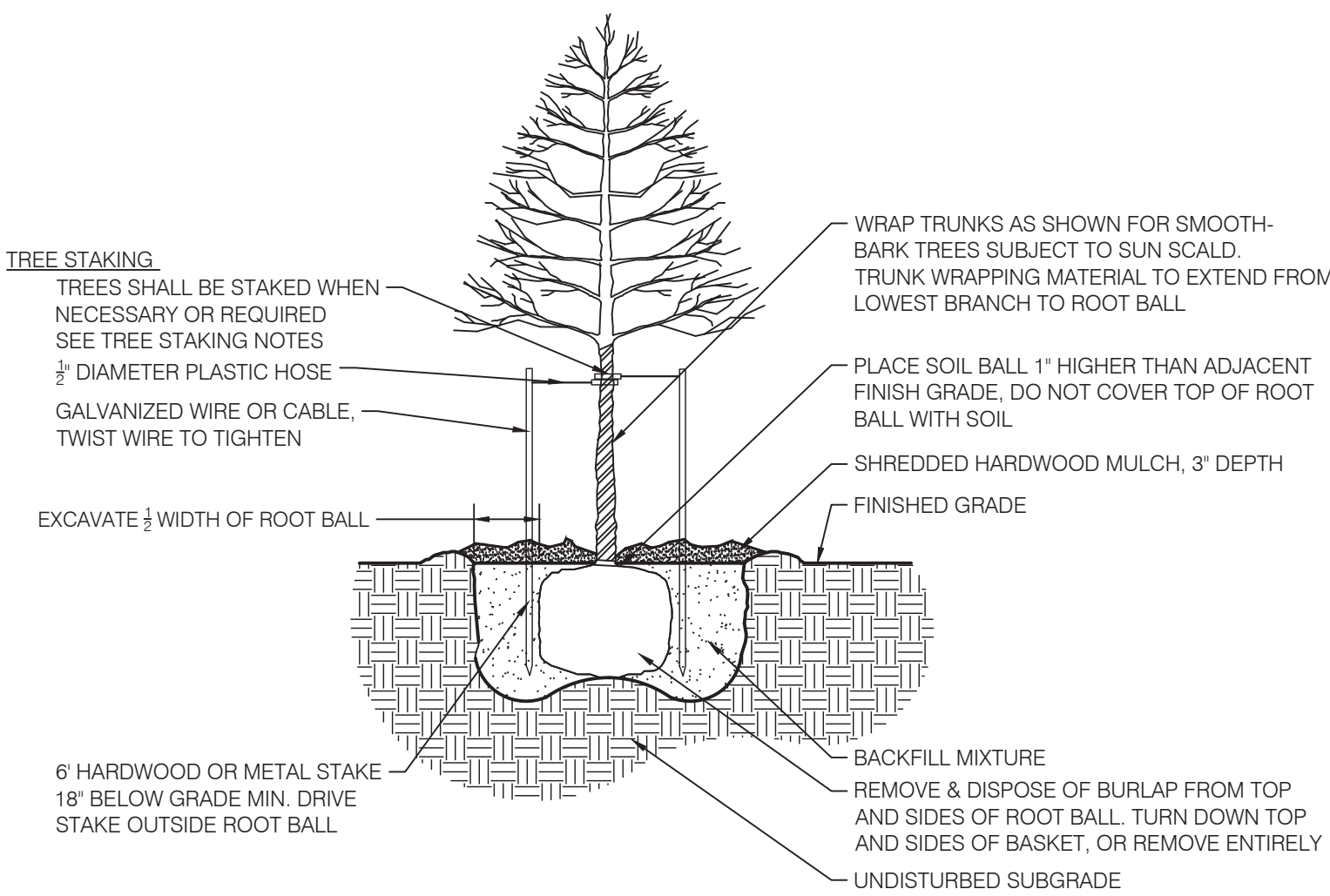
5 ENLARGED AMENITY AREA LANDSCAPE PLAN

Scale: 1" = 10' - 0"

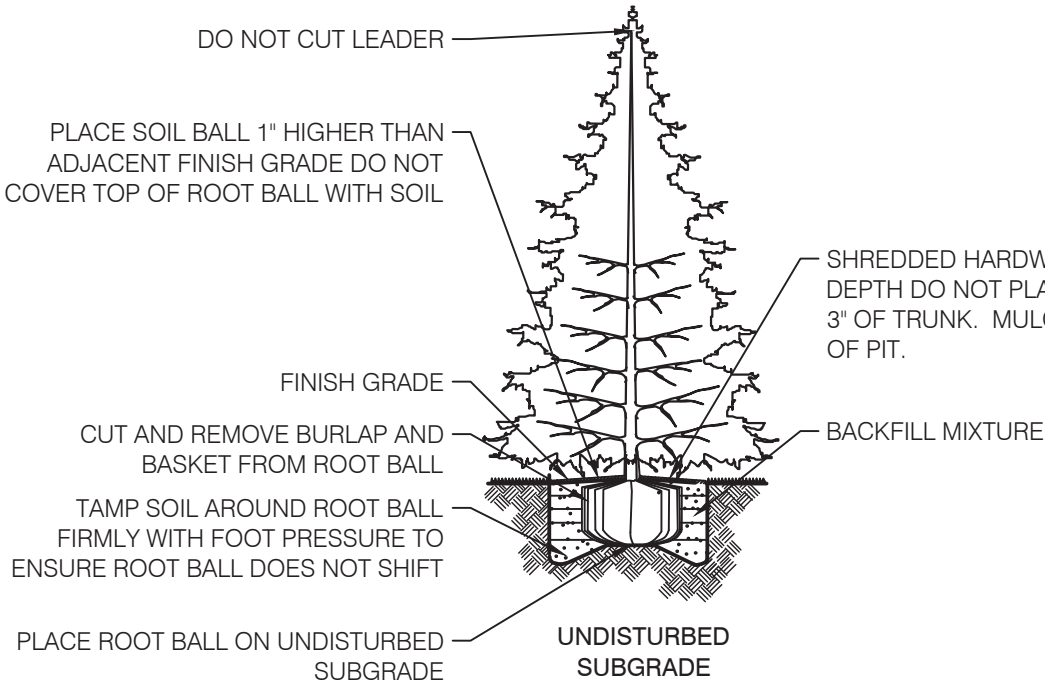


6 ENTRANCE FENCE TYPICAL ELEVATION WITH END COLUMN

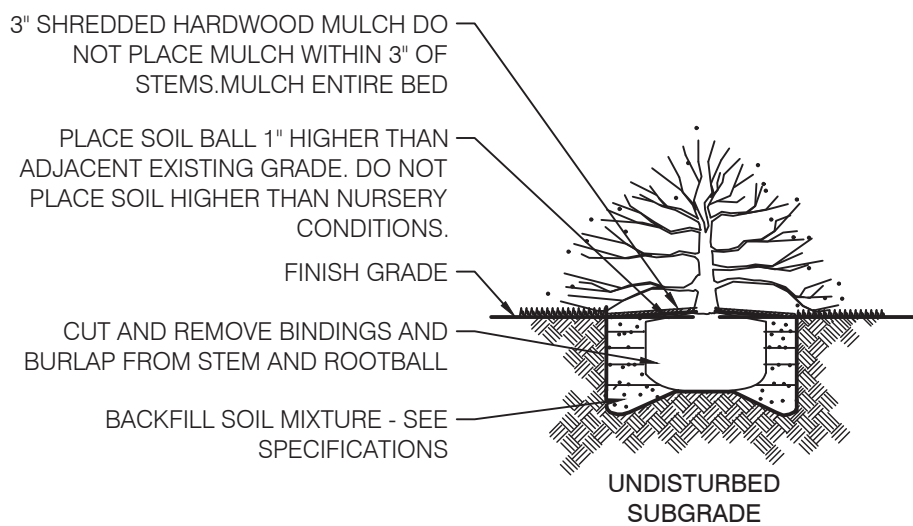
Scale: 1/2" = 1' - 0"



1 DECIDUOUS TREE



2 EVERGREEN TREE



3 SHRUB

NOTES

GENERAL NOTES:

- ALL UTILITIES SHALL BE LOCATED AND MARKED/FLAGGED PRIOR TO BEGINNING WORK. RELOCATE PLANTS FROM OVER OR UNDER UTILITIES. RELOCATION SHALL BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- UTILITY LOCATION NOTE: ALL LOCATIONS SHOWN ARE APPROXIMATE AND BASED ON INFORMATION SUPPLIED BY EITHER THE CIVIL ENGINEER, SURVEYOR, OWNER, AND/OR MEASURED IN THE FIELD. IF DISCREPANCIES ARE PRESENT, CONTRACTOR SHALL NOTIFY OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO BEGINNING WORK.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ALL PREPARATION, MATERIALS, DELIVERY, INSTALLATION AND INITIAL MAINTENANCE FOR THE LANDSCAPE PORTION OF THE PROJECT AS SHOWN ON THE DRAWING AND AS DIRECTED BY THE OWNER'S REPRESENTATIVE. THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR THEIR PORTION OF WORK.
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT W/ CONSTRUCTION OPERATIONS AND AS DIRECTED BY OWNER'S REPRESENTATIVE.
- CLEAN UP ALL DEBRIS AND REMOVE FROM SITE, REPAIR ALL DAMAGED OR DISTURBED AREAS CAUSED BY LANDSCAPE WORK.
- TOPSOIL NOTE: TOPSOIL SHALL BE FRIABLE, NATURAL LOAM, SURFACE SOIL AND FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS, LITTER, ROOTS, STUMPS, STONES, AGRICULTURAL AND DOMESTIC FERTILIZERS, CHEMICALS, HERBICIDES, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH AND THE ENVIRONMENT. WASTE SOILS, BORROW, OR HEAVY CLAY BASED SOILS WILL NOT BE ACCEPTED. TOPSOIL SHALL HAVE A PH VALUE OF 6.0 TO 7.4 AND AN ORGANIC VALUE OF 3% TO 5%. SUBMIT SOIL SAMPLES, PH LEVELS, AND NPK ANALYSIS PRIOR TO DELIVERY TO SITE.

PLANTING NOTES:

- REMOVE WEEDS, ORGANIC MATTER AND ROCKS LARGER THAN 1.5" FROM SOIL.
- BACKFILL FOR TREE PLANTING SHALL BE 75% TOPSOIL AND 25% ORGANIC COMPOST. TOP LAYER OF BACKFILL SHALL BE 100% OF SURROUNDING TOPSOIL. A 5-10 S ANALYSIS SLOW RELEASE FERTILIZER SHALL BE INCORPORATED INTO BACKFILL AT APPROVED RATES.
- THE TOPS OF ALL TREE AND SHRUB ROOT BALLS TO BE PLACED A MAXIMUM OF ONE (1) INCH ABOVE FINAL GRADE. ALL TREES LOCATED OUTSIDE OF BEDS SHALL HAVE A MINIMUM SIX (6) FOOT DIAMETER NON-LIPPED SAUCER AROUND PLANTING PIT. ALL SAUCERS SHALL BE WEED AND GRASS FREE. AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING BEDS AT A RATE SPECIFIED BY MANUFACTURER FOR EACH PLANT VARIETY.
- ALL TREE SAUCERS AND PLANTING BEDS SHALL RECEIVE MINIMUM OF THREE (3) INCHES GRADE A, SHREDDED HARDWOOD BARK MULCH. NO CYPRESS, WOOD CHIPS, ARTIFICIAL OR DYED MULCH ALLOWED.
- NO SUBSTITUTIONS OF PLANT MATERIALS WILL BE ALLOWED. IF PLANTS ARE NOT AVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT/ OWNER'S REPRESENTATIVE IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT I.D. AT NURSERY OR CONTRACTOR'S OPERATIONS PRIOR TO MOVING TO JOB SITE. PLANTS MAY BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE BY LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE OWNER, OWNER'S AGENT, OR THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY AND ALL PLANT MATERIALS AT ANY TIME DURING THE COURSE OF THE PROJECT UNTIL PROJECT IS ACCEPTED BY THE OWNER.
- LANDSCAPE CONTRACTOR SHALL LAYOUT AND STAKE ALL PLANT LOCATIONS AS SHOWN ON THE DRAWINGS PRIOR TO INSTALLATION. OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT SHALL INSPECT AND APPROVE PLANT LOCATIONS FOR ACCURACY AND COMPLIANCE WITH DESIGN INTENT PRIOR TO INSTALLATION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PLANTING OF SPECIFIED PLANTS AND MAINTAINING ALL PLANT MATERIALS IN AN ALIVE AND QUALITY CONDITION UNTIL ACCEPTANCE BY THE OWNER. THIS INCLUDES AS A MINIMUM: WATERING, WEEDING, INSECT AND DISEASE CONTROL, PRUNING OF DAMAGED OR UNSIGHTLY LIMBS, AND KEEPING PLANTS IN TRUE AND UPRIGHT POSITIONS.
- CONTRACTOR SHALL GUARANTEE AND WARRANT ALL PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR ONE (1) YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL REPLACEMENTS SHALL BE PAID FOR BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. GUARANTEE/WARRANTY REPLACEMENTS SHALL BE AS DIRECTED BY THE OWNER UNTIL FINAL ACCEPTANCE OF THE PROJECT FOLLOWING THE GUARANTEE PERIOD.

SODDING AND PREPARATION:

- CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SOD. FINE GRADE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
- ALL SODDED LAWN AREAS WITHIN LIMIT LINES TO RECEIVE 6" TOPSOIL PRIOR TO SODDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA.
- LAWSNS SHALL BE SODDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED W/ 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 lbs./1000 s.f.
- WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWING AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
- FOLLOWING SODDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS. ALL LAWSNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
- ALL DISTURBED LAWN AREAS SHALL BE SODDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

SEEDING AND PREPARATION:

- CONTRACTOR TO FINE GRADE AND PREPARE ALL SITE AREAS TO RECEIVE SEED. MAKE SITE SMOOTH TO FINAL GRADING PLAN ELEVATIONS, FILL IN DEPRESSIONS, LOW SPOTS AND GRADE SMOOTH.
- ALL SEEDED LAWN AREAS WITHIN LIMIT LINES TO RECEIVE 6" TOPSOIL PRIOR TO SEEDING OPERATIONS. ONCE TOPSOIL HAS BEEN PLACED, CONSTRUCTION ACTIVITY OF ANY KIND (EXCLUDING LANDSCAPING) SHALL NOT BE PERMITTED ON OR ACROSS ANY PLANTING AREA.
- HYDROSEEDING IS DESIGNATED FOR PROFESSIONAL HYDROSEEDING APPLICATIONS AT RECOMMENDED RATES.
- PROVIDE FRESH, CLEAN NEW-CROP PREMIUM GRADE SEED AND SEED MIXES AS FOLLOWS: (SUBMIT SEASONAL MIX ALTERNATIVE AS APPROPRIATE)
 - 40% KENTUCKY BLUEGRASS
 - 30% PERENNIAL RYE GRASS
 - 30% TURF TYPE TALL FESCUE
- APPLY SEED AT RATE OF MINIMUM 175 POUNDS PER ACRE (4 LBS/1000SF).
- SCARIFY SOIL TO DEPTH OF 3 INCHES PRIOR TO APPLICATION.
- LAWSNS SHALL BE SEEDED FOLLOWING SCARIFYING, FINAL GRADING, FERTILIZING, AND RAKING. LAWN SHALL BE FERTILIZED W/ 12-12-12 ANALYSIS FERTILIZER AT A RATE OF 10 lbs./1000 s.f. APPLY SEED MIX AT SPECIFIED RATE, AND LIGHTLY RAKE INTO TOP 1/4 INCH OF SOIL.
- MULCH SEEDED AREAS WITH STRAW MULCH AT RATE OF MINIMUM 1 1/2 TON PER ACRE (70 LBS/1000SF). CRIMP OR TACK STRAW MULCH TO REMAIN IN PLACE UNTIL COMPLETE GERMINATION OF SEED AND ESTABLISHED GROWTH. COORDINATE WITH EROSION CONTROL PLAN.
- WATER AND MAINTAIN GRASS UNTIL STAND IS ESTABLISHED AND READY FOR MOWINGS AT MINIMUM 4 INCH HEIGHT. CONTINUE TO WATER FOR A MINIMUM 30 DAYS OR UNTIL ACCEPTED BY OWNER.
- FOLLOWING SEEDING OPERATIONS, CLEAN UP EXCESS MATERIALS, AND CLEAN ALL BARK MULCHED AND PAVED AREAS.
- FOLLOWING GERMINATION, APPLY HERBICIDE TO ALL GRASS GROWTH IN PLANT MULCH AREAS.
- ALL LAWSNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT THE END OF THE ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE RESEEDED OR SODDED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
- ALL DISTURBED LAWN AREAS SHALL BE SEEDED AS NOTED AND AS APPROVED BY OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.

TREE STAKING NOTES:

- CONTRACTOR TO STAKE WHEN NECESSARY OR REQUIRED, SUCH AS WIND PRONE AREAS OR UNSTABLE SOILS. STAKES SHALL BE PLACED IN MULCHED AREAS TO ALLOW FOR MOWING ADJACENT TURF.
- STAKING SHOULD NOT BE USED TO COMPENSATE FOR DAMAGED OR WEAK TRUNKS OR ROOT BALLS, THESE TREES SHOULD BE REJECTED.
- REMOVE ALL STAKING AS SOON AS THE TREE HAS GROWN SUFFICIENT ROOTS TO OVERCOME THE PROBLEM THAT REQUIRED THE TREE TO BE STAKED. STAKES SHALL BE REMOVED NO LATER THAN THE END OF THE FIRST GROWING SEASON AFTER PLANTING.
- ASSURE THAT THE BEARING SURFACE OF THE PROTECTIVE COVERING OF THE WIRE OR CABLE AGAINST THE TREE TRUNK IS A MINIMUM OF 12 MM (0.5 IN).
- WIRES OR CABLE SIZES SHALL BE 14 TO 12 GAUGE.
- TIGHTEN WIRE OR CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE TO BE LONG ENOUGH TO ACCOMMODATE 1.5" OF GROWTH AND BUFFER ALL BRANCHES FROM THE WIRE.
- TUCK ANY LOOSE ENDS OF THE WIRE OR CABLE INTO THE WIRE WRAP SO THAT NO SHARP WIRE ENDS ARE EXPOSED.

