

Revision #	Date
1	3/24/25
2	-
3	-
4	-

Cleveland 1455  
The Preserve Series



3115 West US Hwy 40  
Greenfield, IN 46140  
Office: 317.318.1105  
www.bridgenorthhomes.com

Project No:	-
Project Name:	-
Drawn By:	LT
Date Started:	-
Date Revised:	-

Cover Sheet

Sheet Number  
A1.0

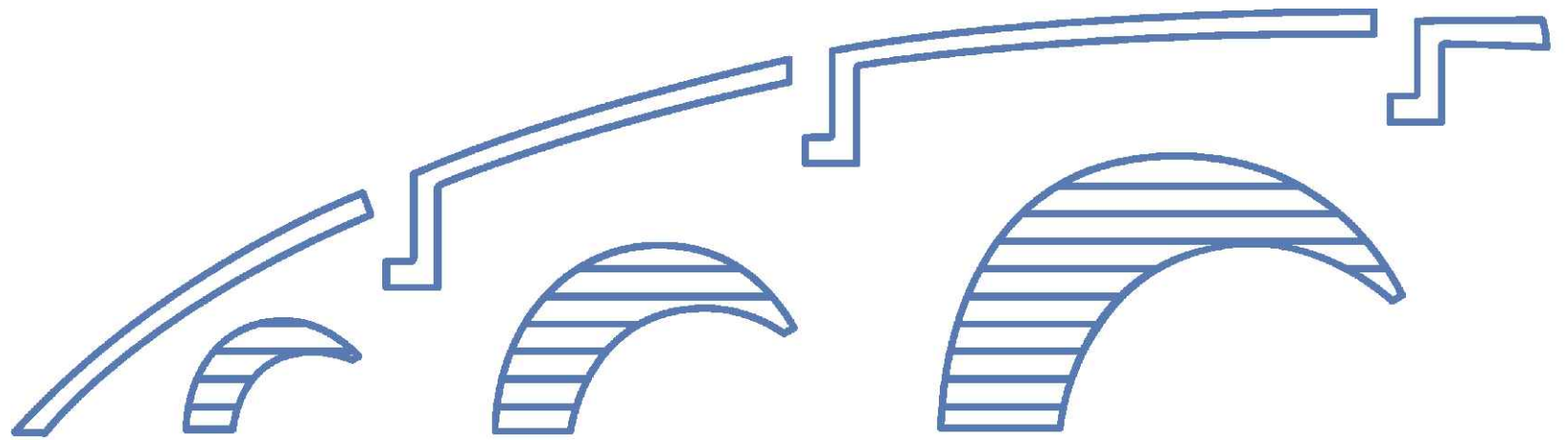
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CLEVELAND-HIP ROOF - MASTER PLAN REVISION LOG

REVISION #	DATE	DRAWN BY:	DESCRIPTION OF REVISIONS:
1	3-24-25	LT	INITIAL CONSTRUCTION PLANS COMPLETED

COMMON PLAN ABBREVIATIONS & SYMBOLS

@ - AT A/C - AIR CONDITIONING COMPRESSOR A.F.F. - ABOVE FIRST (OR FINISHED) FLOOR ABV. - ABOVE APPROX. OR - - APPROXIMATE ARCH OR ARCH. - ARCHITECTURAL AVG. - AVERAGE B & B - BOARD & BATTEN BD - BOARD BDRM - BEDROOM BNS. - BONUS B/P OR B.P. - BI-PASS BRG. - BEARING BSMT. - BASEMENT B/S OR B.S. - BI-SWING BTM. OR BTM. - BOTTOM C OR C. - CENTER LINE CAT 5 - CATEGORY 5 CABLE CAT 6 - CATEGORY 6 CABLE CANT. - CANTILEVER OR CANTILEVERED CATH. - CATHEDRAL C.O. - CASED OPENING OR CLEANOUT CLG OR CLG. - CEILING CMU OR C.M.U. - CONCRETE MASONRY UNIT CO - CARBON MONOXIDE COL. - COLUMN CONC. - CONCRETE CONT. - CONTINUOUS COV. - COVERED CRNR. - CORNER CROWN - CROWN C.T. - COOK TOP OR COUNTER TOP OR DIA. - DIAMETER OR DEG. - DEGREE D. - DEEP OR DRYER DD OR D.D. - DEAD LOAD Δ OR DEF. - DEFLECTION DH OR D.H. - DOUBLE HUNG DECOR. - DECORATIVE DED. - DEDICATED DET. - DETERMINED DISP. - GARBAGE DISPOSAL DN OR DN. - DOWN DR. - DOOR D.V. - DIRECT VENT DU OR D.W. - DISH WASHER OR DRYWALL D.W.O. - DRYWALLED OPENING ELEC. - ELECTRICAL ENG. - ENGINEERED EQ. - EQUAL EXT. - EXTENSION OR EXTERIOR FD OR F.D. - FLOOR DRAIN FIN. - FINISHED FIX. - FIXTURE F.J. - FLOOR JOIST FLR. - FLOOR	FNDTN. - FOUNDATION F.P. - FIREPLACE FT. - FOOT OR FEET FTG. - FOOTING FURN. - FURNACE FX - FIXED G. OR GA. - GAUGE GALV. - GALVANIZED G.C. - GENERAL CONTRACTOR GFI - GROUND FAULT CIRCUIT INTERRUPTER G.T. - GIRDER TRUSS HVAC OR H.V.A.C. - HEATING, VENTILATION & AIR CONDITIONING H. - HIGH H.B. - HOSE BIBB HDR. - HEADER HGT. - HEIGHT HR. - HOUR I.D. - INNER DIAMETER ILO OR I.L.O. - IN LIEU OF IN. - INCH OR INCHES INC. - INCLUDES INSUL. - INSULATED INT. - INTERIOR IRC - INTERNATIONAL RESIDENTIAL CODE KIT. - KITCHEN LAM. - LAMINATED # OR LBS. - POUNDS LED - LIGHT EMITTING DIODE LF OR L.F. - LINEAL OR LINEAR FEET LL OR LL. - LIVE LOAD LNDRY. - LAUNDRY LSL - LAMINATED STRAND LUMBER LVL - LAMINATED VENEER LUMBER LVP OR L.V.P. - LUXURY VINYL PLANK LVT OR L.V.T. - LUXURY VINYL TILE MAN. OR MANUF. - MANUFACTURED MAX. - MAXIMUM MECH. - MECHANICAL MFG. - MANUFACTURING MICRO. - MICROWAVE OVEN ML OR MIL. - MILLIMETER MIN. - MINIMUM MSTR. - MASTER N/A - NOT APPLICABLE NO. - NUMBER N.T.S. - NOT TO SCALE O.C. - ON CENTER O.D. - OUTER DIAMETER O.H. - OVERHANG OSB. - ORIENTED STRAND BOARD OHD OR O.H.D. - OVERHEAD DOOR OPNG. - OPENING OPT. - OPTION % - PERCENTAGE P/C - PHOTO CELL	P.C. - PLUMBING CONTRACTOR P.L. - PROPERTY LINE PR. - PAIR PSF OR P.S.F. - POUNDS PER SQUARE FEET PSL - PARALLEL-STAND LUMBER PSI OR P.S.I. - POUNDS PER SQUARE INCH P.T. - PRESSURE TREATED PUDR. - POWDER QTY. - QUANTITY R/O OR R.I. - ROUGH-IN R/O - RANGE/OVEN R/S - ROD/SHELVES R OR R. - RADIUS OR RISER R.C. - REINFORCED CONCRETE REC. - RECESSED REF. - REFRIGERATOR REQ. OR REQD. - REQUIRED RM OR RM. - ROOM R.O. - ROUGH OPENING RS. - ROUGH SAUN SAN. - SANITARY SD - SMOKE DETECTOR S.F. - SUB-FLOOR S.G.D. - SLIDING GLASS DOOR SH OR S.H. - SINGLE HUNG SHLVs. - SHELVES S.L. - SIDEITE SQ. FT. - SQUARE FEET S/S - STAINLESS STEEL STOR. - STORAGE STRUC. - STRUCTURAL T & G - TONGUE & GROOVE T/S - TUB/SHOWER T. - TREAD T.B.D. - TO BE DETERMINED TEL. - TELEPHONE TEMP. - TEMPERED THCK. OR THCK'D. - THICKENED .. - THEREFORE TR. - TRIM TV - TELEVISION JACK TYP OR TYP. - TYPICAL UNFIN. - UNFINISHED U.O.N. - UNLESS OTHERWISE NOTED V. OR VAL. - VALLEY VER. - VERIFIED W/ - WITH WH. - WATER HEATER W/P - WATER PROOF OR WEATHER PROOF W. - WASHER, WIDE OR WIDTH WD. - WOOD W.I.C. - WALK IN CLOSET W.I.P. - WALK IN PANTRY W.S.R.I. - WATER SOFTENER ROUGH-IN Y/L. - YARD LIGHT
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BRIDGENORTH  
HOMES

CLEVELAND 1455

UNIT # -  
-

MASTER PLAN REVISION: # 1, DATED 3-24-25

SQUARE FOOTAGES

AREA	SQUARE FEET
FIRST FLOOR	1,445 SQ. FT.
FIRST FLOOR W/ OPT. ATTIC STORAGE	1,494 SQ. FT.
FIRST FLOOR W/ OPT. BONUS ROOM	1,494 SQ. FT.
GARAGE	532 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION	634 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE	788 SQ. FT.
GARAGE W/ OPT. ATTIC STORAGE	483 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION & OPT. ATTIC STORAGE	585 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE & OPT. ATTIC STORAGE	738 SQ. FT.
GARAGE W/ OPT. BONUS ROOM	483 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION & OPT. BONUS ROOM	585 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE & OPT. BONUS ROOM	738 SQ. FT.
FRONT COVERED PORCH	79 SQ. FT.
OPT. ATTIC STORAGE	325 SQ. FT.
OPT. ATTIC STOR. W/ OPT. 4' GAR. SIDE EXT. OR OPT. 3 CAR FRONT LOAD GAR.	322 SQ. FT.
OPT. BONUS ROOM	+481 SQ. FT.
OPT. BONUS ROOM W/ FULL BATH	+498 SQ. FT.
OPT. BNS. ROOM W/ OPT. 4' GAR. SIDE EXT. OR OPT. 3 CAR FRONT LOAD GAR.	+498 SQ. FT.

MASTER PLAN SHEET INDEX

SHEET #	SHEET TITLE
A1.0	COVER SHEET
A2.0	FRONT ELEVATION
A2.1	LEFT & RIGHT SIDE ELEVATIONS
A2.2	FRONT ELEVATION-OPT. BONUS ROOM
A2.3	LEFT & RIGHT SIDE ELEVATIONS-OPT. BONUS ROOM
A3.0	SLAB FOUNDATION PLAN
A3.1	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN
A3.2	SLAB FOUNDATION PLAN-OPT. ATTIC STORAGE
A3.3	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN-OPT.ATTIC STOR.
A3.4	SLAB FOUNDATION PLAN-OPT. BONUS ROOM
A3.5	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN-OPT. BNS. RM.
A4.0	FIRST FLOOR PLAN
A4.1	FIRST FLOOR PLAN-OPT. ATTIC STORAGE
A4.2	FIRST FLOOR PLAN-OPT. BONUS ROOM
A5.0	OPT. ATTIC STORAGE
A5.1	OPT. BONUS ROOM
A6.0	ROOF PLAN
A6.1	ROOF PLAN-OPT. ATTIC STORAGE
A6.2	ROOF PLAN-OPT. BONUS ROOM
A7.0	GENERAL NOTES & TYPICAL WALLS SECTIONS
A7.1	TYPICAL FIRE WALL SECTIONS
R1.0	FIRST FLOOR OPTIONS
R2.0	OPT. 4' GARAGE SIDE EXTENSION-ELEVATIONS
R2.1	OPT. 4' GARAGE SIDE EXTENSION-FOUNDATIONS
R2.2	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.3	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.4	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.5	ROOF PLAN-OPT. 4' GARAGE SIDE EXTENSION
R2.6	ROOF PLAN-OPT. 4' GARAGE SIDE EXT. & OPT. ATTIC STORAGE
R2.7	ROOF PLAN-OPT. 4' GARAGE SIDE EXT. & OPT. BONUS ROOM
R3.0	OPT. 3 CAR FRONT LOAD GARAGE-ELEVATIONS
R3.1	OPT. 3 CAR FRONT LOAD GARAGE-FOUNDATIONS
R3.2	OPT. 3 CAR FRONT LOAD GARAGE-FLOOR PLANS
R3.3	OPT. 3 CAR FRONT LOAD GARAGE-FLOOR PLANS
R3.4	OPT. 3 CAR FRONT LOAD GARAGE-FLOOR PLANS
R3.5	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE
R3.6	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE & OPT. ATTIC STORAGE
R3.7	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE & OPT. BONUS ROOM
E1.0	FIRST FLOOR ELECTRICAL PLAN
E1.1	FIRST FLOOR ELECTRICAL PLAN-OPT. ATTIC STORAGE
E1.2	FIRST FLOOR ELECTRICAL PLAN-OPT. BONUS ROOM
E2.0	OPT. ATTIC STORAGE ELECTRICAL PLAN
E2.1	OPT. BONUS ROOM ELECTRICAL PLAN
F1.0	SECOND FLOOR FRAMING PLAN-OPT. ATTIC STORAGE
F1.1	SECOND FLOOR FRAMING PLAN-OPT. BONUS ROOM
F1.2	SECOND FLOOR FRAMING PLAN-OPT. BONUS ROOM FULL BATH



Master Plan Revision	
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## The Preserve Series



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HOMES

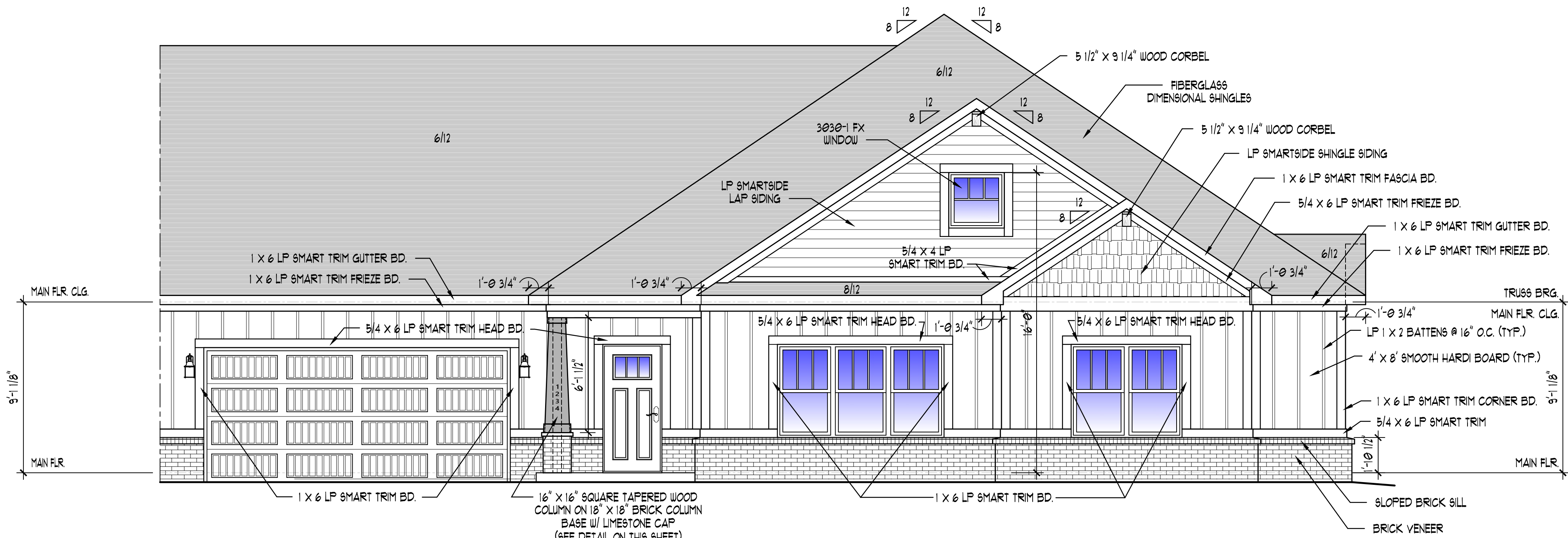
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Front Elevation

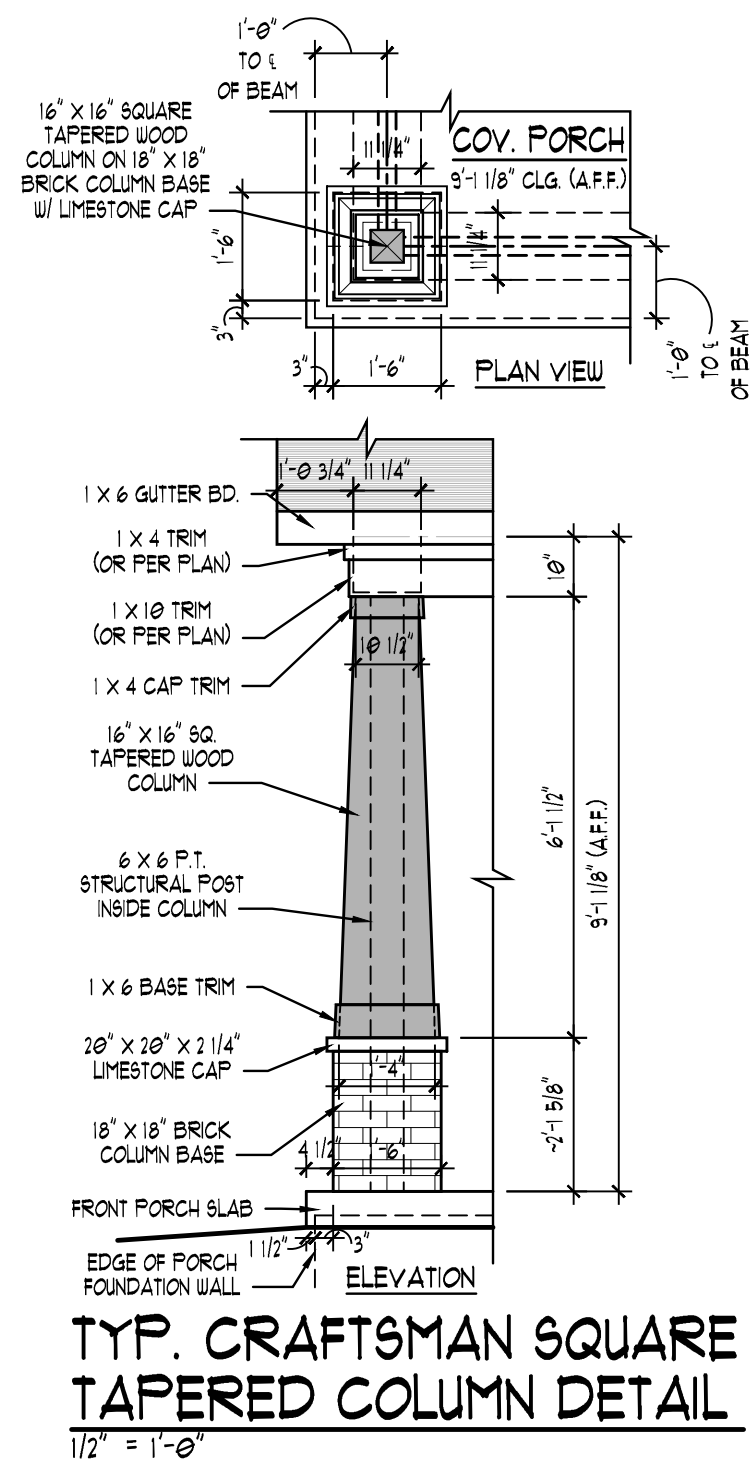
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### FRONT ELEVATION

1/4" = 1'-0"



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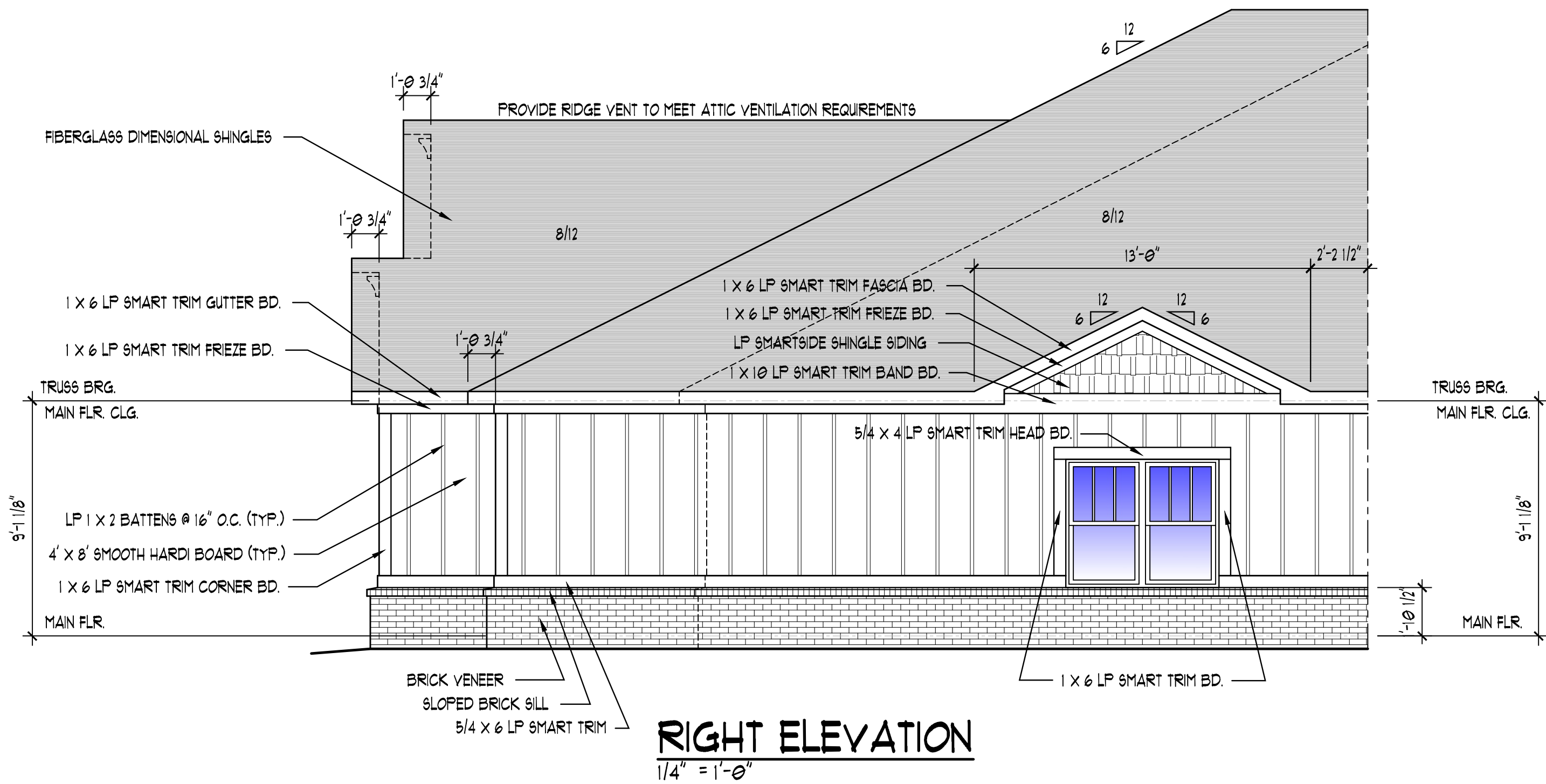
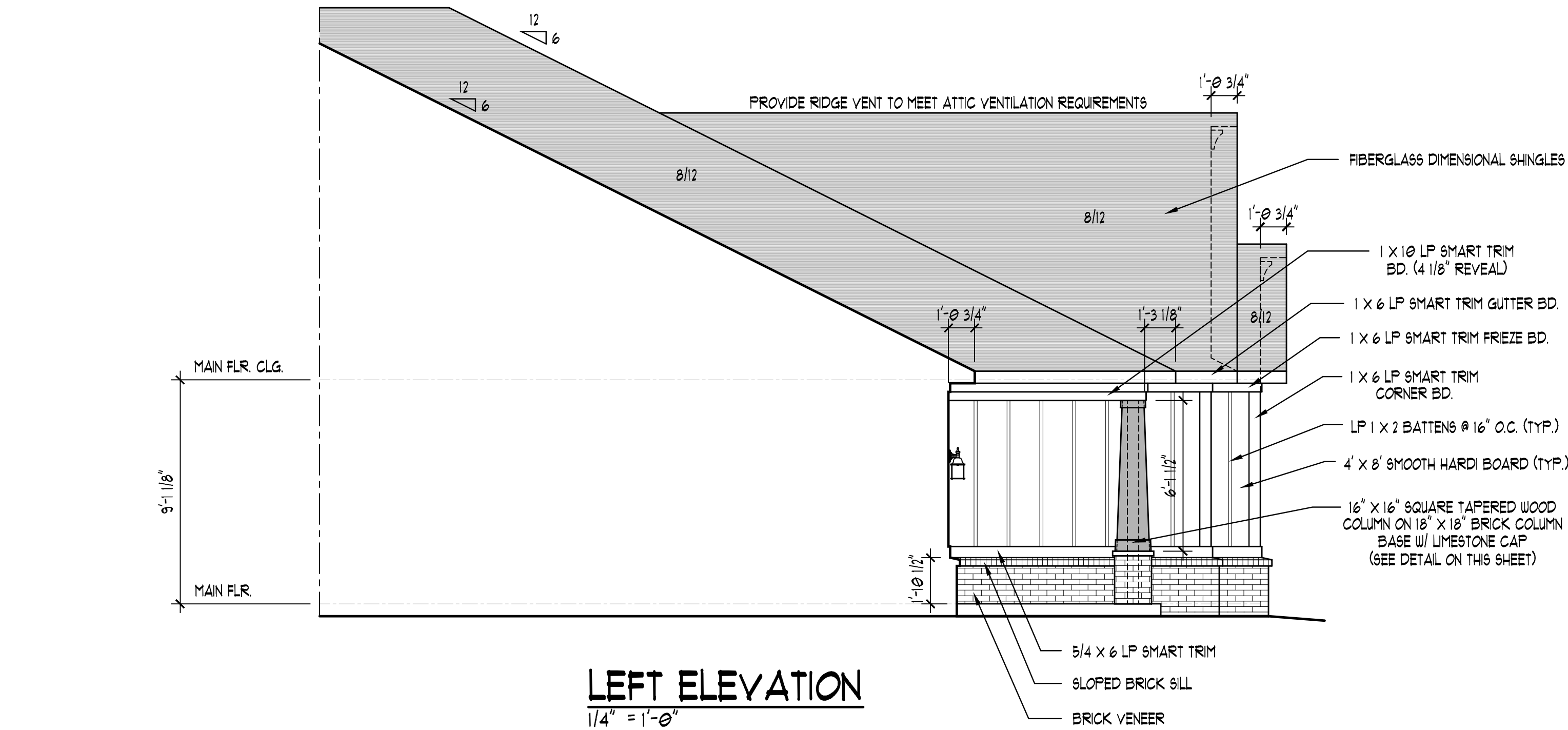


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Left & Right Side  
Elevations

Sheet Number  
**A2.1**



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## A2.2

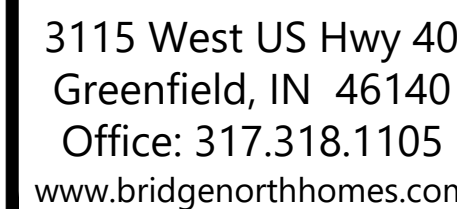


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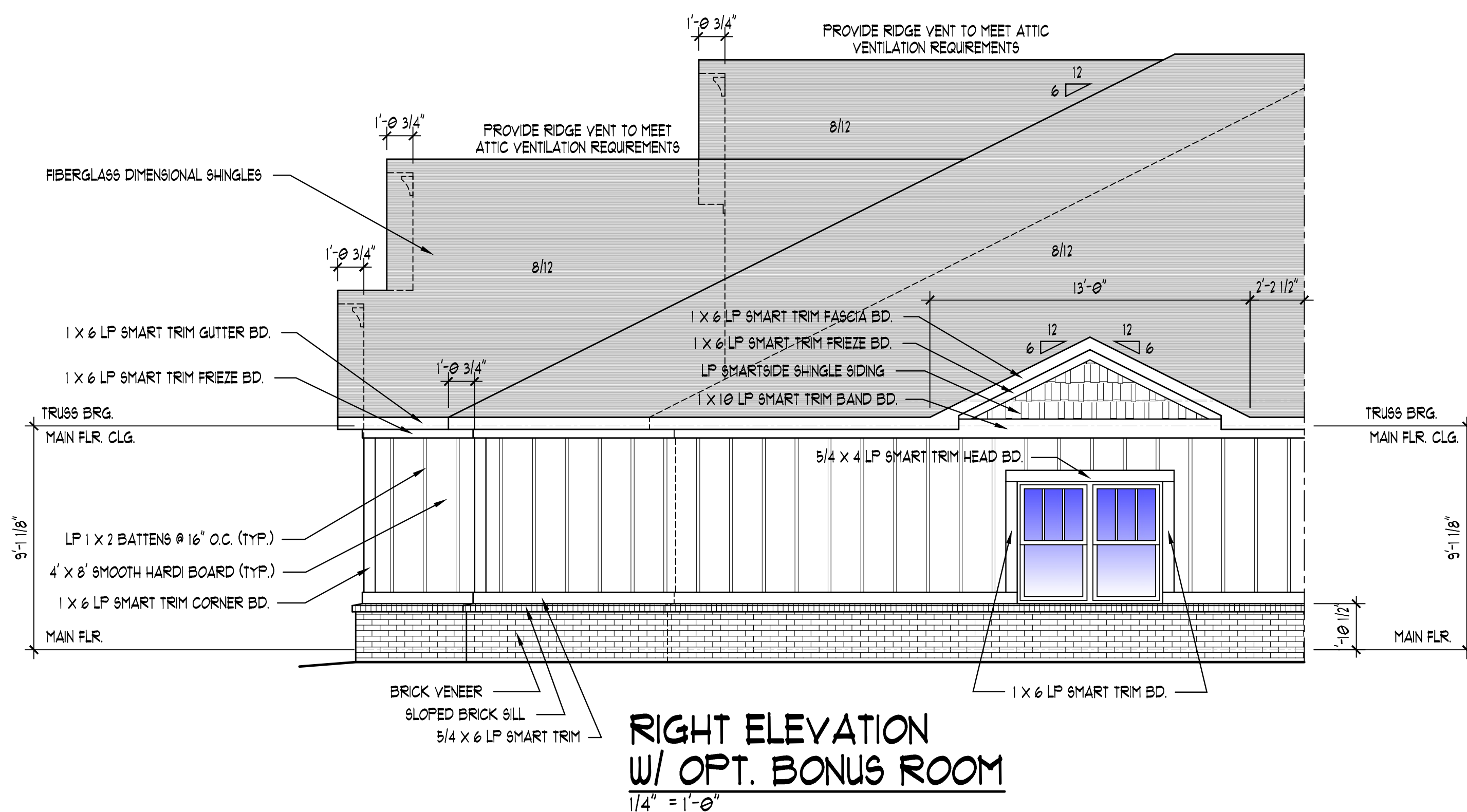
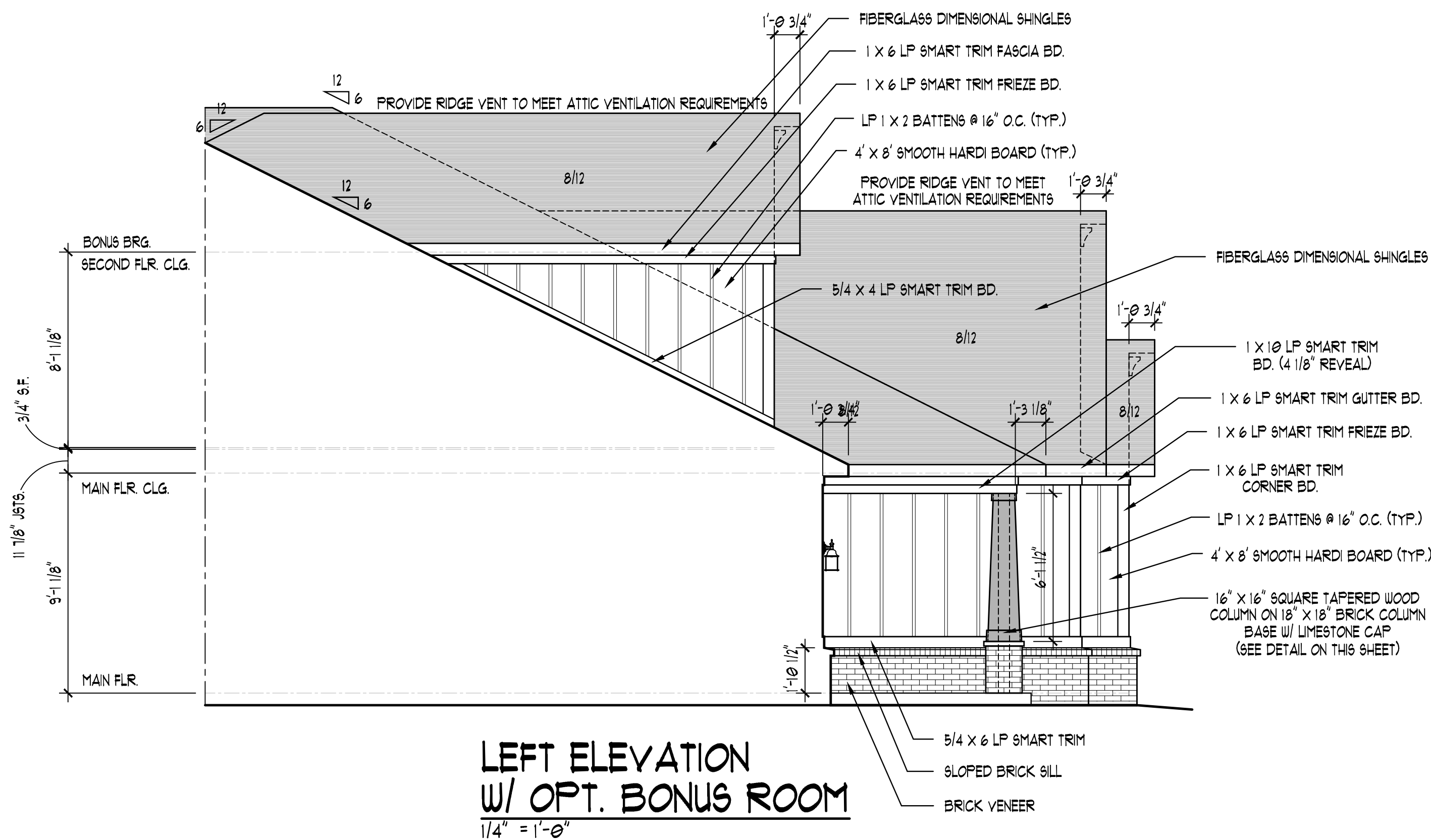
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## The Preserve Series



Date Started:	
Date Revised:	

## A2.3



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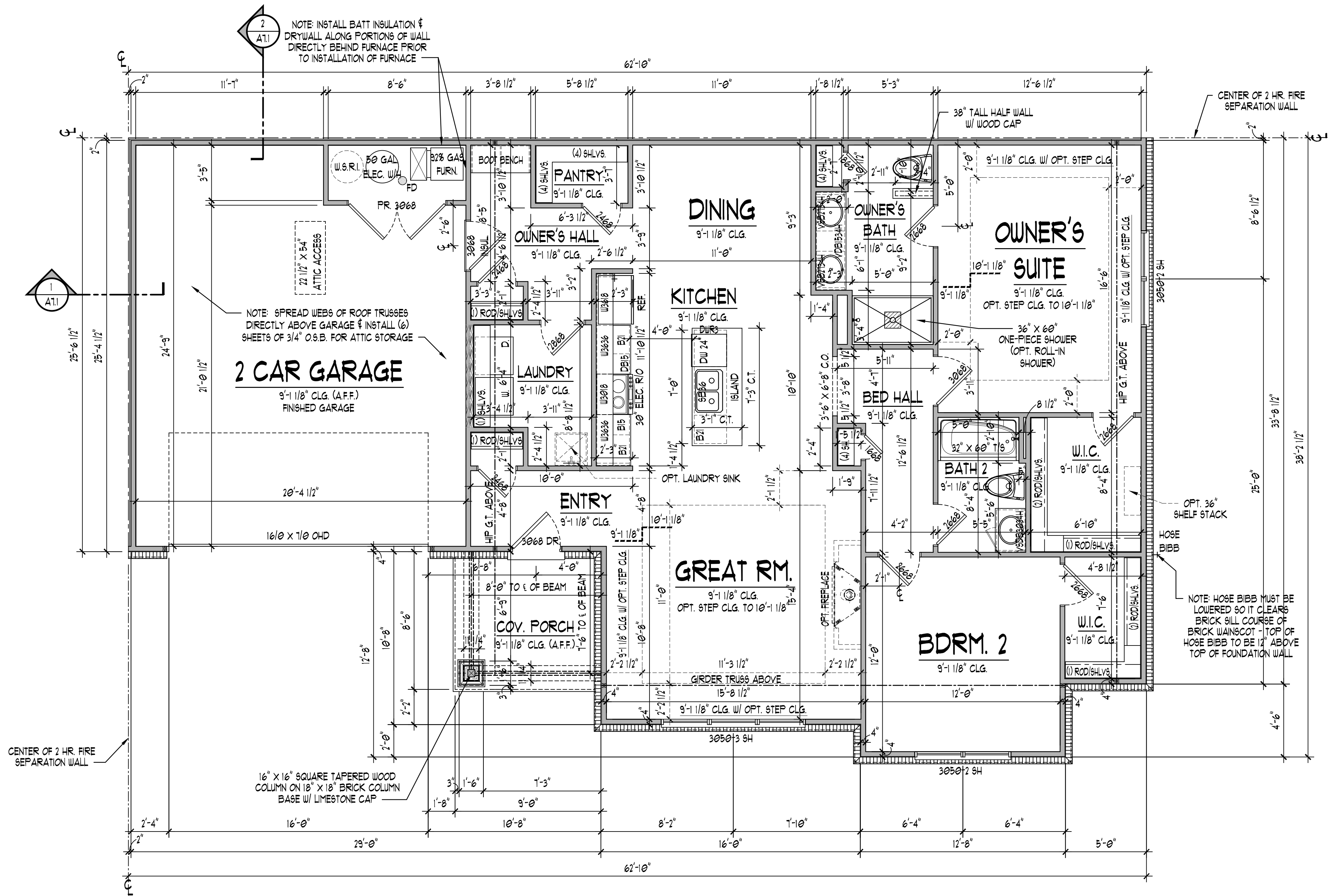
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First Floor Plan

Sheet Number

A4.0



WALL LEGEND	
	2 X 6 FRAMED WALLS
	2 X 4 FRAMED WALLS
	INDICATES INTERIOR LOAD BEARING FRAMED WALLS
	INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.
	INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.
	BRICK OR STONE MASONRY

## FIRST FLOOR PLAN

1/4" = 1'-0"

9'-1 1/8" H. WALLS (U.O.N.)  
1,445 SQ. FT. (FINISHED)  
532 SQ. FT. (GARAGE)  
79 SQ. FT. (FRONT COV. PORCH)

### FLOOR PLAN NOTES:

- SPECIFIC DOOR AND WINDOW CODES ARE "JELD WEN" SINGLE HUNG UNITS; HOWEVER, BUILDER AND/OR HOMEOWNER SHALL DETERMINE THE FINAL WINDOW AND DOOR SELECTION.
- SET BTM. OF WINDOW HEADERS @ 6'-10 1/2" A.F.F. UNLESS OTHERWISE NOTED
- WINDOW SUPPLIER TO VERIFY ALL WINDOW SIZES PRIOR TO ORDERING
- EXTERIOR 2 X 4 WALLS DRAWN AS 4" THICK (INCL. 1/2" SHEATHING)
- EXTERIOR 2 X 6 WALLS DRAWN AS 6" THICK (INCL. 1/2" SHEATHING)
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## The Preserve Series



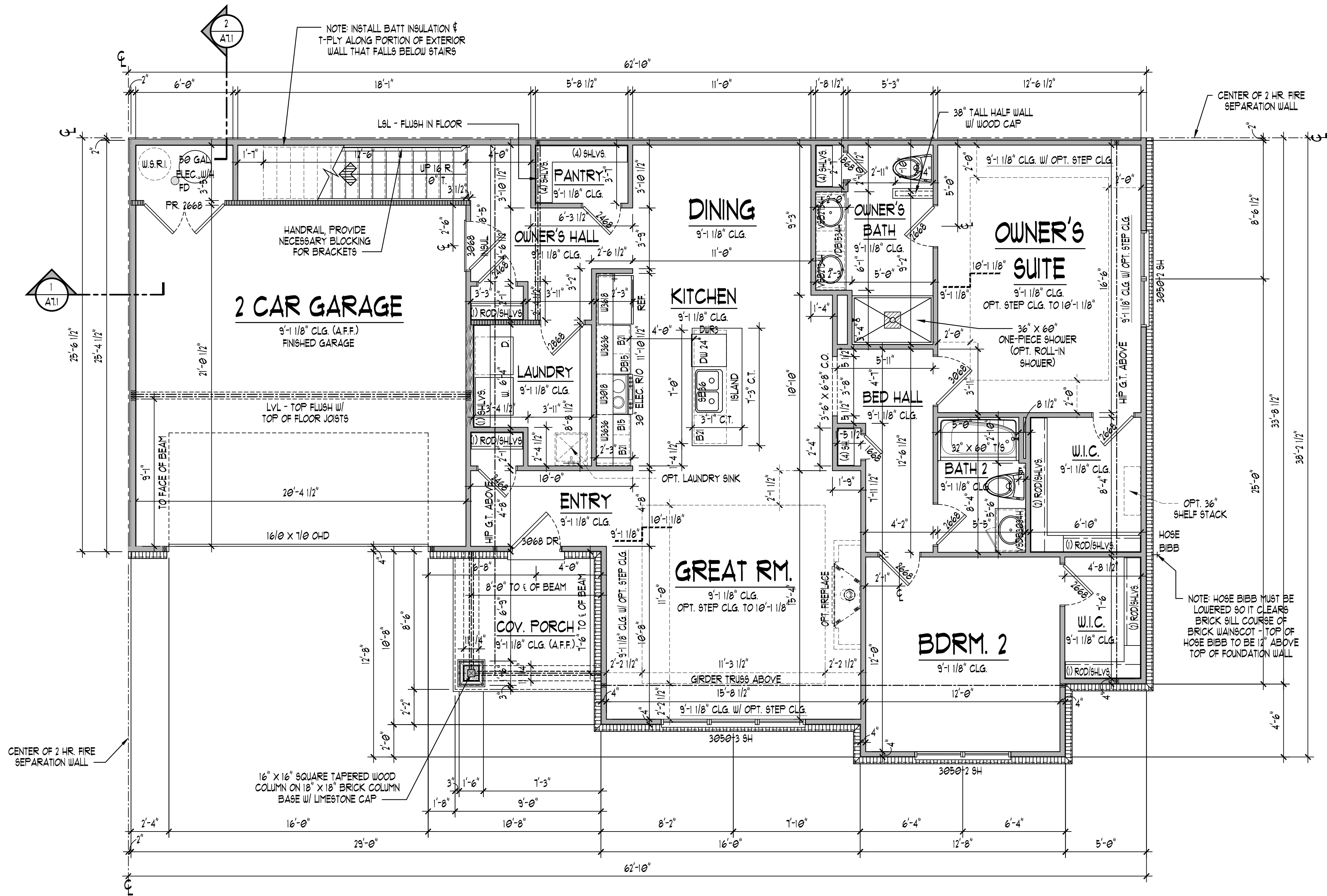
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First Floor Plan-Opt.  
Attic Storage

Sheet Number

A4.1



## FIRST FLOOR PLAN W/ OPT. ATTIC STORAGE

1/4" = 1'-0"

9'-1 1/8" H. WALLS (U.O.N.)  
1,494 SQ. FT. (FINISHED)  
483 SQ. FT. (GARAGE)  
79 SQ. FT. (FRONT COV. PORCH)

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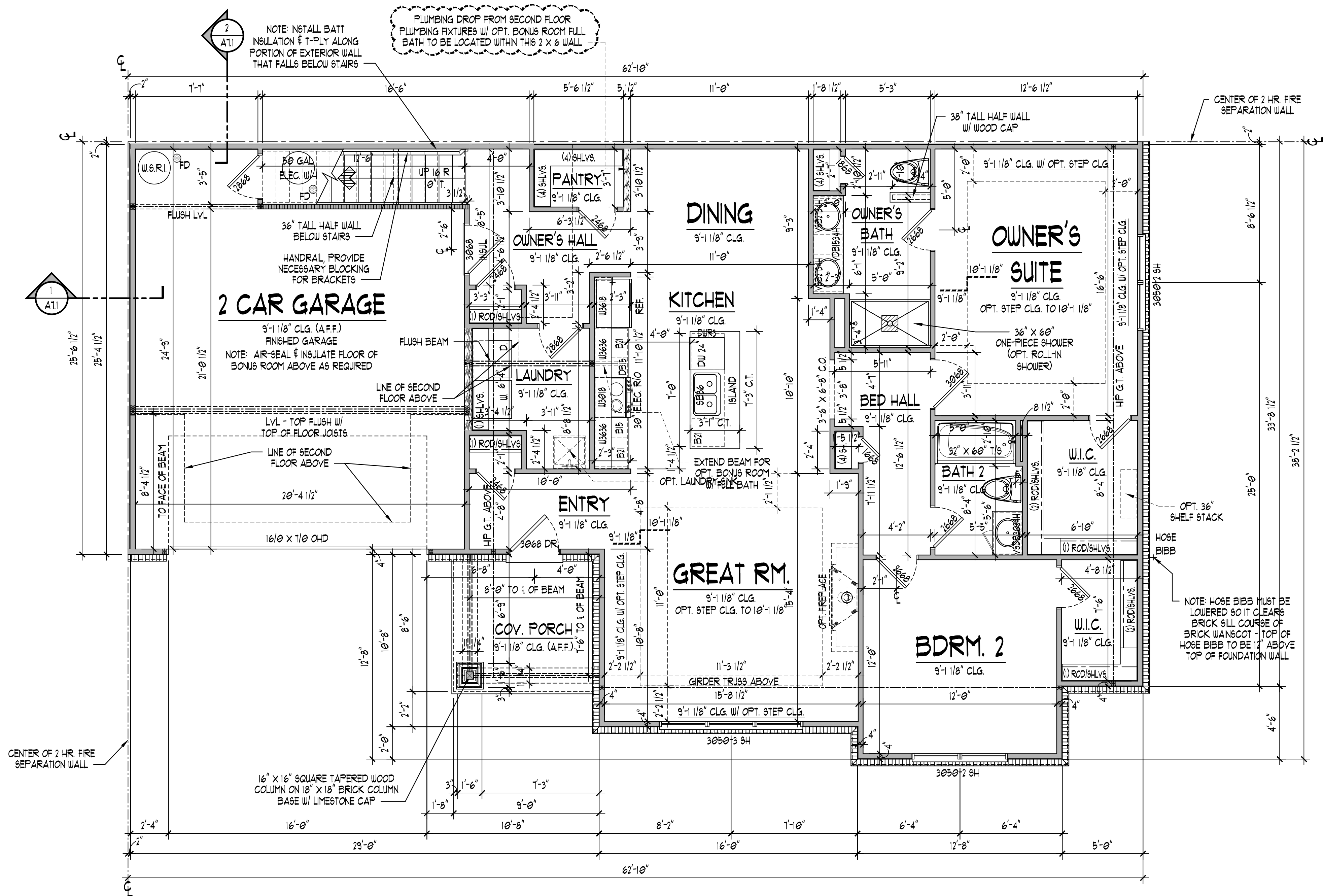
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First Floor Plan-Opt.  
Bonus Room

Sheet Number

A4.2



WALL LEGEND	
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## FIRST FLOOR PLAN W/ OPT. BONUS ROOM

1/4" = 1'-0"

9'-1 1/8" H. WALLS (U.O.N.)

1,494 SQ. FT. (FINISHED)

483 SQ. FT. (GARAGE)

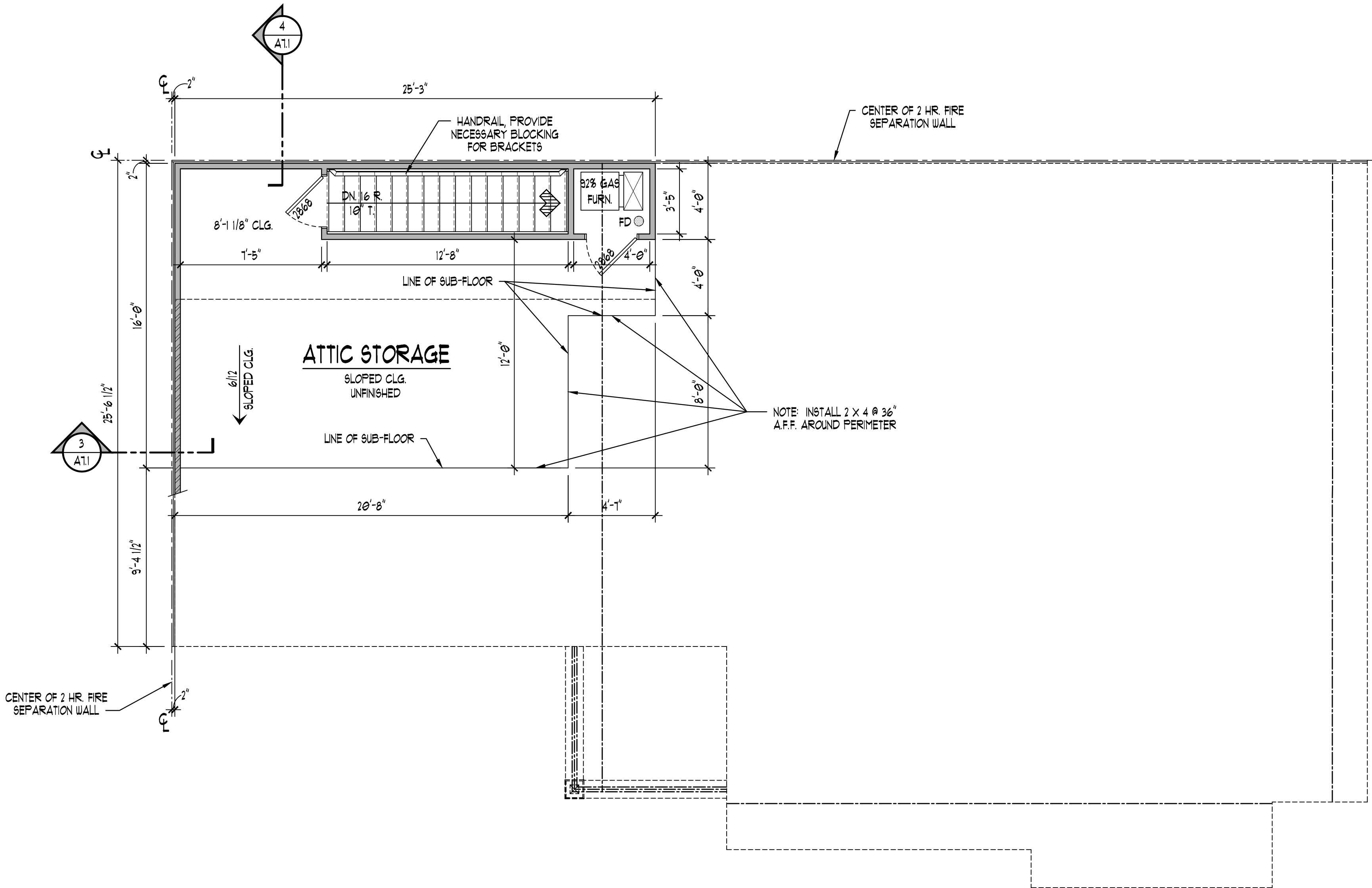
79 SQ. FT. (FRONT COV. PORCH)

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	BRICK OR STONE MASONRY

**OPT. ATTIC STORAGE** 8'-1 1/8" H. WALLS (U.O.N.)  
1/4" = 1'-0" 325 SQ. FT. (STORAGE)

FLOOR PLAN NOTES:

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- G.C. TO VERIFY SIZE AND INSTALLATION METHOD OF SHOWER WITH P.C. PRIOR TO CONSTRUCTING STUD WALL. STUD WALL TO EXTEND PAST FRONT OF SHOWER A MIN. OF 2'.

Cleveland 1455  
The Preserve Series

**BRIDGENORTH HOMES**  
3115 West US Hwy 40  
Greenfield, IN 46140  
Office: 317.318.1105  
www.bridgenorthhomes.com

Project No:	-
Project Name:	-
Drawn By:	LT
Date Started:	-
Date Revised:	-

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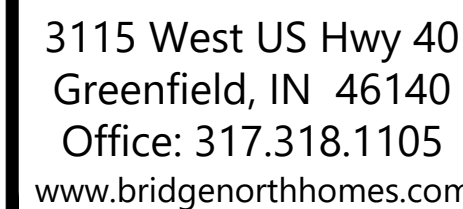
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Master Plan Revision	
Revision #	Date
1	3/24/25
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# Cleveland 1455

## The Preserve Series

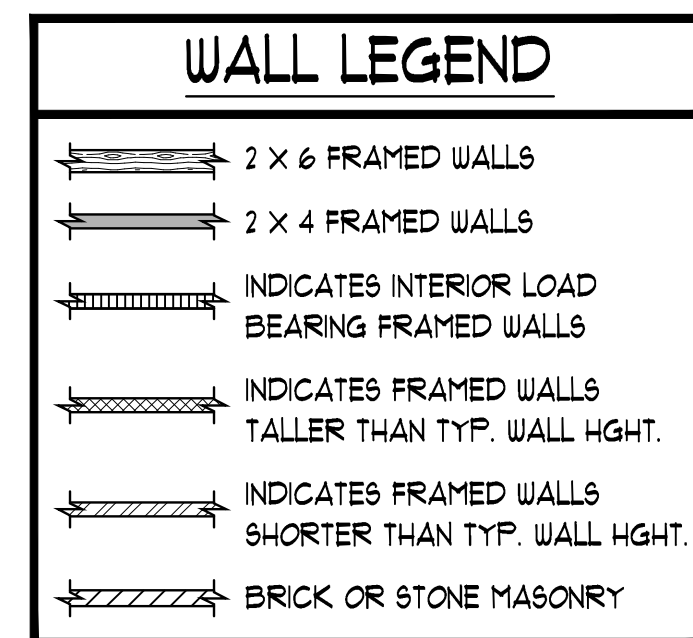
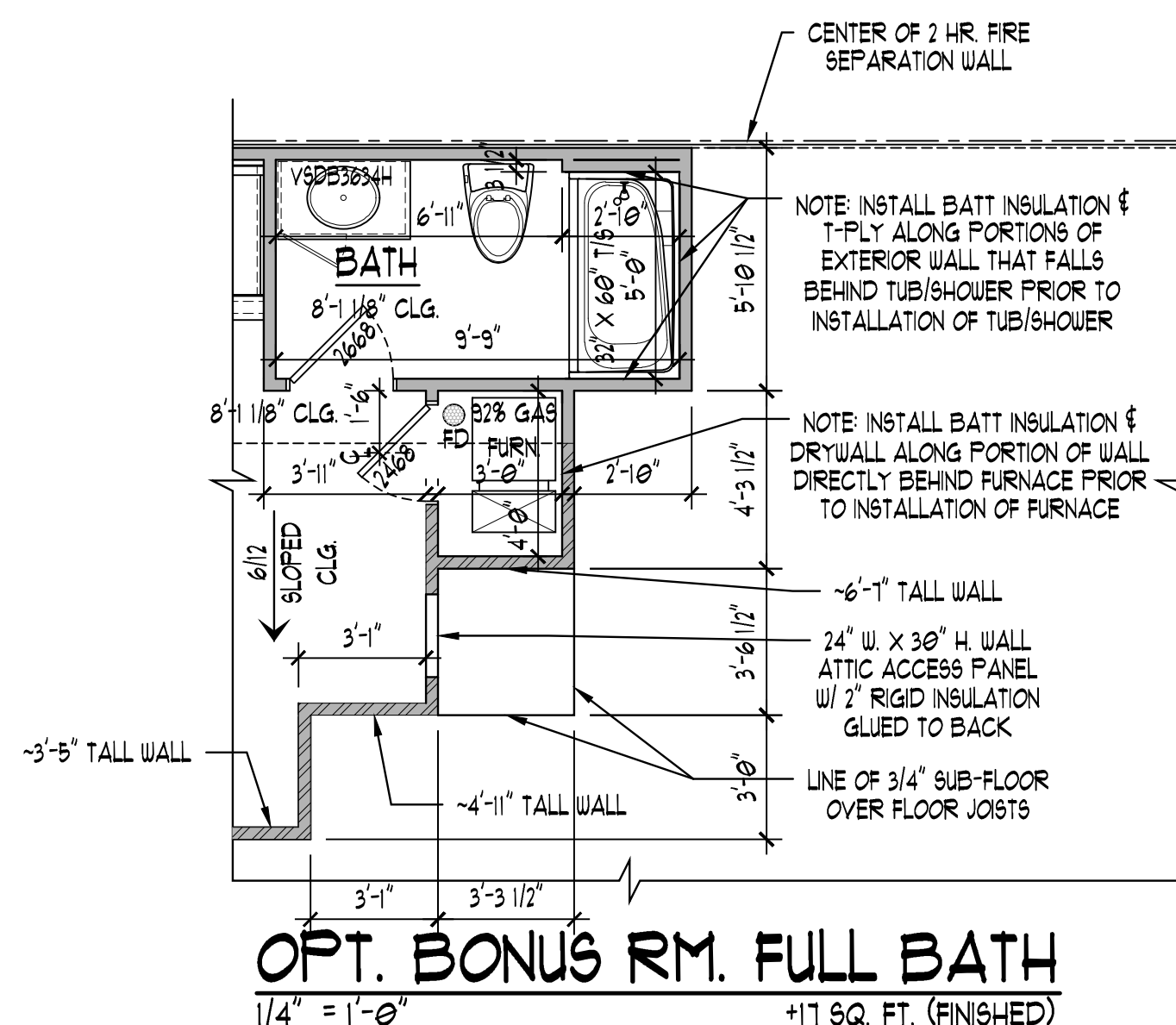
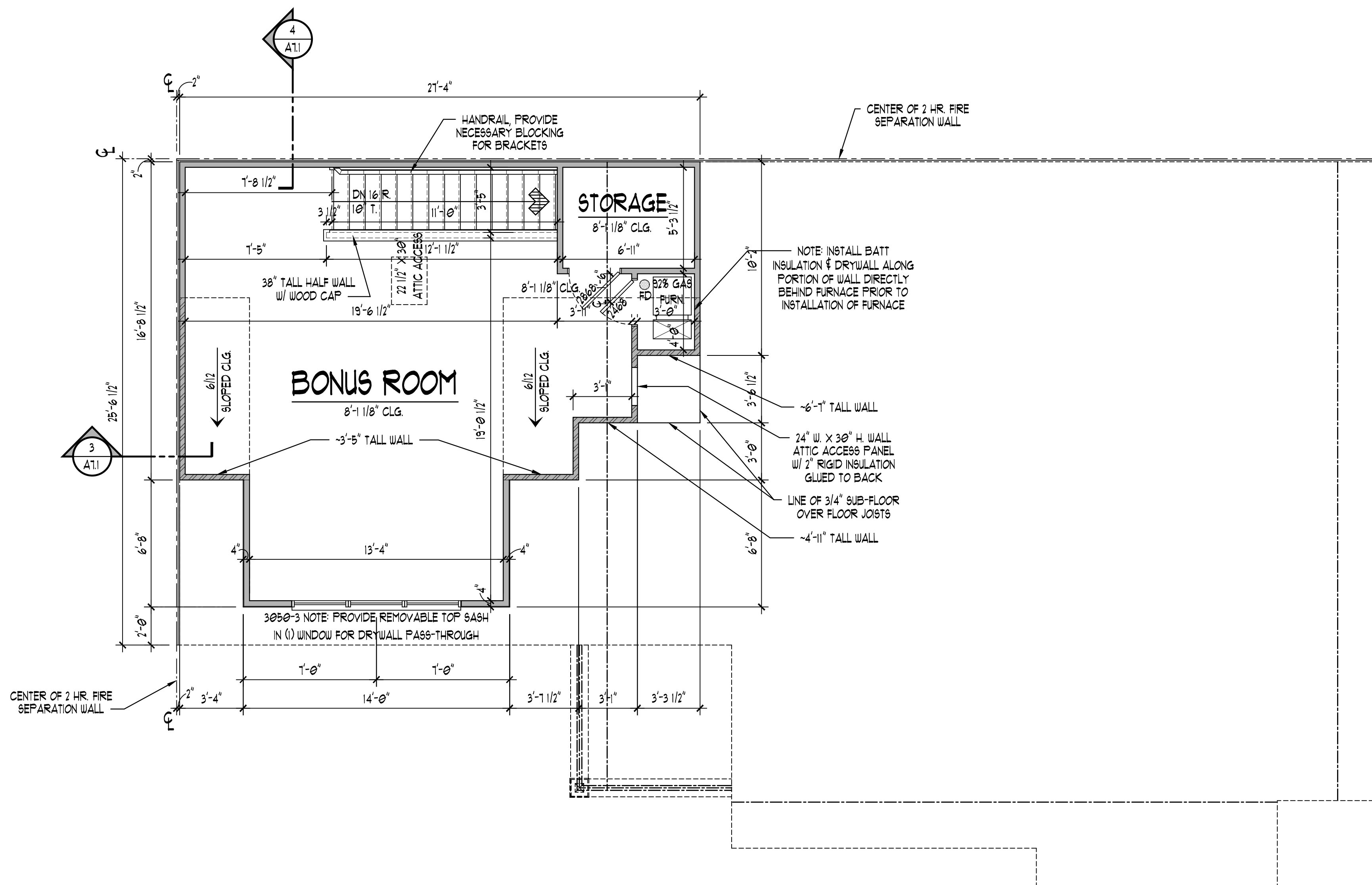


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## A5.1

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OPT. BONUS RM. 8'-1 1/8" H. WALLS (U.O.N.)  
1/4" = 1'-0" +481 SQ. FT. (FINISHED)

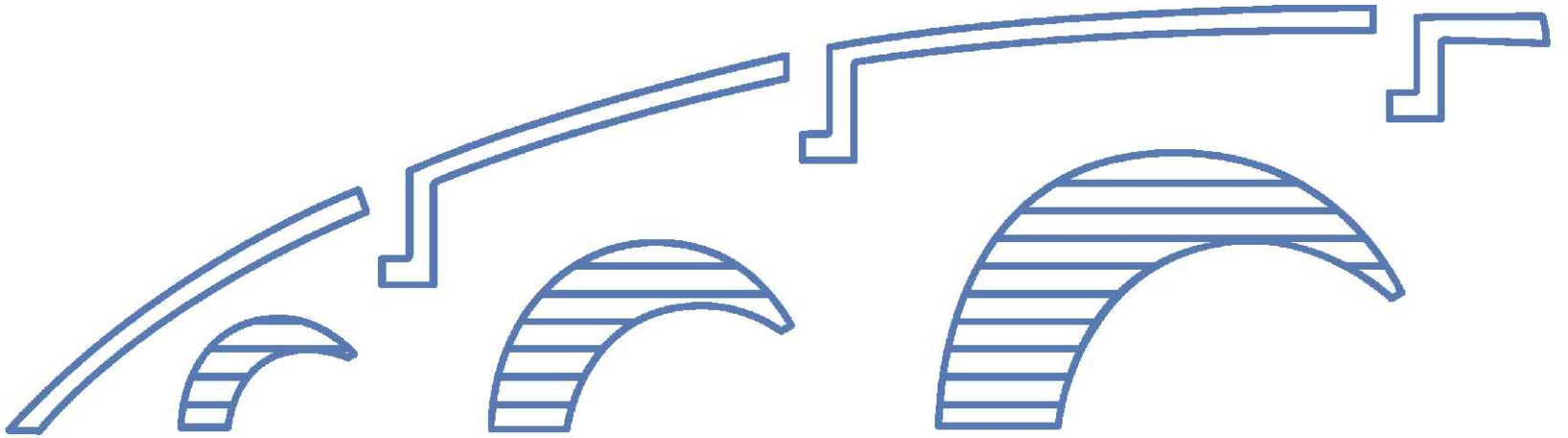
FLOOR PLAN NOTES

- SPECIFIC DOOR AND WINDOW CODES ARE "YELD WEN" SINGLE HUNG UNITS: HOWEVER BUILDER AND/OR HOMEOWNER SHALL DETERMINE THE FINAL WINDOW AND DOOR SELECTION.
- SET BTM. OF WINDOW HEADERS @ 6'-10 1/2" A.F.F. UNLESS OTHERWISE NOTED
- WINDOW SUPPLIER TO VERIFY ALL WINDOW SIZES PRIOR TO ORDERING
- EXTERIOR 2 X 4 WALLS DRAIN AS 4" THICK (INCL. 1 1/2" SHEATHING)
- EXTERIOR 2 X 6 WALLS DRAIN AS 6" THICK (INCL. 1 1/2" SHEATHING)
- INTERIOR 2 X 4 WALLS DRAIN AS 3 1/2" THICK (STUDS ONLY)
- INTERIOR 2 X 6 WALLS DRAIN AS 5 1/2" THICK (STUDS ONLY)
- BUILDING/GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO CURRENTLY ADOPTED IRC, STATE AND LOCAL BUILDING CODES.
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X:\Master Plans\Bridgenorth Homes\The Preserve Series\Quad\Drawings\Bridg\Roof\Eisenhower\_Hip\_Roof\DWG\_3728\2025\_23252.Plot

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A2.0	FRONT ELEVATION
A2.1	LEFT & RIGHT SIDE ELEVATIONS
A2.2	FRONT ELEVATION-OPT. BONUS ROOM
A2.3	LEFT & RIGHT SIDE ELEVATIONS-OPT. BONUS ROOM
A3.0	SLAB FOUNDATION PLAN
A3.1	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN
A3.2	SLAB FOUNDATION PLAN-OPT. ATTIC STORAGE
A3.3	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN-OPT.ATTIC STOR.
A3.4	SLAB FOUNDATION PLAN-OPT. BONUS ROOM
A3.5	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN-OPT. BNS. RM.
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A4.1	FIRST FLOOR PLAN-OPT. ATTIC STORAGE
A4.2	FIRST FLOOR PLAN-OPT. BONUS ROOM
A5.0	OPT. ATTIC STORAGE
A5.1	OPT. BONUS ROOM
A6.0	ROOF PLAN
A6.1	ROOF PLAN-OPT. ATTIC STORAGE
A6.2	ROOF PLAN-OPT. BONUS ROOM
A7.0	GENERAL NOTES & TYPICAL WALLS SECTIONS
A7.1	TYPICAL FIRE WALL SECTIONS
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R2.0	OPT. 4' GARAGE SIDE EXTENSION-ELEVATIONS
R2.1	OPT. 4' GARAGE SIDE EXTENSION-FOUNDATIONS
R2.2	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.3	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.4	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.5	ROOF PLAN-OPT. 4' GARAGE SIDE EXTENSION
R2.6	ROOF PLAN-OPT. 4' GARAGE SIDE EXT. & OPT. ATTIC STORAGE
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R3.1	OPT. 3 CAR FRONT LOAD GARAGE-FOUNDATIONS
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R3.4	OPT. 3 CAR FRONT LOAD GARAGE-FLOOR PLANS
R3.5	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE
R3.6	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE & OPT. ATTIC STORAGE
R3.7	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE & OPT. BONUS ROOM
E1.0	FIRST FLOOR ELECTRICAL PLAN
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E1.2	FIRST FLOOR ELECTRICAL PLAN-OPT. BONUS ROOM
E2.0	OPT. ATTIC STORAGE ELECTRICAL PLAN
E2.1	OPT. BONUS ROOM ELECTRICAL PLAN
F1.0	SECOND FLOOR FRAMING PLAN-OPT. ATTIC STORAGE
F1.1	SECOND FLOOR FRAMING PLAN-OPT. BONUS ROOM
F1.2	SECOND FLOOR FRAMING PLAN-OPT. BONUS ROOM FULL BATH



# BRIDGENORTH

## HOMES

# EISENHOWER 1511

UNIT # -

-

MASTER PLAN REVISION: # 1, DATED 3-12-25

SQUARE FOOTAGES	
AREA	SQUARE FEET
FIRST FLOOR	1,511 SQ. FT.
FIRST FLOOR W/ OPT. ATTIC STORAGE	1,560 SQ. FT.
FIRST FLOOR W/ OPT. BONUS ROOM	1,560 SQ. FT.
GARAGE	532 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION	634 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE	788 SQ. FT.
GARAGE W/ OPT. ATTIC STORAGE	483 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION & OPT. ATTIC STORAGE	585 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE & OPT. ATTIC STORAGE	738 SQ. FT.
GARAGE W/ OPT. BONUS ROOM	483 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION & OPT. BONUS ROOM	585 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE & OPT. BONUS ROOM	738 SQ. FT.
FRONT COVERED PORCH	160 SQ. FT.
OPT. ATTIC STORAGE	325 SQ. FT.
OPT. ATTIC STOR. W/ OPT. 4' GAR. SIDE EXT. OR OPT. 3 CAR FRONT LOAD GAR.	322 SQ. FT.
OPT. BONUS ROOM	+492 SQ. FT.
OPT. BONUS ROOM W/ FULL BATH	+510 SQ. FT.
OPT. BNS. ROOM W/ OPT. 4' GAR. SIDE EXT. OR OPT. 3 CAR FRONT LOAD GAR.	+490 SQ. FT.

EISENHOWER-HIP ROOF - MASTER PLAN REVISION LOG			
REVISION #	DATE	DRAWN BY:	DESCRIPTION OF REVISIONS:
1	3-12-25	LT	INITIAL CONSTRUCTION PLANS COMPLETED

COMMON PLAN ABBREVIATIONS & SYMBOLS		
@ - AT A/C - AIR CONDITIONING COMPRESSOR A.F.F. - ABOVE FIRST (OR FINISHED) FLOOR ABV. - ABOVE APPROX. OR - APPROXIMATE ARCH OR ARCH. - ARCHITECTURAL AVG. - AVERAGE B & B - BOARD & BATTEN BD - BOARD BDRM - BEDROOM BNS. - BONUS B/P OR B.P. - BI-PASS BRG - BEARING BSMT. - BASEMENT B/S OR B.S. - BI-SWING BTM. OR BTM. - BOTTOM C - CENTER LINE CAT 5 - CATEGORY 5 CABLE CAT 6 - CATEGORY 6 CABLE CANT. - CANTILEVER OR CANTILEVERED CATH. - CATHEDRAL C.O. - CASED OPENING OR CLEANOUT CLG OR CLG. - CEILING CMU OR C.M.U. - CONCRETE MASONRY UNIT CO - CARBON MONOXIDE COL. - COLUMN CONC. - CONCRETE CONT. - CONTINUOUS COV. - COVERED CRNR. - CORNER CROWN - CROWN C.T. - COOK TOP OR COUNTER TOP OR DIA. - DIAMETER ° OR DEG. - DEGREE D. - DEEP OR DRYER DD OR D.D. - DEAD LOAD Δ OR DEF. - DEFLECTION DH OR D.H. - DOUBLE HUNG DECOR. - DECORATIONS DED. - DEDICATED DET. - DETERMINED DISP. - GARBAGE DISPOSAL DN OR DN. - DOWN DR - DOOR D.V. - DIRECT VENT DW OR D.W. - DISH WASHER OR DRYWALL D.W.O. - DRYWALLED OPENING ELEC. - ELECTRICAL ENG. - ENGINEERED EQ. - EQUAL EXT. - EXTENSION OR EXTERIOR FD OR F.D. - FLOOR DRAIN FIN - FINISHED FIX. - FIXTURE F.J. - FLOOR JOIST FLR - FLOOR	FNDTN. - FOUNDATION F.P. - FIREPLACE FT. - FOOT OR FEET FTG. - FOOTING FURN. - FURNACE FX - FIXED G. OR GA. - GAUGE GALV. - GALVANIZED G.C. - GENERAL CONTRACTOR GFI - GROUND FAULT CIRCUIT INTERRUPTER G.T. - GIRDER TRUSS HVAC OR H.V.A.C. - HEATING, VENTILATION & AIR CONDITIONING H. - HIGH H.B. - HOSE BIBB HDR - HEADER HGT. - HEIGHT HR - HOUR I.D. - INNER DIAMETER ILO OR I.L.O. - IN LIEU OF IN. - INCH OR INCHES INC. - INCLUDES INSUL. - INSULATED INT. - INTERIOR IRC - INTERNATIONAL RESIDENTIAL CODE KIT. - KITCHEN LAM. - LAMINATED # OR LBS. - POUNDS LED - LIGHT EMITTING DIODE LF OR L.F. - LINEAL OR LINEAR FEET LL OR LL. - LIVE LOAD LNDRY. - LAUNDRY LSL - LAMINATED STRAND LUMBER LVL - LAMINATED VENEER LUMBER LVP OR L.V.P. - LUXURY VINYL PLANK LVT OR L.V.T. - LUXURY VINYL TILE MAN. OR MANUF. - MANUFACTURED MAX. - MAXIMUM MECH. - MECHANICAL MFG. - MANUFACTURING MICRO. - MICROWAVE OVEN ML OR MIL. - MILLIMETER MIN. - MINIMUM MSTR. - MASTER N/A - NOT APPLICABLE NO. - NUMBER N.T.S. - NOT TO SCALE O.C. - ON CENTER O.D. - OUTER DIAMETER O.H. - OVERHANG OSB. - ORIENTED STRAND BOARD OHD OR O.H.D. - OVERHEAD DOOR OPNG. - OPENING OPT. - OPTION % - PERCENTAGE P/C - PHOTO CELL	P.C. - PLUMBING CONTRACTOR P.L. - PROPERTY LINE PR - PAIR PSF OR P.S.F. - POUNDS PER SQUARE FEET PSL - PARALLEL-STAND LUMBER PSI OR P.S.I. - POUNDS PER SQUARE INCH P.T. - PRESSURE TREATED PUDR. - POWDER QTY. - QUANTITY R/ OR R.I. - ROUGH-IN R/O - RANGE/OVEN R/S - ROD/SHELVES R OR R. - RADIUS OR RISER R.C. - REINFORCED CONCRETE REC. - RECESSED REF. - REFRIGERATOR REQ. OR REQD. - REQUIRED RM OR RM. - ROOM R.O. - ROUGH OPENING RS. - ROUGH SAUN SAN. - SANITARY SD - SMOKE DETECTOR S.F. - SUB-FLOOR S.G.D. - SLIDING GLASS DOOR SH OR S.H. - SINGLE HUNG SHLVs. - SHELVES S.L. - SIDEITE SQ. FT. - SQUARE FEET S/S - STAINLESS STEEL STOR. - STORAGE STRUC. - STRUCTURAL T & G - TONGUE & GROOVE T/S - TUB/SHOWER T. - TREAD T.B.D. - TO BE DETERMINED TEL. - TELEPHONE TEMP. - TEMPERED THCK. OR THCK'D. - THICKENED .. - THEREFORE TR. - TRIM TV - TELEVISION JACK TYP OR TYP. - TYPICAL UNFIN. - UNFINISHED U.O.N. - UNLESS OTHERWISE NOTED V. OR VAL. - VALLEY VER. - VERIFIED W/ - WITH WH. - WATER HEATER W/P - WATER PROOF OR WEATHER PROOF W. - WASHER, WIDE OR WIDTH WD. - WOOD W.I.C. - WALK IN CLOSET W.I.P. - WALK IN PANTRY W.S.R.I. - WATER SOFTENER ROUGH-IN Y/L. - YARD LIGHT

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Eisenhower 1511  
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Cover Sheet

Sheet Number

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# Eisenhower 1511

## The Preserve Series



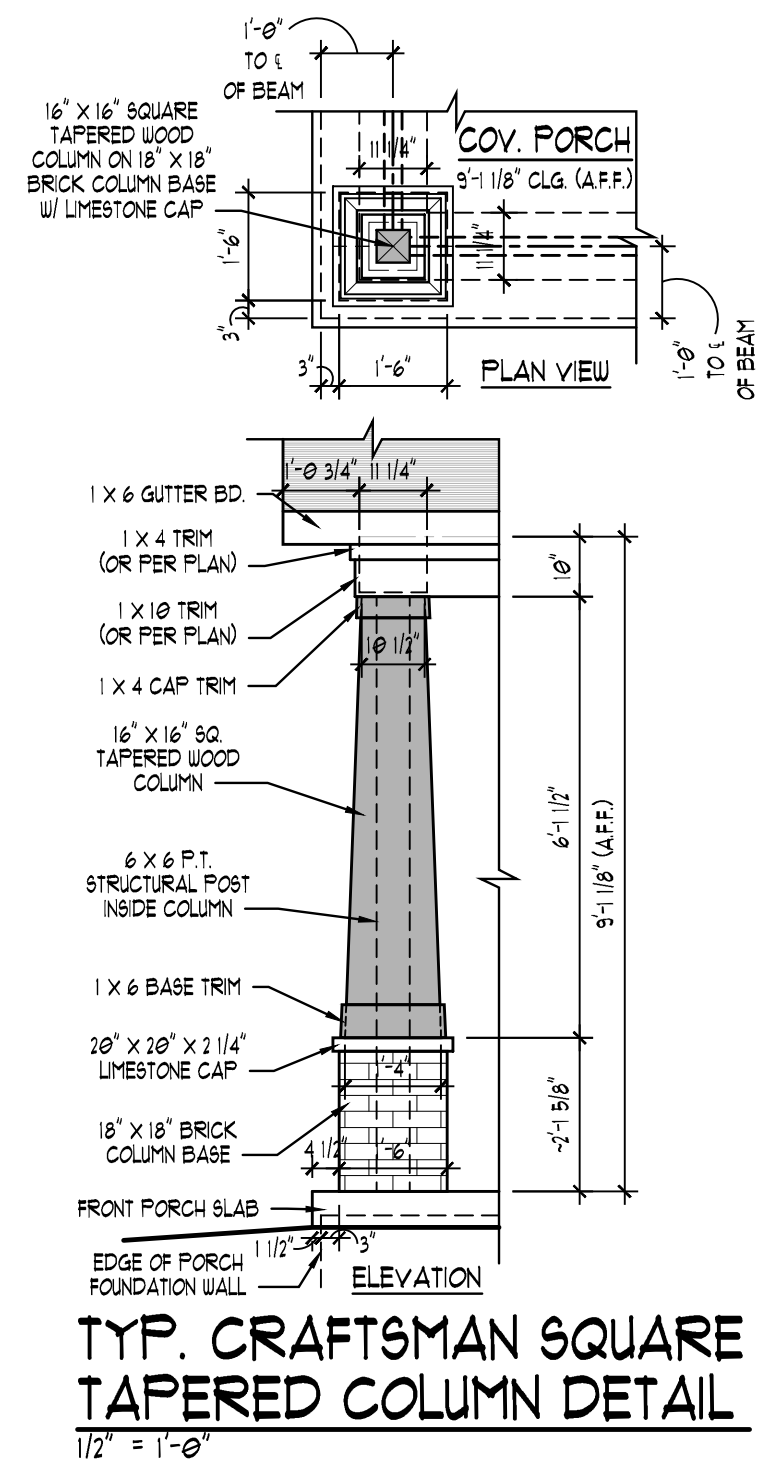
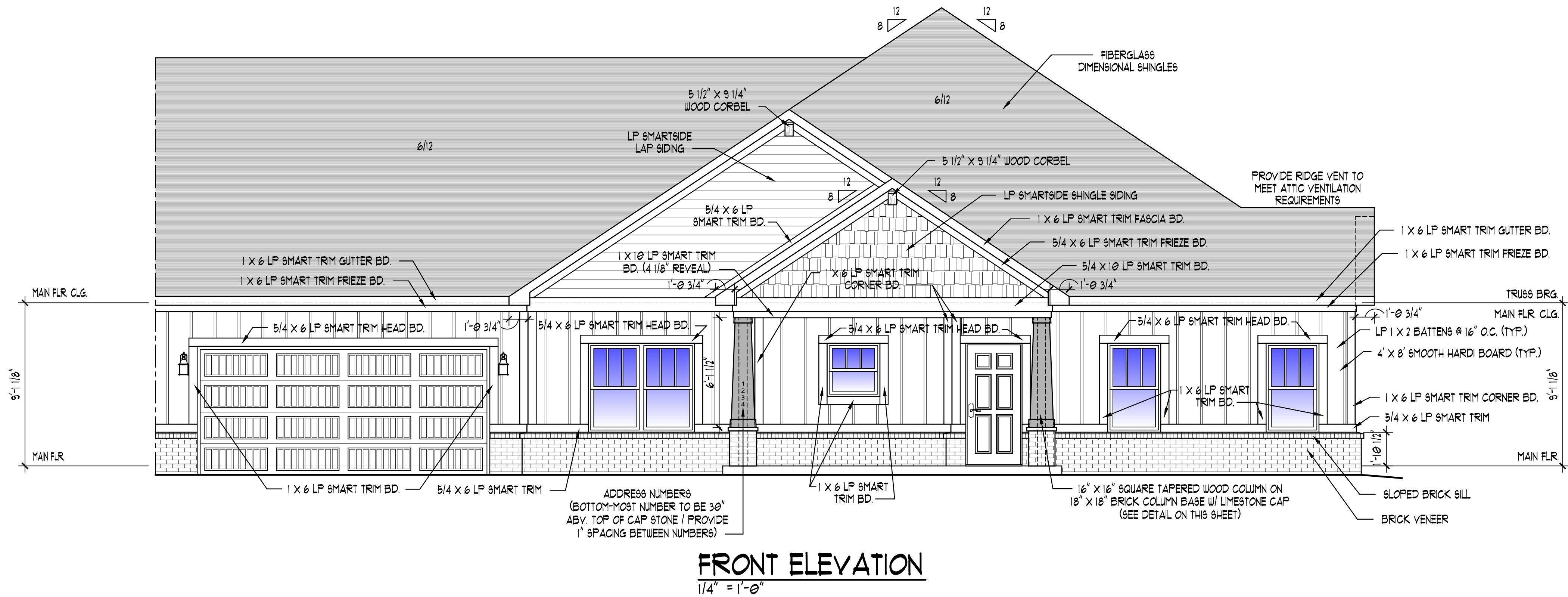
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Front Elevation

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Left 8 Right Side

### Elevations

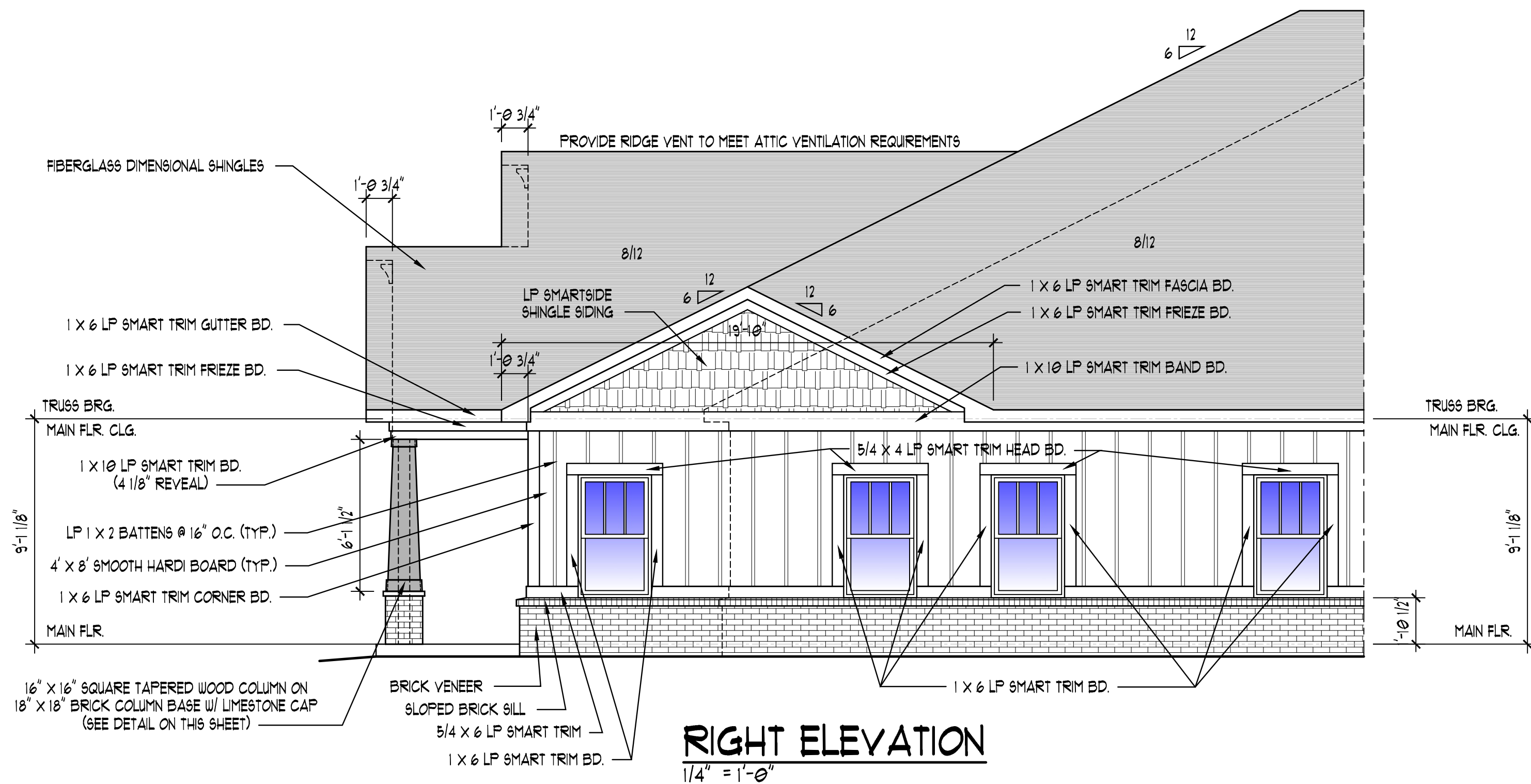
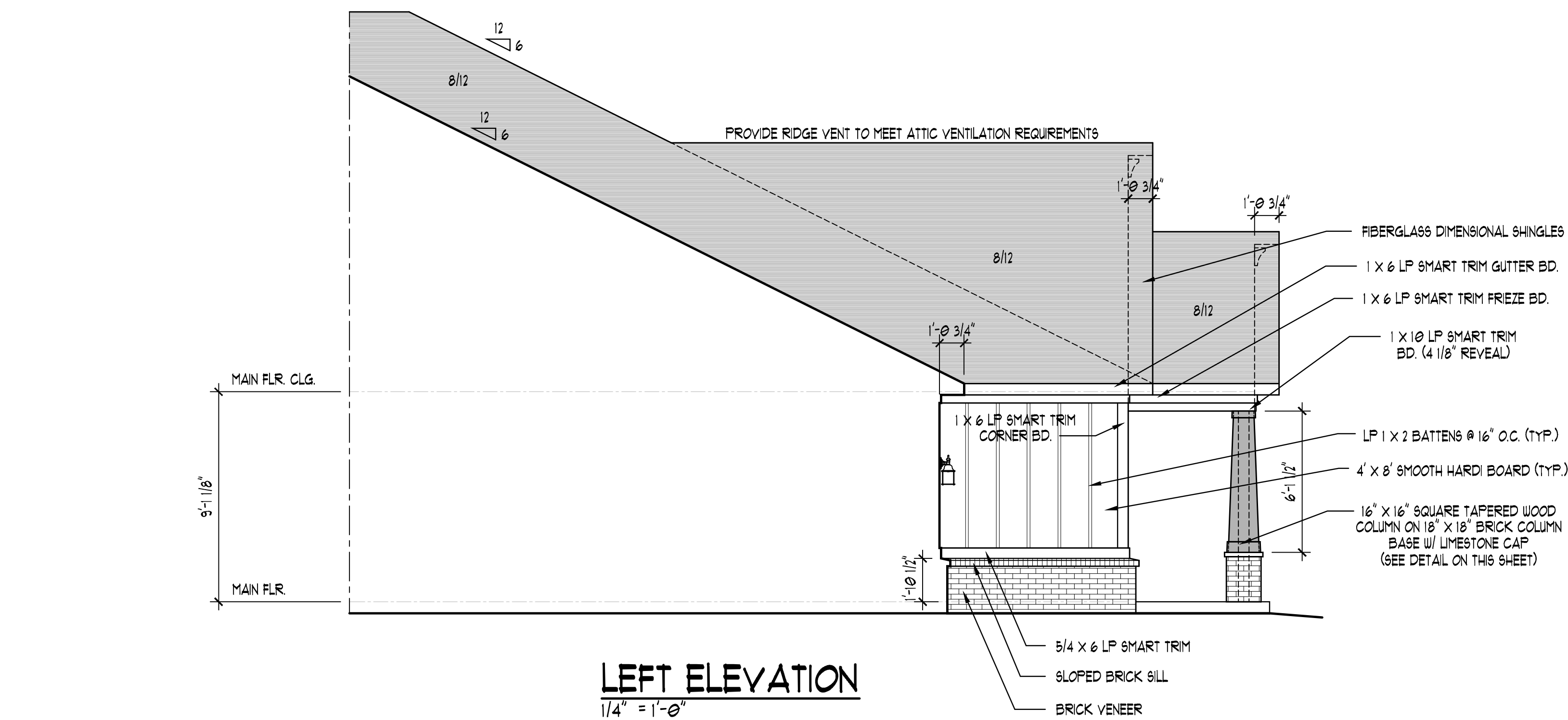
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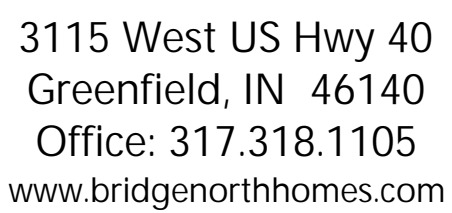
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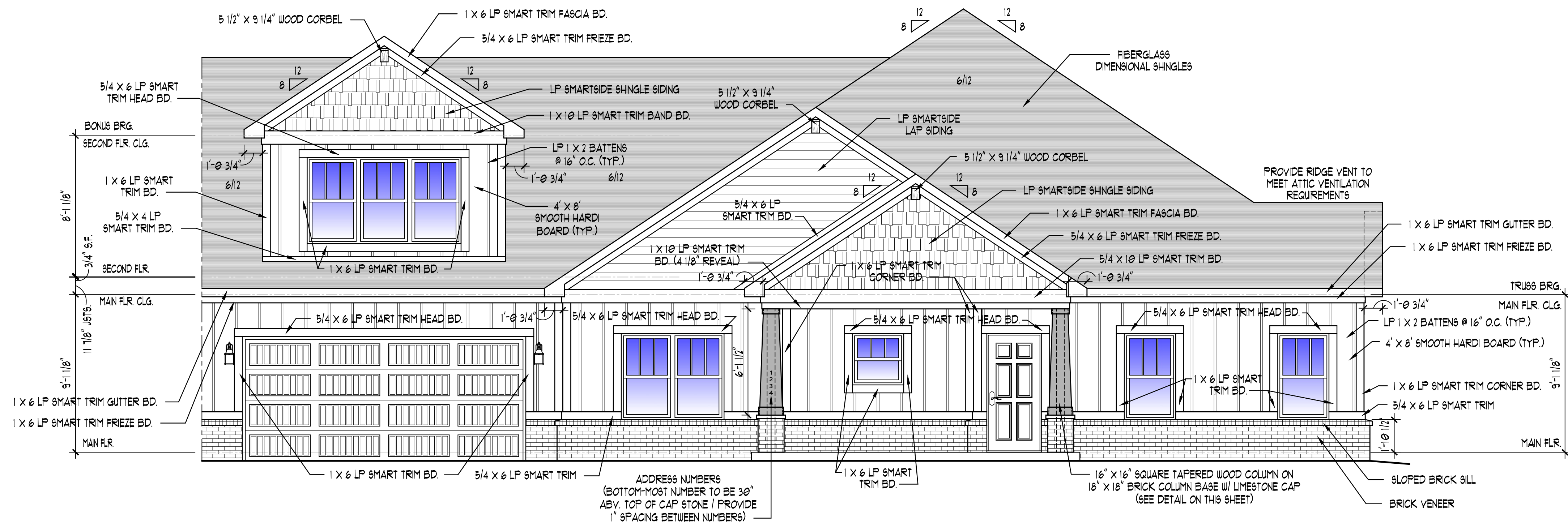
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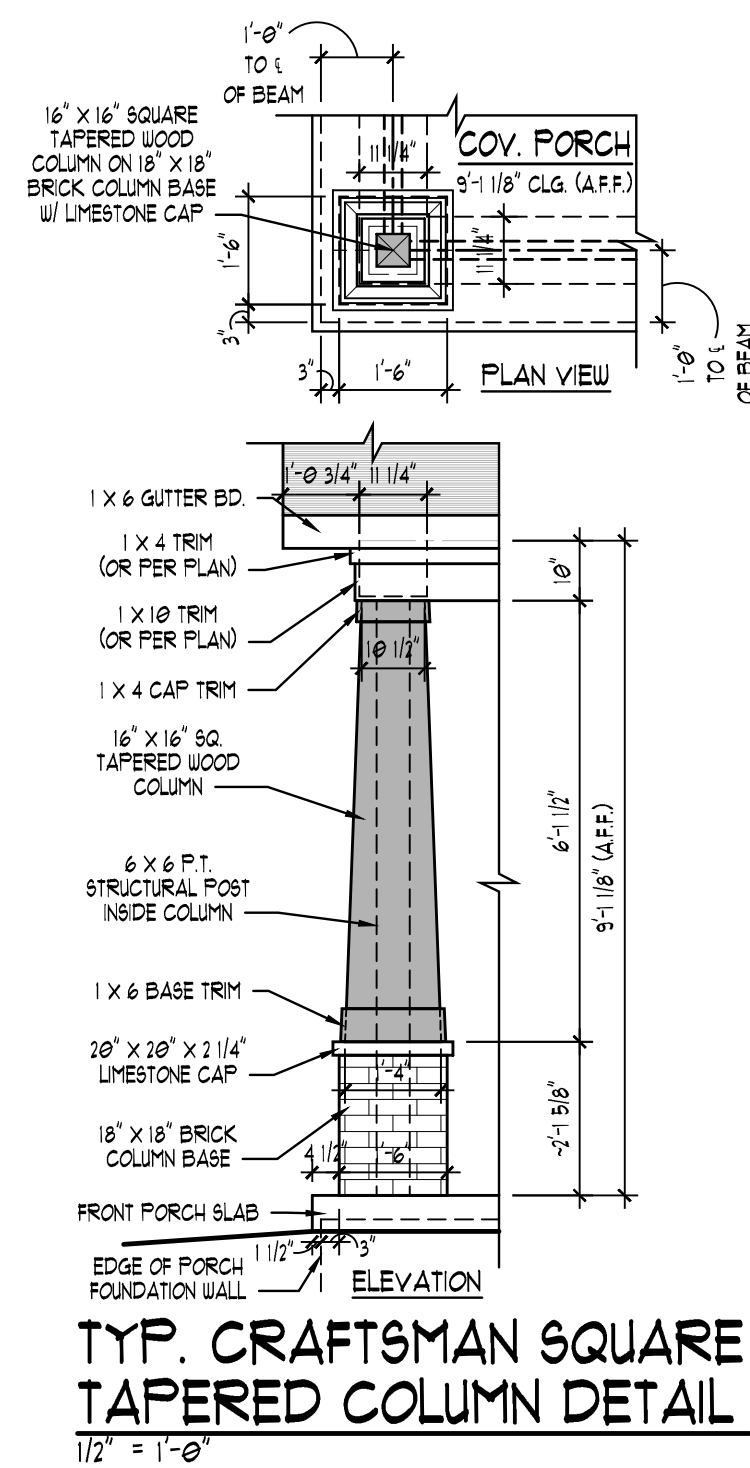
Front Elevation Ont

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FRONT ELEVATION  
W/ OPT. BONUS ROOM  
1/4" = 1'-0"



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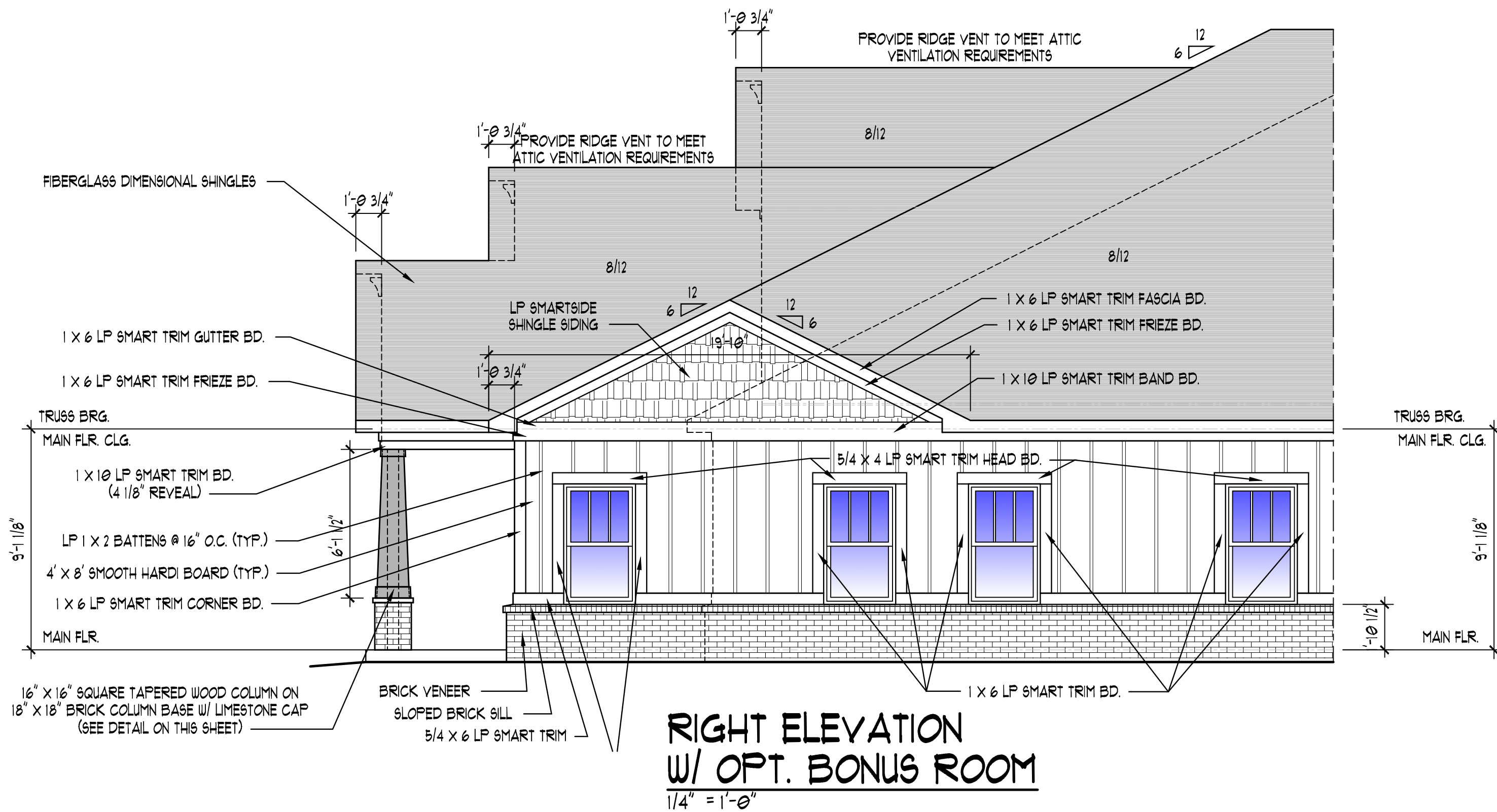
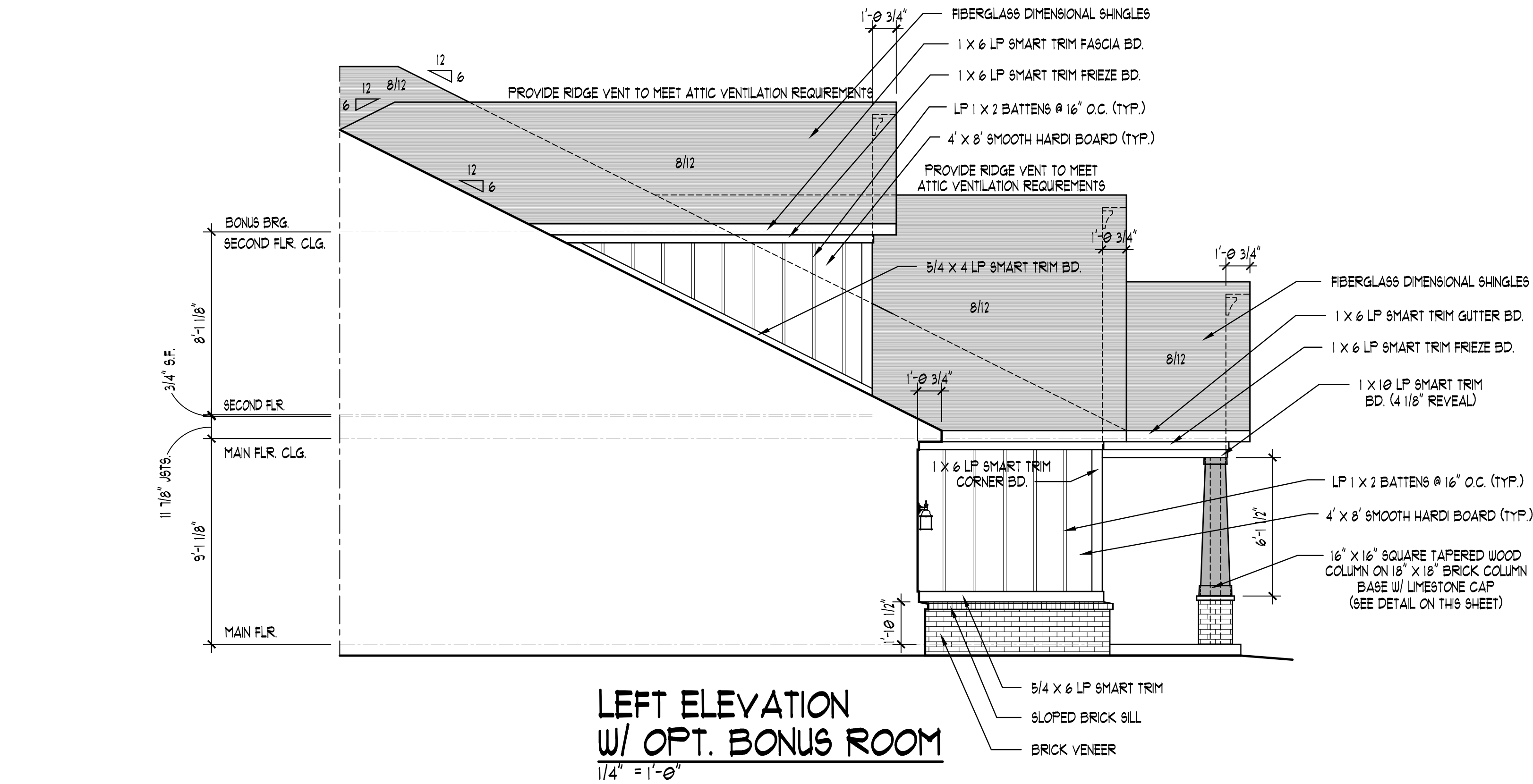
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Left & Right Side  
Elevations-Opt. Bonus  
Room

Sheet Number

A2.3



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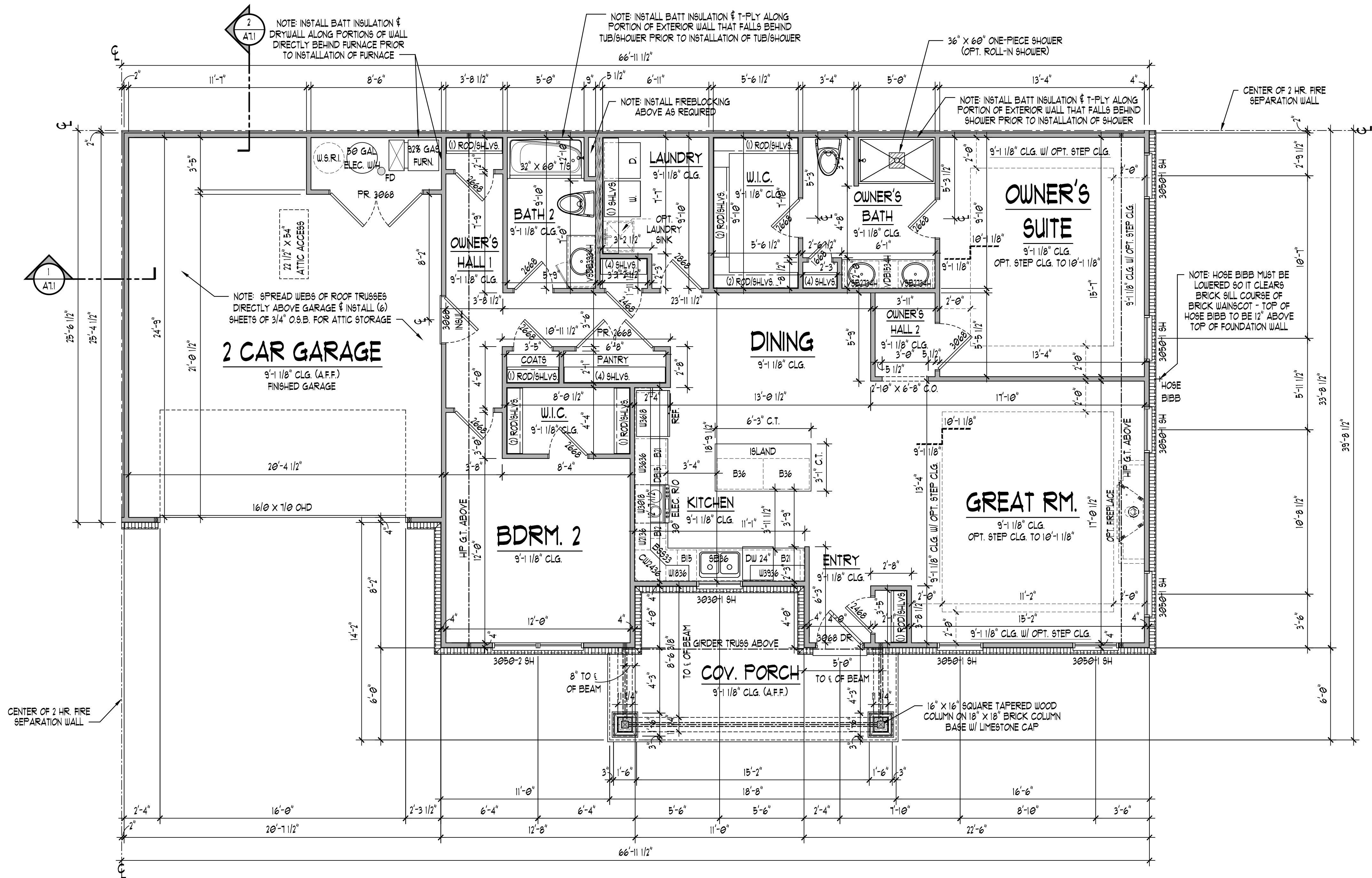
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First Floor Plan

Sheet Number

A4.0



WALL LEGEND	
	2 x 6 FRAMED WALLS
	2 x 4 FRAMED WALLS
	INDICATES INTERIOR LOAD BEARING FRAMED WALLS
	INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.
	INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.
	BRICK OR STONE MASONRY

## FIRST FLOOR PLAN

9'-1 1/8" H. WALLS (U.O.N.)  
1,511 SQ. FT. (FINISHED)  
532 SQ. FT. (GARAGE)  
160 SQ. FT. (FRONT COV. PORCH)  
1/4" = 1'-0"

### FLOOR PLAN NOTES:

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- EXTERIOR 2 x 4 WALLS DRAWN AS 4" THICK (INCL. 1/2" SHEATHING)
- EXTERIOR 2 x 6 WALLS DRAWN AS 6" THICK (INCL. 1/2" SHEATHING)
- INTERIOR 2 x 4 WALLS DRAWN AS 3 1/2" THICK (STUDS ONLY)
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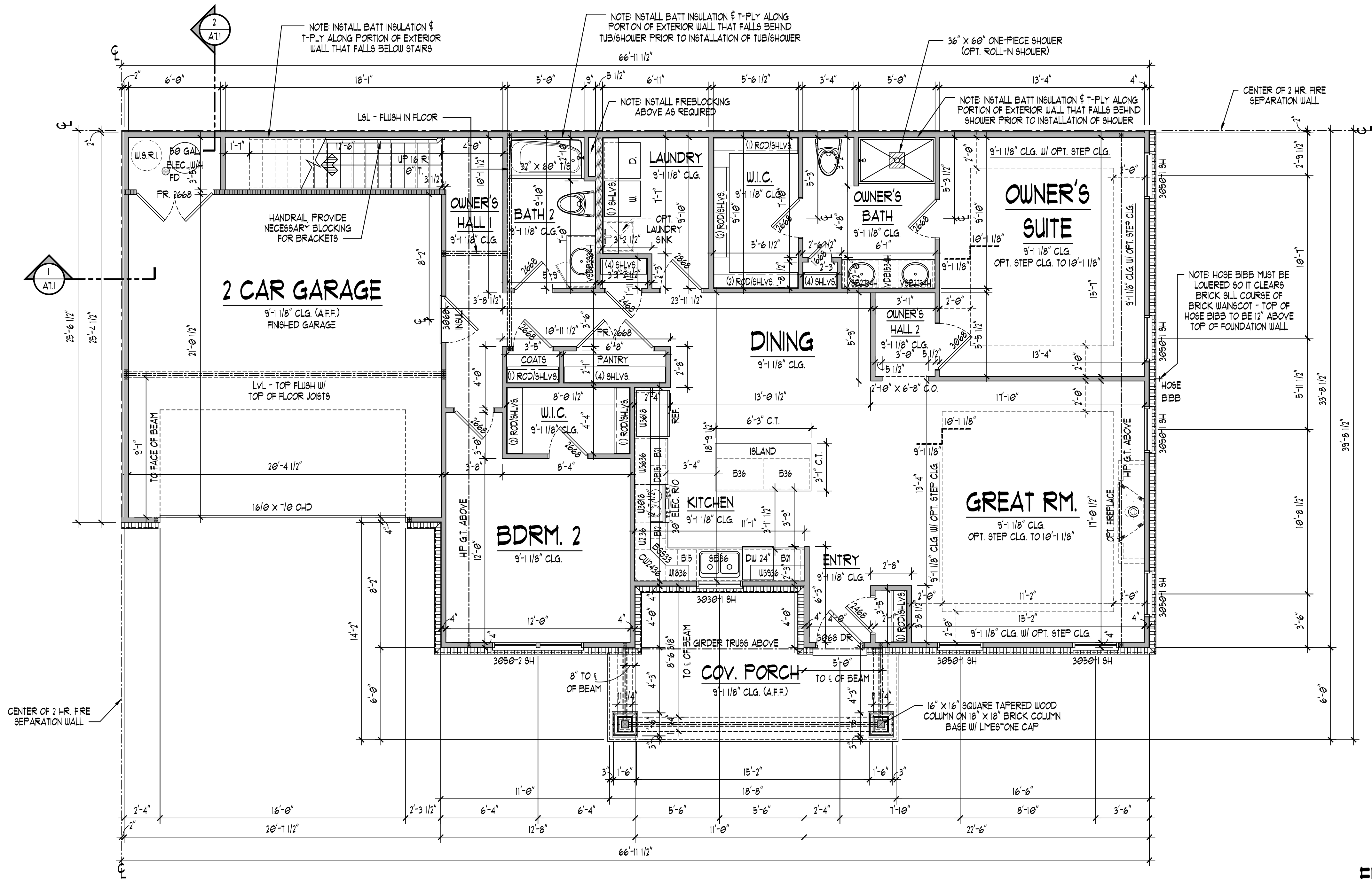
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First Floor Plan-Opt.  
Attic Storage

Sheet Number

A4.1



WALL LEGEND	
	2 X 6 FRAMED WALLS
	2 X 4 FRAMED WALLS
	INDICATES INTERIOR LOAD BEARING FRAMED WALLS
	INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.
	INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.
	BRICK OR STONE MASONRY

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9'-1 1/8" H. WALLS (U.O.N.)  
1,560 SQ. FT. (FINISHED)  
483 SQ. FT. (GARAGE)  
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NOTE: IF PRINTED ON 11x17 PAPER THEN ALL SCALES ARE 1/2 SIZE SHOWN



Revision #	Date
1	3/12/25
2	-
3	-
4	-

# Eisenhower 1511

## The Preserve Series



3115 West US Hwy 40  
Greenfield, IN 46140  
Office: 317.318.1105  
www.bridgenorthhomes.com

Project No: -

Project Name:

-

Drawn By: LT

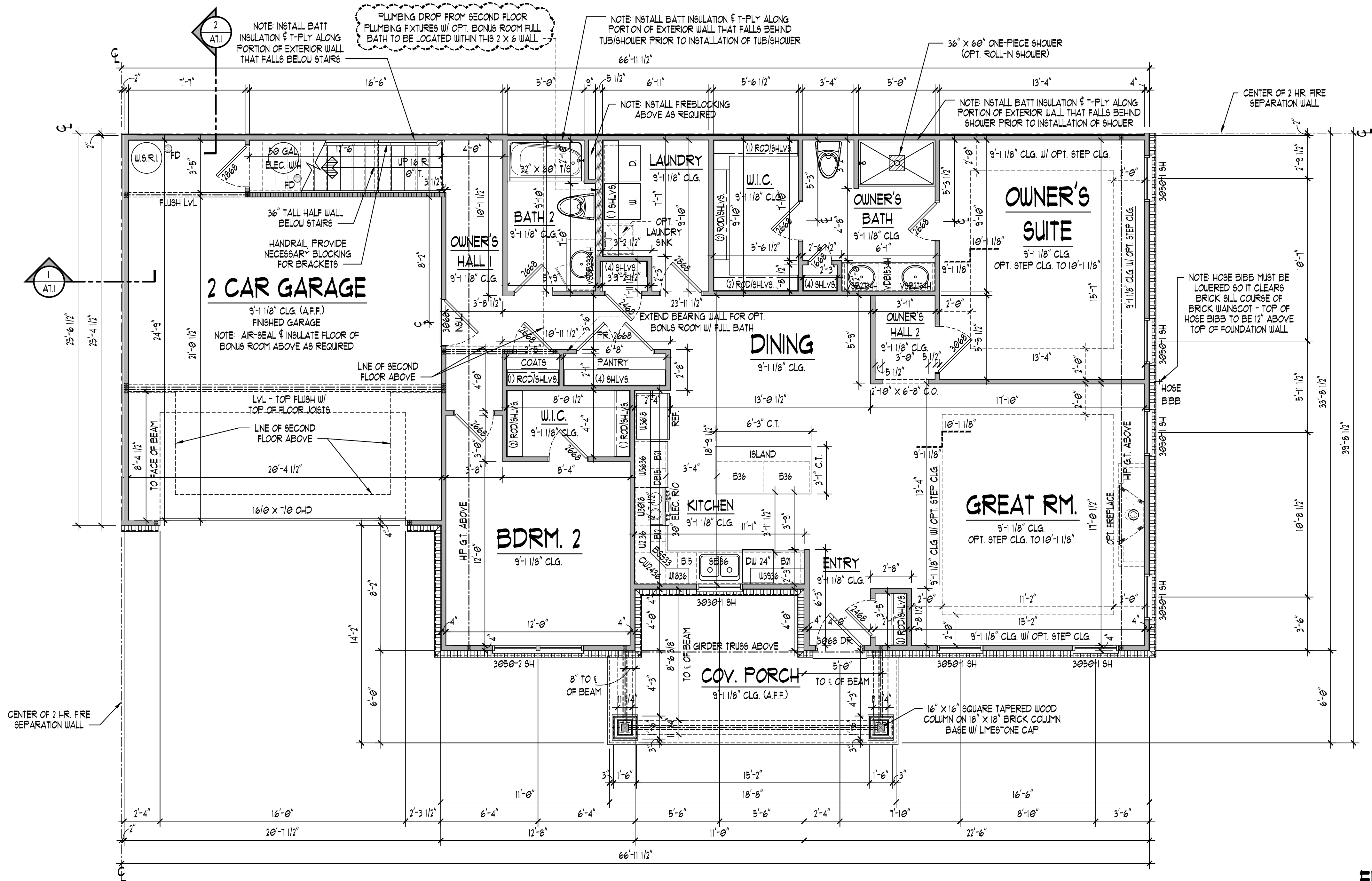
Date Started: -

Date Revised: -

First Floor Plan-Opt.  
Bonus Room

Sheet Number

A4.2



### FIRST FLOOR PLAN W/ OPT. BONUS ROOM

1/4" = 1'-0"

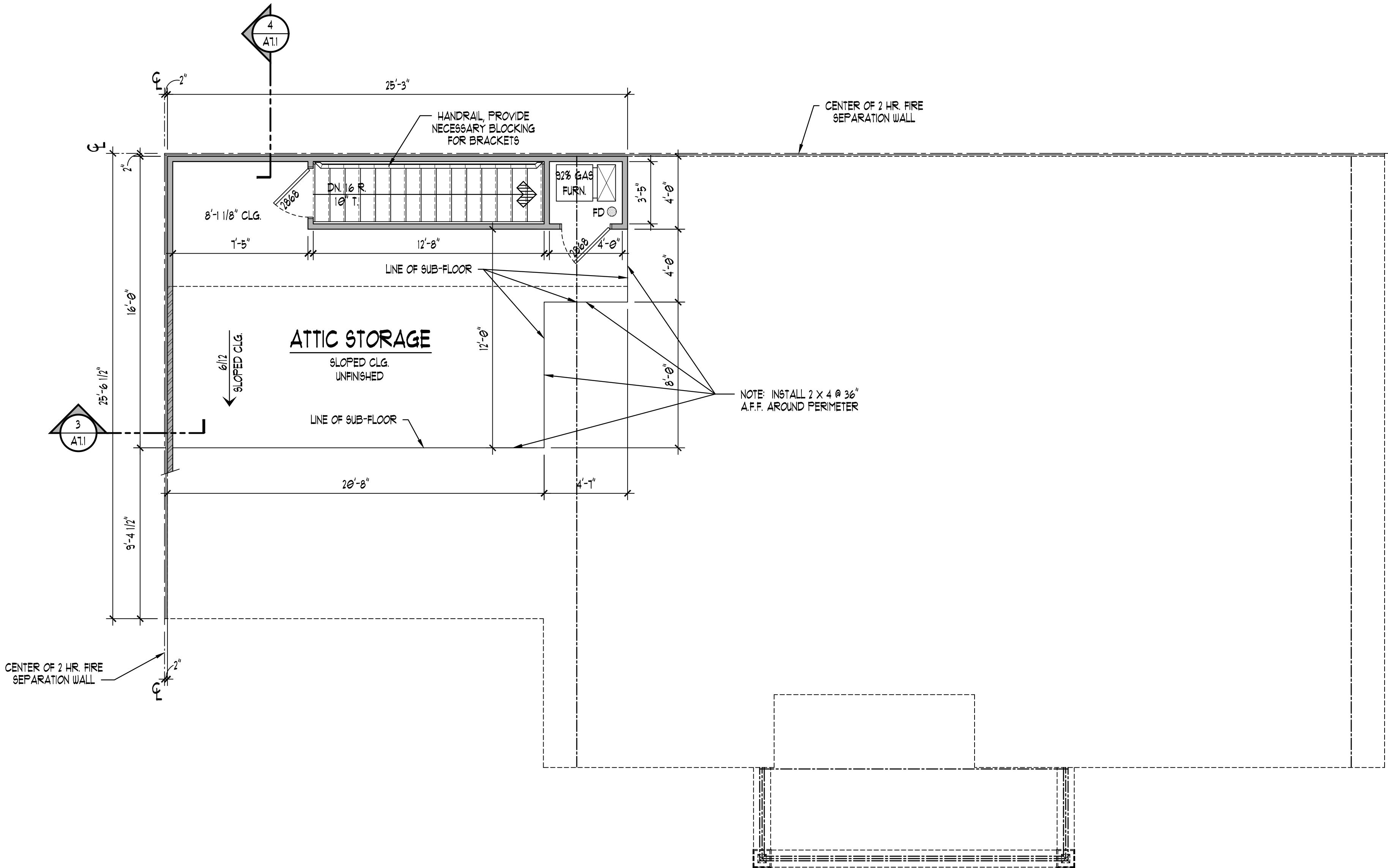
9'-1 1/8" H. WALLS (U.O.N.)  
1,560 SQ. FT. (FINISHED)  
483 SQ. FT. (GARAGE)  
160 SQ. FT. (FRONT COV. PORCH)

#### FLOOR PLAN NOTES:

- SPECIFIC DOOR AND WINDOW CODES ARE "JELD WEN" SINGLE HUNG UNITS; HOWEVER, BUILDER AND/OR HOMEOWNER SHALL DETERMINE THE FINAL WINDOW AND DOOR SELECTION.
- SET BTM. OF WINDOW HEADERS @ 6'-0 1/2" A.F.F. UNLESS OTHERWISE NOTED
- WINDOW SUPPLIER TO VERIFY ALL WINDOW SIZES PRIOR TO ORDERING
- EXTERIOR 2 X 4 WALLS DRAWN AS 4" THICK (INCL. 1/2" SHEATHING)
- EXTERIOR 2 X 6 WALLS DRAWN AS 6" THICK (INCL. 1/2" SHEATHING)
- INTERIOR 2 X 4 WALLS DRAWN AS 3 1/2" THICK (STUDS ONLY)
- INTERIOR 2 X 6 WALLS DRAWN AS 5 1/2" THICK (STUDS ONLY)
- BUILDING/GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO CURRENTLY ADOPTED IRC, STATE AND LOCAL BUILDING CODES.
- BUILDING/GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO THE 2009 IECC AND 2012 INDIANA RESIDENTIAL ENERGY CODES AND CHOOSING THE METHOD AND MANNER OF DOING SO.
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NOTE: IF PRINTED ON 11x17 PAPER THEN ALL SCALES ARE 1/2 SIZE SHOWN





WALL LEGEND	
	2 X 6 FRAMED WALLS
	2 X 4 FRAMED WALLS
	INDICATES INTERIOR LOAD BEARING FRAMED WALLS
	INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.
	INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.
	BRICK OR STONE MASONRY

**OPT. ATTIC STORAGE** 8'-1 1/8" H. WALLS (U.O.N.)  
1/4" = 1'-0" 325 SQ. FT. (STORAGE)

FLOOR PLAN NOTES:

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Eisenhower 1511  
The Preserve Series

  
**BRIDGENORTH HOMES**  
3115 West US Hwy 40  
Greenfield, IN 46140  
Office: 317.318.1105  
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Drawn By:	LT
Date Started:	-
Date Revised:	-

Opt. Attic Storage

Sheet Number  
A5.0

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# Eisenhower 1511

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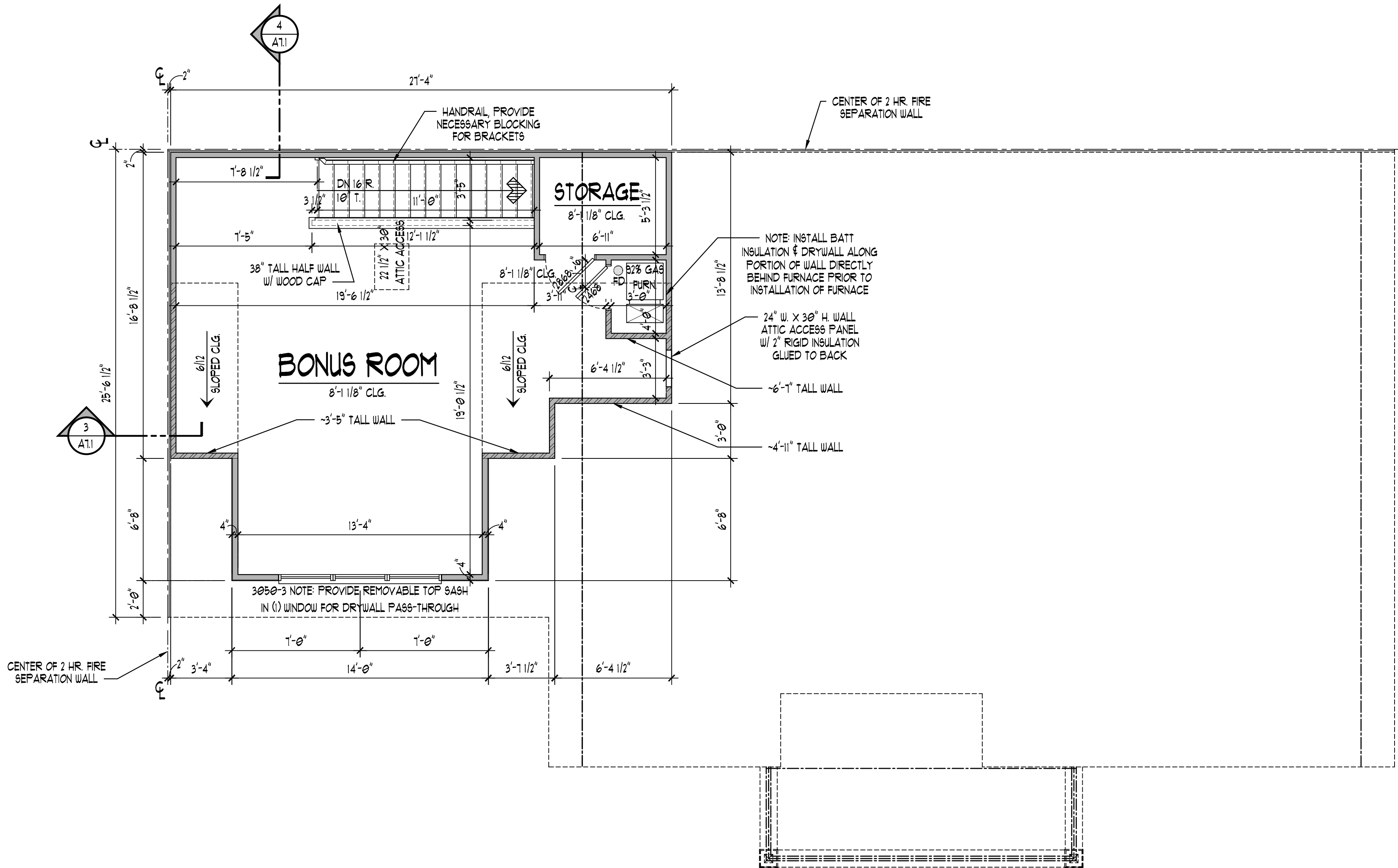
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Project Name:	-
Drawn By:	LT
Date Started:	-
Date Revised:	-

Opt. Bonus Room

Sheet Number

A5.1

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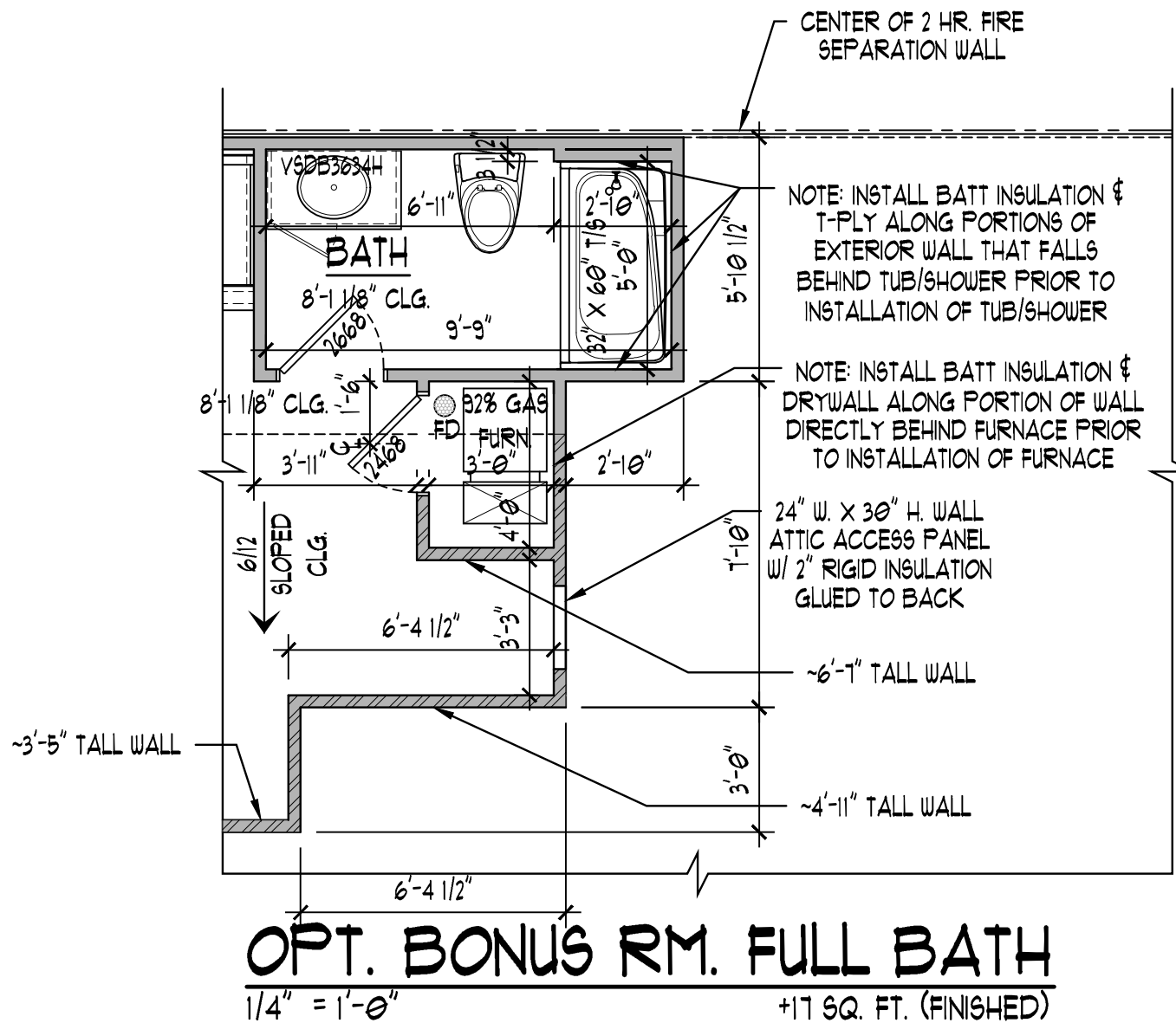


WALL LEGEND	
	2 X 6 FRAMED WALLS
	2 X 4 FRAMED WALLS
	INDICATES INTERIOR LOAD BEARING FRAMED WALLS
	INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.
	INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.
	BRICK OR STONE MASONRY

**OPT. BONUS RM.** 8'-1 1/8" H. WALLS (U.O.N.)  
1/4" = 1'-0" +492 SQ. FT. (FINISHED)

#### FLOOR PLAN NOTES:

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**OPT. BONUS RM. FULL BATH**  
1/4" = 1'-0" +17 SQ. FT. (FINISHED)



MASTER PLAN SHEET INDEX	
SHEET #	SHEET TITLE
A1.0	COVER SHEET
A2.0	FRONT ELEVATION
A2.1	LEFT & RIGHT SIDE ELEVATIONS
A2.2	FRONT ELEVATION-OPT. BONUS ROOM
A2.3	LEFT & RIGHT SIDE ELEVATIONS-OPT. BONUS ROOM
A2.4	FRONT ELEVATION-OPT. FRONT PORCH EXTENSION
A2.5	LEFT & RIGHT SIDE ELEVATIONS-OPT. FRONT PORCH EXTENSION
A3.0	SLAB FOUNDATION PLAN
A3.1	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN
A3.2	SLAB FOUNDATION PLAN-OPT. ATTIC STORAGE
A3.3	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN-OPT.ATTIC STOR.
A3.4	SLAB FOUNDATION PLAN-OPT. BONUS ROOM
A3.5	UNDER SLAB PLUMB. PLAN AT SLAB FNDTN. PLAN-OPT. BNS. RM.
A4.0	FIRST FLOOR PLAN
A4.1	FIRST FLOOR PLAN-OPT. ATTIC STORAGE
A4.2	FIRST FLOOR PLAN-OPT. BONUS ROOM
A5.0	OPT. ATTIC STORAGE
A5.1	OPT. BONUS ROOM
A6.0	ROOF PLAN
A6.1	ROOF PLAN-OPT. ATTIC STORAGE
A6.2	ROOF PLAN-OPT. BONUS ROOM
A6.3	ROOF PLAN-OPT. PORCH EXTENSION
A7.0	GENERAL NOTES & TYPICAL WALLS SECTIONS
A7.1	TYPICAL FIRE WALL SECTIONS
RI.0	FIRST FLOOR OPTIONS
RI.1	FIRST FLOOR OPTIONS
R2.0	OPT. 4' GARAGE SIDE EXTENSION-ELEVATIONS
R2.1	OPT. 4' GARAGE SIDE EXTENSION-FOUNDATIONS
R2.2	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.3	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.4	OPT. 4' GARAGE SIDE EXTENSION-FLOOR PLANS
R2.5	ROOF PLAN-OPT. 4' GARAGE SIDE EXTENSION
R2.6	ROOF PLAN-OPT. 4' GARAGE SIDE EXT. & OPT. ATTIC STORAGE
R2.7	ROOF PLAN-OPT. 4' GARAGE SIDE EXT. & OPT. BONUS ROOM
R3.0	OPT. 3 CAR FRONT LOAD GARAGE-ELEVATIONS
R3.1	OPT. 3 CAR FRONT LOAD GARAGE-FOUNDATIONS
R3.2	OPT. 3 CAR FRONT LOAD GARAGE-FLOOR PLANS
R3.3	OPT. 3 CAR FRONT LOAD GARAGE-FLOOR PLANS
R3.4	OPT. 3 CAR FRONT LOAD GARAGE-FLOOR PLANS
R3.5	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE
R3.6	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE & OPT. ATTIC STORAGE
R3.7	ROOF PLAN-OPT. 3 CAR FRONT LOAD GARAGE & OPT. BONUS ROOM
E1.0	FIRST FLOOR ELECTRICAL PLAN
E1.1	FIRST FLOOR ELECTRICAL PLAN-OPT. ATTIC STORAGE
E1.2	FIRST FLOOR ELECTRICAL PLAN-OPT. BONUS ROOM
E2.0	OPT. ATTIC STORAGE ELECTRICAL PLAN
E2.1	OPT. BONUS ROOM ELECTRICAL PLAN
F1.0	SECOND FLOOR FRAMING PLAN-OPT. ATTIC STORAGE
F1.1	SECOND FLOOR FRAMING PLAN-OPT. BONUS ROOM
F1.2	SECOND FLOOR FRAMING PLAN-OPT. BONUS ROOM FULL BATH

# GRANT 1759

UNIT # -

-

MASTER PLAN REVISION: # 1, DATED 1-22-25

SQUARE FOOTAGES	
AREA	SQUARE FEET
FIRST FLOOR	1,769 SQ. FT.
FIRST FLOOR W/ OPT. ATTIC STORAGE	1,808 SQ. FT.
FIRST FLOOR W/ OPT. BONUS ROOM	1,808 SQ. FT.
GARAGE	532 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION	634 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE	788 SQ. FT.
GARAGE W/ OPT. ATTIC STORAGE	483 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION & OPT. ATTIC STORAGE	585 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE & OPT. ATTIC STORAGE	738 SQ. FT.
GARAGE W/ OPT. BONUS ROOM	483 SQ. FT.
GARAGE W/ OPT. 4' GARAGE SIDE EXTENSION & OPT. BONUS ROOM	585 SQ. FT.
GARAGE W/ OPT. 3 CAR FRONT LOAD GARAGE & OPT. BONUS ROOM	738 SQ. FT.
FRONT COVERED PORCH	79 SQ. FT.
COVERED PORCH W/ OPT. FRONT PORCH EXTENSION	203 SQ. FT.
COURTYARD COVERED PORCH	174 SQ. FT.
OPT. ATTIC STORAGE	325 SQ. FT.
OPT. ATTIC STOR. W/ OPT. 4' GAR. SIDE EXT. OR OPT. 3 CAR FRONT LOAD GAR.	322 SQ. FT.
OPT. BONUS ROOM	+492 SQ. FT.
OPT. BONUS ROOM W/ FULL BATH	+510 SQ. FT.
OPT. BNS. ROOM W/ OPT. 4' GAR. SIDE EXT. OR OPT. 3 CAR FRONT LOAD GAR.	+490 SQ. FT.

GRANT-HIP ROOF - MASTER PLAN REVISION LOG			
REVISION #	DATE	DRAWN BY:	DESCRIPTION OF REVISIONS:
1	1-22-25	LT	INITIAL CONSTRUCTION PLANS COMPLETED
1	1-22-25	LT	ADDITIONAL REVISIONS 2/11/25 :
			REVISIONS TO 'OPT. 3 CAR FRONT LOAD GARAGE ELEVATIONS' & 'OPT. 3 CAR FRONT LOAD GARAGE FIRST FLOOR PLANS' & ALL ASSOCIATED OPTIONS : <ul style="list-style-type: none"><li>• SWAPPED LOCATION OF GARAGE DOOR OPENINGS</li></ul>
			REVISIONS TO 'OPT. 3 CAR FRONT LOAD GARAGE FOUNDATION PLANS' & ALL ASSOCIATED OPTIONS : <ul style="list-style-type: none"><li>• SWAPPED LOCATION OF GARAGE DOOR OPENINGS</li><li>• ADJUSTED LOCATION OF ISOLATED FOOTING ON 'OPT. ATTIC STORAGE' &amp; 'OPT. 3 CAR FRONT LOAD GARAGE'</li></ul>
			REVISIONS TO 'FIRST FLOOR ELECTRICAL PLAN' & ALL ASSOCIATED OPTIONS : <ul style="list-style-type: none"><li>• ADDED KEYLESS LIGHT TO GARAGE NEAR MECHANICAL EQUIPMENT</li></ul>

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Master Plan Revision

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Grant 1759

The Preserve Series

BRIDGENORTH  
HOMES

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Greenfield, IN 46140  
Office: 317.318.1105  
www.bridgenorthhomes.com

Project No: -

Project Name: -

Drawn By: LT

Date Started: -

Date Revised: -

Cover Sheet

Sheet Number  
A1.0

Revision #	Date
1	1/22/25
2	-
3	-
4	-

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The Preserve Series



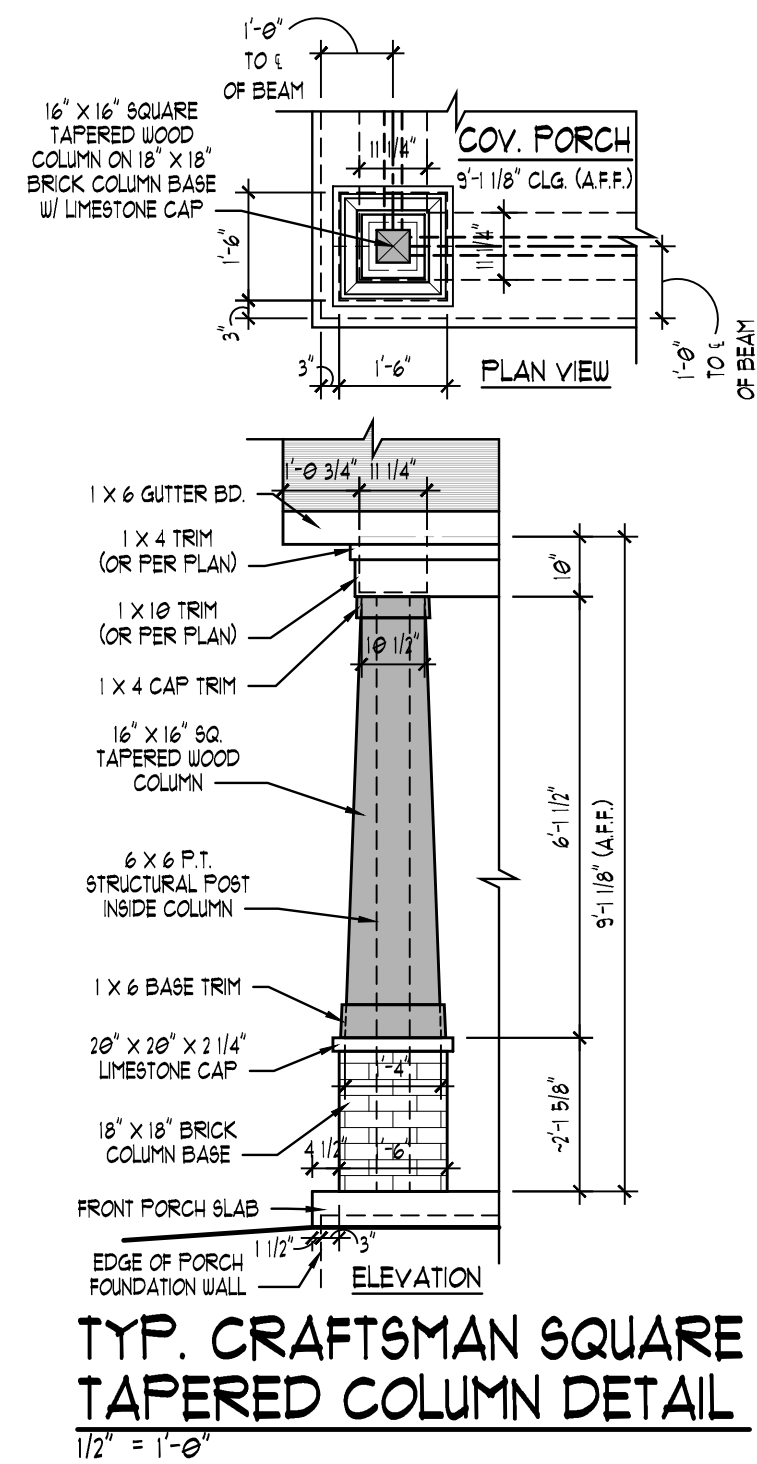
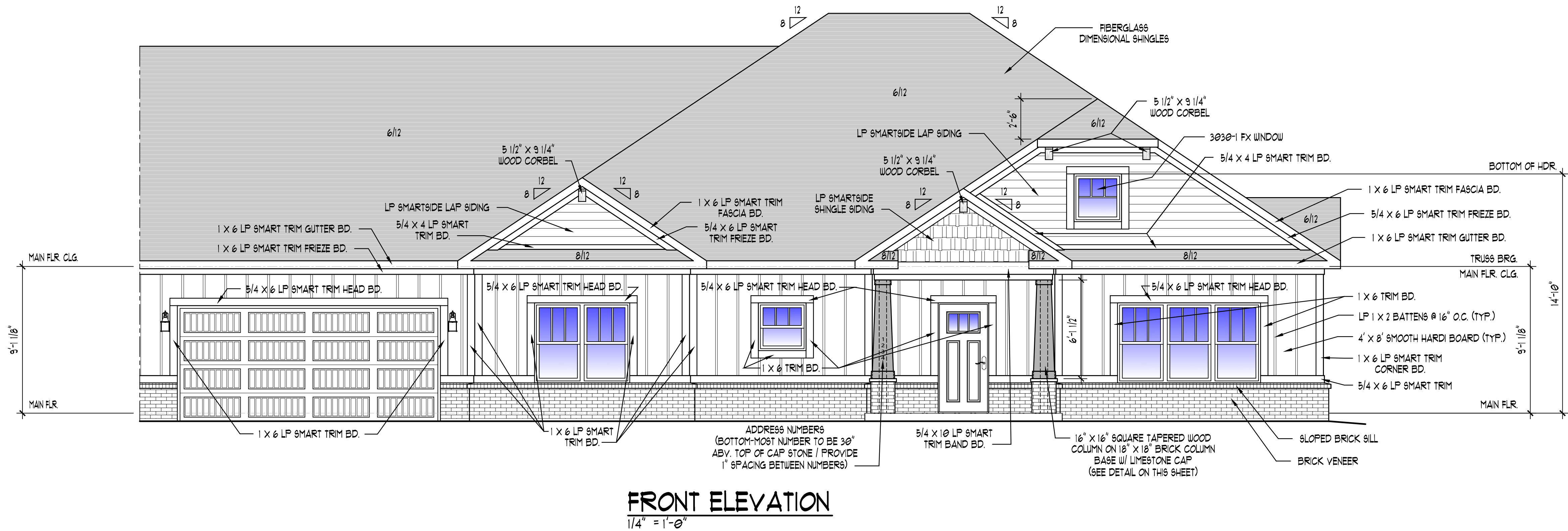
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Date Revised:	-

Front Elevation

Sheet Number  
**A2.0**




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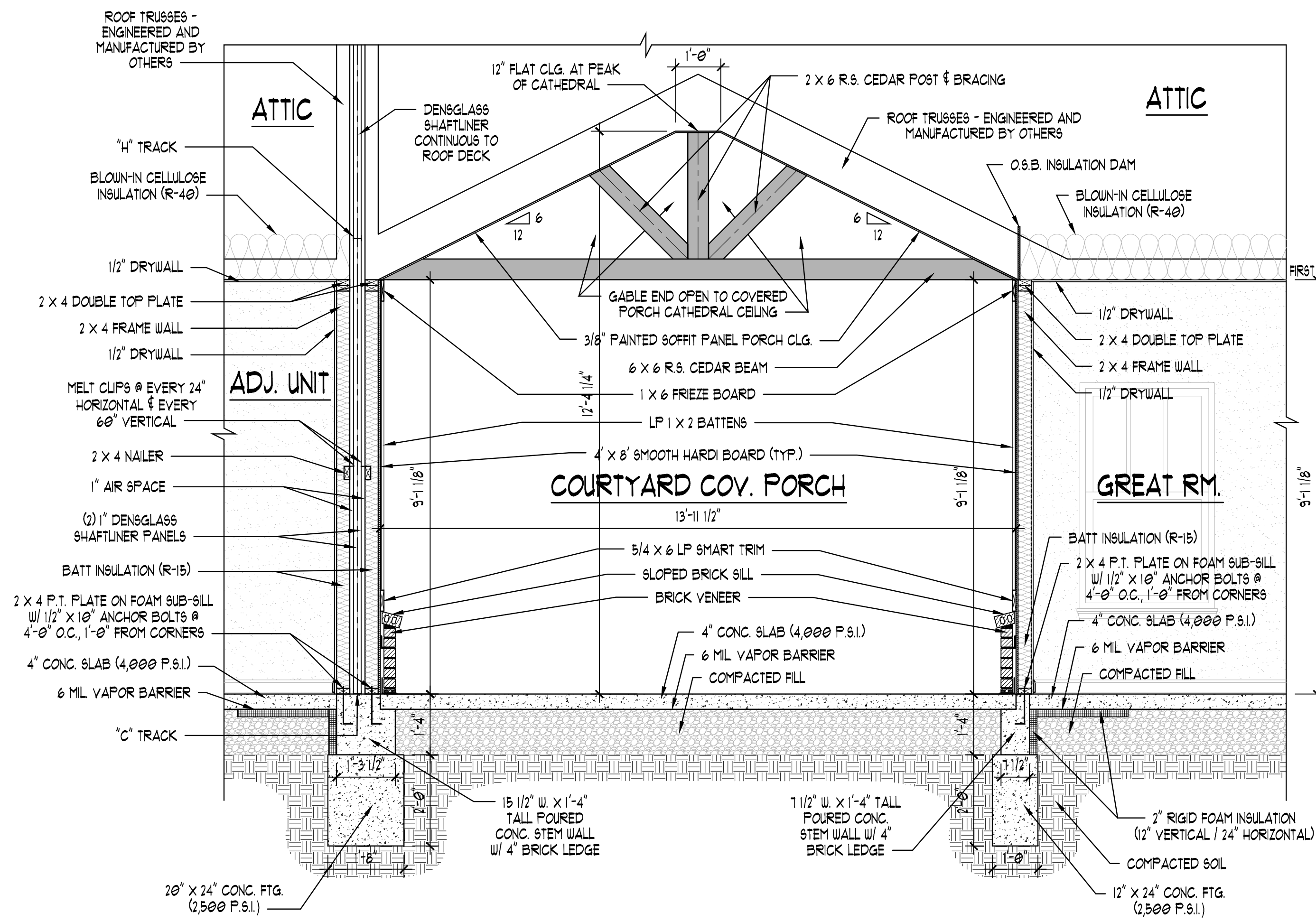
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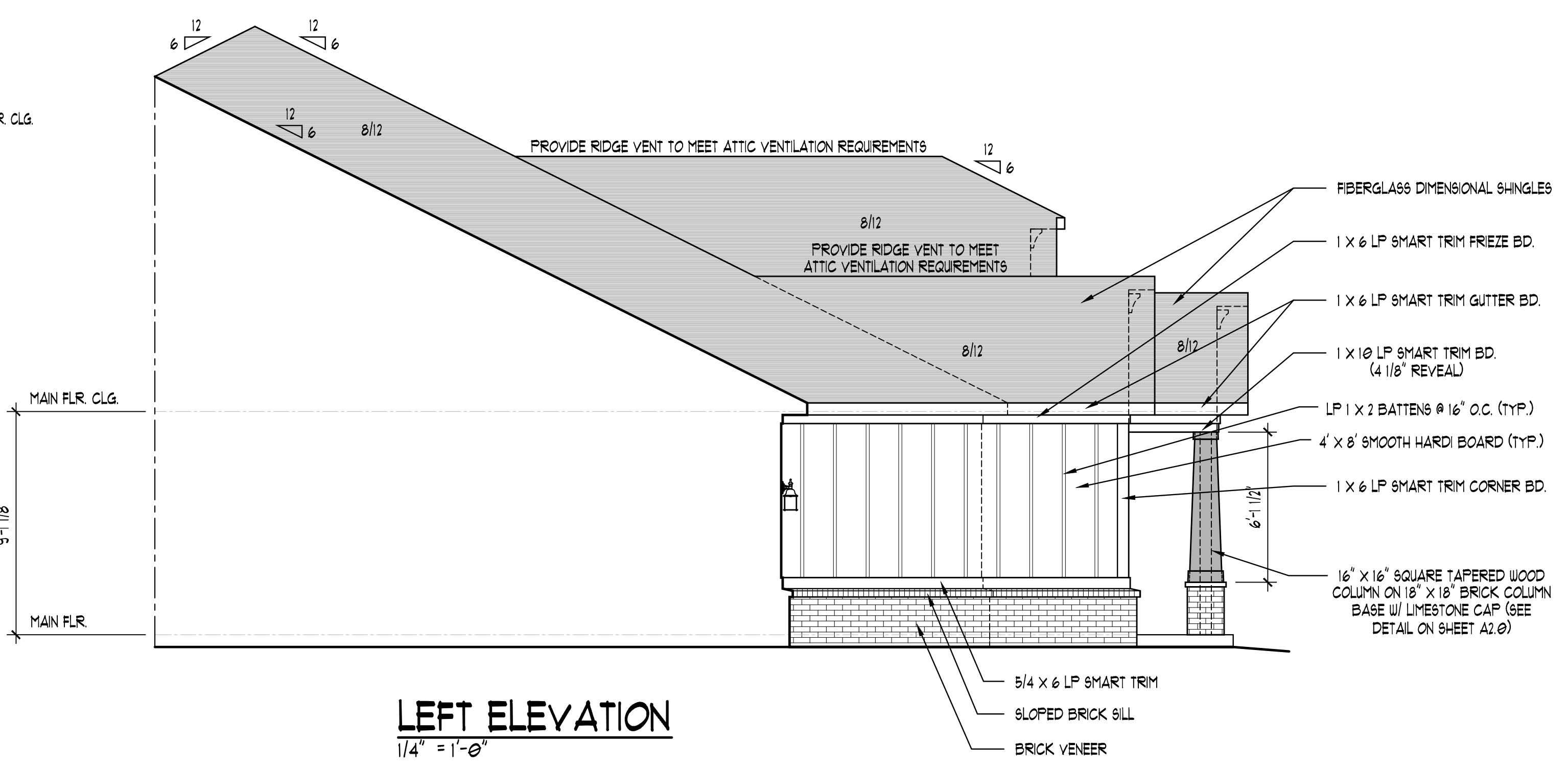
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Date Revised:	-

Left & Right Side  
Elevations

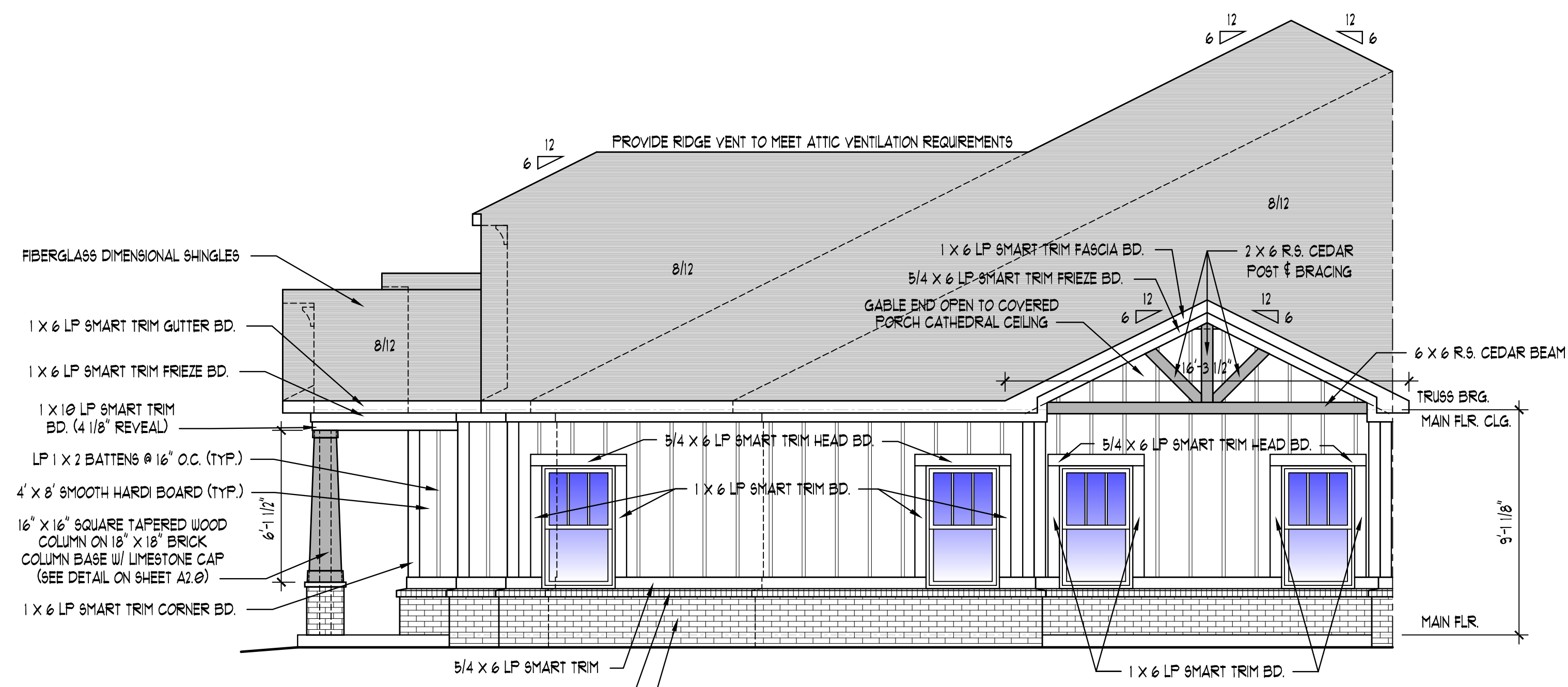
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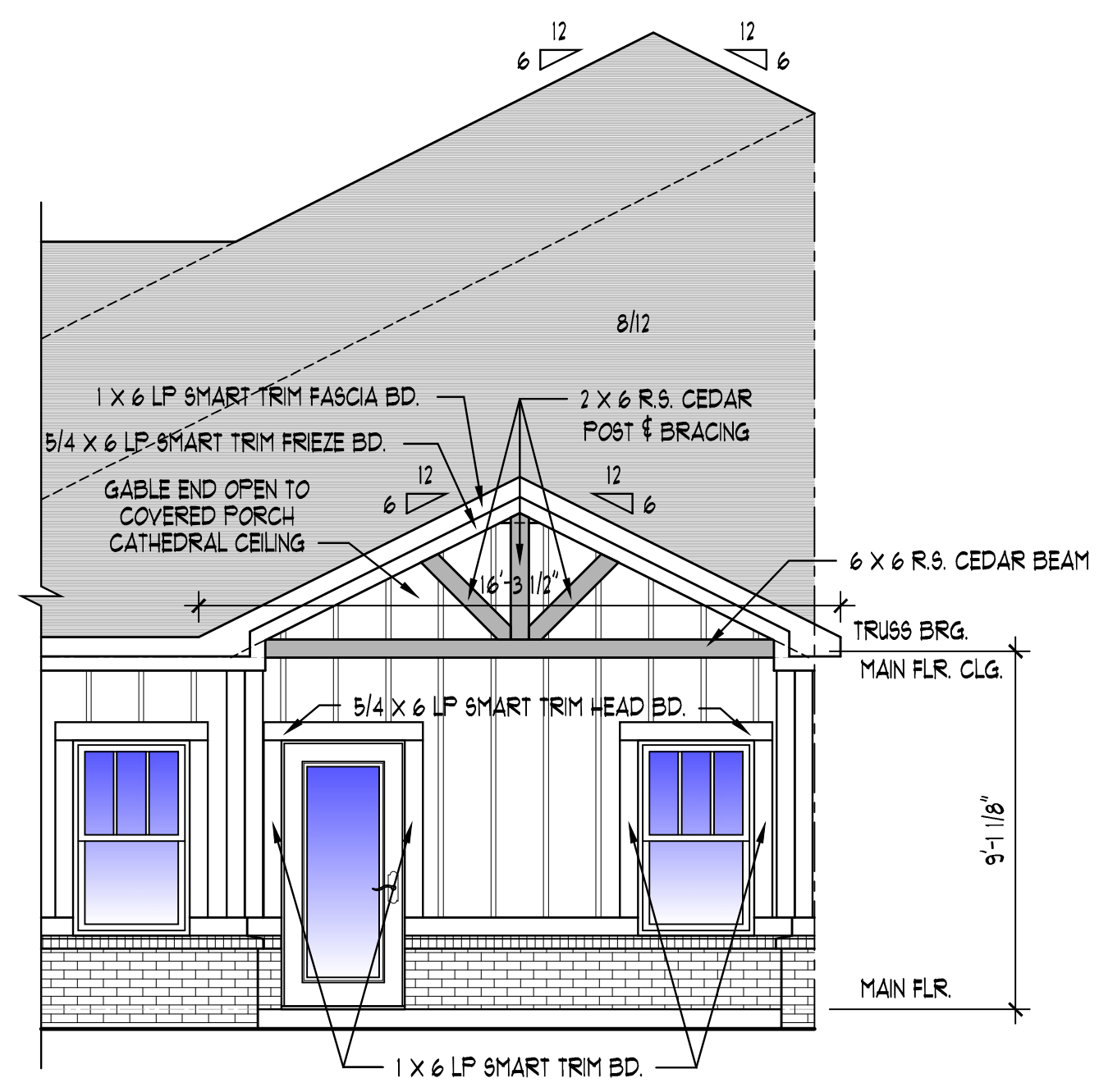
**COURTYARD COV. PORCH WALL SECTION**  
1/4" = 1'-0"



**LEFT ELEVATION**  
1/4" = 1'-0"



**RIGHT ELEVATION**  
1/4" = 1'-0"



**OPT. DOOR TO PORCH ILO  
3050-1 WINDOW AT OWNER'S SUITE**  
1/4" = 1'-0"

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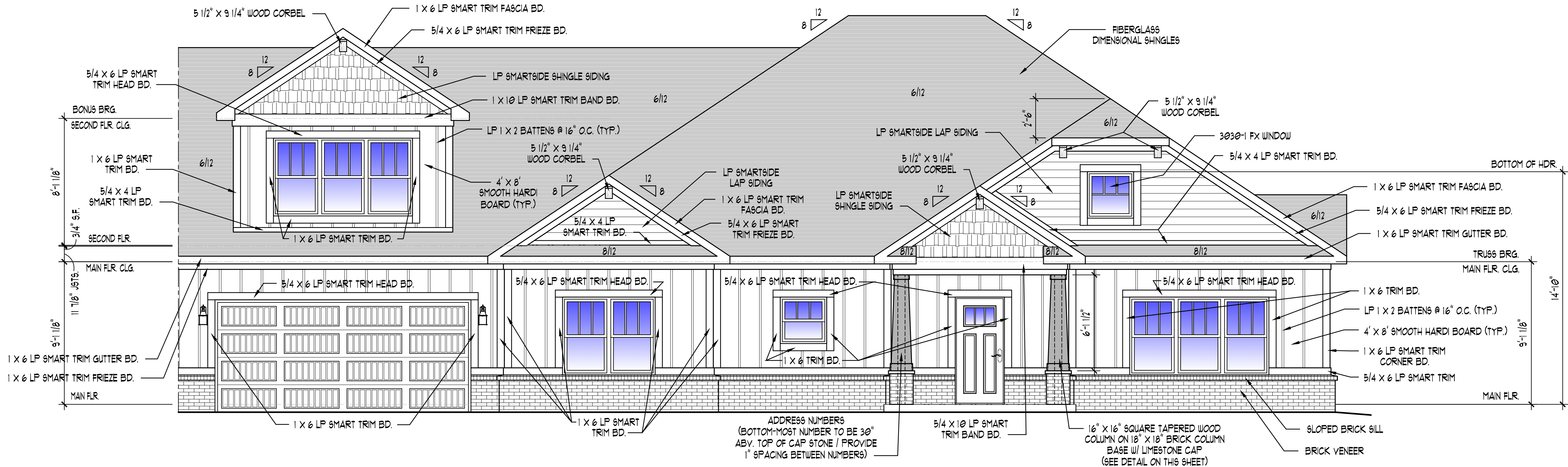
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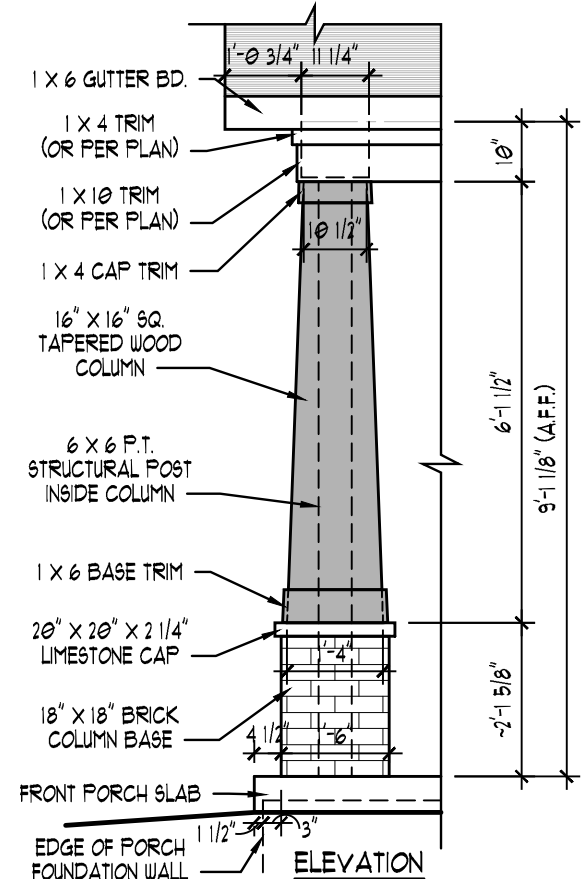
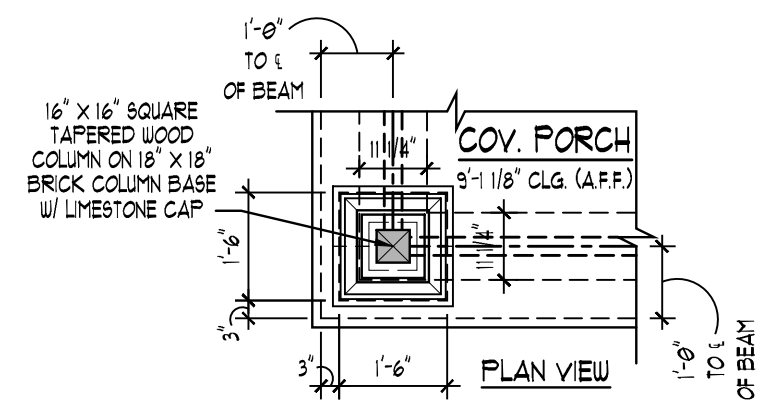
Front Elevation-Opt.  
Bonus Room

Sheet Number

A2.2



FRONT ELEVATION  
W/ OPT. BONUS ROOM  
1/4" = 1'-0"

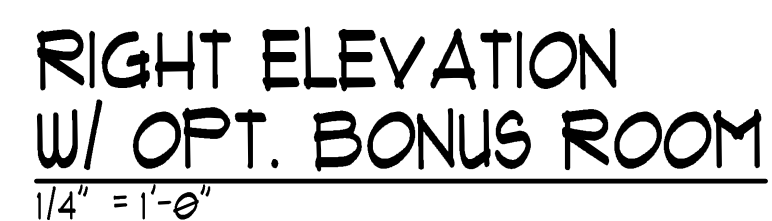
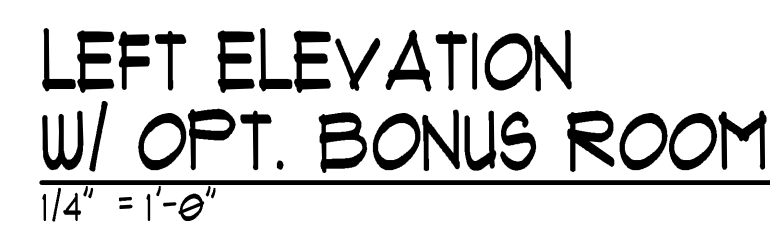
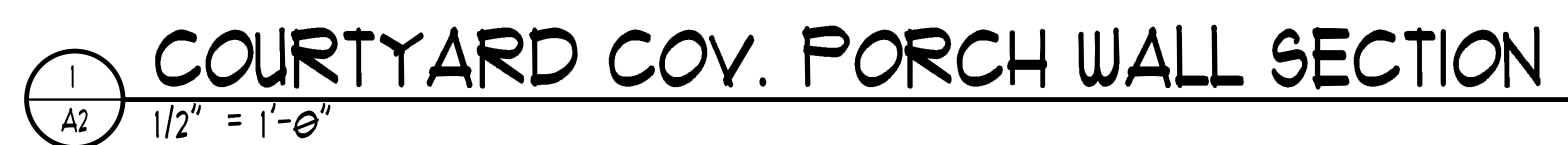


TYP. CRAFTSMAN SQUARE  
TAPERED COLUMN DETAIL  
1/2" = 1'-0"

NOTE: IF PRINTED ON 11x17 PAPER THEN ALL SCALES ARE 1/2 SIZE SHOWN



K:\Master Plans\Bridgenorth Homes\The Preserve Series (Quadplexes)\Brick Wainscot Plans\1759\_Grant\_Hip Roof\Grant\_Hip Roof\_01-22-25\Grant-Hip Roof.DWG, 2/11/2025 2:26:38 PM





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The Preserve Series



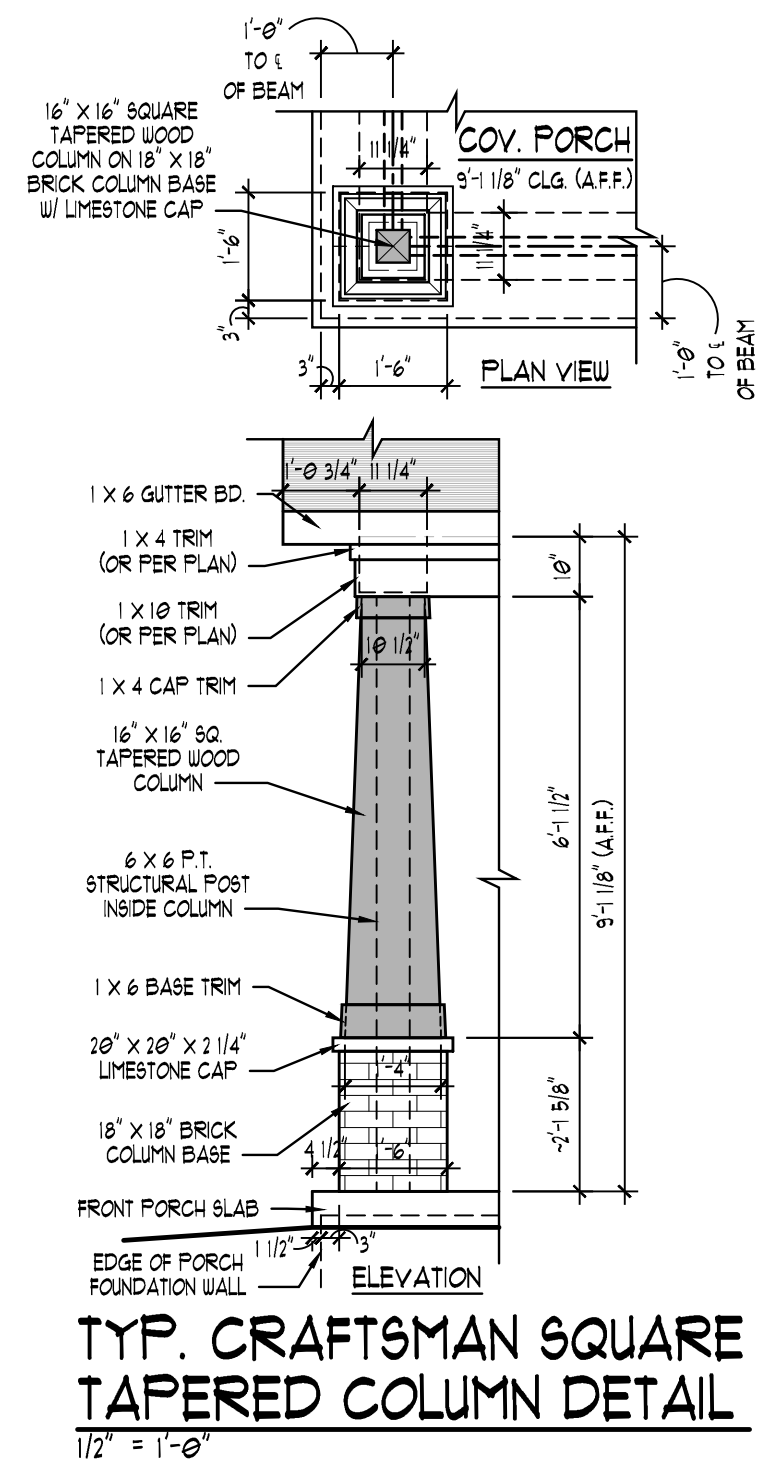
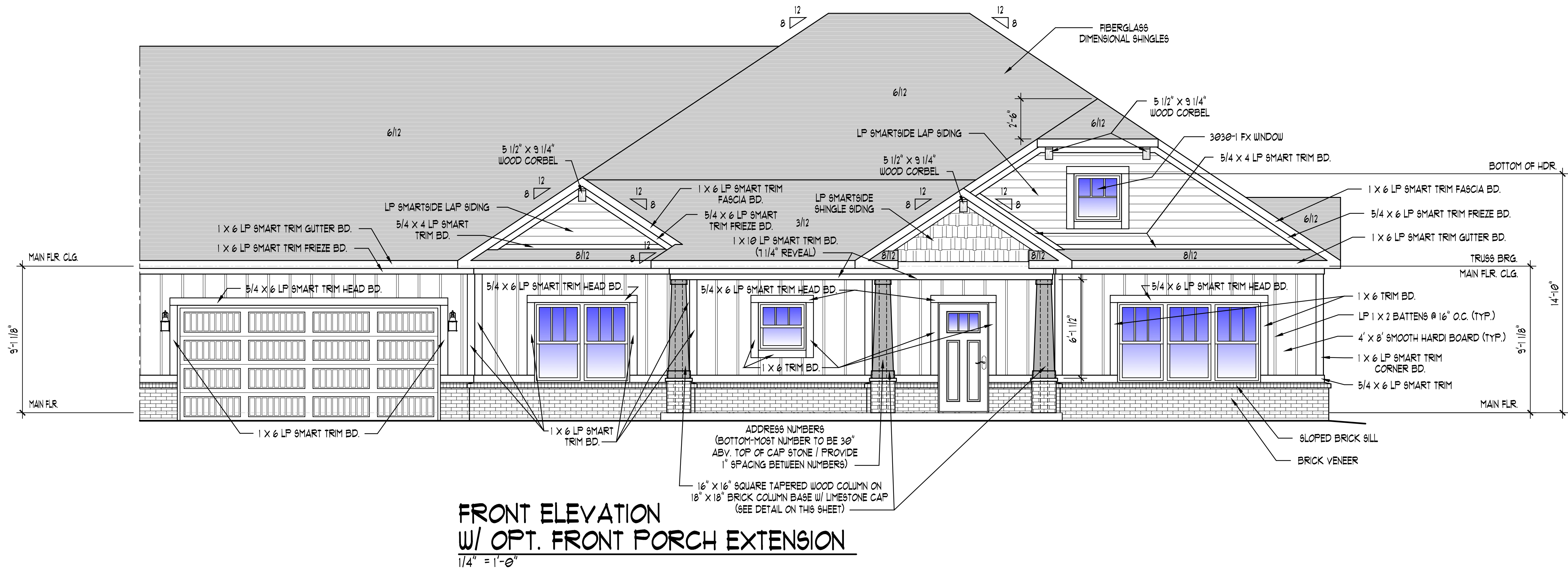
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Date Revised:	-

Front Elevation-Opt.  
Front Porch Extension

Sheet Number  
**A2.4**

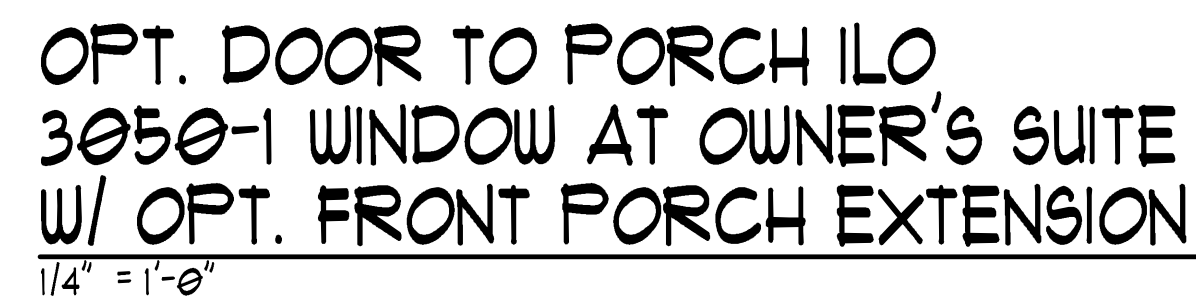
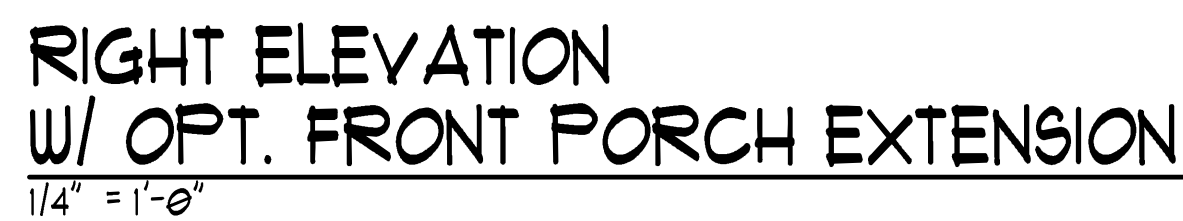


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## A2.5

## A2.5



$$\overline{1/4''} = 1' - \theta'$$



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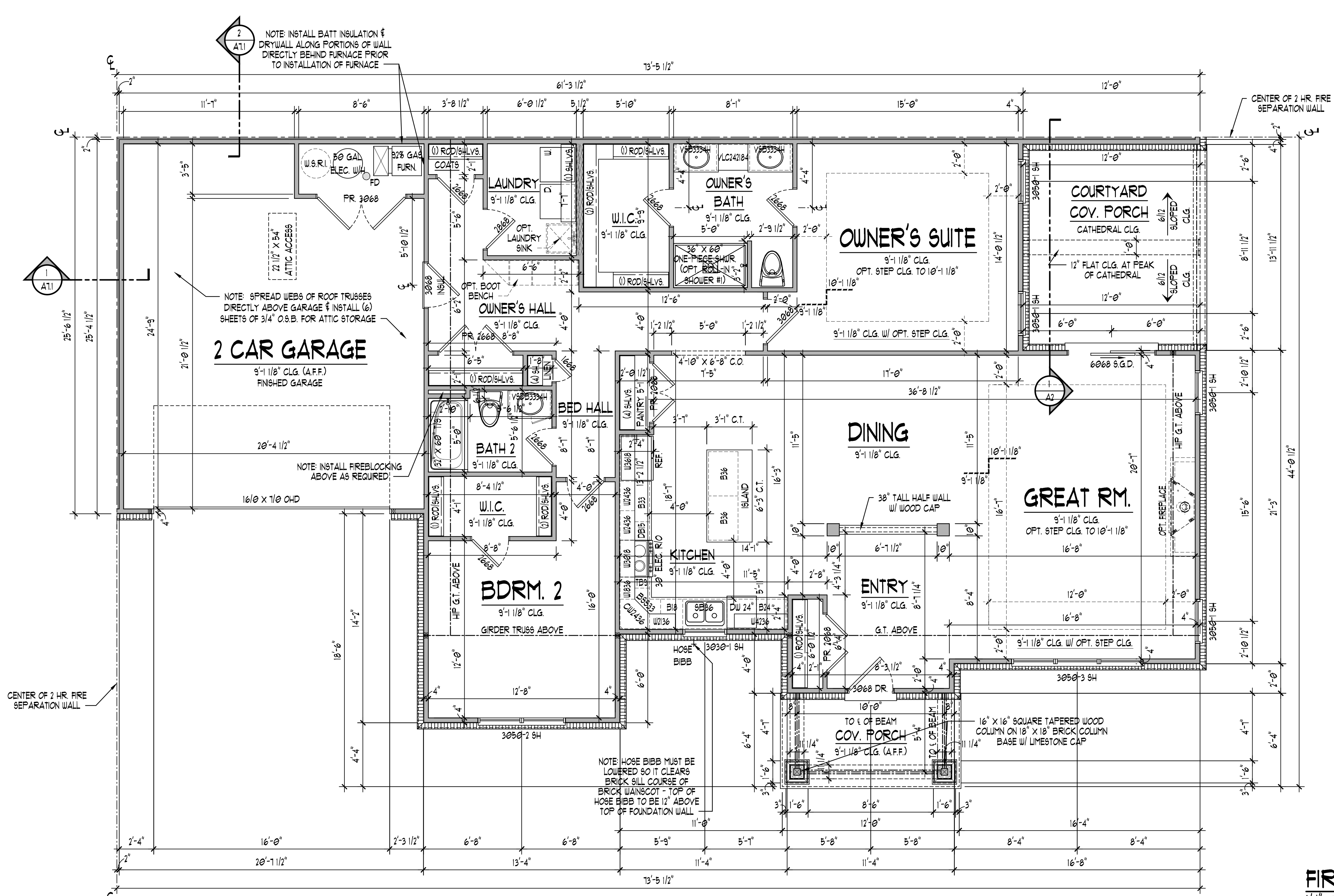
Date Revised: -

First Floor Plan

Sheet Number

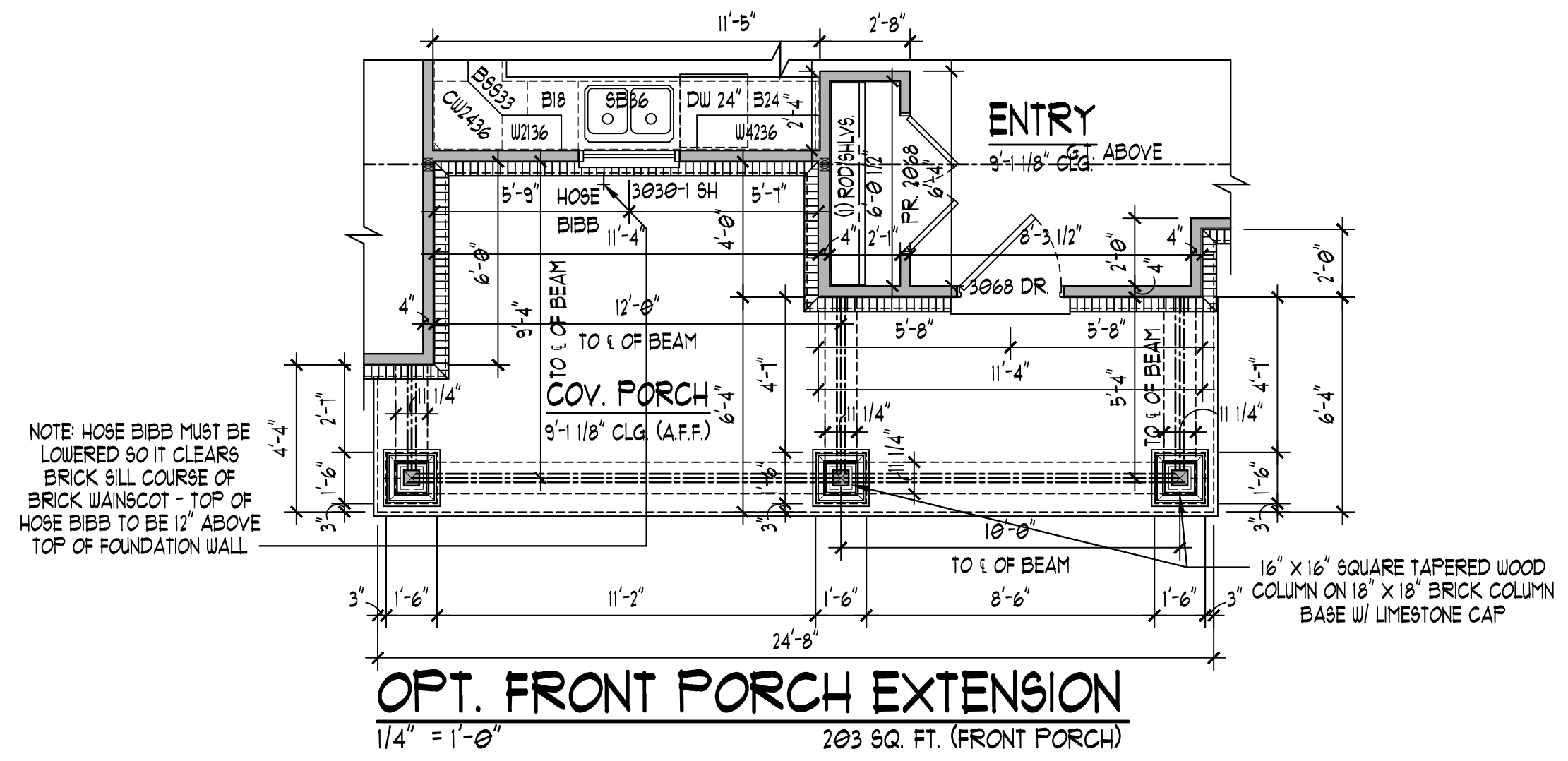
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	INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.
	INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.
	BRICK OR STONE MASONRY

**FIRST FLOOR PLAN**  
1/4" = 1'-0"  
9'-1 1/8" H. WALLS (U.O.N.)  
1,759 SQ. FT. (FINISHED)  
532 SQ. FT. (GARAGE)  
79 SQ. FT. (FRONT COV. PORCH)  
174 SQ. FT. (COURTYARD COV. PORCH)



- FLOOR PLAN NOTES:**
- SPECIFIC DOOR AND WINDOW CODES ARE "JELD WEN" SINGLE HUNG UNITS; HOWEVER, BUILDER AND/OR HOMEOWNER SHALL DETERMINE THE FINAL WINDOW AND DOOR SELECTION.
  - SET BTM. OF WINDOW HEADERS @ 6'-0 1/2" A.F.F. UNLESS OTHERWISE NOTED
  - WINDOW SUPPLIER TO VERIFY ALL WINDOW SIZES PRIOR TO ORDERING
  - EXTERIOR 2 X 4 WALLS DRAWN AS 4" THICK (INCL. 1/2" SHEATHING)
  - EXTERIOR 2 X 6 WALLS DRAWN AS 6" THICK (INCL. 1/2" SHEATHING)
  - INTERIOR 2 X 4 WALLS DRAWN AS 3 1/2" THICK (STUDS ONLY)
  - INTERIOR 2 X 6 WALLS DRAWN AS 5 1/2" THICK (STUDS ONLY)
  - BUILDING/GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEETING AND CONFORMING TO CURRENTLY ADOPTED IRC, STATE AND LOCAL BUILDING CODES.
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  - VERIFY CASEWORK DIMENSIONS AND ARRANGEMENT WITH SUPPLIER PRIOR TO FRAMING OPENING.
  - G.C. TO VERIFY EXACT LOCATION AND SIZE OF DUCT CHASE WITH HVAC CONTRACTOR PRIOR TO CONSTRUCTING.
  - G.C. TO VERIFY SIZE AND INSTALLATION METHOD OF SHOWER WITH P.C. PRIOR TO CONSTRUCTING STUB WALL. STUB WALL TO EXTEND PAST FRONT OF SHOWER A MIN. OF 2'.




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Master Plan Revision

Revision #	Date
1	1/22/25
2	-
3	-
4	-

Grant 1759

The Preserve Series



BRIDGENORTH  
HOMES

3115 West US Hwy 40  
Greenfield, IN 46140  
Office: 317.318.1105  
www.bridgenorthhomes.com

Project No: -

Project Name: -

Drawn By: LT

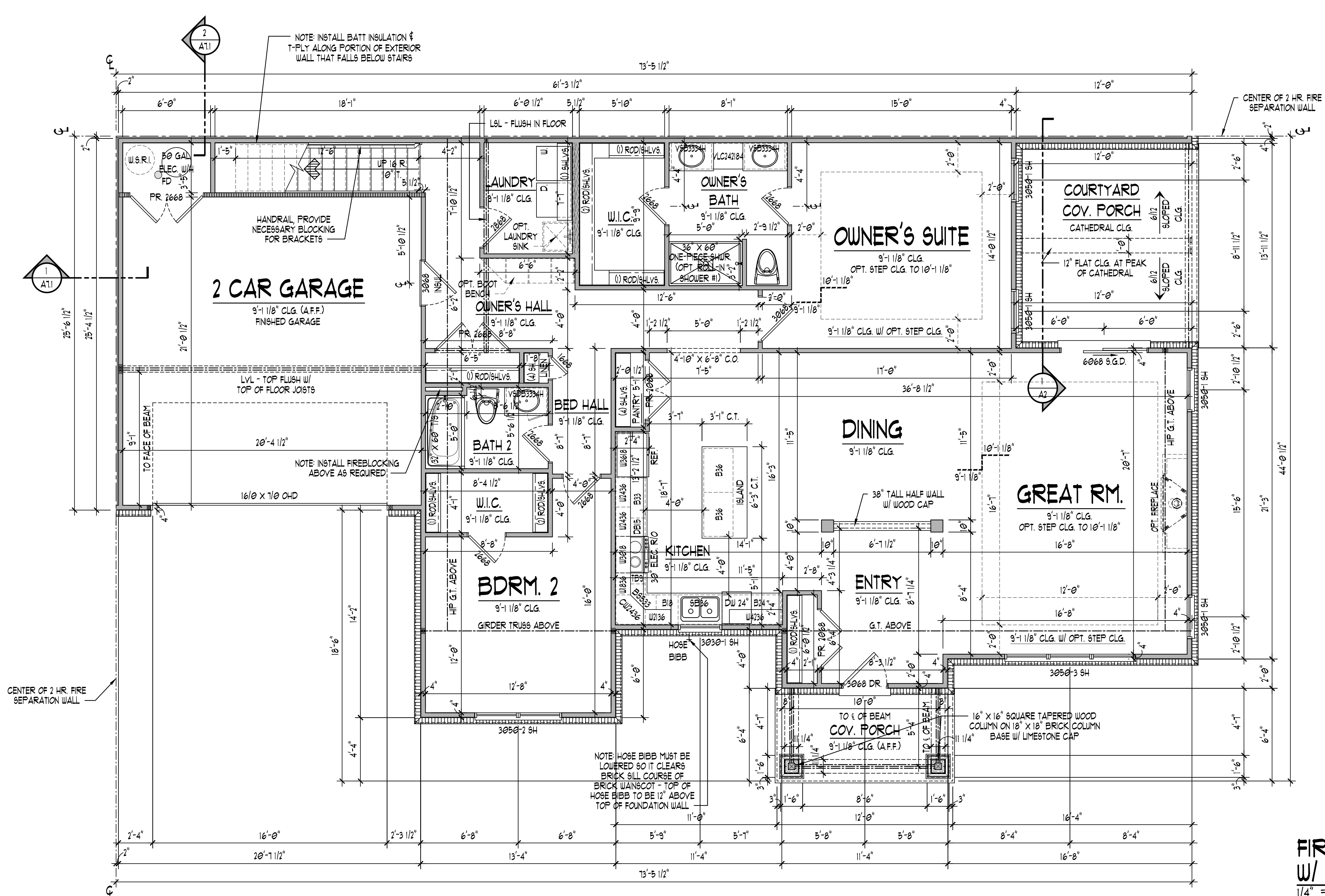
Date Started: -

Date Revised: -

First Floor Plan-Opt.  
Attic Storage

Sheet Number  
A4.1

NOTE: IF PRINTED ON 11x17 PAPER THEN ALL SCALES ARE 1/2 SIZE SHOWN



WALL LEGEND

2 X 6 FRAMED WALLS

2 X 4 FRAMED WALLS

INDICATES INTERIOR LOAD BEARING FRAMED WALLS

INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.

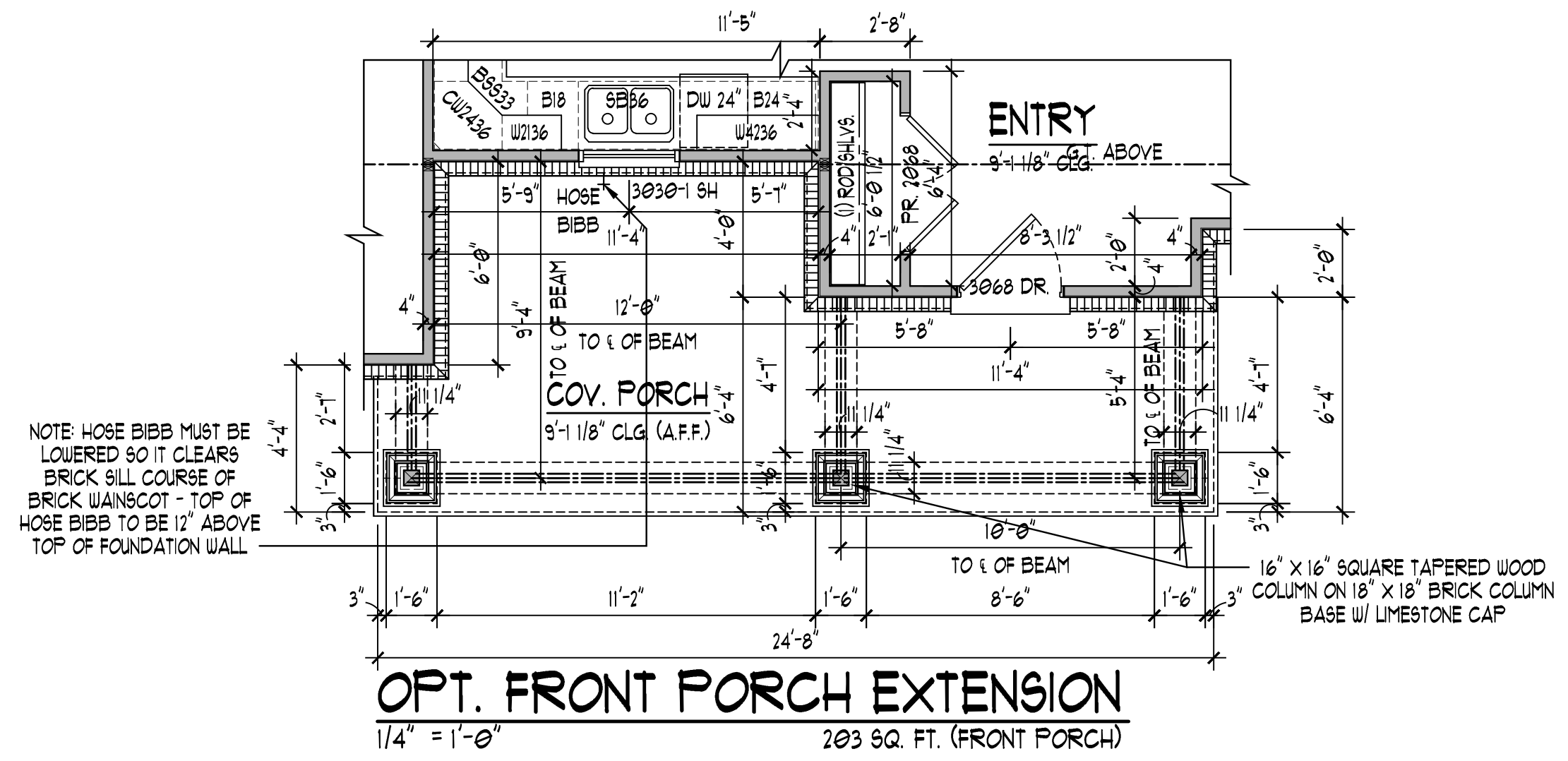
INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.

BRICK OR STONE MASONRY

FIRST FLOOR PLAN  
W/ OPT. ATTIC STORAGE

9'-1 1/8" H. WALLS (U.O.N.)  
1,808 SQ. FT. (FINISHED)  
483 SQ. FT. (GARAGE)  
79 SQ. FT. (FRONT COV. PORCH)  
174 SQ. FT. (COURTYARD COV. PORCH)

- FLOOR PLAN NOTES:
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  - G.C. TO VERIFY SIZE AND INSTALLATION METHOD OF SHOWER WITH P.C. PRIOR TO CONSTRUCTING STUB WALL STUB WALL TO EXTEND PAST FRONT OF SHOWER A MIN. OF 2".





# Grant 1759 The Preserve Series



3115 West US Hwy 40  
Greenfield, IN 46140  
Office: 317.318.1105  
[www.bridgenorthhomes.com](http://www.bridgenorthhomes.com)

Project No: -

Project Name:

Project Name:

Drawn By: LT

Drawn By: LT

Date Started: -

Date Started: -

Date Revised: -

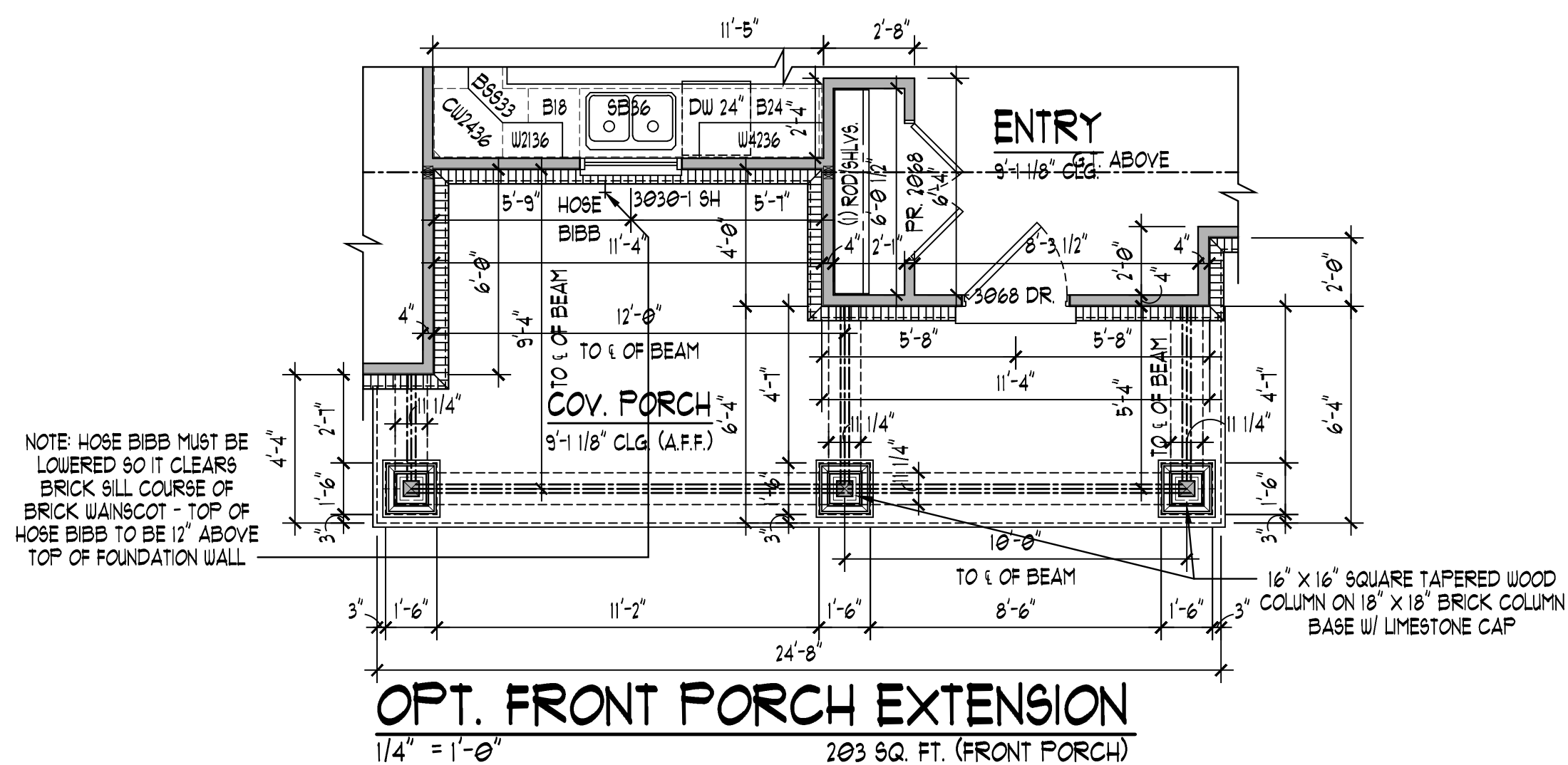
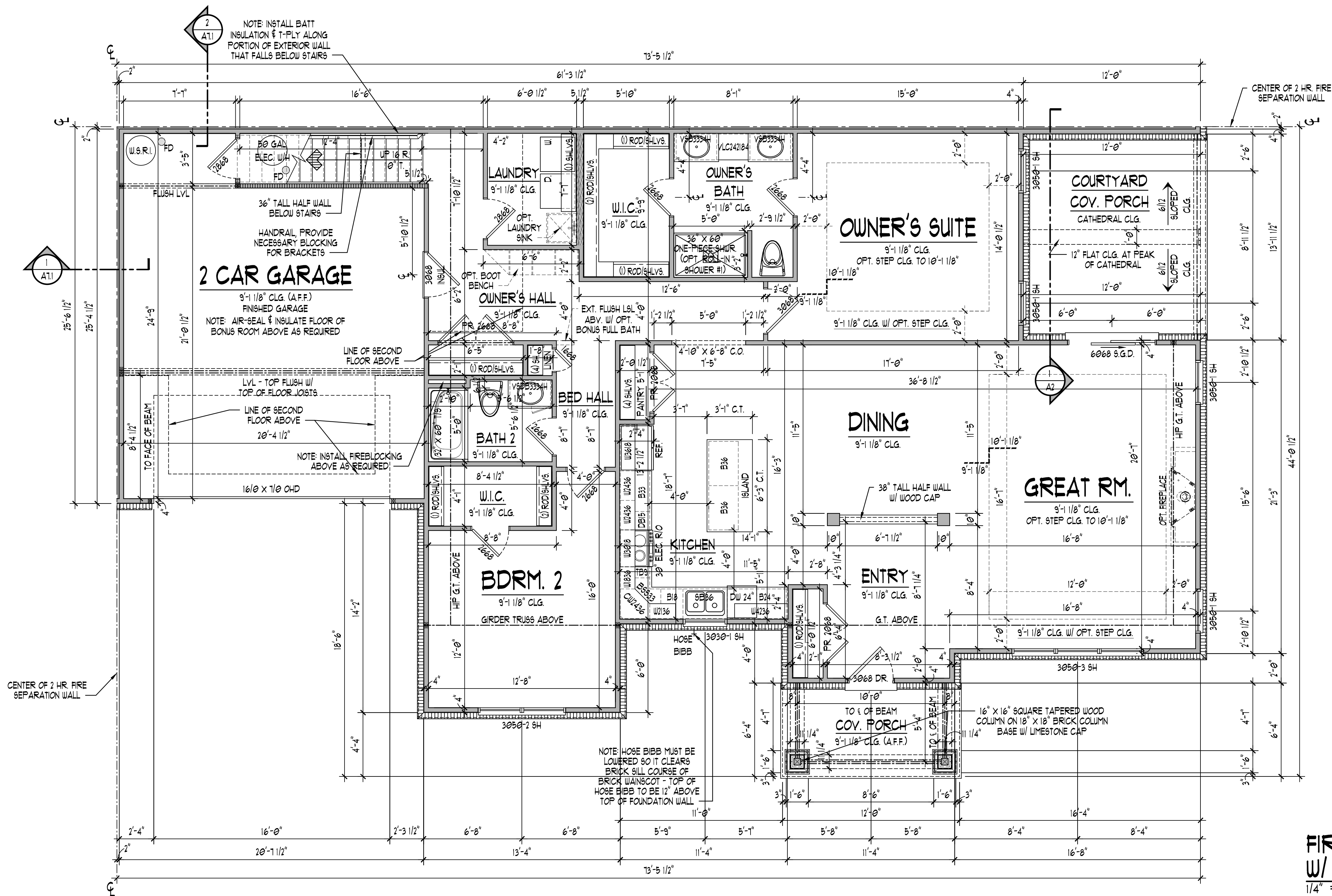
Date Revised: -

First Floor Plan-Opt.  
Bonus Room

Sheet Number

## A4.2

NOTE: IF PRINTED ON 11x17 PAPER THEN ALL SCALES ARE 1/2 SIZE SHOWN



FIRST FLOOR PLAN  
W/ OPT. BONUS ROOM

$$\overline{1/4''} = 1' - \theta''$$

9'-1 1/8" H. WALLS (U.O.N.)

1,808 SQ. FT. (FINISHED)

483 SQ. FT. (GARAGE)

PT. (FRONT COV. PORCH)  
 COURTYARD COV. PORCH)

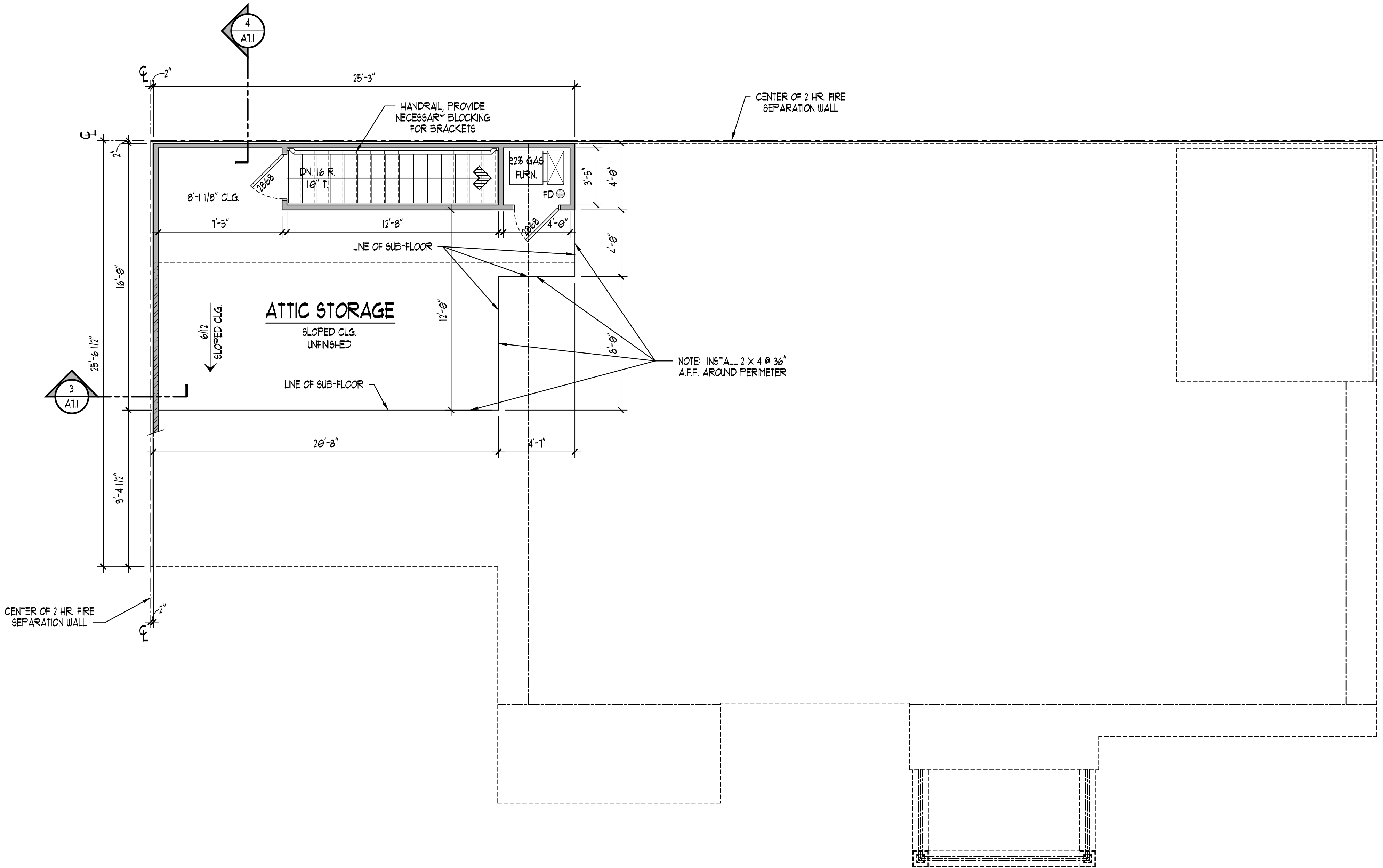
DATE: 11/11/2011

FLOOR PLAN NOTES:

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- G.C. TO VERIFY SIZE AND INSTALLATION METHOD OF SHOWER WITH P.C. PRIOR TO CONSTRUCTING STUB WALL. STUB WALL TO EXTEND PAST FRONT OF SHOWER A MIN. OF 2".



X:\Master Plans\Bridgenorth Homes\The Preserve Series (Quadplexes)\Brick Wainscot Plans\1759 Grant-Hip Roof\Grant-Hip Roof.DWG, 2/11/2025 2:27:20 PM



WALL LEGEND	
	2 X 6 FRAMED WALLS
	2 X 4 FRAMED WALLS
	INDICATES INTERIOR LOAD BEARING FRAMED WALLS
	INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.
	INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.
	BRICK OR STONE MASONRY

**OPT. ATTIC STORAGE** 8'-1 1/8" H. WALLS (U.O.N.)  
1/4" = 1'-0" 325 SQ. FT. (STORAGE)

FLOOR PLAN NOTES:

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Master Plan Revision	
Revision #	Date
1	1/22/25
2	-
3	-
4	-

Grant 1759  
The Preserve Series

  
**BRIDGENORTH**  
HOMES  
3115 West US Hwy 40  
Greenfield, IN 46140  
Office: 317.318.1105  
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Project No:	-
Project Name:	-
Drawn By:	LT
Date Started:	-
Date Revised:	-

Opt. Attic Storage

Sheet Number  
**A5.0**

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Grant 1759  
The Preserve Series

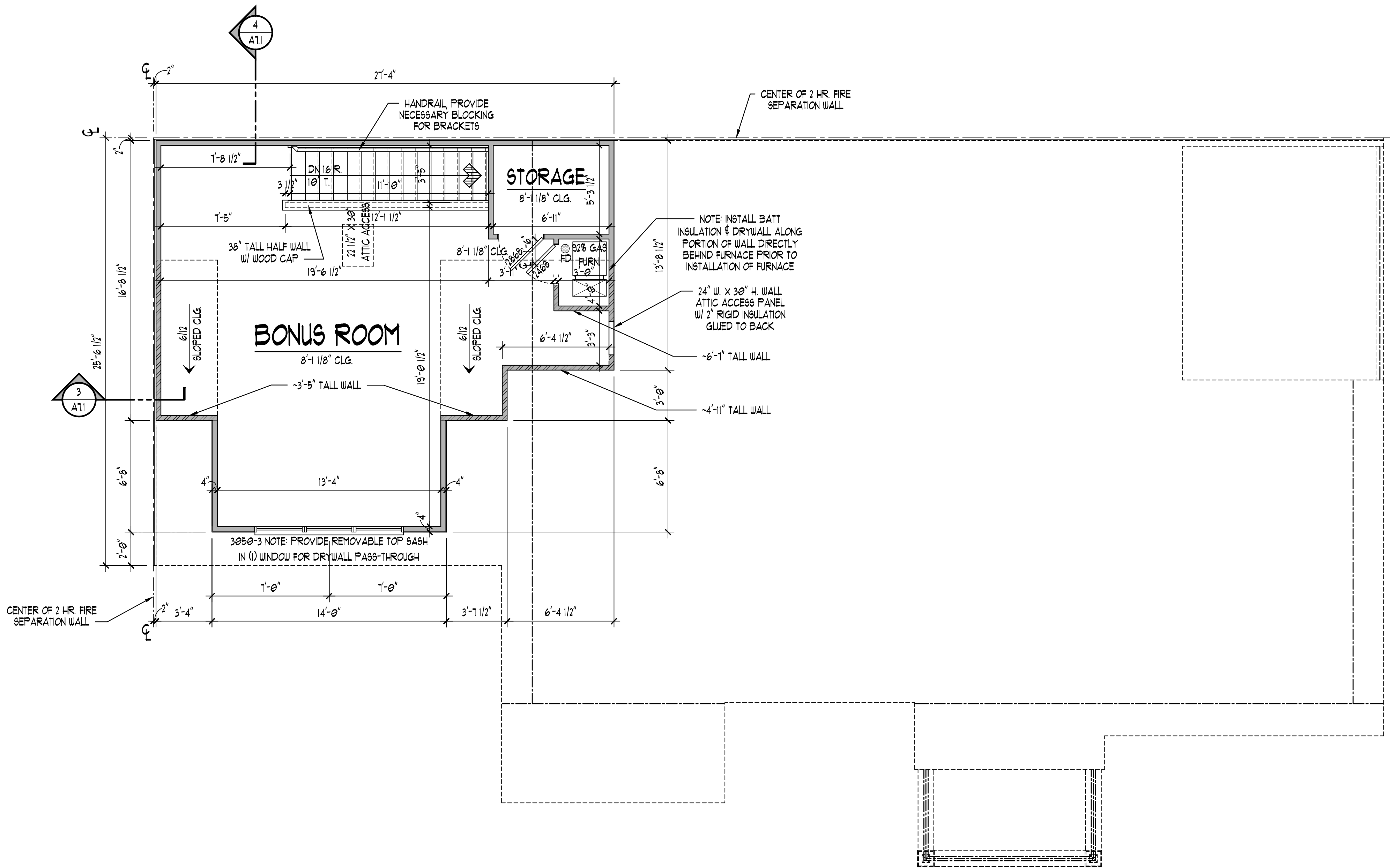
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Project No:	-
Project Name:	-
Drawn By:	LT
Date Started:	-
Date Revised:	-

Opt. Bonus Room

Sheet Number  
**A5.1**

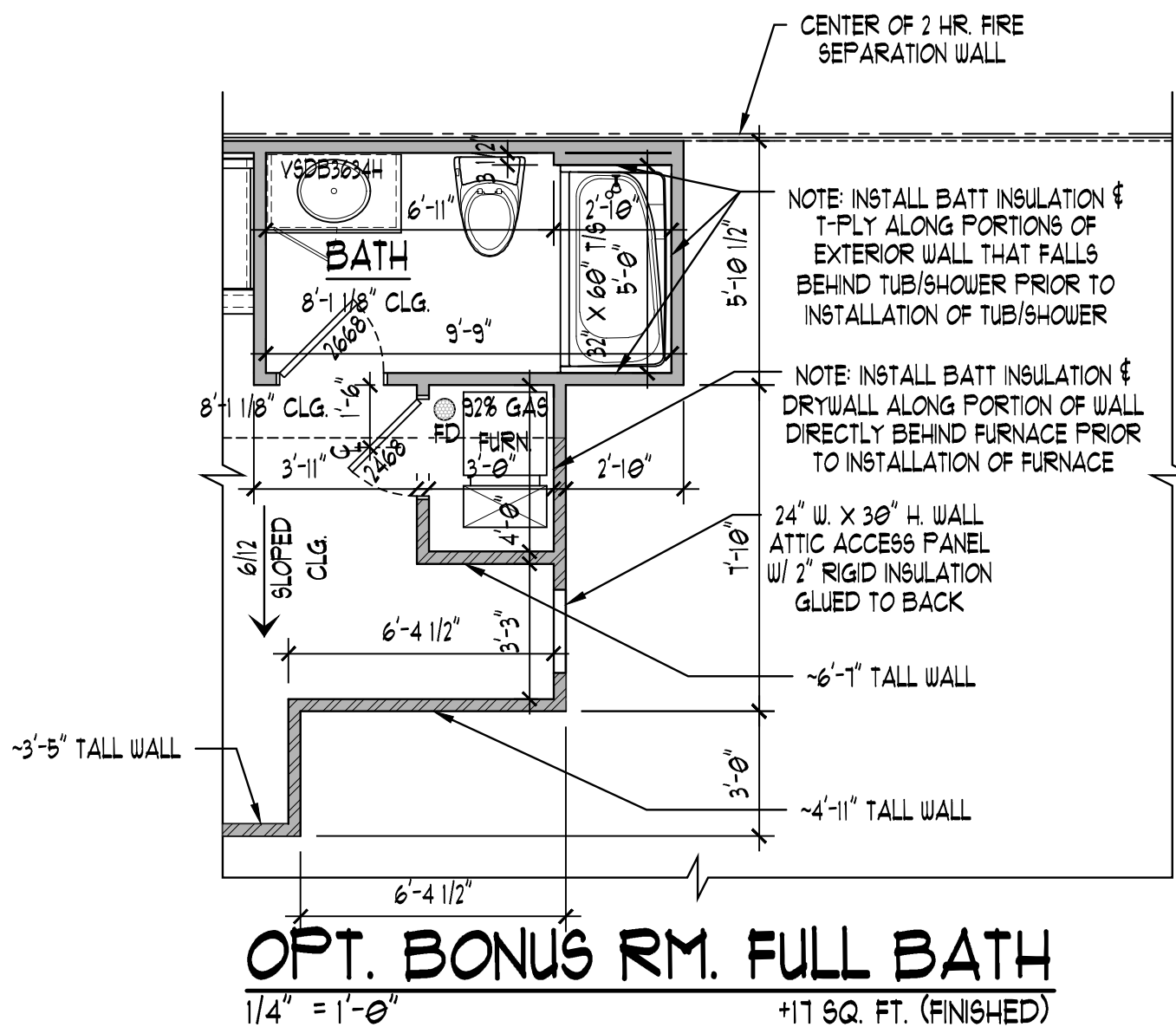


WALL LEGEND	
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	INDICATES FRAMED WALLS TALLER THAN TYP. WALL HGT.
	INDICATES FRAMED WALLS SHORTER THAN TYP. WALL HGT.
	BRICK OR STONE MASONRY

**OPT. BONUS RM.** 8'-1 1/8" H. WALLS (U.O.N.)  
1/4" = 1'-0" +492 SQ. FT. (FINISHED)

FLOOR PLAN NOTES:

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**OPT. BONUS RM. FULL BATH**  
1/4" = 1'-0" +17 SQ. FT. (FINISHED)

NOTE: IF PRINTED ON 11x17 PAPER THEN ALL SCALES ARE 1/2 SIZE SHOWN