

CONSTRUCTION PLANS

FOR

HAVEN PONDS SECTION 3

E 96TH STREET AND N COUNTY ROAD 500 W

MCCORDSVILLE, INDIANA



SILVERTHORNE HOMES
9225 HARRISON PARK CT
INDIANAPOLIS, IN 46216



9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

HAVEN PONDS SECTION 3

E 96TH ST &
N CR 500 W
MCCORDSVILLE, IN



Kenneth Moorehead
CERTIFIED BY

ISSUANCE INDEX

DATE:
03/06/2025
PROJECT PHASE:
CONSTRUCTION DOCUMENTS

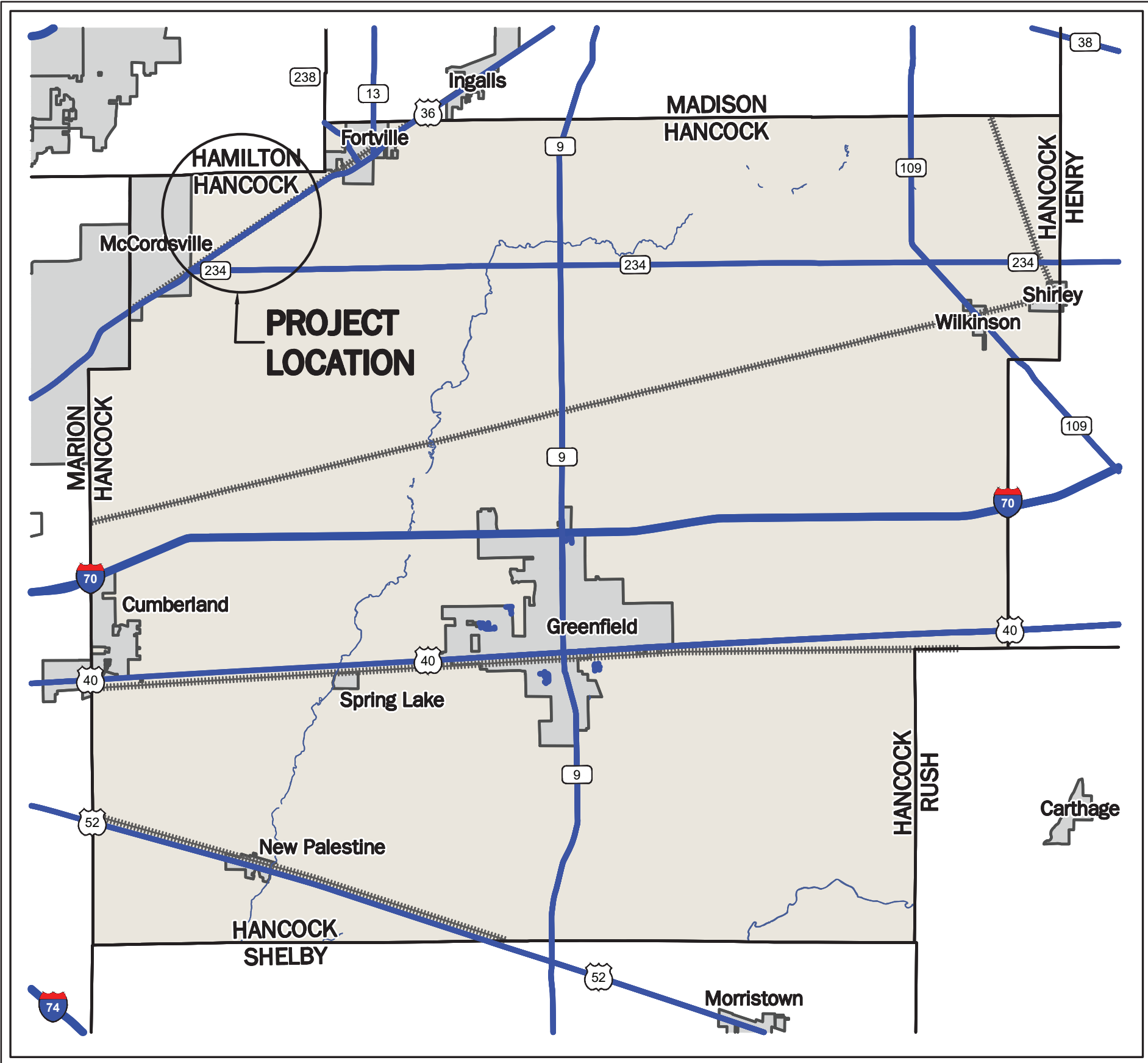
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2020.03087

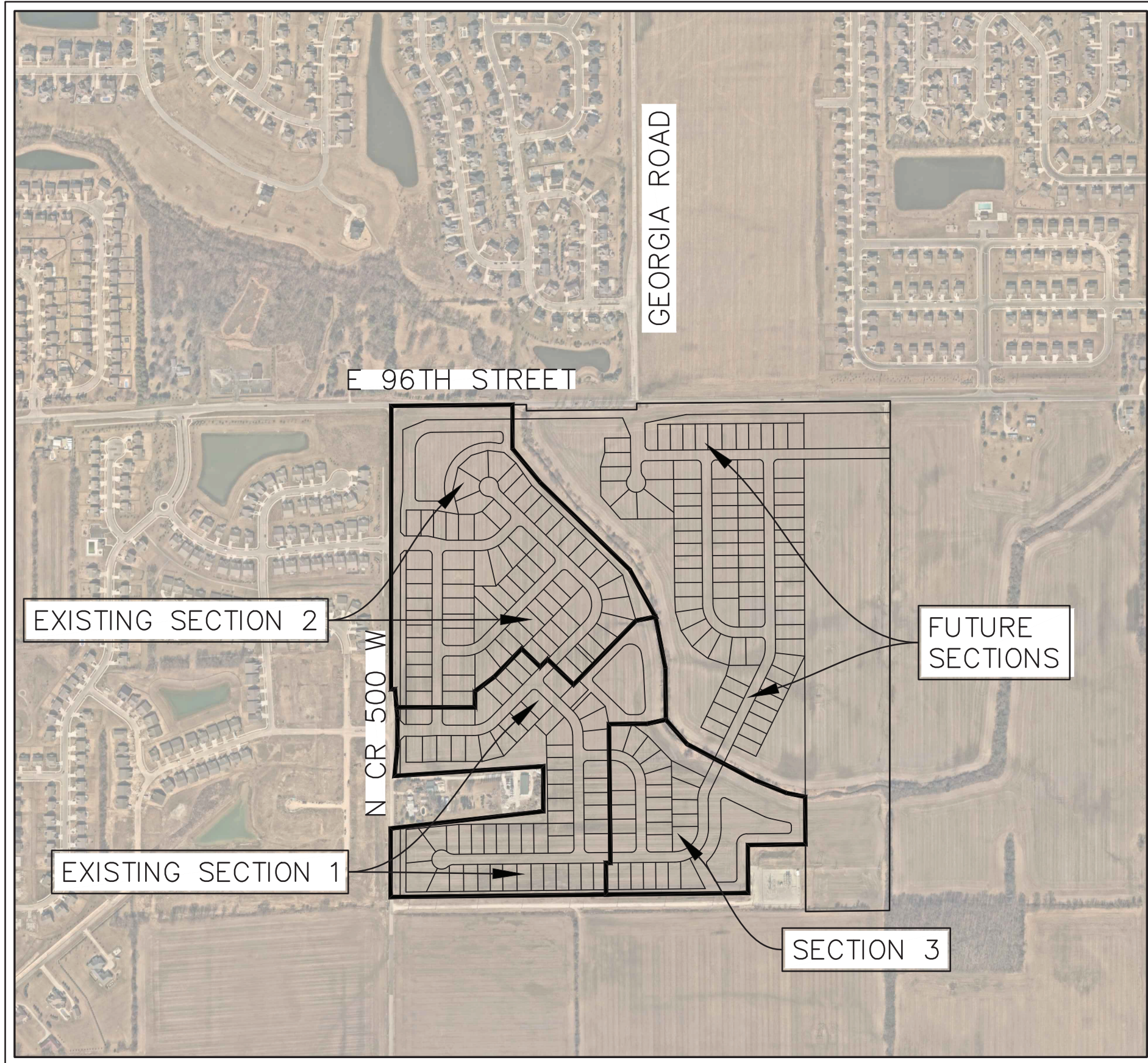
TITLE SHEET

C001



LOCATION MAP

NOT TO SCALE



VICINITY MAP

NOT TO SCALE



BENCHMARK DATA

BENCHMARK INFORMATION (NAVD 88 DATUM)

TBM #80
TOP OF MAG SPIKE 1" UP WEST SIDE BROKEN OFF POWERPOLE
LOCATED ±5' EAST OF 500 WEST AND ±15' SOUTH OF NORTH
DRIVEWAY OF RESIDENCE 9547.
ELEV: 856.09

TBM #81
TOP OF CUT "X" ON EAST MOST MOUNT BOLT OF ALUMINUM
POWERPOLE LOCATED ±15' WEST OF 500 WEST AND OPPOSITE
ELECTRIC SUB STATION ENTRANCE.
ELEV: 855.77

TBM #82
TOP OF CUT "X" ON EAST MOST BONNET BOLT ON THE TOP FLANGE
OF FIRE HYDRANT LOCATED IN THE SOUTHWEST QUADRANT OF 500
WEST AND 1000 NORTH.
ELEV: 853.55

TBM #83
TOP OF MAG SPIKE 1" UP ON THE SOUTH SIDE OF COMBINATION
POLE LOCATED ±20' WEST OF GEORGIA ROAD AND ±50' NORTH OF
1000 NORTH.
ELEV: 854.91

TBM #84
TOP OF CUT "X" ON SOUTH MOST BONNET BOLT ON THE TOP
FLANGE OF FIRE HYDRANT LOCATED ±70' NORTH OF 1000 NORTH
AND AT THE WEST END OF STEEPLE CHASE SUBDIVISION.
ELEV: 862.12

LEGAL DESCRIPTION

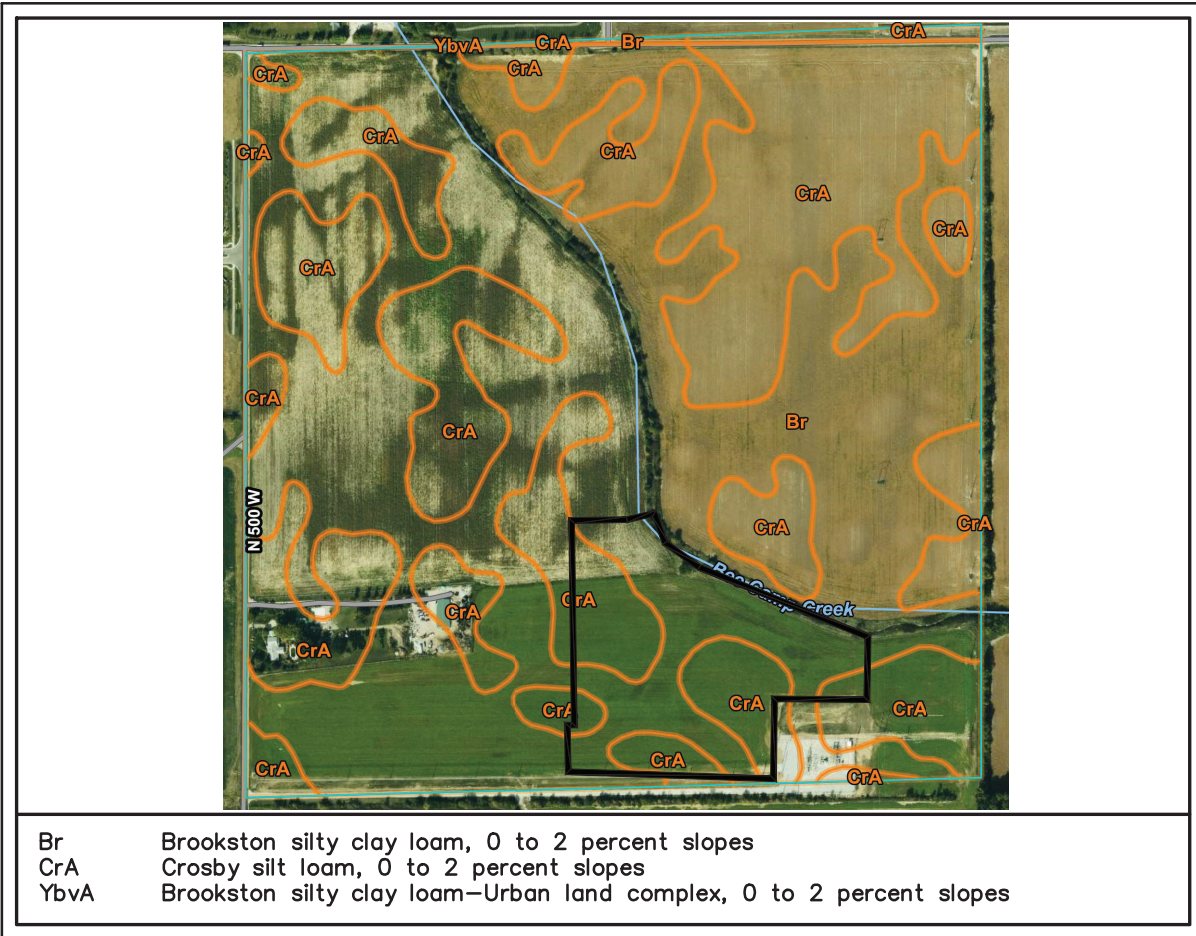
Haven Ponds Section 3

Part of the Northwest Quarter of Section 18, Township 17 North, Range 6 East of the Second Principal Meridian, Hancock County, Indiana, part of the 83.963-acre tract of land shown on the ALTA/NSPS Land Title Survey dated December 10, 2021, as last revised, by Michael J. Smith, PS #LS20500025 of American Structurepoint, Inc. under project number 2020.03087, more particularly described as follows:

Commencing at a Harrison Monument at the northwest corner of said Northwest Quarter; thence South 00 degrees 03 minutes 25 seconds West 1,287.54 feet along the west line of said Northwest Quarter (basis of bearings is the Indiana Geospatial Coordinate System, Hancock Zone) to a Harrison Monument at the southeast corner of the North Half of the Northeast Quarter of Section 13, Township 17 North, Range 5 East; thence South 00 degrees 07 minutes 09 seconds West 1,272.07 feet along said west line to the southwest corner of said Haven Ponds, Section 1, recorded as Instrument Number 202312244 in the Office of the Recorder of Hancock County, Indiana; the following six (6) courses are along the south and east boundary of said Haven Ponds, Section 1; (1) thence North 89 degrees 21 minutes 20 seconds East 1,123.74 feet to the POINT OF BEGINNING; (2) thence North 00 degrees 38 minutes 40 seconds West 165.00 feet; (3) thence North 89 degrees 21 minutes 20 seconds East 24.25 feet; (4) thence North 00 degrees 38 minutes 40 seconds West 723.00 feet; (5) thence North 89 degrees 21 minutes 20 seconds East 200.00 feet; (6) thence North 77 degrees 53 minutes 45 seconds East 99.43 feet to the centerline of Bee Camp Creek, the following four (4) courses are along the centerline of said creek; (1) thence South 40 degrees 49 minutes 02 seconds East 166.79 feet; (2) thence South 61 degrees 59 minutes 51 seconds East 400.84 feet; (3) thence South 67 degrees 39 minutes 59 seconds East 178.37 feet; (4) thence South 78 degrees 32 minutes 54 seconds East 100.49 feet; thence South 00 degrees 12 minutes 31 seconds East 247.46 feet to the northeast corner of the parcel conveyed to Wabash Valley Power Association, Inc. in Instrument Number 201712989, on file in the Office of said Recorder, the following three (3) courses are along the north and west boundary of said parcel; (1) thence South 89 degrees 21 minutes 20 seconds West 300.00 feet; (2) thence South 00 degrees 16 minutes 16 seconds East 250.00 feet; (3) thence South 89 degrees 21 minutes 20 seconds West 740.03 feet to the POINT OF BEGINNING. Containing 15.277 acres more or less.

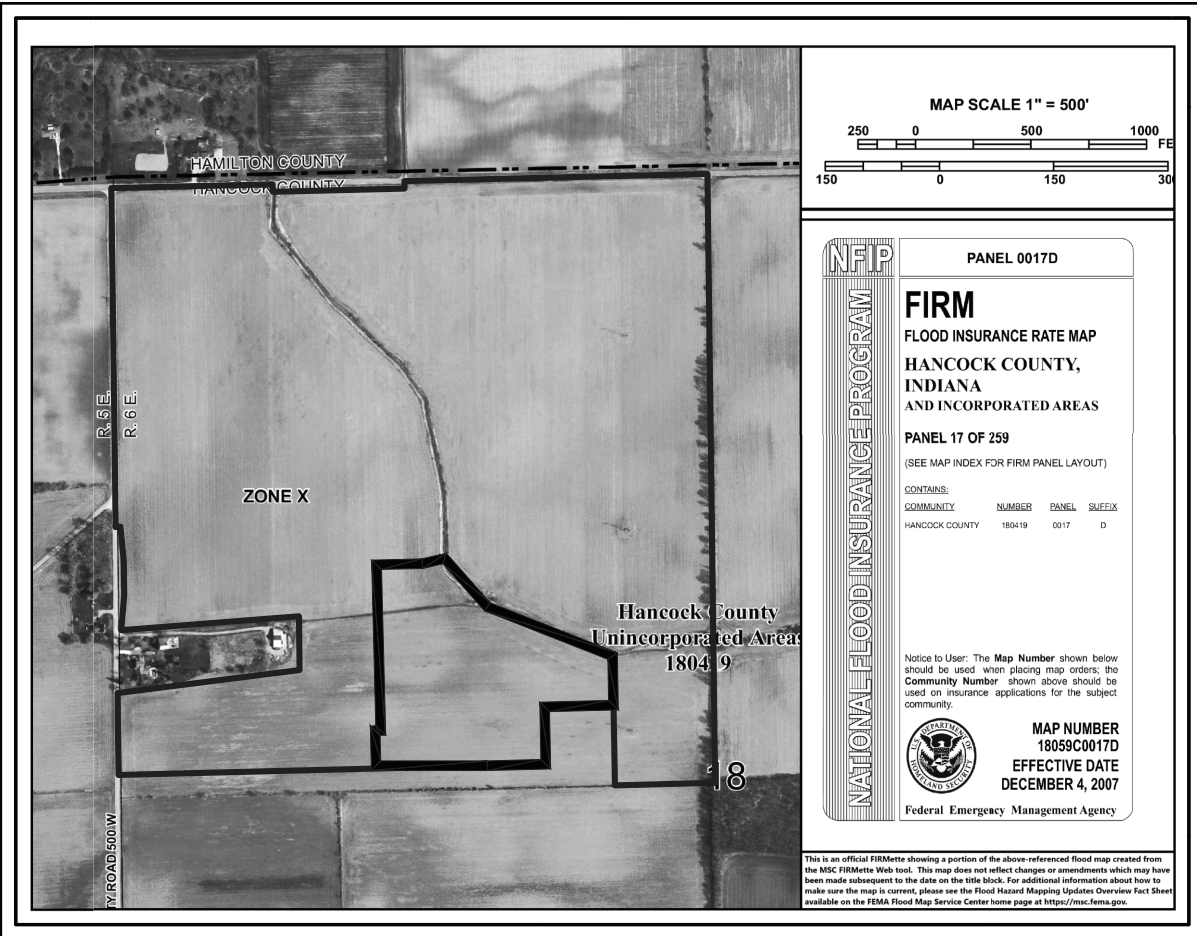
UTILITY CONTACTS

UTILITY	COMPANY/ENTITY	CONTACT	PHONE NO.
CABLE TELEVISION	BRIGHTHOUSE NETWORKS	JASON KIRKMAN	(317) 632-9077
ELECTRIC	NINE STAR CONNECT	NINE STAR ENGINEERING	(317) 326-3131
FIBER OPTIC	NINE STAR CONNECT	NINE STAR ENGINEERING	(317) 326-3131
GAS	CENTERPOINT ENERGY	JON EASTHAM	(317) 287-2119
SANITARY SEWER	TOWN OF MCCORDSVILLE	STEVE GIPSON	(317) 335-3493
STORM SEWER	TOWN OF MCCORDSVILLE	RON CRIDER	(317) 967-0503
TELEPHONE	CENTURYLINK	JOHN UNVERFERTH	(419) 228-6342
WATER	CITIZENS ENERGY GROUP	BRAD HOSTETLER	(317) 927-4351
96TH STREET R.O.W.	CITY OF FISHERS-ENGINEERING	SETH GOHRING	(317) 595-3160



SOILS MAP

NOT TO SCALE

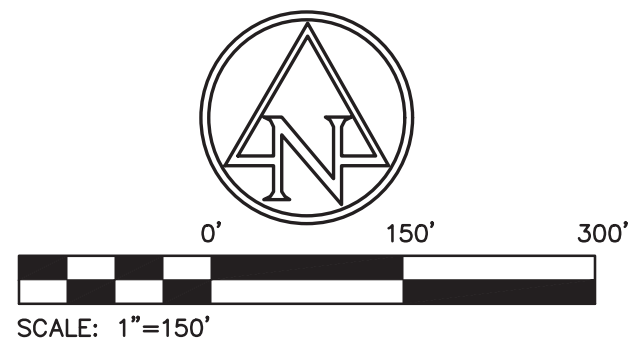


FEMA MAP

NOT TO SCALE



PLOT DATE: 3/4/2025 1:01 PM
PLOT SCALE: 1:2-6849
DRAWING FILE: P:\2020\03087.D
DRAWING: Civil/Construction Documents/Construction Documents/Section 3/2020.03087.CE.C001.TS.dwg
EDIT DATE: 3/2/2025
EDITED BY: KMOORHEAD



EXISTING LEGEND

	Beehive Inlet		Pole
	Combination Pole		Post
	Curb Inlet		Sanitary Manhole
	Drainage Inlet		Sign
	Drainage Manhole		Stand Pipe
	Electric Cross Box		Telephone Pedestal
	Electric Meter Box		Transformer
	Fire Hydrant		Tree
	Fire Plug		Vent
	Flag Pole		Water Marker
	Gas Marker		Water Meter
	Gas Valve		Water Valve
	Guy Wire		Buried Electric Line
	Lid		Overhead Electric Line
	Light Pole		Buried Gas Line
	Mail Box		Buried Telephone Line
	Manhole		Buried Water Line
	Pine Tree		Fiber Optic Line

PROPOSED LEGEND

	RIGHT-OF-WAY (R/W) LINE
	BUILDING SETBACK LINE
	EASEMENT
	WET DETENTION POND NORMAL POOL
	LOT LINE

SITE DATA TABLE

SITE ZONING:	PUD
GROSS AREA:	±15.28 AC.
PUBLIC RIGHT-OF-WAY (R/W):	±1.92 AC. (12.6%)
COMMON AREA:	±6.65 AC. (43.5%)
WET POND AREA:	±1.68 AC.
TOTAL LOT AREA:	±6.71 AC. (43.9%)
TOTAL LOTS:	27
GROSS DENSITY (LOTS/GROSS AREA):	1.8
MIN. LOT AREA:	8,700 SF (30% >10,000 SF)
MIN. LOT WIDTH:	65' (30% >75')
TYP. LOT DEPTH:	135'
MIN. FRONT YARD SETBACK:	30'
MIN. SIDE YARD SETBACK:	6'
MIN. REAR YARD SETBACK:	15'
LOCAL ROAD LENGTH:	1,474 LF
TYP. R/W WIDTH:	54' (LOCAL ROAD)

OPEN SPACE TABLE

C.A. B-4	±1.07 AC	C.A. D	±5.58 AC
TOTAL		±6.65 AC	

ARCHITECTURAL STANDARDS

- * ALL LOTS INDICATED WITH THIS SYMBOL SHALL HAVE A REAR GABLE IN THE FORM OF ONE OF THE FOLLOWING: ENCLOSED SUNROOM, SCREENED IN PORCH, A COVERED BACK PORCH WITH A MINIMUM OF 8"x8" COLUMNS, REAR BUMP OF AT LEAST TEN (10) FEET IN WIDTH BY FOUR (4) FEET IN DEPTH. IF A FIRST-FLOOR BRICK WRAP IS CHOSEN, A GABLE IS NOT REQUIRED ON THE REAR ELEVATION.
- ALL LOTS WITH THIS SYMBOL SHALL HAVE A BRICK OR STONE WAINSCOT ON THE SIDE FACADE FACING THE STREET.

GENERAL NOTES:

- CONTRACTOR SHALL PROTECT & NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE & DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
- SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

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ISSUANCE INDEX

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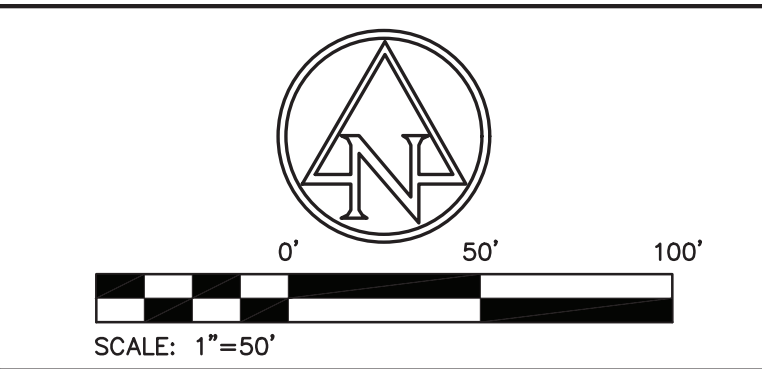
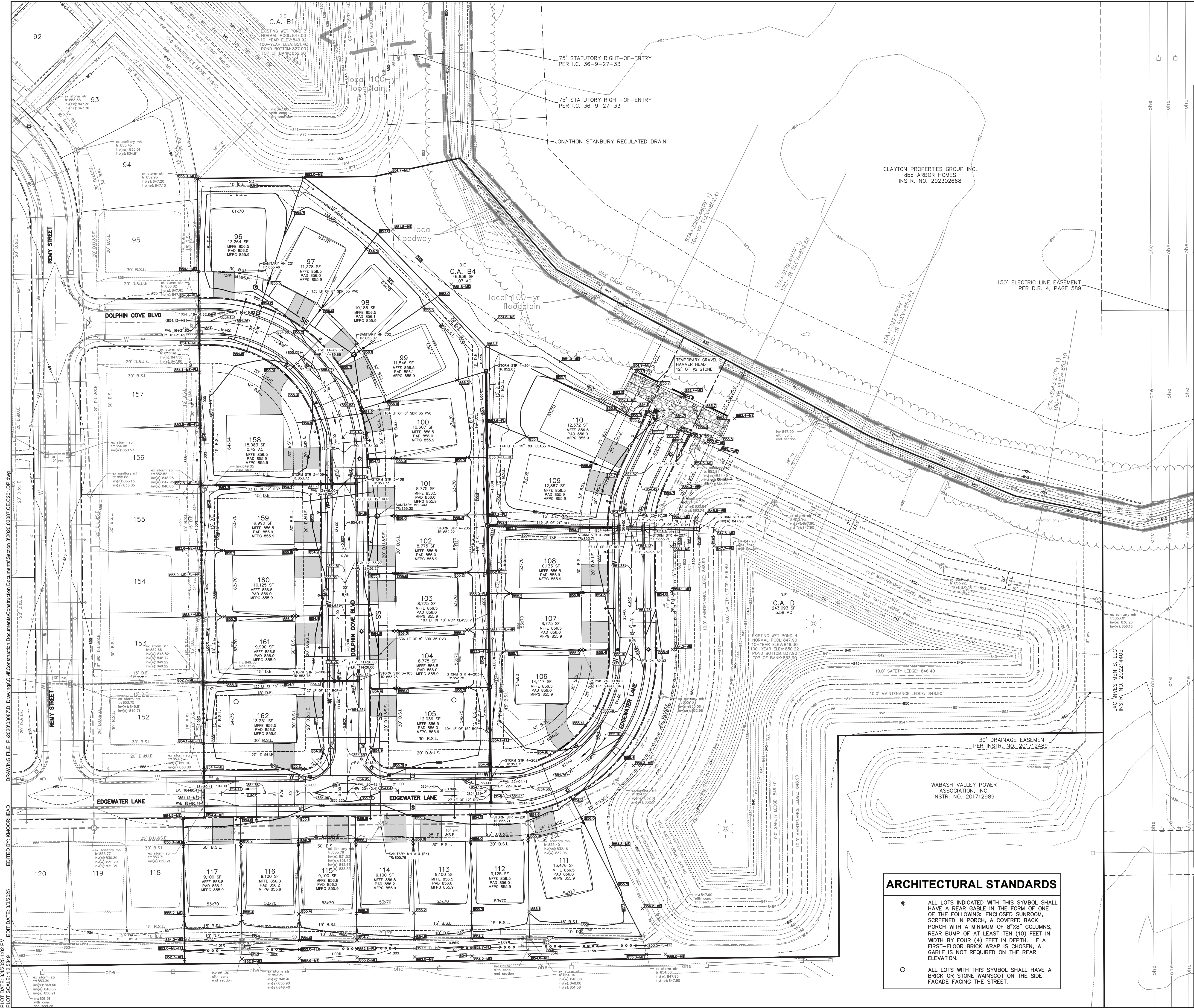
REVISION SCHEDULE

NO.	DESCRIPTION	DATE

Project Number 2020.03087

OVERALL
DEVELOPMENT
PLAN

C200



EXISTING LEGEND	
	Beehive Inlet
	Combination Pole
	Curb Inlet
	Drainage Inlet
	Drainage Manhole
	Electric Cross Box
	Fire Hydrant
	Fire Plug
	Flag Pole
	Gas Marker
	Gas Valve
	Guy Wire
	Lid
	Light Pole
	Mail Box
	Manhole
	Pine Tree
	Pole
	Post
	Sanitary Manhole
	Sign
	Stand Pipe
	Telephone Pedestal
	Transformer
	Tree
	Vent
	Water Marker
	Water Meter
	Water Valve
	Buried Electric Line
	Buried Gas Line
	Buried Telephone Line
	Buried Water Line
	Fiber Optic Line

PROPOSED LEGEND

	RIGHT-OF-WAY (R/W) LINE
	BUILDING SETBACK LINE
	EASEMENT
	WET DETENTION POND NORMAL POOL
	GRADING BREAKLINE
	LOT LINE
	WATER MAIN
	SANITARY MAIN
	SWALE
	6" DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
	SUBSURFACE DRAIN CLEANOUT
	STORM SEWER
	FIRE HYDRANT & WATER VALVE
	SINGLE WATER METER PIT
	PROPOSED CONTOUR
	SPOT ELEVATION
	PAVEMENT ELEVATION
	FLOW ARROW
AC	ACRE
B.S.L.	BUILDING SETBACK LINE
B/B	BACK TO BACK
C.A.	COMMON AREA
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&S.E.	DRAINAGE, UTILITY & SANITARY EASEMENT
FL	FLOWLINE
HF	HIGH POINT
INV	INVERT ELEVATION
LE	LANDSCAPE EASEMENT
ME	MATCH EXISTING
MFFE	MINIMUM FINISHED FLOOR ELEVATION
MFPG	MINIMUM FLOOD PROTECTION GRADE
PAD	PAD GRADE
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
RT	SQUARE FEET
TR	TOP OF RIM ELEVATION
	STREET LIGHT
	SIGN
	ADA SIDEWALK RAMP

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— INDIANA UNDERGROUND —

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HAVEN PONDS SECTION 3

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Kenneth Moorehead
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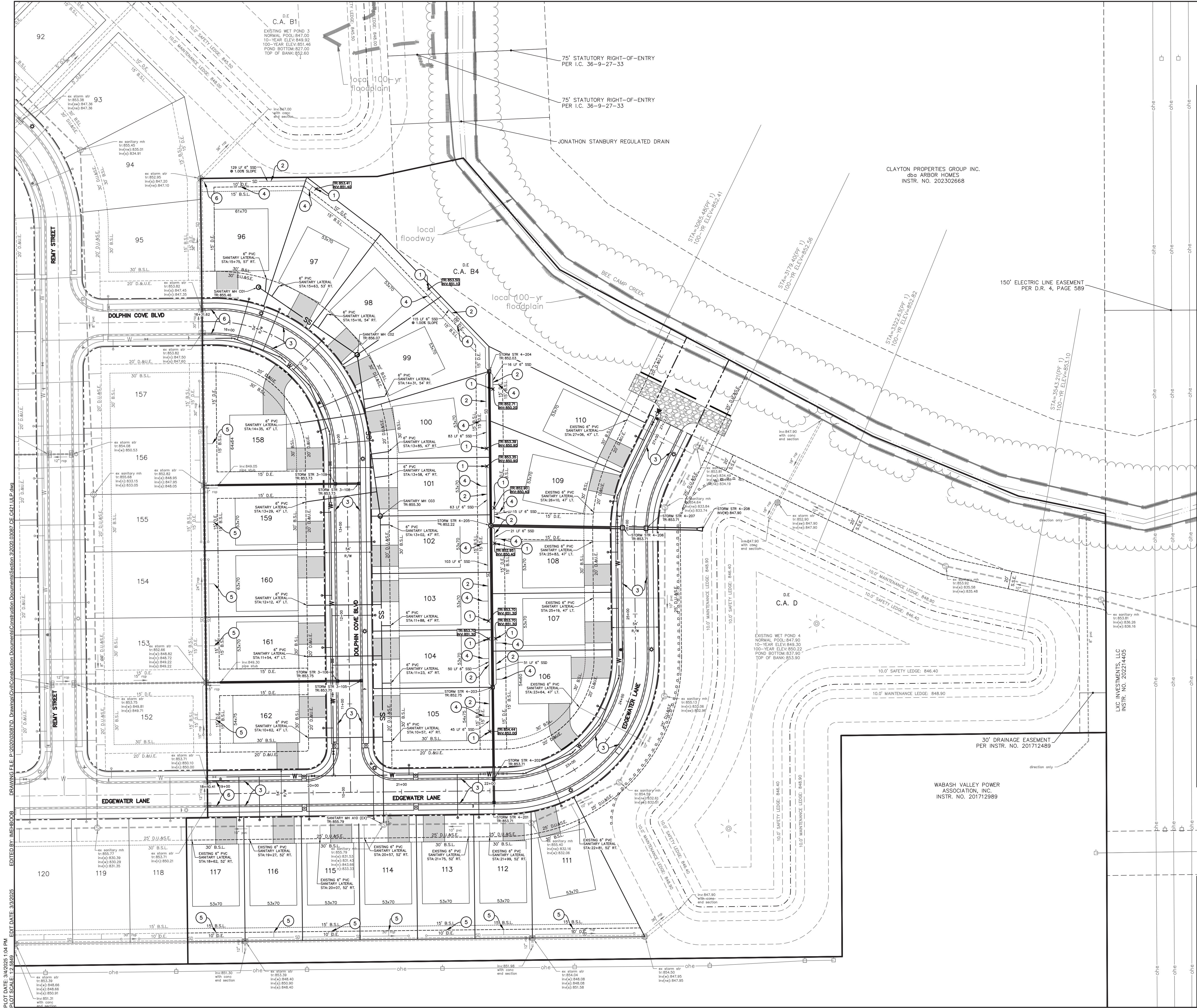
ISSUANCE INDEX	
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REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2020.03087

DEVELOPMENT PLAN

C201



0' 50' 100'
SCALE: 1"=50'

EXISTING LEGEND

Beehive Inlet	○	Pole
Combination Pole	●	Post
Curb Inlet	⊙	Sanitary Manhole
Drainage Inlet	⊖	Sign
Drainage Manhole	⊕	Stand Pipe
Electric Cross Box	⊗	Telephone Pedestal
Electric Meter Box	⊘	Transformer
Fire Hydrant	⊙	Tree
Fire Plug	⊙	Vent
Flag Pole	⊙	Water Marker
Gas Marker	⊙	Water Meter
Gas Valve	⊙	Water Valve
Guy Wire	—e—	Buried Electric Line
Lid	—g—	Buried Gas Line
Light Pole	—t—	Buried Telephone Line
Mail Box	—w—	Buried Water Line
Manhole	—fo—	Fiber Optic Line
Pine Tree		

PROPOSED LEGEND

---	RIGHT-OF-WAY (R/W) LINE
---	BUILDING SETBACK LINE
---	EASEMENT
---	WET DETENTION POND NORMAL POOL
---	GRADING BREAKLINE
---	LOT LINE
W	WATER MAIN
SS	SANITARY MAIN
---	SWALE
SD	6" DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
---	SUBSURFACE DRAIN CLEANOUT
---	STORM SEWER
---	FIRE HYDRANT & WATER VALVE
---	SINGLE WATER METER PIT
0000.00	PROPOSED CONTOUR
0000.00	SPOT ELEVATION
0000.00	PAVEMENT ELEVATION
→	FLOW ARROW
AC	ACRE
B.S.L.	BUILDING SETBACK LINE
B/B	BACK TO BACK
C.A.	COMMON AREA
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&S.E.	DRAINAGE, UTILITY & SANITARY EASEMENT
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MFPG	MINIMUM FLOOD PROTECTION GRADE
PAD	PAD GRADE
PC	POINT OF CURVATURE
PT	POINT OF TANGENCY
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT-OF-WAY
SF	SQUARE FEET
TR	TOP OF RIM ELEVATION
+	STREET LIGHT
⊙	ADA SIDEWALK RAMP

KEYNOTES

- SUBSURFACE DRAIN (SSD) RISER
- 6" DOUBLE-WALL PERFORATED SUBSURFACE SWALE UNDERDRAIN (SSU) TO MATCH SWALE SLOPE UNLESS OTHERWISE NOTED
- 6" DOUBLE-WALL PERFORATED SUBSURFACE CURB UNDERDRAIN
- 4" DOUBLE-WALL NON-PERFORATED SUBSURFACE LOT LATERAL
- EXISTING 4" DOUBLE-WALL NON-PERFORATED SUBSURFACE LOT LATERAL
- CONNECT 6" DOUBLE-WALL PERFORATED SUBSURFACE CURB UNDERDRAIN TO EXISTING STORM INLET STRUCTURE UNDERDRAIN STUB

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HAVEN PONDS SECTION 3

E 96TH ST &
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MCCORDSVILLE, IN

Kenneth Moorehead
REGISTERED
No. 12300011
STATE OF INDIANA
PROFESSIONAL ENGINEER
CERTIFIED BY

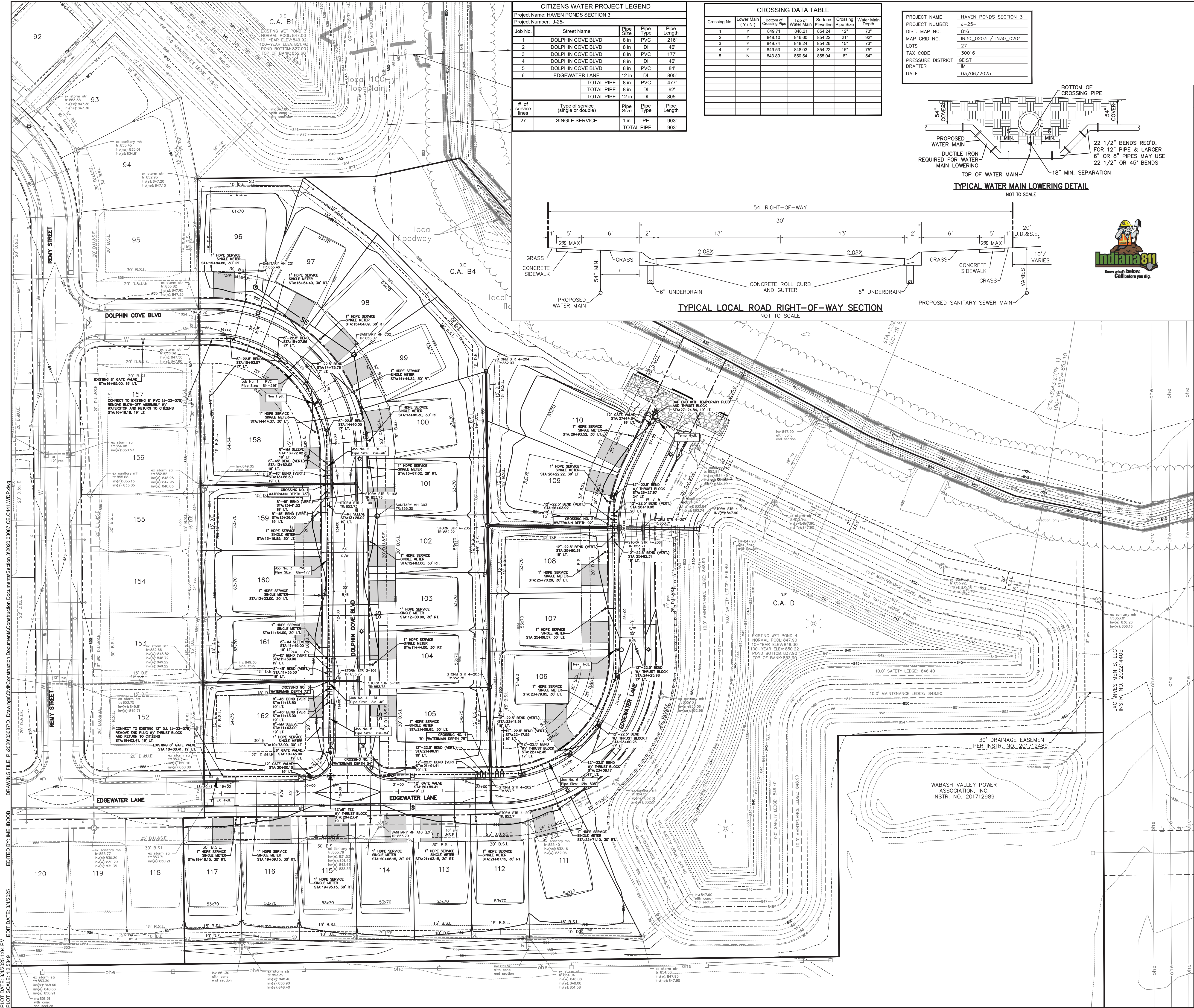
ISSUANCE INDEX		
DATE: 03/06/2025		
PROJECT PHASE: CONSTRUCTION DOCUMENTS		

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2020.03087

UTILITY LATERAL PLAN

C421

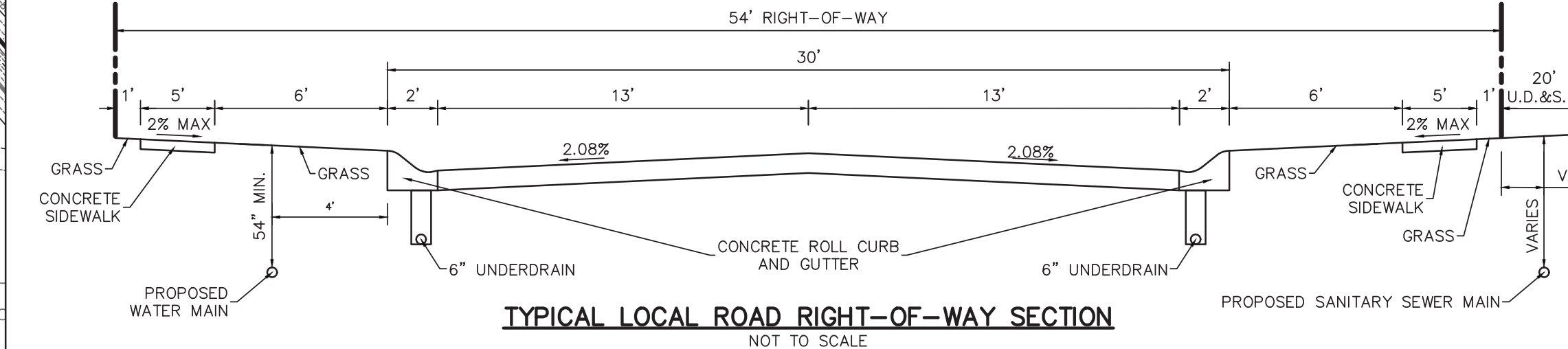
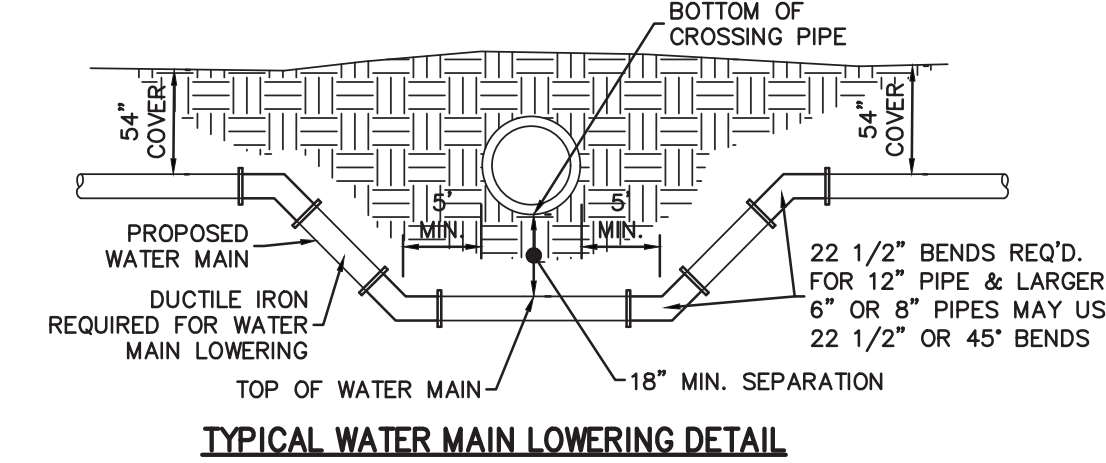


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EDIT DATE: 3/4/2025
PLOT DATE: 3/4/2025 1:14 PM
PLOT SCALE: 1"=50'

CITIZENS WATER PROJECT LEGEND					
Project Name: HAVEN PONDS SECTION 3					
Project Number: J-25-					
Job No	Street Name	Pipe Size	Pipe Type	Pipe Length	
1	DOLPHIN COVE BLVD	8 in	PVC	216'	
2	DOLPHIN COVE BLVD	8 in	DI	46'	
3	DOLPHIN COVE BLVD	8 in	PVC	177'	
4	DOLPHIN COVE BLVD	8 in	DI	46'	
5	DOLPHIN COVE BLVD	8 in	PVC	84'	
6	EDGEWATER LANE	12 in	DI	805'	
		TOTAL PIPE		8 in	PVC
		TOTAL PIPE		8 in	DI
		TOTAL PIPE		12 in	DI
		TOTAL PIPE		8 in	PE
		TOTAL PIPE		903'	

CROSSING DATA TABLE						
Crossing No	Lower Main (Y/N)	Bottom of Crossing (ft)	Top of Water Main (ft)	Surface Elevation (ft)	Crossing Pipe Size	Water Main Depth
1	Y	845.71	846.21	854.24	12"	92"
2	Y	848.10	848.60	854.22	21"	92"
3	Y	849.74	849.24	854.26	15"	73"
4	Y	849.53	849.03	854.22	15"	75"
5	N	843.89	850.54	855.04	8"	54"

PROJECT NAME	HAVEN PONDS SECTION 3
PROJECT NUMBER	J-25-
DIST. MAP NO.	816
MAP GRID NO.	IN30_0203 / IN30_0204
LOTS	27
TAX CODE	30016
PRESSURE DISTRICT	GEIST
DRAFTER	IM
DATE	03/06/2025



EXISTING LEGEND

- Beehive Inlet
- Combination Pole
- Curb Inlet
- Drainage Inlet
- Drainage Manhole
- Electric Cross Box
- Electric Meter Box
- Fire Hydrant
- Fire Plug
- Flag Pole
- Gas Marker
- Gas Valve
- Guy Wire
- Lid
- Light Pole
- Mail Box
- Manhole
- Pine Tree
- Pole
- Post
- Sanitary Manhole
- Sign
- Stand Pipe
- Telephone Pedestal
- Transformer
- Tree
- Vent
- Water Marker
- Water Meter
- Water Valve
- Buried Electric Line
- Buried Gas Line
- Buried Telephone Line
- Buried Water Line
- Fiber Optic Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- SWALE (1.00% MIN SLOPE)
- DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN
- SUBSURFACE DRAIN CLEANOUT
- STORM SEWER
- FIRE HYDRANT W/VALVE & WATER VALVE
- CAP END & THRUST BLOCK
- SINGLE WATER METER PIT
- VERTICAL & HORIZONTAL BEND & TEE
- CROSS
- REDUCER
- BLOWOFF ASSEMBLY WITH THRUST BLOCK
- BUILDING SETBACK LINE
- COMMON AREA
- D.E. DRAINAGE EASEMENT
- INV. INVERT ELEVATION
- L.E. LANDSCAPE EASEMENT
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- S.S.E. SANITARY SEWER EASEMENT
- TOP OF RIM ELEVATION
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.E. DRAINAGE, UTILITY & SANITARY EASEMENT
- STREET LIGHT
- SIGN
- ADA SIDEWALK RAMP
- BACK-TO-BACK
- R/W RIGHT-OF-WAY

WATER PLAN NOTES

- CONTRACTOR MUST HAVE AND FOLLOW CITIZENS ENERGY GROUP WATER STANDARDS LATEST VERSION.
- MINIMUM COVER OVER TOP OF ALL WATER MAINS TO BE 54 INCHES FROM FINISHED GRADE.
- THERE IS TO BE A MINIMUM OF 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION BETWEEN THE SEWER AND WATER LINE.
- CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER MAIN PRIOR TO INSTALLATION.
- CONTRACTOR TO VERIFY ALL LOCATION OF UTILITIES PRIOR TO CONSTRUCTION.
- WATER LINE EXTENSION SHALL BE CONSTRUCTED ACCORDING TO THE MOST CURRENT STANDARDS OF CITIZENS WATER HAD ADOPTED AT THE TIME OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO COORDINATE ALL WORK WITH THE CITIZENS COMPANY INSPECTOR.
- ALL HYDRANTS TO HAVE STORZ CONNECTION.
- STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. CONSULT WITH CEG INSPECTOR WITH ANY QUESTIONS.
- CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES AND CONDUITS TO AVOID CONFLICTS AND PROVIDE REQUIRED MINIMUM DEPTHS OF COVER. THE CONTRACTOR SHALL PROVIDE ANY ADDITIONAL BENDS WITH THRUST BLOCKS REQUIRED TO ASSURE PROPER INSTALLATION OF WATER MAINS AND LATERALS.
- VALVES ARE TO BE PLACED IN GRASS.
- FULL DEPTH GRANULAR BACKFILL IS REQUIRED ON ALL ROAD CROSSINGS.
- TEMPORARY HYDRANTS CAN BE REUSED AS NEW HYDRANTS IF APPROVED BY THE INSPECTOR DURING CONSTRUCTION. IF THE HYDRANT WILL NOT BE REUSED, RETURN TO CITIZENS.
- #10 TRACER WIRE SHALL BE INSTALLED ON THE TOP OF ALL WATER MAINS & PULLED THROUGH VALVE BOXES.

GENERAL NOTES:

- CONTRACTOR SHALL PROTECT & NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE & DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
- SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE "811" OR 1-800-382-5544
— INDIANA UNDERGROUND —

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HAVEN PONDS SECTION 3

E 96TH ST &
N CR 500 W
MCCORDSVILLE, IN

Kenneth Moorehead
CERTIFIED BY

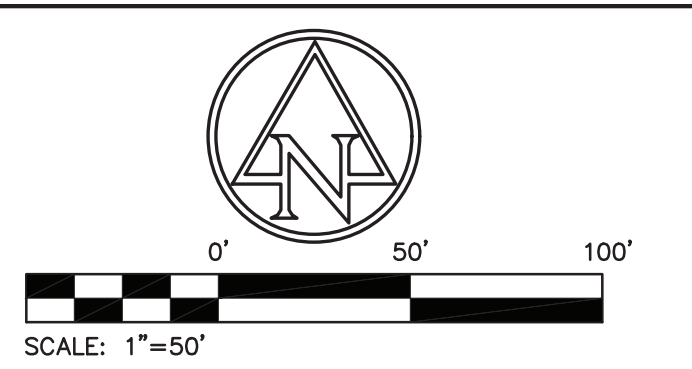
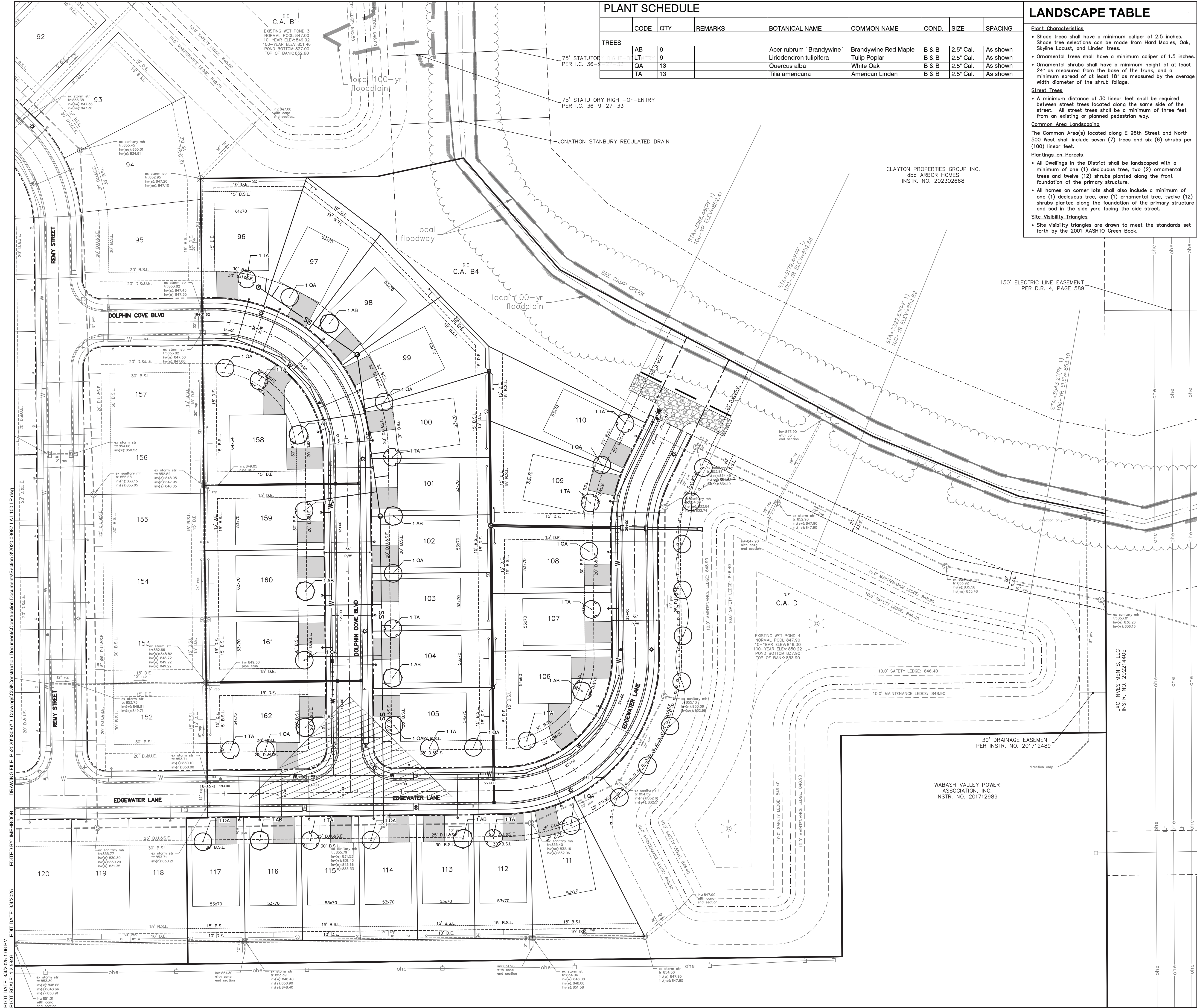
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WATER DISTRIBUTION PLAN

C431



LANDSCAPE LEGEND

- DECIDUOUS SHADE TREE
- SYMBOL VARIES - SEE PLANT SCHEDULE AND DETAILS FOR MORE INFORMATION
- VISIBILITY TRIANGLE
- PER LOCAL ORDINANCE REQUIREMENTS

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES ASSOCIATED WITH WORK. UTILITIES SHALL BE REPAIRED TO SATISFACTION OF THE UTILITY OWNER AND/OR OPERATING AUTHORITY AT NO ADDITIONAL COST.
- A MINIMUM OF 4" OF PLANTING SOIL (TOPSOIL + MULCH AND SOIL CONDITIONER) SHALL BE PLACED ON ALL AREAS TO BE SEED, SODDED AND PLANTED. PLANTING SOIL MIX SHALL BE FREE FROM SUBSOIL, VEGETATION, WEEDS OR ANY EXTRANEOUS OR DEleterious MATERIALS LARGER THAN 1". REMOVE ANY UNSUITABLE AND EXCESS EXISTING TOPSOIL, AS DETERMINED BY SOILS ENGINEER. FROM THE SITE, FURNISH ANY ADDITIONAL SOIL AS NEEDED AT NO ADDITIONAL COST. ADD PLANTING SOIL IS TO BE INCORPORATED INTO EXISTING.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICATE IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT AND OWNER.
- ALL PLANTING BEDS SHALL HAVE A 3" THICK LAYER OF SHREDDED HARDWOOD BARK MULCH. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED. ALL PLANTING BEDS SHALL HAVE PRE-EMERGENT HERBICIDE, APPLIED AS PER MANUFACTURERS RECOMMENDATION, AFTER INSTALLATION IS COMPLETE.
- FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOODEN STAKE INDICATING VARIETY AND SIZE OF TREE.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED. IF PLANTS ARE SHOWN TO BE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT AND OWNER PRIOR TO BID DATE IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTORS OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
- ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERMEN.
- PLANTINGS SHOULD BE INSTALLED BETWEEN APRIL 1ST AND MAY 31ST, OR BETWEEN SEPTEMBER 1ST AND OCTOBER 31ST TO AVOID UNFAVORABLE WEATHER CONDITIONS. LANDSCAPE AND TURF PLANTED OUTSIDE OF THESE PERIODS WILL REQUIRE ADDITIONAL MEASURES TO MAINTAIN ACCEPTABLE HEALTH AT NO ADDITIONAL COST TO THE CLIENT.
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION AND AS DIRECTED BY OWNER.
- ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT AND OWNER. AT END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT OR OWNER SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.
- ALL DISTURBED LAWN AREAS SHALL BE SEED OR SODDED AS SHOWN PER THE LANDSCAPE AND EROSION CONTROL PLANS.
- LAWN AND SOD AREAS ARE TO BE GRADED UNIFORMLY WITHOUT ANY UNDULATIONS OR IRREGULARITIES IN THE SURFACE PRIOR TO ANY SEED OR SOD WORK.
- ALL LAWN IS TO BE A BLEND PER THE PLANT SCHEDULE. SEED AREAS ARE TO HAVE 0% NOXIOUS WEED AND FREE OF DISEASE.
- PROTECT LAWN SEED AREAS WITH STRAW MULCH. SPREAD MULCH UNIFORMLY AT A MINIMUM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1/2 INCHES IN LOOSE THICKNESS OVER SEED AREAS.

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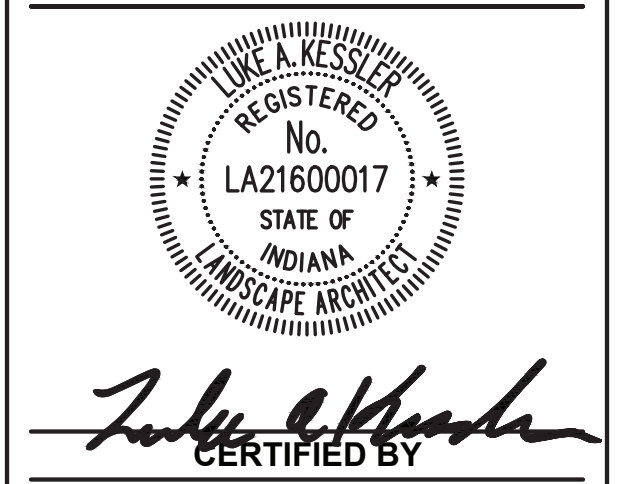
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HAVEN PONDS SECTION 3

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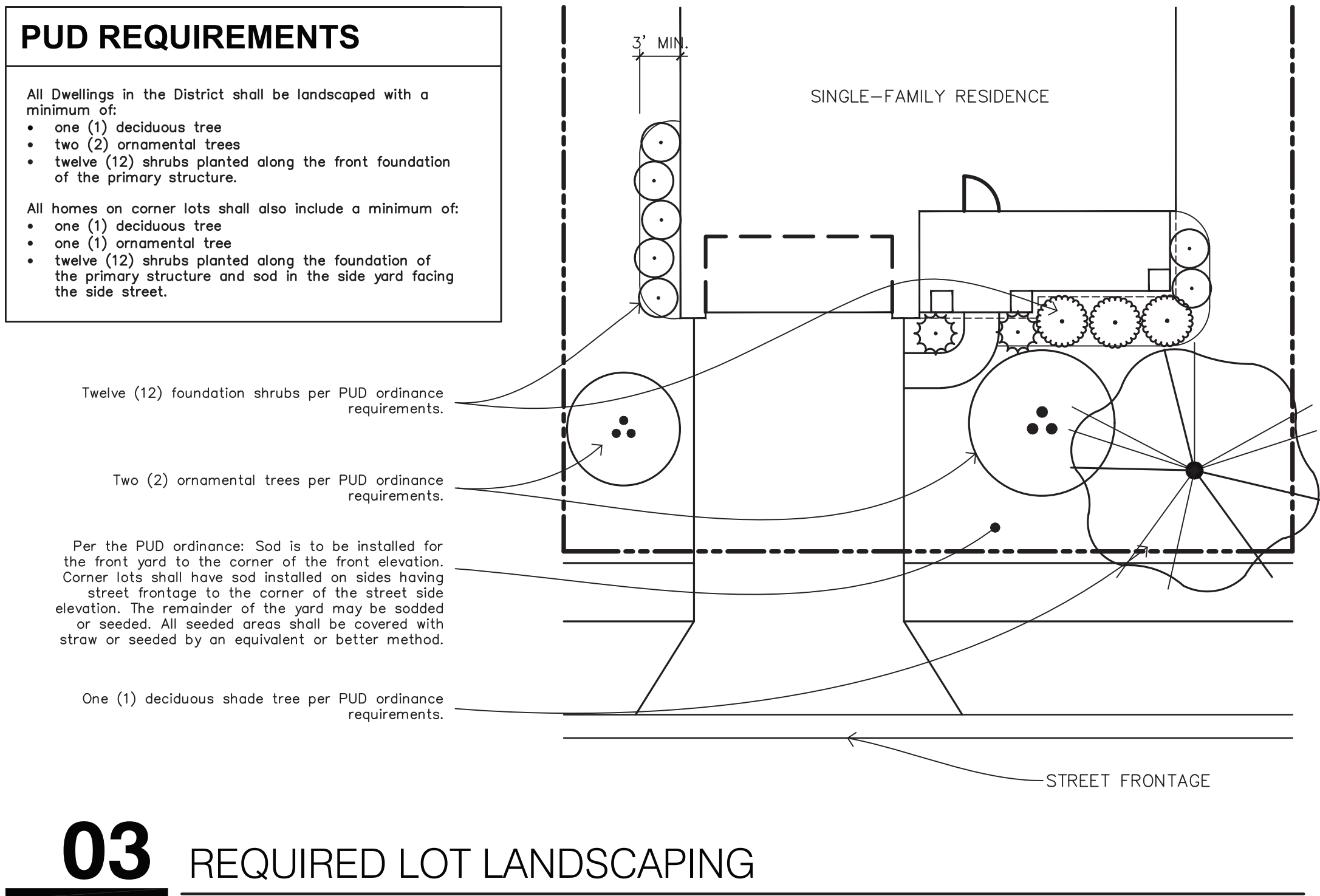
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LANDSCAPE PLAN

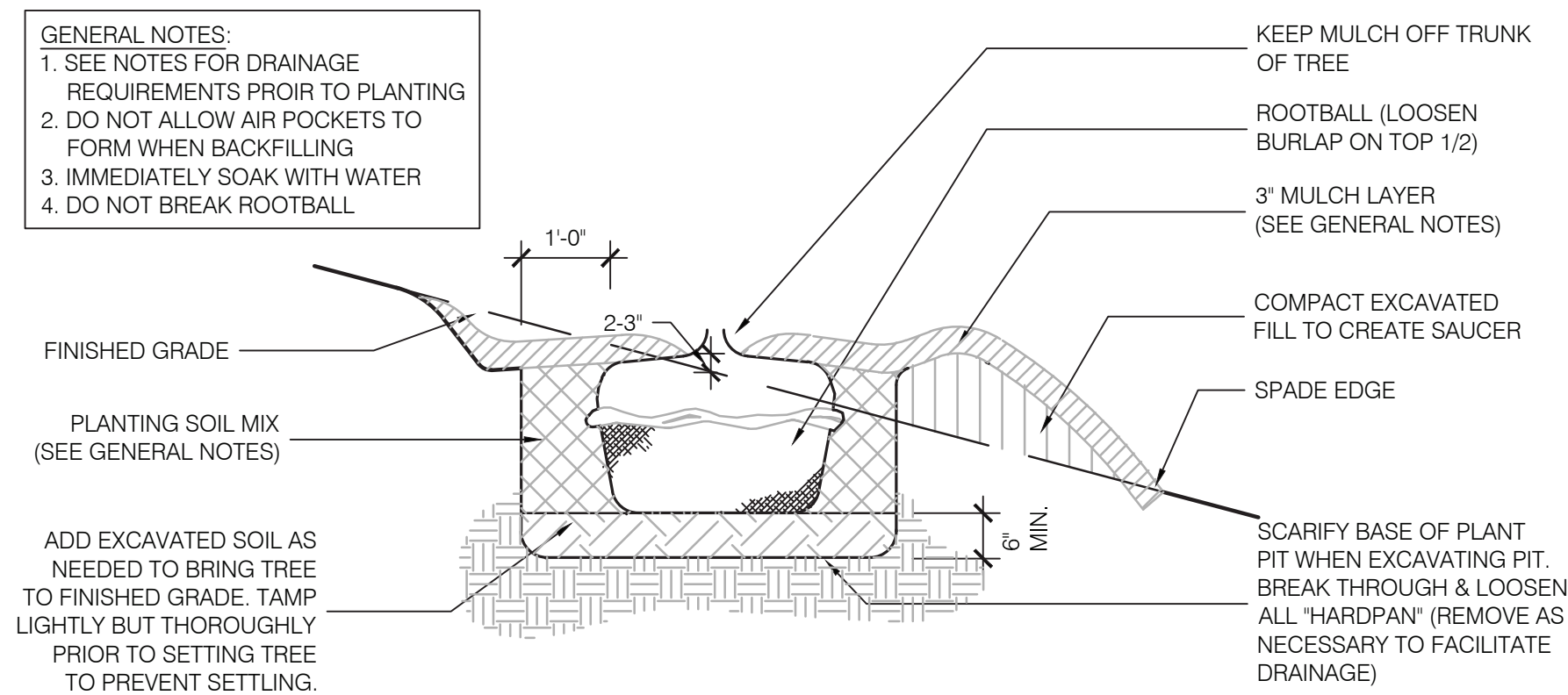
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03 REQUIRED LOT LANDSCAPING

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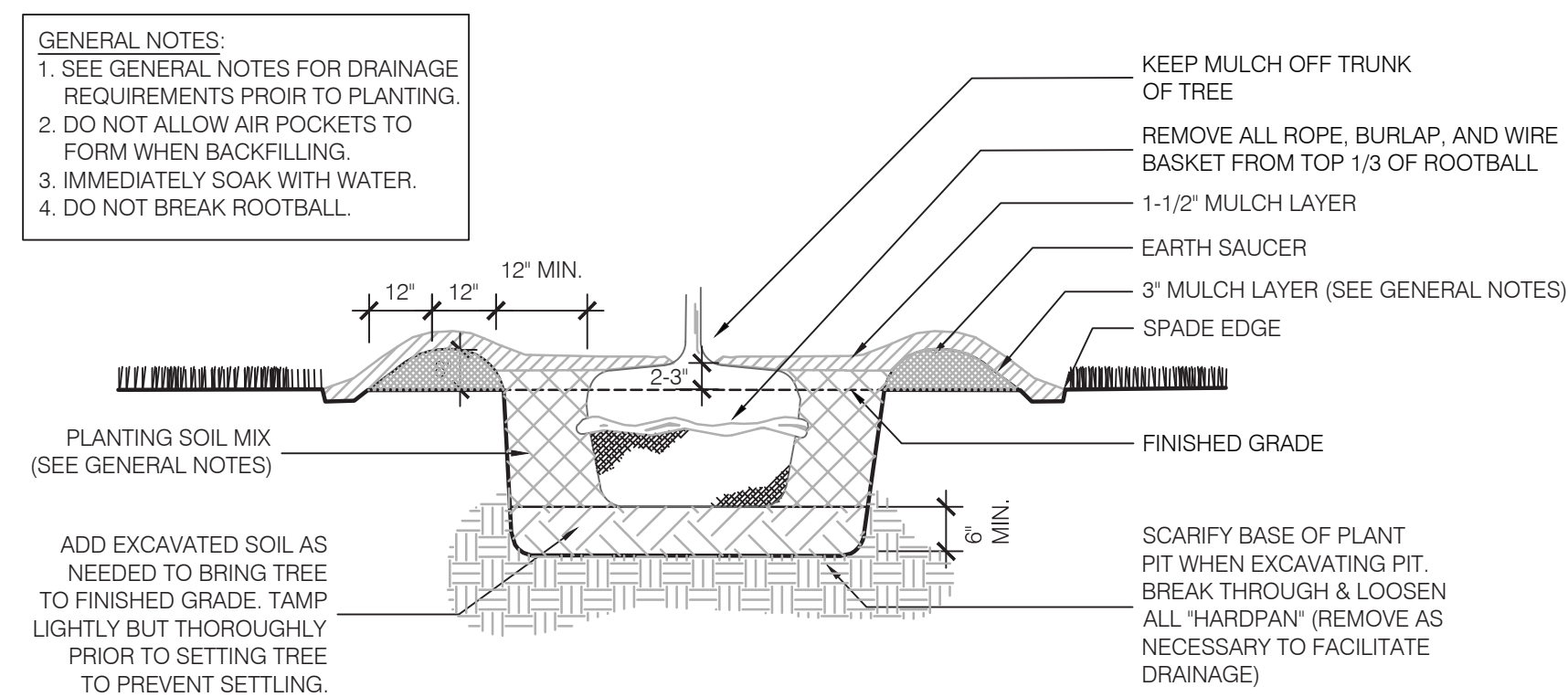


PLANTING PROCEDURE

- EXCAVATE ROOTBALL PIT
- ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISHED GRADE.
- BACKFILL WITH SOIL MIX & "WATER IN"
- COMPLETE BACKFILLING. CONSTRUCT SAUCER ON LOWER SIDE. TRENCH EDGE & ADD MULCH
- STAKE & GUY SECURELY

02 TREE PLANTING DETAIL - ON SLOPE

SCALE: NOT TO SCALE



PLANTING PROCEDURE

- EXCAVATE ROOTBALL PIT
- ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISH GRADE.
- REMOVE ALL TWINE, ROPE, WIRE BASKET, AND BURLAP FROM TOP 1/3 OF ROOTBALL & EXPOSE ROOT FLARE.
- BACKFILL WITH SOIL MIX & "WATER IN"
- COMPLETE BACKFILLING. CONSTRUCT SAUCER, SPADE-EDGE & ADD MULCH
- STAKE & GUY SECURELY (AS REQUIRED)

01 TREE PLANTING DETAIL -LEVEL AREA

SCALE: NOT TO SCALE



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LANDSCAPE DETAILS

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