

McCordsville

ESTD  1988

INDIANA

Plan Commission Staff Report
Meeting Date: November 19, 2024

PETITIONER: Pulte Group

PETITION: PC-24-008, Jacobi Farms Primary Plat

REQUEST: Petitioner requests approval of a Primary Plat for 645 units/lots on +/- 177 acres.

LOCATION: The subdivision is located at the northwest corner of CR 750N and CR 500W.

ZONING: The property is zoned Jacobi Legacy Farms Planned-Unit Development (PUD). Zoning and land use for the surrounding area are as noted below:

<u>Zoning</u>	<u>Land Use</u>
North: County R2.5	Single-family residential
South: County R2.5	Single-family residential & agricultural
East: County R1	Single-family residential & agricultural
West: R-2 & CR	Single-family residential & agricultural

STAFF REVIEW: The proposed development includes three (3) entrances, two (2) on CR 650N and one (1) on CR 500W, as well as future connectivity via a street stubbed to the west. All lots will be accessed from the internal street network. There are three (3) primary Areas within the PUD, Areas A-C. Each Area has its own Development Standards, and in some cases there are sub-areas within the larger Area. Due to the varied Development Standards, staff has attached those basic Development Standards as Exhibit A to the report.

The PUD is fairly comprehensive and includes a number of requirements applicable at the Primary Plat stage, which are in addition to the basic Development Standards. Those are denoted below:

- Minimum of 25% open space across the development.
- Right-of-way to dedicated in accordance with the Thoroughfare Plan, along with commitments for dedication of additional rights-of-way for two adjacent roundabouts.
- Perimeter landscaping areas, of at least 30' in width along CR 750N and CR 500W

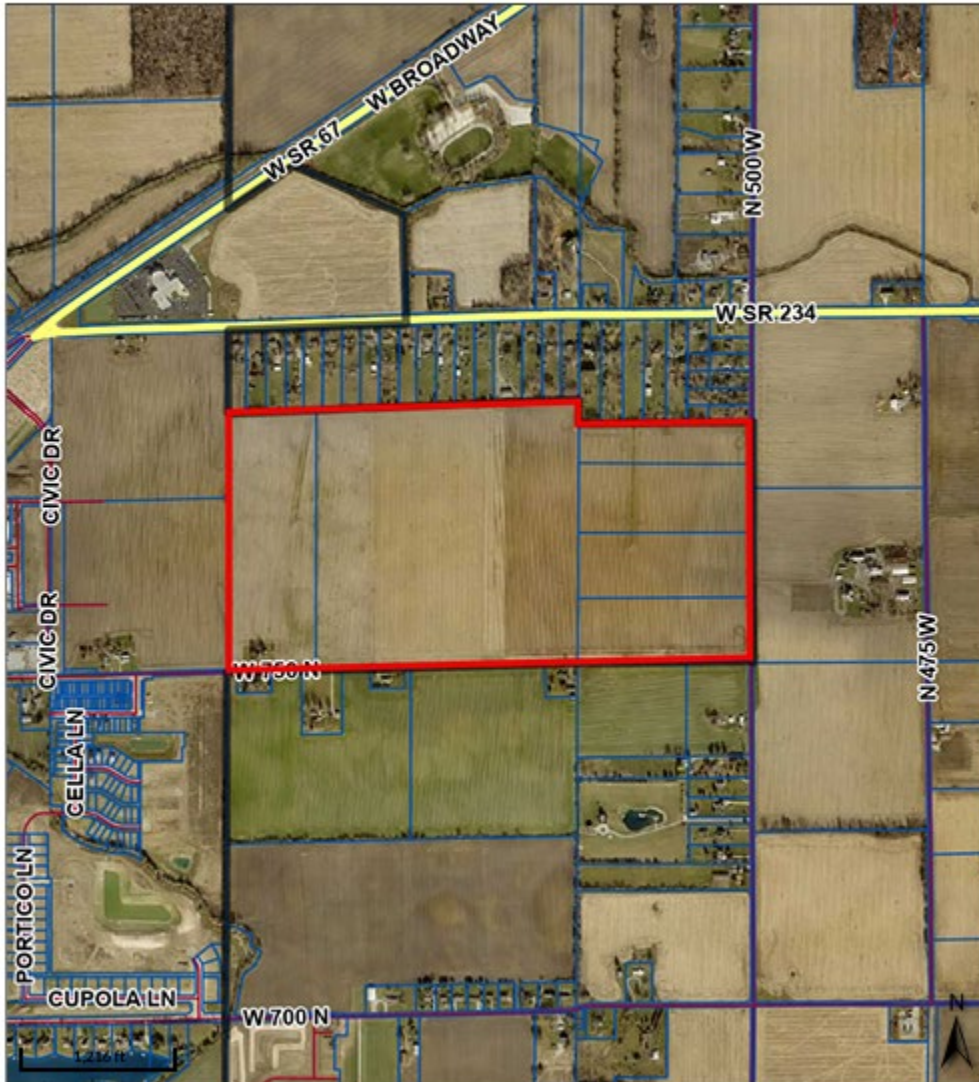
- Tree Conservation Area along the north property line
- Maximum block length of 1,750 feet.

All other requirements of the PUD will be reviewed for and required at the Development Plan or building permit stage.

STAFF RECOMMENDATION:

This petition was reviewed by TAC on October 17, 2024 and received a number of comments. At the time of this report, staff believes all requirements have been met pending confirmation from the Town Engineer.

The Plan Commission can approve, deny, or continue this petition. Staff recommends approval of this petition, following confirmation of compliance from the Town Engineer and after the public hearing has been held.



Overview



Legend

-  Corporate Limits
- Roads
 -  I
 -  S
 -  U
 -  <all other values>
-  Rights of Way
-  Parcels

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Developed by  **SCHNEIDER**
GEOSPATIAL

Exhibit A – Development Standards

	Aggregate Area A Town Center Transition Area Townhomes and Cottages Aggregate	Area A-1 Town Center Transition Area- Townhomes	Area A-2 Town Center Transition Area Duplexes	Area A-3 Town Center Transition Area Cottages with Garages	Area A-4 Town Center Transition Area Cottages without Garages	Area B Medium Density Area	Area C Low Density Area
Minimum Number of Units/Lots	300	100	-	-	-	-	30
Maximum Number of Units/Lots	365	-	-	-	-	220	65
Minimum Lot Area	-	1,000	4,000	3,500	1,700	7,700	11,000
Minimum Lot Width ¹	-	16'	52'	40'	30'	62'	80'
Minimum Lot Frontage ²	-	16'	50'	40'	30'	30'	30'
Minimum Front Yard Setback	-	10'	10'	10'	10'	25'	30'
Minimum Driveway Depth	-	20'/10' ³	20'	20'	N/A	25'	30'
Minimum Side Yard Setback	-	0'	0'	0'	0'	5'	4'
Minimum Building Separation ⁴	-	20'	10'	10'	10'	10'	15'
Minimum Rear Yard Setback	-	10'	10'	10'	10'	15'	15'

Minimum Home Size	-	1 BR - 600 SF 2 BR - 900 SF 3 BR - 1200 SF	1 BR - 600 SF 2 BR - 900 SF 3 BR - 1200 SF	1 BR - 600 SF 2 BR - 900 SF 3 BR - 1200 SF	1 BR - 600 SF 2 BR - 900 SF 3 BR - 1200 SF	1,800 SF (1s) 2,400 SF (2s)	2,300 SF (1s) 2,600 SF (2s)
Maximum Lot Coverage	85%	N/A	N/A	N/A	N/A	55%	50%
Maximum Structure Height	-	40'	35'	35'	35'	35'	35'