

McCordsville

ESTD  1988

INDIANA

Planning & Building Department
6280 W 800N McCordsville, IN 46055
Phone: 317.335.3604
Email: building@mccordsville.org

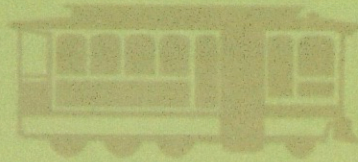
PUBLIC HEARING INFORMATION

Case #: BZA-24-012

Title: Eric Taylor's request for a Development Standards Variance for wall signage at 5817 Main Street.

Meeting Date: This zoning petition is currently scheduled to be heard at the October 2nd Board of Zoning Appeals (BZA) meeting.

**Meeting agenda and staff report will be available on the website by end of business day on the Friday preceding the applicable meeting. Go to www.mccordsville.org and click on "Agendas & Minutes".*



MCCORDSVILLE BOARD OF ZONING APPEALS
VARIANCE APPLICATION

Zoning Ordinance Section 10.03

Applicant Information

Name: ERIC TAYLOR (Targaryen Holdings LLC)

Current Address: 1518 E. Barringer St
(Number) (Street)

Phila Pa. 19150
(City) (State) (Zip)

Phone No.: 215-868-9045 E-mail Address: RitasMcCordsville@gmail.com

Property Owner Information (the "owner" does not include tenants or contract buyers)

Name: Rebar Development

Current Address: 8700 North Street Suite 120
(Number) (Street)

Fishers IN 46038
(City) (State) (Zip)

Phone No.: (317) 670-7997 E-mail Address: shelby@rebardev.com

Property Information

Current Address: 5817 Main St. McCordsville, IN. 46055
(Number) (Street)

Subdivision Name (if applicable): _____

OR General Location (if no address has been assigned, please provide a street corner, subdivision lot number, or attach a legal description)

Administrative Officer Use Only:

Existing Zoning: _____

Future Land Use: _____

Date Application Filed: _____

Docket No.: _____

Present Use of Property: New Property will be used for Rita's Ice

Size of the Lot/Parcel in Question: 875 Sq ft

Are there any restrictions, laws, covenants, variances, special exceptions, or appeals filed in connection with this property that would relate or affect its use for the specific purpose of this application? If yes, please list date and docket number, decision rendered and pertinent explanation:

N/A

Variance Information

Describe the variance requested: We are requesting a variance for 3 wall signs at our new location.

Development Standards Variance Requested:

☐ Building Height

☐ Building Setback

☐ Lot Coverage

☐ Lot Width

☐ Lot Area

☐ Parking

☐ Loading

☐ Other (please specify): Signage

☐ Entrance / Drive

☐ Sight Visibility

☐ Fence and Wall

☐ Landscaping

☐ Buffering and Screening

☐ Exterior Lighting

☒ Sign

Describe reasons supporting the variance requested: Our menu boards are an essential piece for customer ordering needs because we are a walk up only establishment

Development Standards Variance Criteria

The McCordsville Zoning Ordinance establishes specific design criteria that must be met in order for a variance to be approved. Please answer each question below and if the response is "NO", please describe why the variance requested does not meet the required criteria.

Will the variance provide safe conditions that will not be injurious to the public health, safety, morals, and general welfare of the community?



YES



NO, Please Explain (attach additional pages as necessary): _____

Will the use and value of the area adjacent to the property included in the variance not be affected in a substantially adverse manner?



YES



NO, Please Explain (attach additional pages as necessary): _____

Will the strict application of the terms of this Ordinance result in a practical difficulty in the use of the property? This situation shall not be self-imposed, nor be based on a perceived reduction of, or restriction on, economic gain.



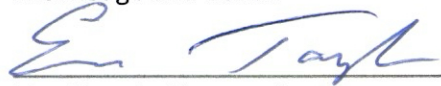
YES



NO, Please Explain (attach additional pages as necessary): _____

Applicant's Signature

The information included in and with this application is completely true and correct to the best of my knowledge and belief.



(Applicant's Signature)

9/13/24

(Date)

Owner's Signature (the "owner" does not include tenants or contract buyers)

I authorize the filing of this application and will allow the Town staff to enter this property for the purpose of analyzing this request. Further, I will allow a public notice sign to be placed and remain on the property until the processing of the request is complete.

(Owner's Signature)

(Date)

(Owner's Signature)

(Date)



Rita's #1532
5817 Main Street
McCordsville IN
August 30, 2024

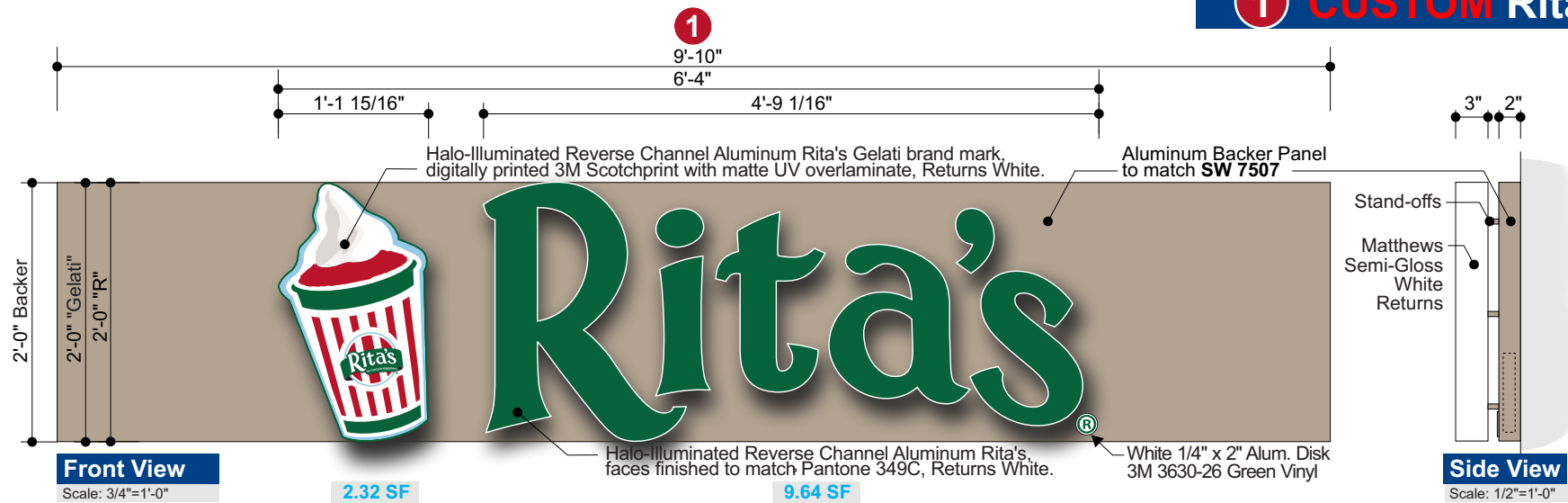


YOUR BRAND AT ITS BEST™

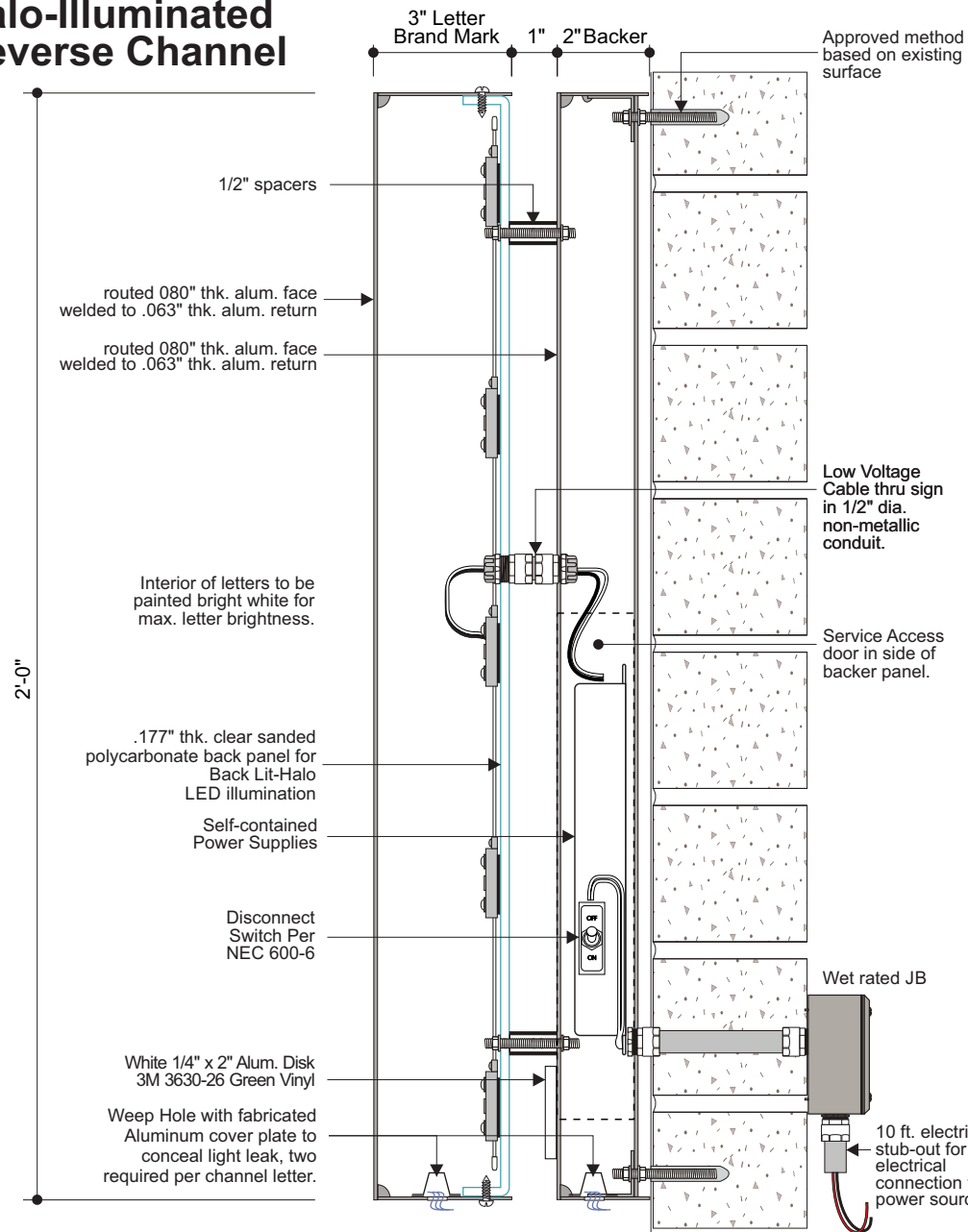
1-800-967-2553
www.allenindustries.com

Customer Approval / Signature	
Signature: _____	Date: _____

1 CUSTOM Rita's - Halo-Illuminated Gelati Brand Mark / Channel Letters



Halo-Illuminated Reverse Channel



Vinyl Specifications



Rita's Gelati Brand Mark
1st Surface Digital Print

Fabricated aluminum Rita's Gelati Brand Mark and Rita's letterset with .125" precision cut face panels and .063" thick welded aluminum letter returns attached to fabricated aluminum backer panel and then installed on wall as required per wall construction.

LED Halo illumination with power supplies accessed thru service door in side of backer panel.

Paint Specifications



Matthews Semi-Gloss White Returns
Backer to match SW 7507
Rita's Letter Faces to Match Pantone 349C

Allen Industries
MET FILE NUMBER: E212503

Listed
MET E212503
Electric Sign
Complies with
UL48



THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

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Client:
Rita's #1532

Address:
5817 Main Street,
McCordsville IN

Date: 05/16/24
Estimate #: E16628
Job #: J0009856
Page #: 2 of 3

File Name:
RTA_J0009856_McCordsville IN_204

Sales: House
Design: DE
PM: LL

#	Date	Description
1	06/06/24	Update
2	06/28/24	200
3	07/03/24	201, Corrected Yellow outline
4	08/01/24	202, Update
5	08/07/24	203, Update
6	08/30/24	204, Update

Client Review Status

Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

Client Signature:

Approval Date:

Shop is Walk Up Orders Only. All Window Graphics and Menu Signage to be permitted and installed by others.

