

Planning & Building Department 6280 W 800N McCordsville, IN 46055 Phone: 317.335.3604

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## **PUBLIC HEARING INFORMATION**

Case #: BZA-24-010

<u>Title</u>: Brett Huff's request for a Development Standards Variance to allow a reduced rear-yard setback at 5785 W Glenview Drive.

<u>Meeting Date</u>: This zoning petition is currently scheduled to be heard at the October 2nd Board of Zoning Appeals (BZA) meeting.

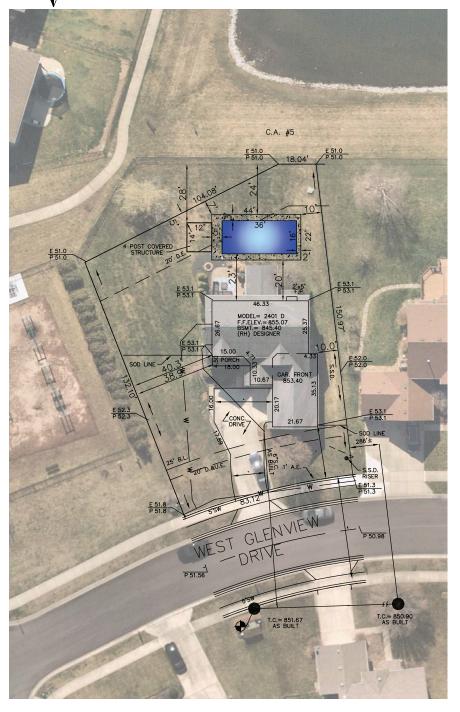
\*Meeting agenda and staff report will be available on the website by end of business day on the Friday preceding the applicable meeting. Go to www.mcccordsville.org and click on "Agendas & Minutes".





CONSULTING ENGINEERS

L A N D S U R V E Y O R S 7965 East 106th Street - Fishers, IN 46038 (317) 849-5935 - 1-800-728-6917 - FAX: (317) 849-5942



5785 WEST GLENVIEW DRIVE MCCORDSVILLE, IN 46055



1" = 30'LOT AREA: 14,436 Sq. Ft.

LEGEND: E 99.99 EXISTING GRADE (BEFORE CONST.) P 99.99 PROPOSED GRADE (AFTER CONST.)

SEWER MANHOLE STORM MANHOLE

6 CURB INLET

FIRE HYDRANT X

DRAINAGE & UTILITY EASEMENT LANDSCAPING EASEMENT SIGN LANDSCAPE EASEMENT D.&U.E. L.E. S.L.E.

ALL UNDERGROUND SEWERS AND UTILITIES SHOWN ARE PLOTTED BY SCALE FROM "RECORD DRAWINGS" FURNISHED BY ENGINEER.

STOEPPELWERTH & ASSOCIATES HAS SHOT PAD AND STREET ELEVATIONS TO VERIFY THE ACCURACY OF THE ELEVATIONS SHOWN ON THIS PLOT PLAN

BENCHMARK TOP OF CASTING = 851.67

Pool Sketch By:

Brett A. Huff

NOTE: THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

INSTR. #030022094
P.C. C SLIDE #139
ZONING: PUD
90' WIDE LOTS, 10' MIN SIDEYARD
60' WIDE LOTS, 7' MIN SIDEYARD
80' WIDE LOTS, 8' MIN SIDEYARD
20' MIN. REARYARD

SOD: GRADED ONLY:  $454 \pm \text{ Sq. Yd.}$ 7,141 \pm Sq. Ft. CONC. DRIVEWAY: 1,284 ± Sq. Ft. PRIVATE WALK: 32 ± Sq. Ft. PUBLIC WALK: DRIVE SLOPE  $332 \pm \text{Sq. Ft.}$ 

7.0%







