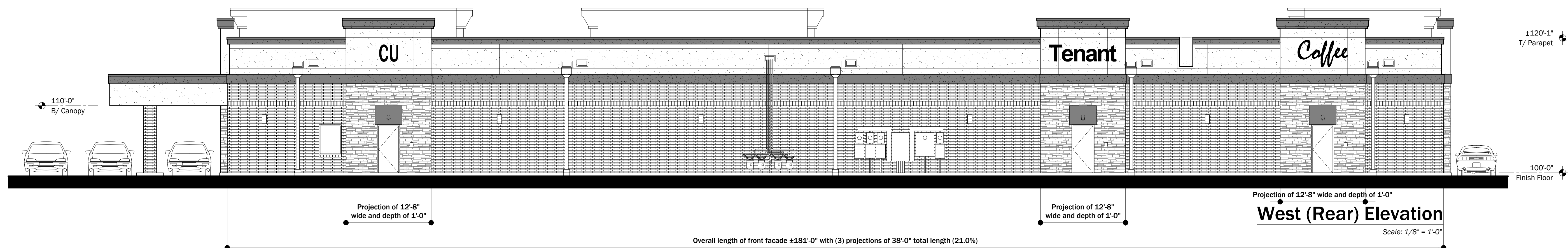
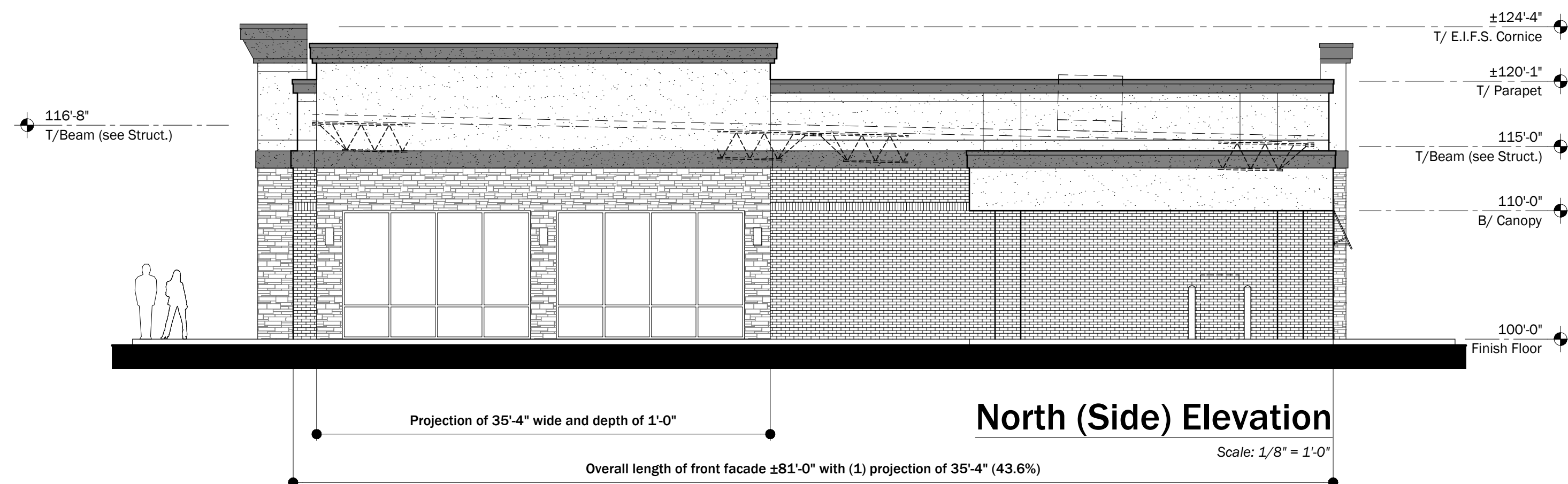
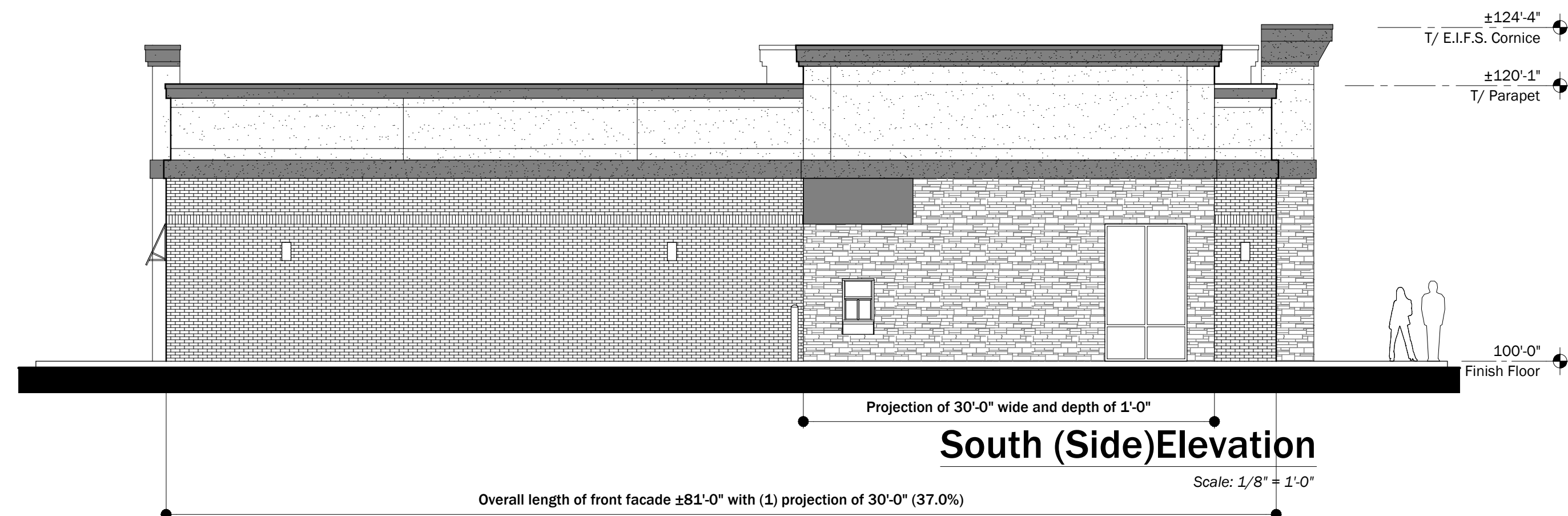
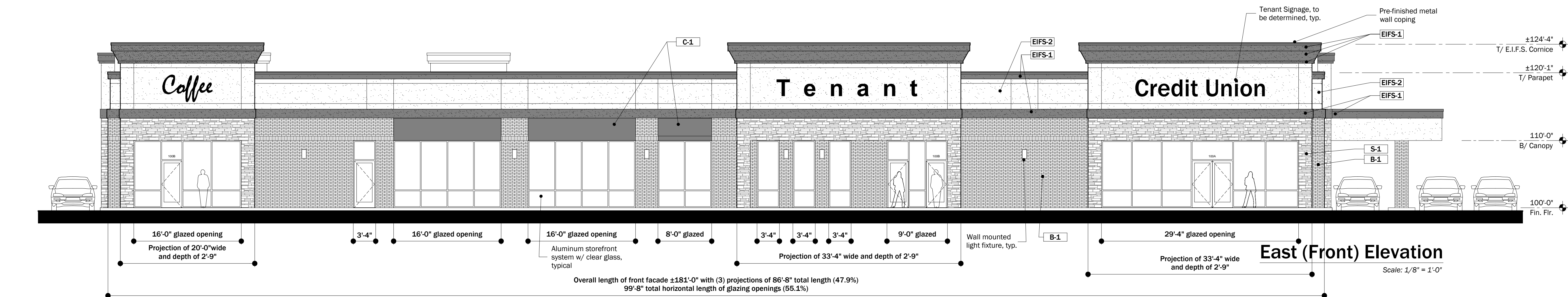


DRAWING NUMBER  
**C2.0**  
SHEET 2 OF 24





### Exterior Materials

#### East Elevation (Front Facade):

|                             |            |
|-----------------------------|------------|
| Brick                       | 794.4 sf   |
| Stone veneer                | 408.9 sf   |
| Total brick or stone        | 1,203.3 sf |
| Overall east elevation area | 4,049 sf   |
| Percentage of brick / stone | 29.7%      |

#### North Elevation:

|                              |          |
|------------------------------|----------|
| Brick                        | 514.4 sf |
| Stone veneer                 | 177.8 sf |
| Total brick or stone         | 692.2 sf |
| Overall north elevation area | 1,736 sf |
| Percentage of brick / stone  | 39.9%    |

#### West Elevation:

|                             |            |
|-----------------------------|------------|
| Brick                       | 1,906.7 sf |
| Stone veneer                | 435.0 sf   |
| Total brick or stone        | 2,341.7 sf |
| Overall west elevation area | 3,756 sf   |
| Percentage of brick / stone | 62.3%      |

#### South Elevation:

|                              |            |
|------------------------------|------------|
| Brick                        | 680.0 sf   |
| Stone veneer                 | 330.6 sf   |
| Total brick or stone         | 1,010.6 sf |
| Overall south elevation area | 1,721 sf   |
| Percentage of brick / stone  | 58.7%      |

#### All Elevations Combined:

|                             |            |
|-----------------------------|------------|
| Brick                       | 3,895.5 sf |
| Stone veneer                | 1,352.3 sf |
| Total brick or stone        | 5,247.8 sf |
| Overall all elevations area | 11,261 sf  |
| Overall % of brick / stone  | 46.6%      |

### Exterior Finishes

Materials, textures, colors, finishes, etc are preliminary and shown for general reference only. Final selection may vary.

**EIFS-1 Exterior Insulation Finish System (EIFS)**  
Mfr.: Dryvit, or approved equal  
Finish: Limestone  
Color: #634S1 "Granite Gray" or approved equal

**EIFS-2 Exterior Insulation Finish System (EIFS)**  
Mfr.: Dryvit, or approved equal  
Finish: Limestone  
Color: #132 "Mountain Fog" or approved equal

**B-1 Brick**  
Mfr.: To be determined  
Product: To be determined  
Grout: To be determined  
Brick: To be determined  
Brick Color: To be determined

**S-1 Stone Veneer**  
Mfr.: Coronado or approved equal  
Product: Idaho Drystack or approved equal  
Color: Smokey Grey or approved equal

**P-1 Paint (Doors & Frames)**  
Mfr.: Sherwin Williams  
Finish: T.B.D.  
Color: T.B.D.

**P-2 Paint (Gaurdposts)**  
Mfr.: Sherwin Williams  
Finish: T.B.D.  
Color: T.B.D.

**C-1 Canopy - Vinyl**  
Mfr.: Webbon Coast Line Plus , or approved equal  
Color: 857218 - CP2718 "Charcoal Gray"  
See wall sections

ADDRESS  
3128 Nichol Avenue  
Anderson, IN 46011  
TEL  
(765) 608 3001  
EMAIL  
rob@integritydesign.org



All reports, drawings, specifications, computer files, field data, notes and other documents and instruments prepared by Integrity Design, LLC as instruments of service shall remain the property of Integrity Design, LLC, and shall not be used on other projects, for addition to this project, or for completion of this project by others without their express written permission.

### CERTIFICATION

**Preliminary**  
Not For Construction

Villages at Brookside  
**Shell Building**  
McCordsville, IN

Building Owner:  
**BDC Realty Group, LLC**  
Dave Cravens  
6274 S. Fox Chase  
Pendleton, IN 46064

REVISION DATE

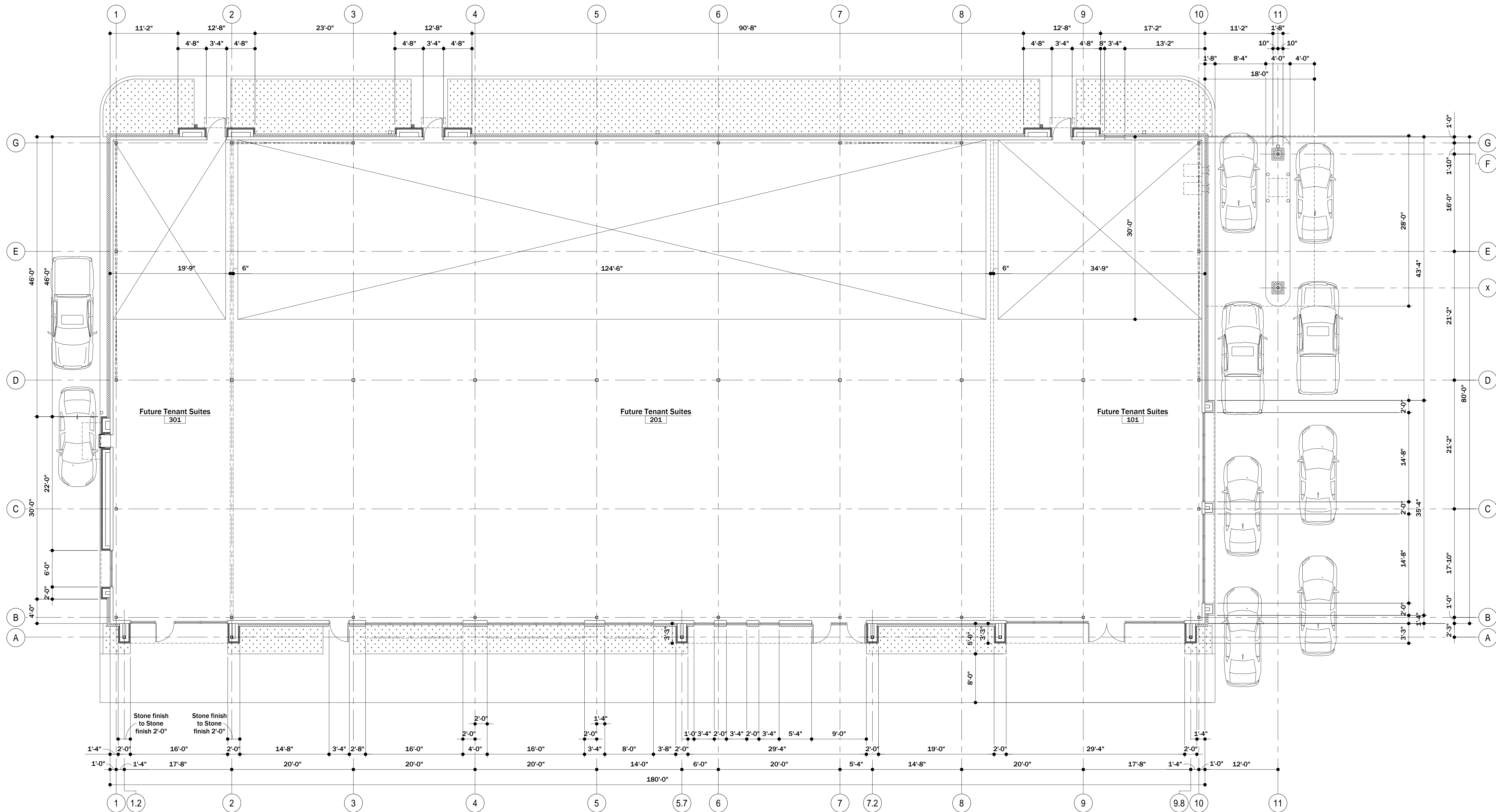
© 2024 Integrity Design, LLC

ISSUE DATE  
June 20, 2024

PROJ. NO.  
22.25

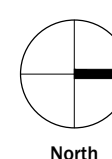
SHEET TITLE  
Exterior Elevations

SHEET NUMBER  
**A211**

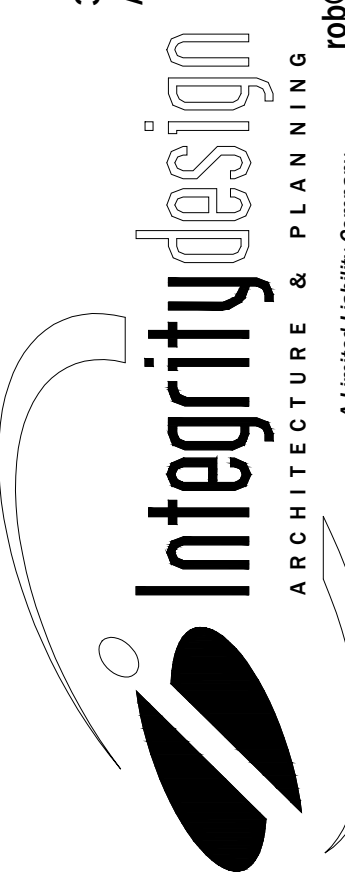


Floor Plan

Scale: 1/8" = 1'-0"



ADDRESS  
3128 Nichol Avenue  
Anderson, IN 46011



TEL  
(765) 608 3001

EMAIL  
rob@integritydesign.org

A Limited Liability Company

All reports, drawings, specifications, computer files, field data, notes and other documents and instruments prepared by Integrity Design, LLC as instruments of service shall remain the property of Integrity Design, LLC and shall not be used on other projects, for addition to this project, or for completion of this project by others without their express written permission.

CERTIFICATION

**Preliminary**  
Not For Construction

Building Owner:  
**BDC Realty Group, LLC**  
Dave Cravens  
6274 S. Fox Chase  
Pendleton, IN 46064

Villages at Brookside  
**Shell Building**  
McCordsville, IN

REVISION DATE

ISSUE DATE

June 20, 2024

PROJ. NO.  
22.25

SHEET TITLE

Floor Plan

SHEET NUMBER

**A121**