



Know what's below.  
Call before you dig.

# Gathering at Aurora Section 2 Development Plan

## Section 36 - Township 17 North - Range 5 West Vernon Township, Hancock County

### Local Jurisdictional Contacts

Planning and Zoning Authority  
Town of McCordsville  
6280 West County Road 800 North  
McCordsville, IN 46055  
(317) 335-3604  
Contact: Ryan Crum - Director

Local Law Enforcement  
Town of McCordsville  
6280 West County Road 800 North  
McCordsville, IN 46055  
(317) 335-2812

Building & Inspection Authority  
Town of McCordsville  
6280 West County Road 800 North  
McCordsville, IN 46055  
(317) 335-3604  
Contact: Ryan Crum - Director

Fire & Rescue  
Vernon Township Fire Department  
600 Vitality Drive  
Fortville, IN 46040  
(317) 485-7327  
Contact: Tara Conely

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### Utility Provider Contacts

**Regulated Drainage System**  
Hancock County Surveyor's Office  
111 South American Legion Place Suite 171  
Greenfield, IN 46140  
(317) 477-1150  
Contact: Chad Coughenour

**Storm Sewer**  
Town of McCordsville  
Department of Public Works  
6280 West County Road 800 North  
McCordsville, IN 46055  
(317) 335-3493  
Contact: Ron Crider

**Streets**  
Town of McCordsville  
Department of Public Works  
6280 West County Road 800 North  
McCordsville, IN 46055  
(317) 335-3493  
Contact: Ron Crider

**Electrical Service**  
Nine Star Connect  
2243 East Main Street  
Greenfield, IN 46140  
(317) 323-2074  
Contact: Eric Meyer  
emeyer@ninestarconnect.com

**Potable Water Service**  
Citizens Energy Group - Water CW Authority, Inc.  
2150 Dr. Martin Luther King, Jr. Street  
Indianapolis, IN 46202  
(317) 927-4351  
Contact: Brad Hostettler

**Sanitary Sewer Service**  
McCordsville Public Works  
6280 West County Road 800 North  
McCordsville, IN 46055  
(317) 335-3493  
Contact: Ron Crider

**School Sewer**  
Mount Vernon Community School Corporation  
1806 West State Road 234  
Fortville, IN 46040  
Contact: Dr. Jack Parker  
(317) 485-3100

**Post Office**  
U.S. Postal Service  
7397 North County Road 600 West Suite 1000  
McCordsville, IN 46055  
(317) 336-6446

**Natural Gas**  
Centerpoint Energy  
16000 Allisonville Road  
Noblesville, Indiana 46061  
Contact: Sandra Casey

**Internet Service**  
Nine Star Connect  
2243 East Main Street  
Greenfield, IN 46140  
(317) 323-2074  
Contact: Eric Meyer  
emeyer@ninestarconnect.com

**Cable Services**  
Bright House Networks  
3030 Roosevelt Avenue  
Indianapolis, IN 46218  
Contact: Joe Burton  
joe.burton@charter.com

### General Notes:

- Where any specifications included in these plans conflict with the Town of McCordsville Indiana Construction Standards Specifications and Details, latest edition, the standards of the Town of McCordsville shall prevail.
- The contractor shall accept the site in its current state and shall remove all trash, rubbish, and debris from the site prior to starting excavation.
- The contractor shall notify engineer in writing of any changes, errors, or omissions found on the plans or in the field, before work is started or resumed.
- Do not scale from these plans for survey field locations.
- All construction activity on this site to be performed in compliance with all applicable O.S.H.A. standards for worker safety.
- The existing site outside the designate demolition area is to be protected and undamaged.
- The contractor shall be responsible for ensuring the construction site and surrounding areas are free of accumulated debris.
- The contractor shall notify all utility companies 72 hours prior to construction to verify if any utilities are present. All verifications (location, size & depth) shall be determined by the appropriate utility companies. When excavating in areas near or over existing utilities, the contractor must notify such utility company so a representative of the appropriate utility company can be present to observe activities.
- The contractor shall obtain a Regulated Drain Encroachment permit from the Hancock County Drainage Board before any work is to take place in the Regulated Drain.
- Do not close or obstruct streets, walks, drives, facilities, etc. without written permission of the land owner or authority having jurisdiction.
- When connections are to be made to existing piping and structures or where construction is in the vicinity of existing piping, the location and elevation of the existing piping shall be field verified and notification to the office of Benchmark Consulting, Inc., if the existing piping is found to be different than that illustrated on these drawings.
- All points of connection of proposed sanitary and storm sewers to existing systems shall be verified vertically from a known benchmark prior to the start of construction. Any discrepancies with information included within these construction plans shall be reported to the office of Benchmark Consulting, Inc.
- All on-site sanitary, drainage, stormwater and water system improvements, including but not limited to meters, pipes, valves, pits, conduits, and the like shall be privately owned and maintained by the owner of the lot, unless otherwise described on the final plat.

Land Owner:  
Beazer Homes  
9465 Counselors Row  
Indianapolis, IN 46240

Parcel ID Number:  
30-01-36-100-003.000-016 & 30-01-36-100-003.110-018

Current Zoning:  
PUD - Ordinance No. 101122D - Snider Planned Unit Development

### Legal Description

Part of the West Half of the Northeast Quarter of Section 36, Township 17 North, Range 5 East of the Second Principal Meridian, Vernon Township, Hancock County, Indiana, being a portion of the property granted to David Snider, Charles C. Snider, and Pamela Kuhn ("Snider Tract"), recorded as Instrument Number 0212549 and a portion of the property granted to Beazer Homes Indiana, LLP ("Beazer Tract") in the Office of the Recorder of Hancock County, Indiana, more particularly described as follows:

Commencing at the Northwest Corner of the Northeast Quarter of said Section 36, Township 17 North, Range 5 East; thence North 88 degrees 47 minutes 15 seconds East (Basis of Bearings: Indiana State Plane, East Zone, NAD 83) 872.45 feet along the North Line of the West Half of said Northeast Quarter coincident with the northern line of said Snider Tract to the POINT OF BEGINNING of this description; thence continue North 88 degrees 47 minutes 15 seconds East 447.15 feet along said North Line coincident with the northern line of said Beazer Tract and the northern line of said Snider Tract to the northeastern corner thereof and the Northeastern Corner of said West Half; thence South 00 degrees 10 minutes 59 seconds West 1957.88 feet along the eastern line of said Snider Tract coincident with the East Line of said West Half; thence North 89 degrees 43 minutes 02 seconds West 194.09 feet; thence North 00 degrees 16 minutes 58 seconds East 200.00 feet; thence North 89 degrees 43 minutes 02 seconds West 140.00 feet; thence South 00 degrees 16 minutes 58 seconds West 10.00 feet; thence North 89 degrees 43 minutes 02 seconds West 54.00 feet; thence North 00 degrees 16 minutes 58 seconds East 73.00 feet; thence North 89 degrees 43 minutes 02 seconds West 150.00 feet; thence North 00 degrees 16 minutes 58 seconds East 65.00 feet; thence North 89 degrees 48 minutes 35 seconds West 150.00 feet; thence South 00 degrees 16 minutes 58 seconds West 9.76 feet; thence North 89 degrees 43 minutes 02 seconds West 54.00 feet; thence North 00 degrees 16 minutes 58 seconds East 10.00 feet; thence North 89 degrees 43 minutes 02 seconds West 150.00 feet passing from said Snider Tract into said Beazer Tract; thence North 00 degrees 16 minutes 58 seconds East 230.00 feet; thence South 89 degrees 43 minutes 02 seconds East 10.00 feet; thence North 00 degrees 16 minutes 58 seconds East 194.00 feet; thence South 89 degrees 43 minutes 02 seconds East 354.00 feet; thence North 00 degrees 16 minutes 58 seconds East 180.00 feet; thence North 02 degrees 05 minutes 47 seconds East 81.05 feet; thence North 17 degrees 15 minutes 04 seconds East 99.35 feet; thence North 34 degrees 41 minutes 01 second East 99.50 feet; thence North 45 degrees 54 minutes 46 seconds East 59.52 feet passing from said Beazer Tract into said Snider Tract; thence North 00 degrees 53 minutes 20 seconds East 64.25 feet; thence North 89 degrees 43 minutes 02 seconds West 75.00 feet passing from said Snider Tract into said Beazer Tract; thence North 00 degrees 16 minutes 58 seconds East 204.00 feet; thence North 89 degrees 43 minutes 02 seconds West 40.91 feet; thence North 00 degrees 16 minutes 58 seconds East 354.00 feet; thence South 89 degrees 43 minutes 02 seconds East 65.00 feet; thence North 01 degree 12 minutes 45 seconds West 92.24 feet to the POINT OF BEGINNING, containing 24.380 acres, more or less.

REVISIONS:

DATE: 12/11/2022

PREPARED FOR: Beazer Homes of Indiana, LLP

Gatherings at Aurora  
Section 2

DATE: 12/11/2022

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Section 2

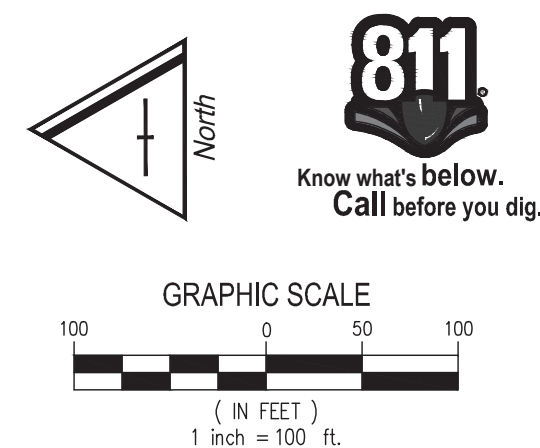
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PROJECT NUMBER: 24001

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DATE: 12/11/202

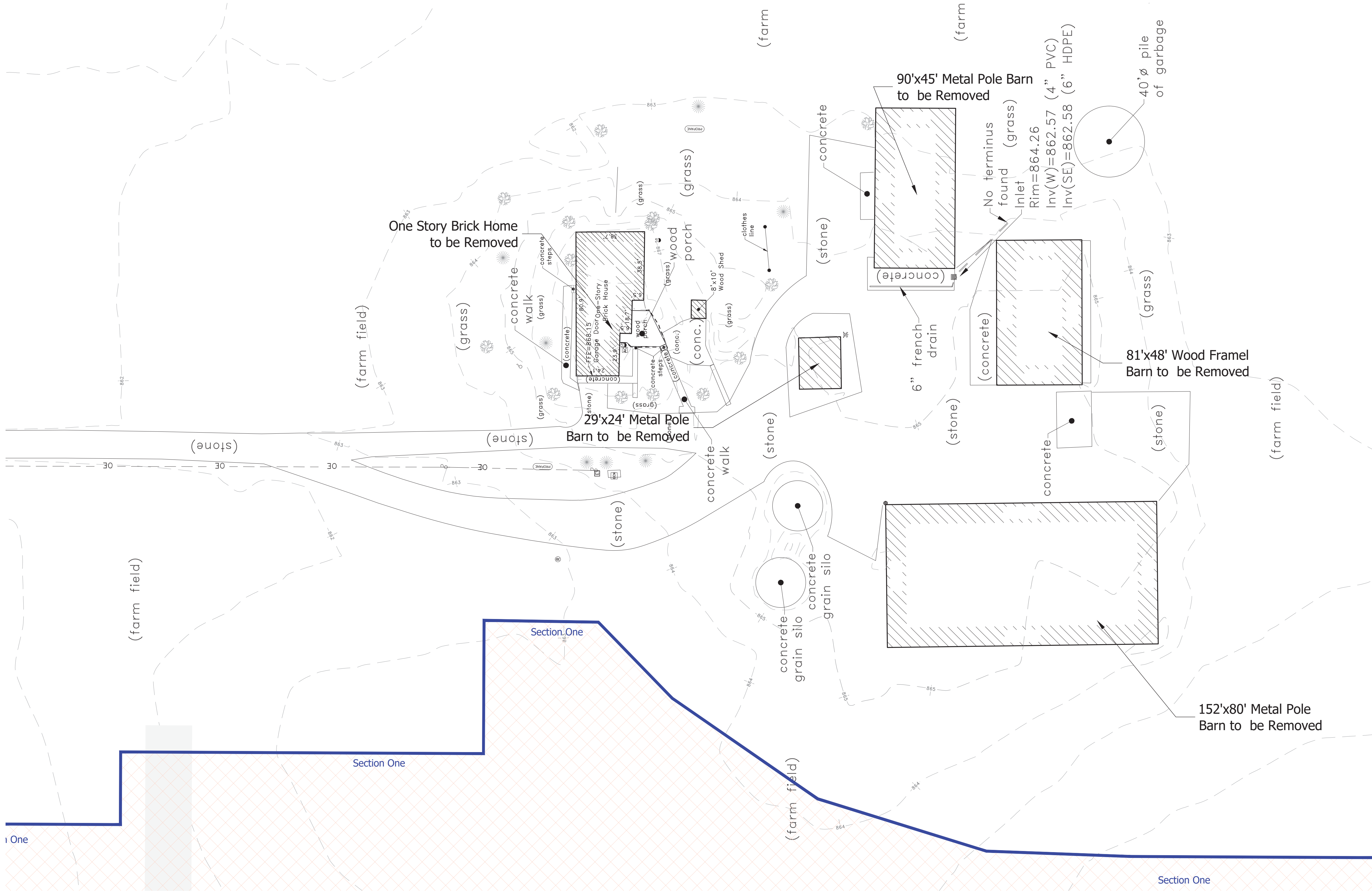




BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695



BENCHMARK CONSULTING, INC.  
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(317) 852-5695



#### Demolition Plan General Notes

1. Prior to starting demolition, it is the responsibility of the contractor to obtain all permits required by local governmental agencies.
2. Prior to demolition activates contractor is to install any temporary site fencing noted in these plans.
3. Any tree preservation fencing or barriers required are to be installed prior to any demolition activates.
4. The contractor shall be responsible for removal and disposal off-site of all items shown on the demolition plan including items encountered during excavation of building foundations and utility placement.
5. The contractor shall coordinate with the local utility companies for the disconnection and removal of services to any existing structures.
6. Items of salvageable value to the contractor may be removed with the owner or his/her representative's permission. The contractor shall not store these items on site.
7. Trash or debris are not to be burned on site.
8. Ensure minimal interference to roads, sidewalks and any other adjacent occupied facilities. Access to site and surrounding buildings is to be maintained at all times.
9. Do not close or obstruct roads, sidewalks or any other occupied facilities without permission from the local authority having jurisdiction and or property owners.
10. Work site shall remain safe for all site workers and owners employees.
11. The existing site outside the designate demolition area is to be protected and undamaged.
12. The contractor shall be responsible for ensuring the construction site and surrounding areas are free of accumulated debris.

#### Basic Septic Removal Steps

1. Shut off Power to Pumps!
2. All septic removal to be comeptled per state code.
3. Licensed septic tank cleaner removal all materials from septic and dosing tanks.
4. Remove and crush tank and all under ground piping.
5. Take pictures of tank removed from ground. Provide pictures to Engineer.

#### Absorption Field Removal

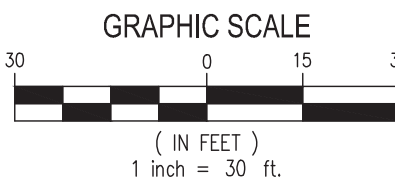
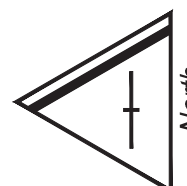
1. Allow time for field to dry completely once field is taken offline.
2. Remove septic piping and subsurface drains.
3. All removed materials are to be taken to a **licensed landfill**.
4. Backfill and compact the area sufficient to support future buildings.

#### Well Removal

1. Any well found on site is to be abbandned per Indiana Administrative Code, 312 IAC 13.

#### Home Stead Removal

1. Remove existing structures and all foundations completly.
2. Fill all excavations with granular backfill.
3. All debris is to be removed form site.



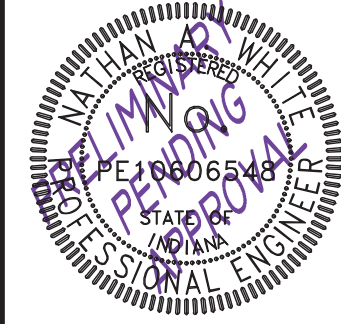
Gatherings at Aurora  
Section 2

West CR 700 North McCordsville, IN  
Homestead Demolition Plan

PREPARED FOR:

Beazer Homes of Indiana, LLP  
9465 Counselors Row, Suite 125  
Indianapolis, IN 46240  
317-443-2712  
Chad Oldham  
chad.oldham@beazer.com

DATE:



Nathan White Engineering, L.L.C. d.b.a.  
BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695  
Project Manager: Nathan White  
nwhite@benchmarkcon.com

REVISIONS:

C005

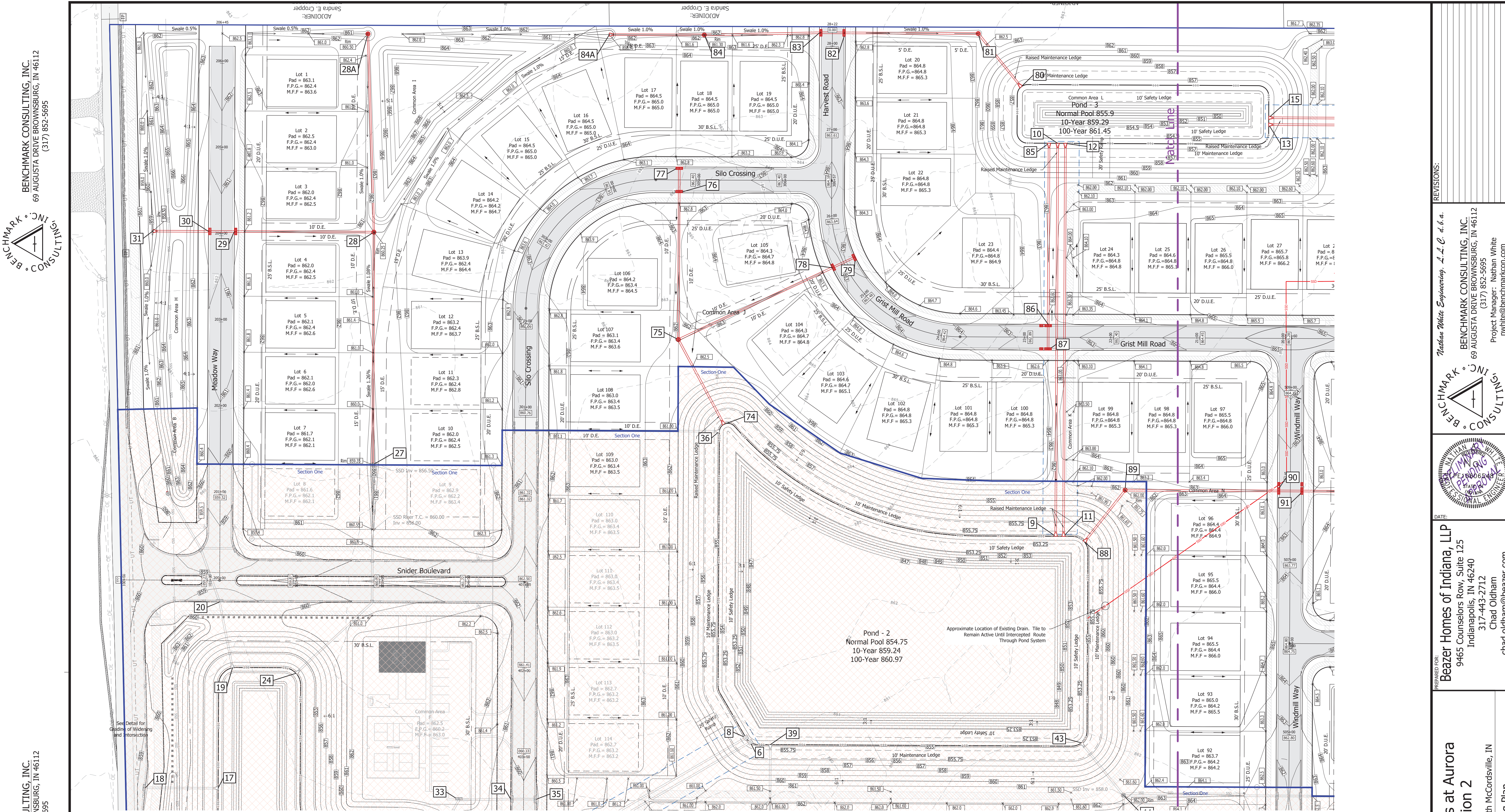
SHEET #

PROJECT NUMBER:

24001

DATE:

CHECKED BY:  
N.A.W.



Grading Plan General Notes

- Topographic information, as provided, shall be utilized to confirm existing topographic conditions prior to the commencement of any construction activities. Any discrepancies encountered between the existing topography shown and actual site conditions, which could affect the design and/or balance of the site, shall be reported to the office of Benchmark Consulting, Inc.
- All known utility locations shown are approximate. It is the contractors' responsibility to contact all affected utility companies and the local utility protection service prior to any excavation.
- Where two elevations are shown at the curb line, the top elevation shall represent the top of curb and the bottom elevation the edge of pavement.
- All proposed spot elevations are the final pavement or final dirt grade elevation.
- See appropriate details to determine subgrade elevations below finish grade elevations indicated.

- All fill area shall be compacted to at least 95 percent of the maximum dry density (ASTM D-1557). Fill under the footings shall be compacted to at least 95 percent of the maximum dry density (ASTM D-1557) or as noted in the geotechnical report.
- All grades shall meet existing grade at the property line.
- All landscape and yard spaces are to have a minimum of 4" of topsoil after final grading.
- No basements are to be built in this project.

Elevation Benchmark

H 235-T21  
Elevation (recorded) 856.828 (navd 88)  
Elevation (observed) 856.306 (navd 88)

A disk set in the northwest wingwall of a 32 foot concrete bridge over the Stansbury and Schultz Regulated Drain. It is located 0.2 miles south of State Road 67, 281 feet east of the physical centerline of County Road 600 W and 12.5 feet north of the physical centerline of County Road 750 North.

CSC TBM #12 Elevation 861.50

A rebar set at the southwestern corner of the stone drive onto the property of 5401 West County Road 700 North in McCordsville, located 17.7 feet south of the centerline of West County Road 700 North and 40.6 feet west of the physical centerline of said stone drive.

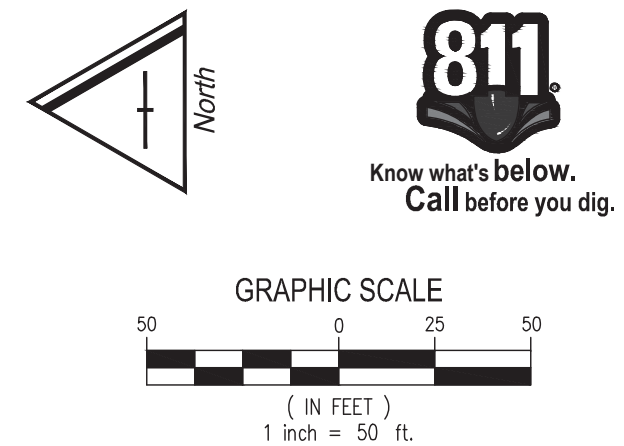
CSC TBM #10 Elevation 862.85

A rebar set westerly of the stone drive onto the property of 5401 West County Road 700 North in McCordsville, located 693.7 feet south of the centerline of West County Road 700 North and 8.4 feet westerly of the western edge of the western stone drive, also located 10.3 feet north and 103.1 feet west of the northwest corner of the one-story brick house.

Grading Plan Legend

- |  |   |
|--|---|
| Existing Ground Elevation Contour        | Proposed Pavement Grade                         |
| Existing Spot Elevations                 | Match Existing                                  |
| Existing Telephone Lines                 | Subsurface Drain & Lateral                      |
| Existing Gas Main                        | Grade Break                                     |
| Existing Water Main                      | Proposed Storm Sewer Main & Structure           |
| Existing Electric Lines                  | Proposed Elevation Contour                      |
| Existing Storm Sewer Main & Structure    | Swale Flow Line                                 |
| Existing Sanitary Sewer Main & Structure | See Sheet C001 for additional symbols and notes |
| Proposed Spot Elevation                  |   |

Local Road Pavement Section (d=12" MTSD Pg 2 of 10)



Gatherings at Aurora  
Section 2

West CR 700 North McCordsville, IN  
Grading Plan

DATE: PROJECT NUMBER: 24001  
SHEET # C101

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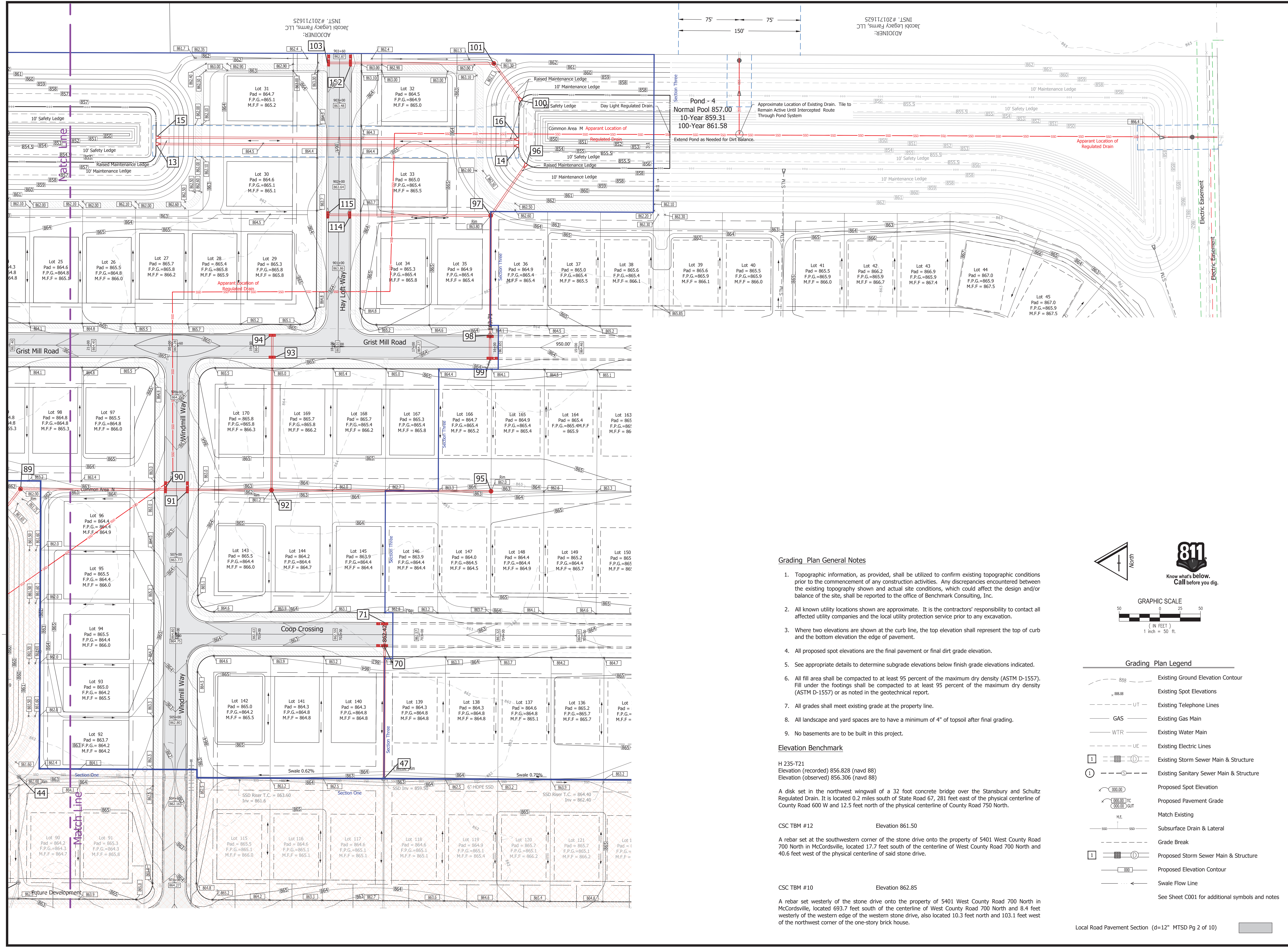
REVISIONS:

Nathan White Engineering, L.L.C. d.b.a.  
BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695  
Project Manager: Nathan White  
nwhite@benchmarkcon.com



DATE: Beazer Homes of Indiana, LLP  
9465 Counselors Row, Suite 125  
Indianapolis, IN 46240  
317-443-2712  
Chad Oldham  
chad.oldham@beazer.com

PREPARED FOR: Beazer Homes of Indiana, LLP  
9465 Counselors Row, Suite 125  
Indianapolis, IN 46240  
317-443-2712  
Chad Oldham  
chad.oldham@beazer.com



Grading Plan General Notes

- Topographic information, as provided, shall be utilized to confirm existing topographic conditions prior to the commencement of any construction activities. Any discrepancies encountered between the existing topography shown and actual site conditions, which could affect the design and/or balance of the site, shall be reported to the office of Benchmark Consulting, Inc.
- All known utility locations shown are approximate. It is the contractors' responsibility to contact all affected utility companies and the local utility protection service prior to any excavation.
- Where two elevations are shown at the curb line, the top elevation shall represent the top of curb and the bottom elevation the edge of pavement.
- All proposed spot elevations are the final pavement or final dirt grade elevation.
- See appropriate details to determine subgrade elevations below finish grade elevations indicated.
- All fill area shall be compacted to at least 95 percent of the maximum dry density (ASTM D-1557). Fill under the footings shall be compacted to at least 95 percent of the maximum dry density (ASTM D-1557) or as noted in the geotechnical report.
- All grades shall meet existing grade at the property line.
- All landscape and yard spaces are to have a minimum of 4" of topsoil after final grading.
- No basements are to be built in this project.

Elevation Benchmark

H 235-T21  
Elevation (recorded) 856.828 (navd 88)  
Elevation (observed) 856.306 (navd 88)

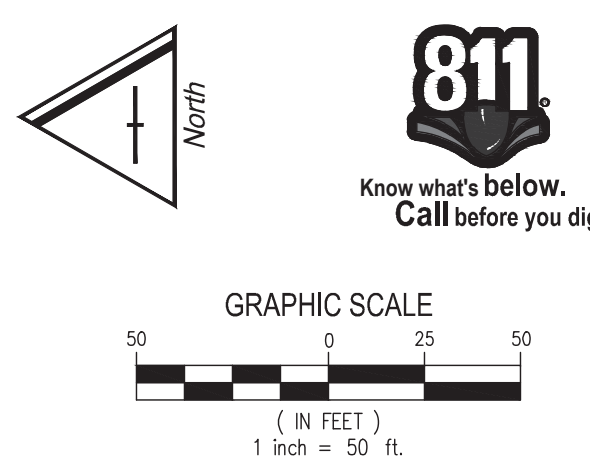
A disk set in the northwest wingwall of a 32 foot concrete bridge over the Stansbury and Schultz Regulated Drain. It is located 0.2 miles south of State Road 67, 281 feet east of the physical centerline of County Road 600 W and 12.5 feet north of the physical centerline of County Road 750 North.

CSC TBM #12 Elevation 861.50

A rebar set at the southwestern corner of the stone drive onto the property of 5401 West County Road 700 North in McCordsville, located 17.7 feet south of the centerline of West County Road 700 North and 40.6 feet west of the physical centerline of said stone drive.

CSC TBM #10 Elevation 862.85

A rebar set westerly of the stone drive onto the property of 5401 West County Road 700 North in McCordsville, located 693.7 feet south of the centerline of West County Road 700 North and 6.4 feet westerly of the western edge of the western stone drive, also located 10.3 feet north and 103.1 feet west of the northwest corner of the one-story brick house.



Grading Plan Legend

- Existing Ground Elevation Contour
  - Existing Spot Elevations
  - Existing Telephone Lines
  - Existing Gas Main
  - Existing Water Main
  - Existing Electric Lines
  - Existing Storm Sewer Main & Structure
  - Existing Sanitary Sewer Main & Structure
  - Proposed Spot Elevation
  - Proposed Pavement Grade
  - Match Existing
  - Subsurface Drain & Lateral
  - Grade Break
  - Proposed Storm Sewer Main & Structure
  - Proposed Elevation Contour
  - Swale Flow Line
- See Sheet C001 for additional symbols and notes

REVISIONS:

*Nathan White Engineering, L.L.C. d.b.a.*

BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695  
Project Manager: Nathan White  
nwhite@benchmarkcon.com

DATE: 4/23/2024

BEAZER HOMES OF INDIANA, LLP  
9465 Counselors Row, Suite 125  
Indianapolis, IN 46240  
317-443-2712  
Chad Oldham  
chad.oldham@beazer.com

DATE: 4/23/2024

CHECKED BY: N.A.W.

PROJECT NUMBER: 24001

SHEET # C102

Gatherings at Aurora  
Section 2

West CR 700 North McCordsville, IN

Grading Plan

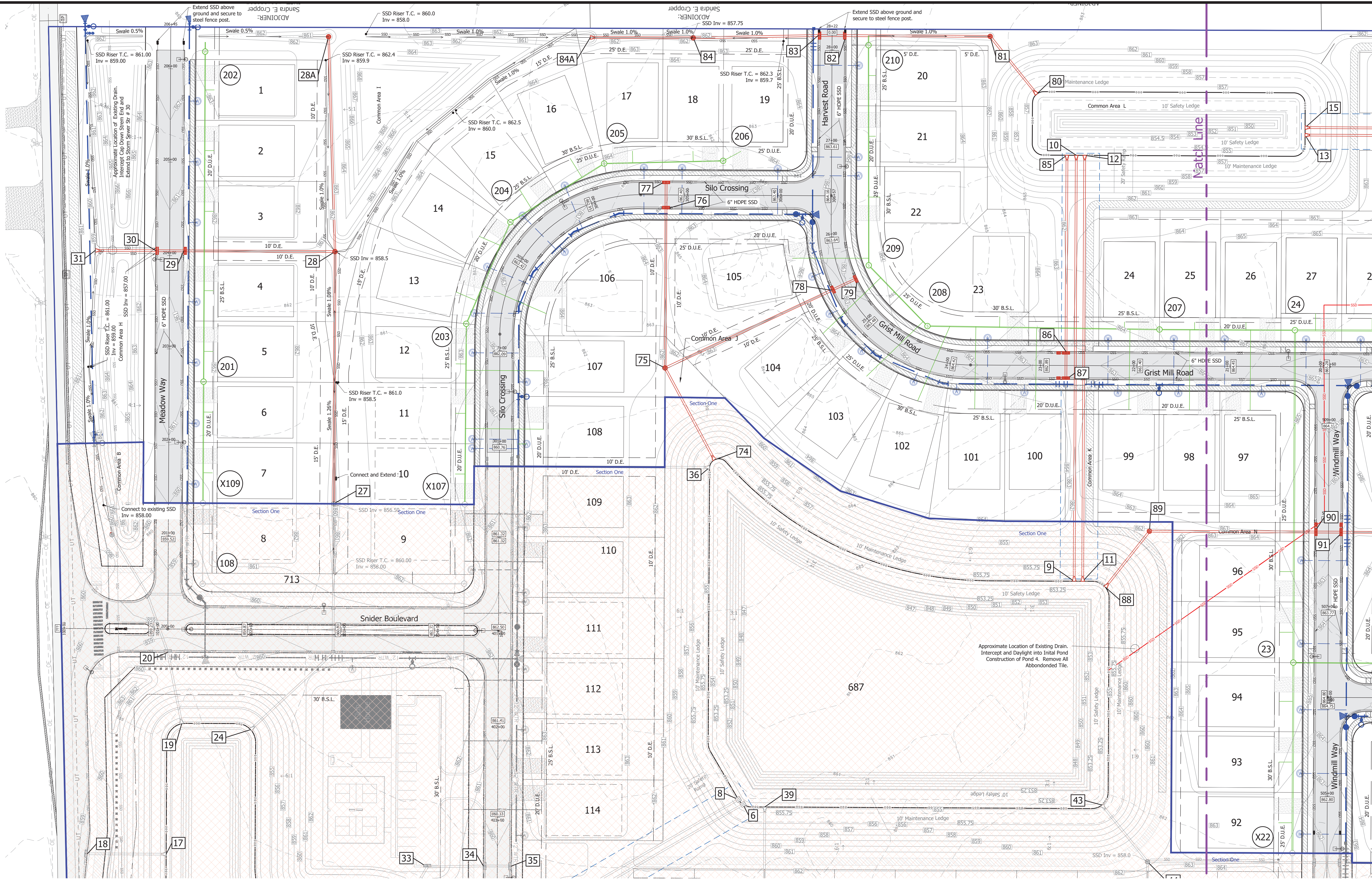
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BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695



BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695



**Development Plan General Notes:**

- Review the Town of McCordsville Standard Detail sand Specifications prior to commencement of any utility construction.
- Sanitary sewer and potable water mains shall have a minimum of ten (10) feet of horizontal separation and a minimum of eighteen (18) inches vertical separation between the outside of the pipe walls.
- Proposed 6" sanitary sewer service laterals shall be SDR-35, schedule 80 or schedule 40, P.V.C. Pipe conforming to ASTM D2241 and shall meet deflection standards as required of ASTM D-3303.
- Service locations for electric power, telephone, cable television and natural gas service are to be coordinated with final mechanical plans, owner representative and utility providers.
- Contact the office of Benchmark Consulting, Inc. Prior to re-routing of any field tiles.
- Where proposed utilities cross existing utilities the existing utility shall be "pot holed" to verify their location and elevation. Contractor shall do this as early in

the project as possible. Contact the office of Benchmark Consulting, Inc. of any conflicts are discovered.

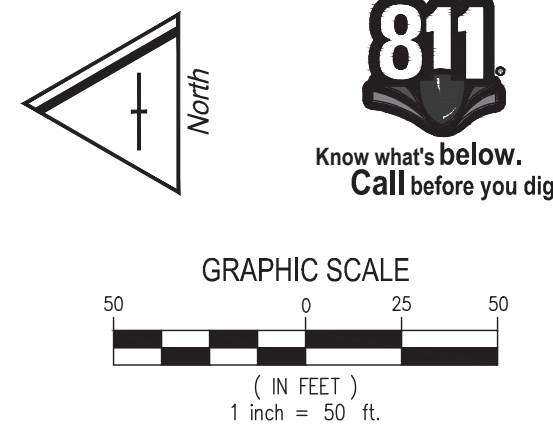
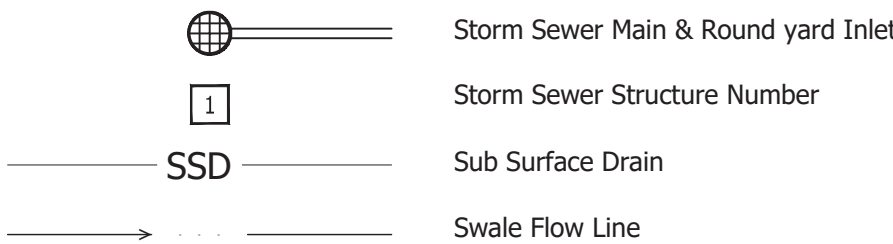
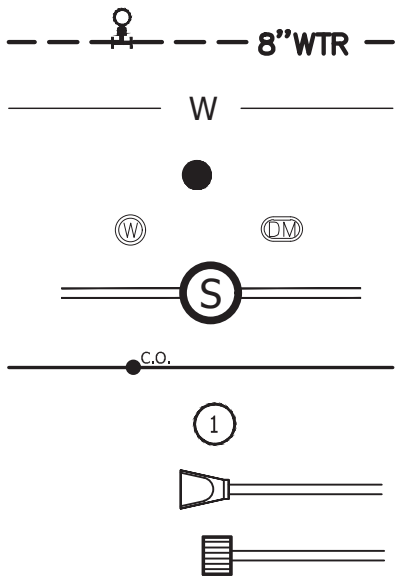
- All fire hydrants to be installed with Storz connections.
- All water infrastructure to be constructed per Citizens Energy standards and approved plan.

Local Road Pavement Section (d=12" MTSD Pg 2 of 10)

**Utility Statement**

The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantees that the underground utilities comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although the surveyor does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.

**Development Plan Legend**



Gatherings at Aurora  
Section 2

Development Plan

Beazer Homes of Indiana, LLP  
9465 Counsellors Row, Suite 125  
Indianapolis, IN 46240  
317-443-2712  
Chad Oldham  
chad.oldham@beazer.com

DATE:



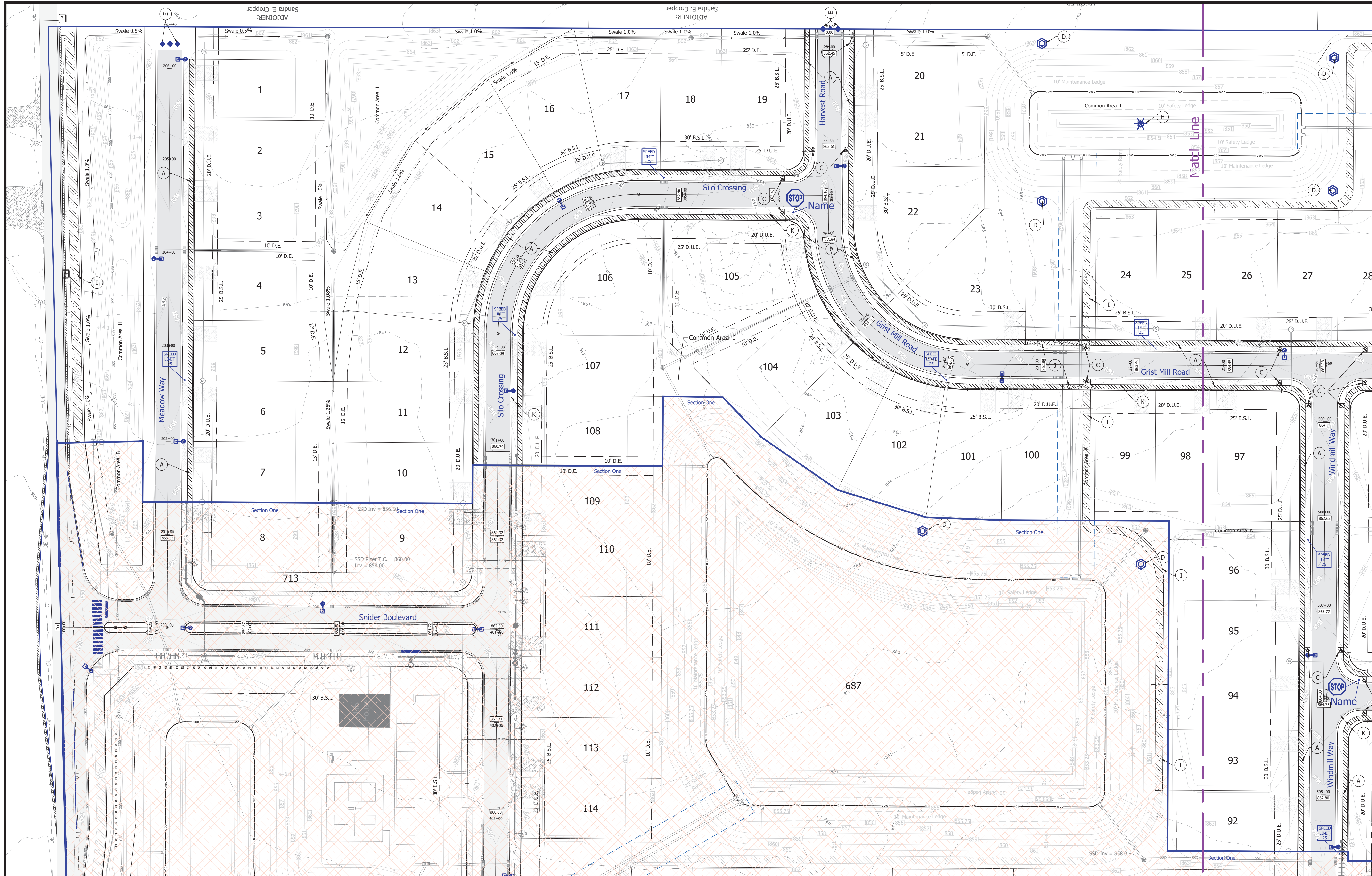
Nathan White Engineering, L.L.C. d.b.a.

BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695  
Project Manager: Nathan White  
nwhite@benchmarkcon.com

REVISIONS:

Gatherings at Aurora - Section 2





### Proposed Street Names

A - Snider Boulevard  
B - Meadow Way  
C- Silo Crossing  
D - Thresher Pass  
E - Windmill Way  
F - Splitrail Road

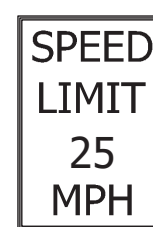
1. All construction to be in compliance with the latest edition of the Town of McCordsville Construction Standards Specifications and Details.
2. All signs to meet the current Indiana MUTCD.
3. All sign proofs to be submitted to the Town of McCordsville for approval before ordering.
4. Verify final street names with owner.
5. All street signs to be black fluted post. See detail on sheet C110.
6. All sidewalk/ramp warning pavers to be black in color.



Stop Sign Location  
MUTCD Sign R1-1 (30" x30")

Name

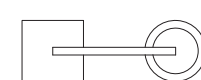
Street Name Sign Location



Speed Limit Sign  
MUTCD Sign R2-1 (24"x30")



5 Concrete Side Walk - Homeowner Installed



Street Light Location  
16' Fluted Pole & Deco Cap  
Stresscrete Group Drawing Number SC3-2108086-1  
(See Sheet C802)




ADA Sidewalk Ramp  
(depress Curb as Needed for Ramp)



### Pond Safety Sign

End of Road Signage  
(TR-20)

 Fountain - Aquamaster, 230V, 5 HP Fountain w/  
Sanibel Spray Pattern & 4 Clear LED Light Set



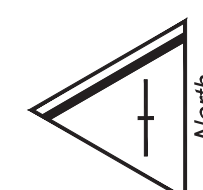
Multiuse Path - Developer Installed  
(10 Ft. & 8Ft. Widths)




5' Concrete Sidewalk - Developer Installed



Curb Painting at Fire Hydrant  
(8" Yellow INDOT Reflective Paint 10' Each Side of Hydrant)



GRAPHIC SCALE



( IN FEET )  
1 inch = 50 ft.



Know what's below.  
**Call** before you dig.

## Gatherings at Aurora Section 2

West CR 700 North McCordsville, IN

## Sidewalk, Signage & Street Lighting Plan

PREPARED FOR:

PREPARED FOR:  
**Beazer Homes of Indiana, LLP**  
9465 Counselors Row, Suite 125  
Indianapolis, IN 46240

317-443-2712  
Chad Oldham  
chad.oldham@beazer.com

DATE \_\_\_\_\_



*Nathan White Engineering, L.L.C. d.b.a.*

**BENCHMARK CONSULTING, INC.**  
ALBUQUERQUE DRIVE BROWNSVILLE, TX 77801

(317) 852-5695  
Project Manager: Nathan White  
nwhite@benchmarkcon.com

REVISIONS:

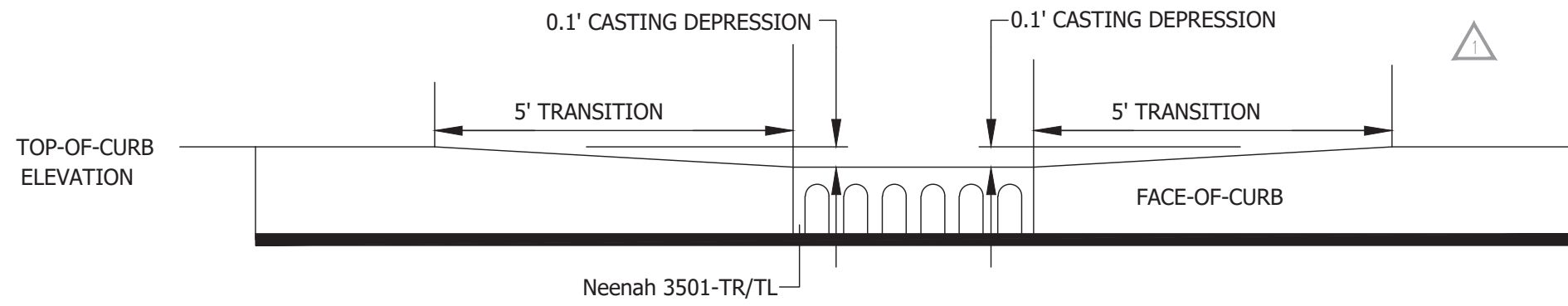
Curb Painting at Fire Hydrant  
(8" Yellow INDOT Reflective Paint 10' Each Side of Hydrant)



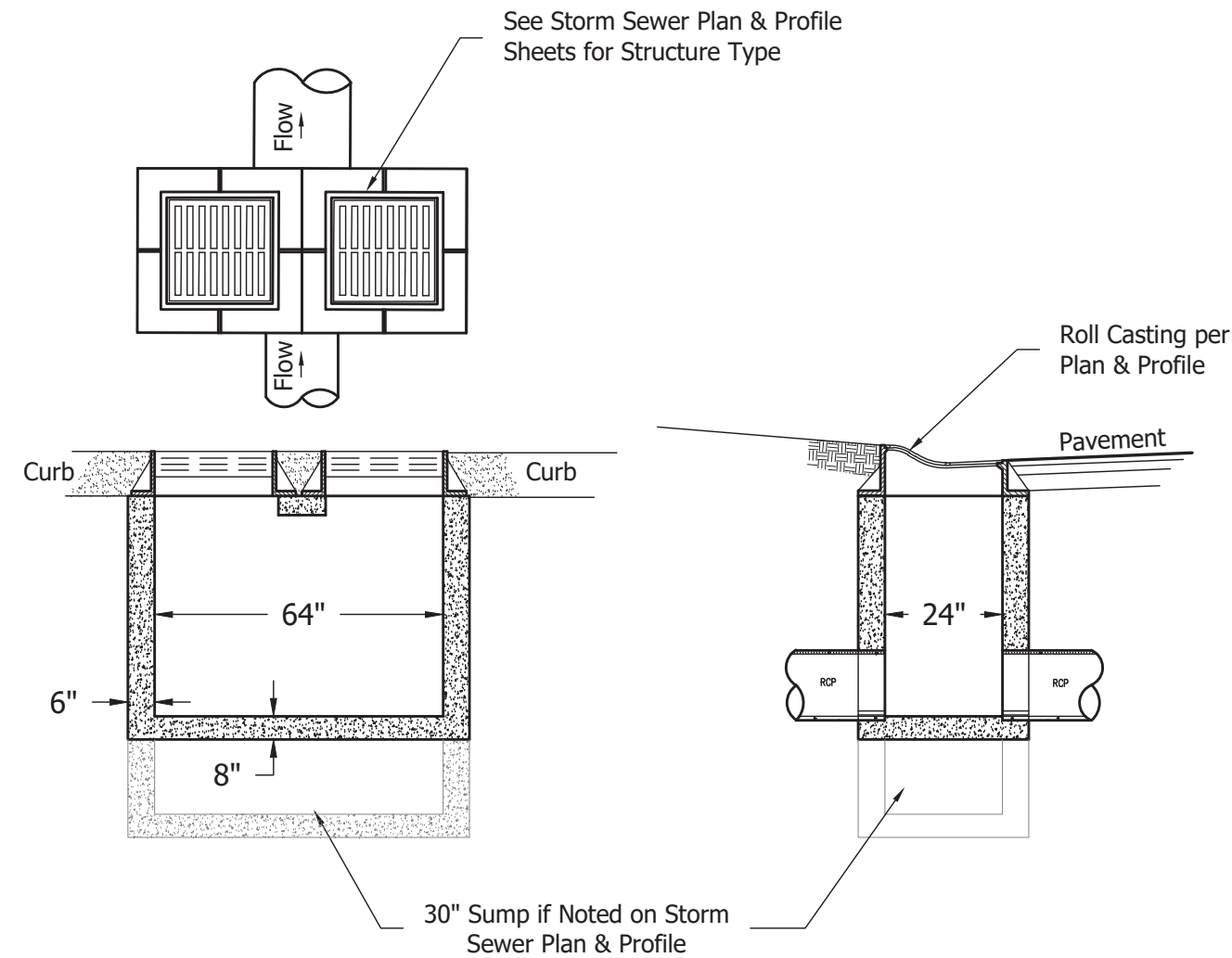
### Pond Warning Signs

NTS

- Sign shown is for reference only. Final sign to be approved by owner.
- Signs to have a minimum area of one square foot and less than four square feet.
- Signs are to be installed before second building permit is issued. Sufficient time must be given for locating and installing new signs.
- Sign shall be permanent material, either wood or metal.
- Sign must have the words "DANGER", "NO FISHING" and "STAY OFF ICE".
- Signs must have no swimming and stay off ice symbols.
- Coordinate additional restrictions with owner
- Sing to be responsibility of land owner or HOA.

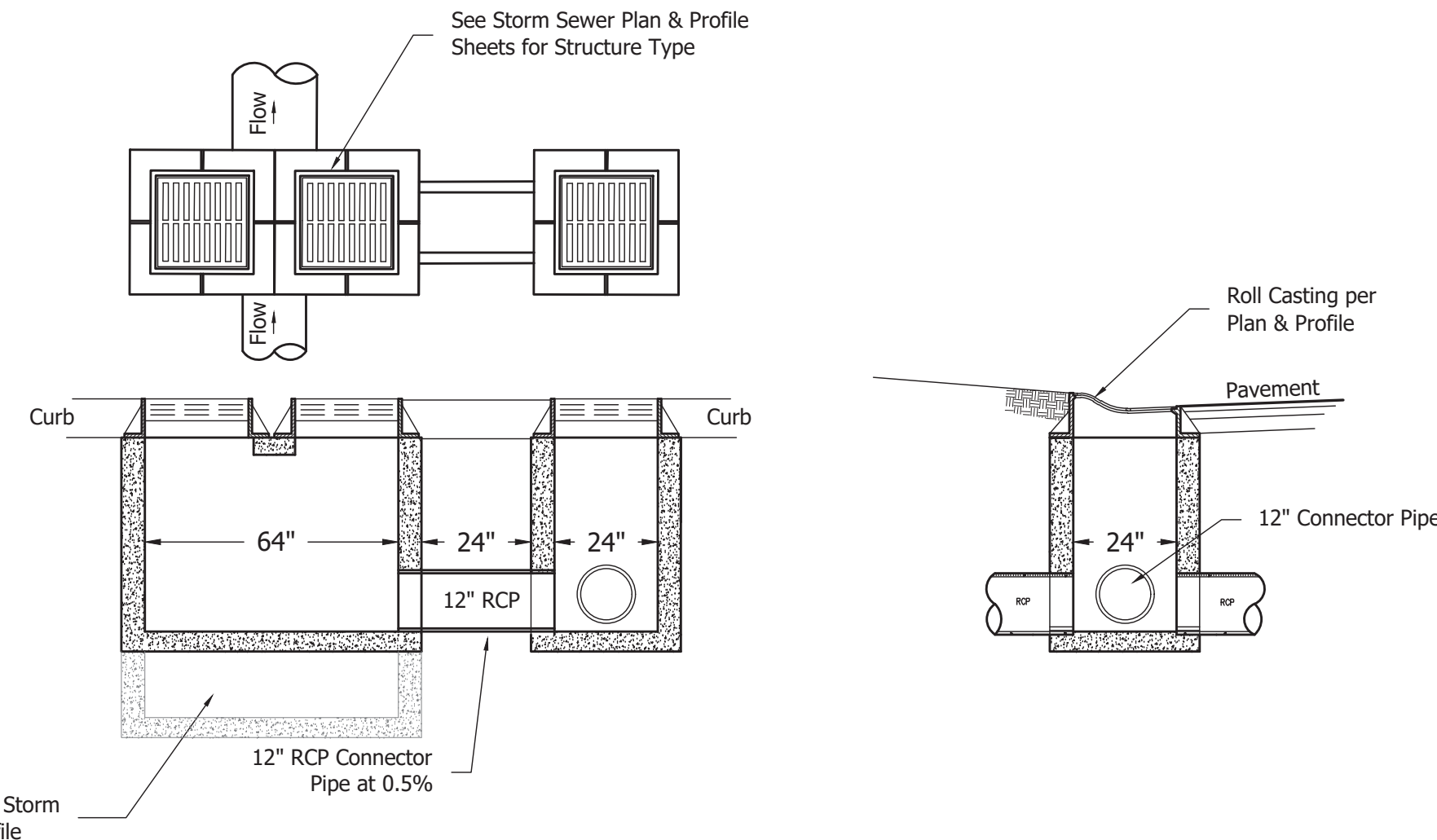


DEPRESSED INLET CURB TRANSITION  
N.T.S.



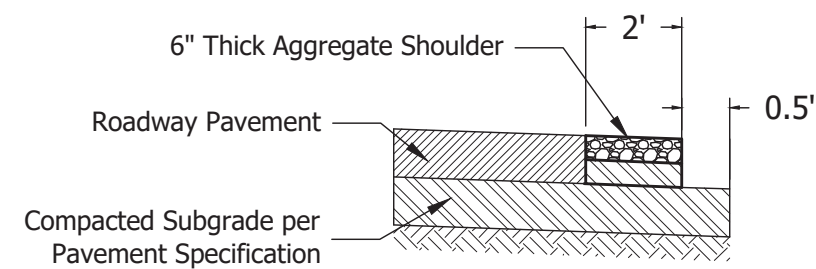
24" 64" Double Inlet Box  
NTS

- See Storm Sewer Plan & Profile Sheets for Main Line Structure Type
- See Plan & Profile Sheet for Casting



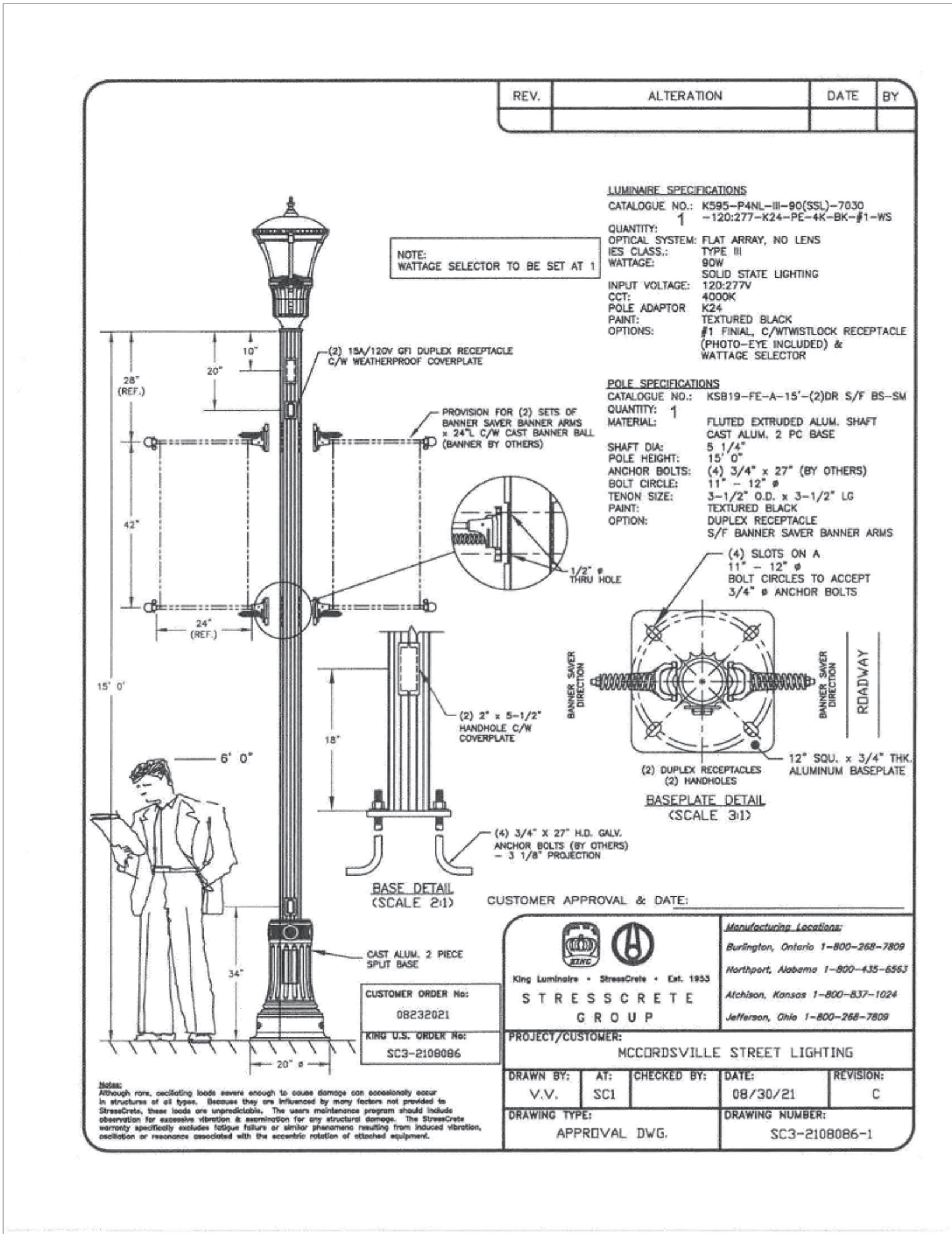
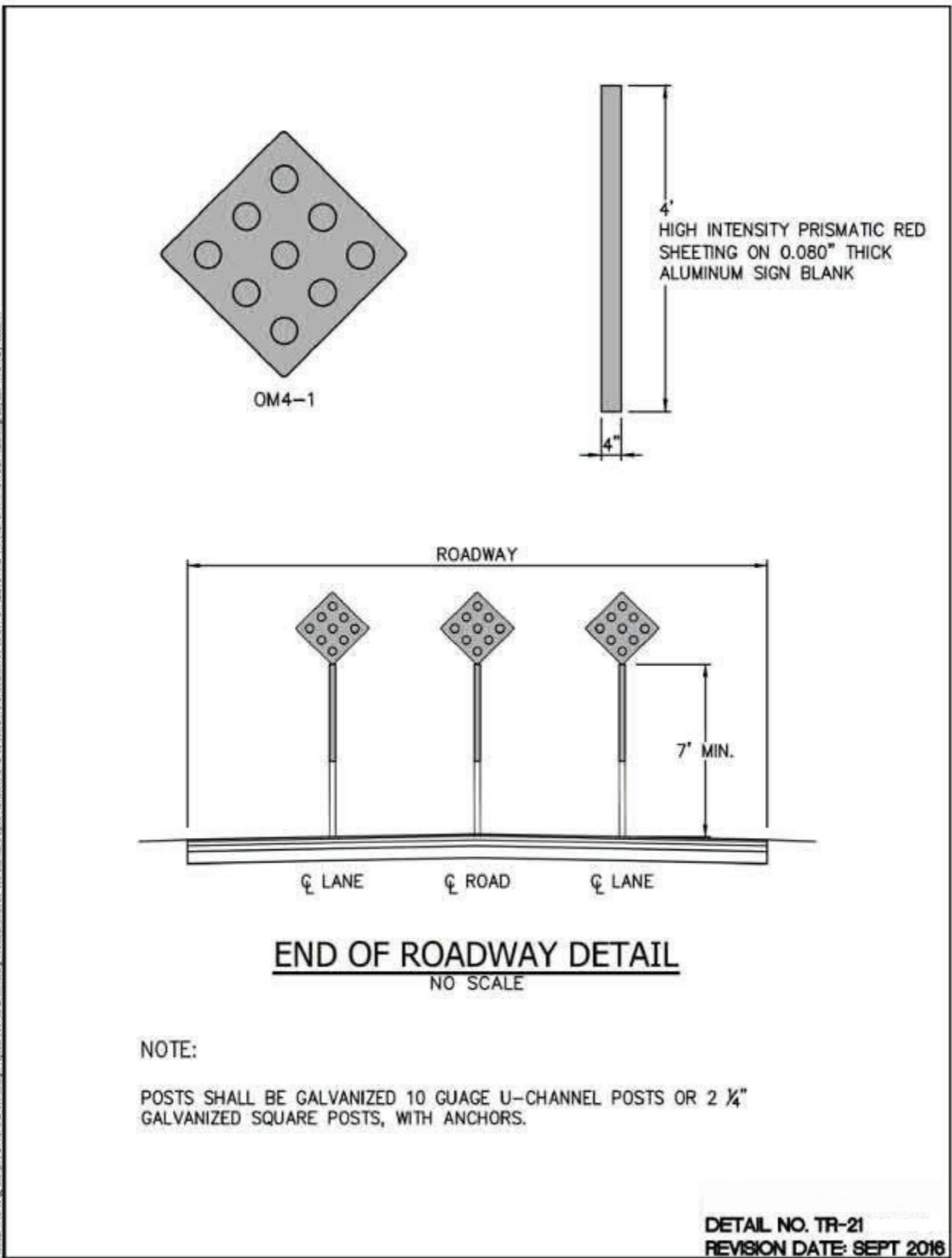
24" x 64" Double Inlet Box \* & Catch Basin  
NTS

- See Storm Sewer Plan & Profile Sheets for Main Line Structure Type
- Off-line structure to be 24" x 24" Catch Basin
- Crown of Connector Pipe to be No Lower than Crown of Main Downstream Pipe
- See Plan & Profile Sheet for Offline Structure Orientation
- See Plan & Profile Sheet for Casting



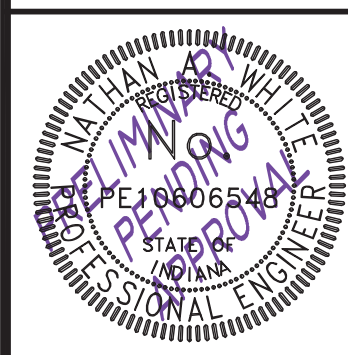
2 Foot Aggregate Shoulder  
NTS

- Minimum shoulder width shall be 2 feet.
- Aggregate to be INDOT Classification #53 crushed stone.
- Compact to 90% Standard Proctor Density.



REVISIONS:

Nathan White Engineering, L.L.C. d.b.a.



DATE:

PREPARED FOR:  
**Beazer Homes of Indiana, LLP**  
9465 Counsellors Row, Suite 125  
Indianapolis, IN 46240  
317-443-2712  
Chad Oldham  
chad.oldham@beazer.com

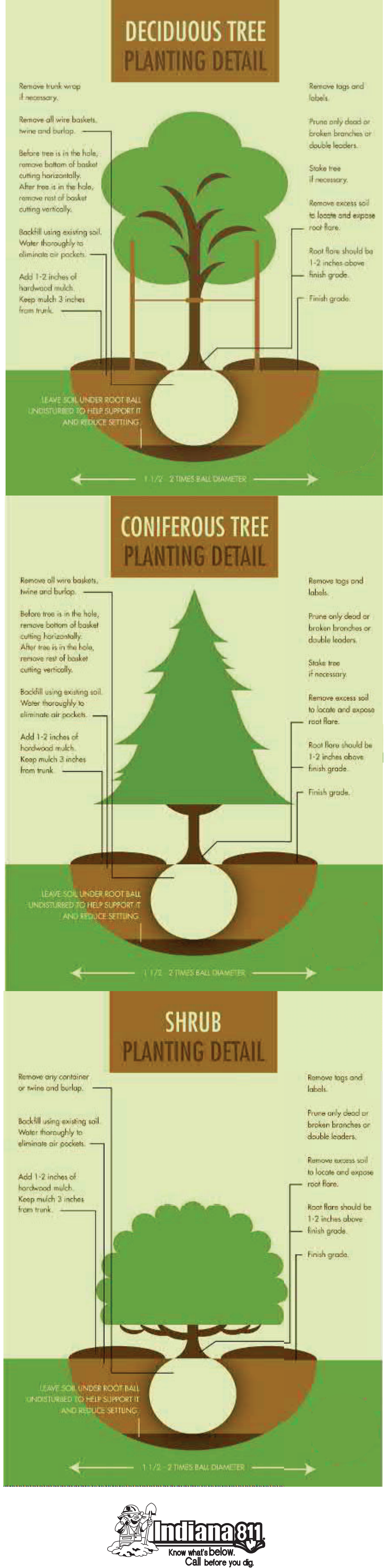
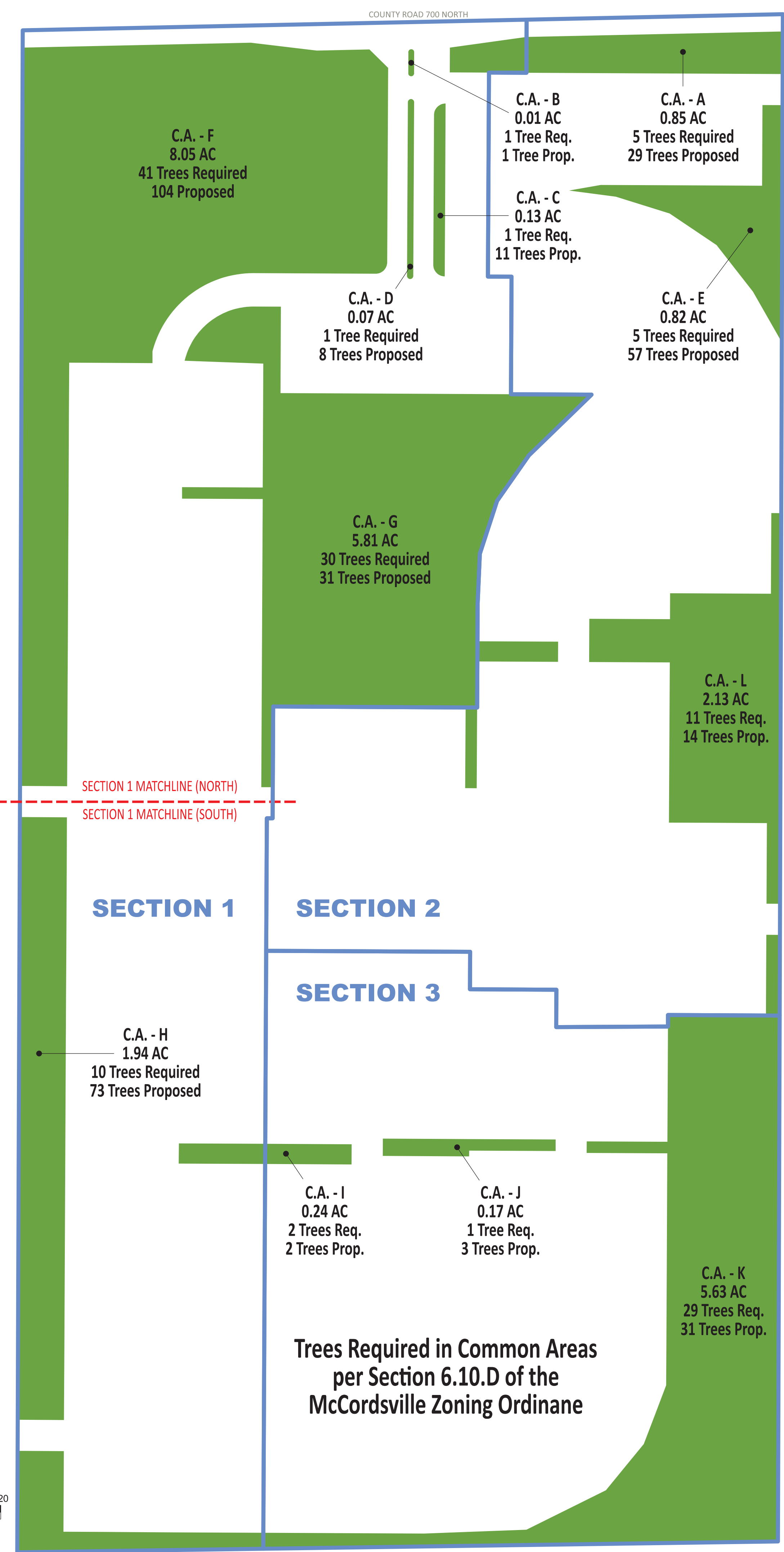
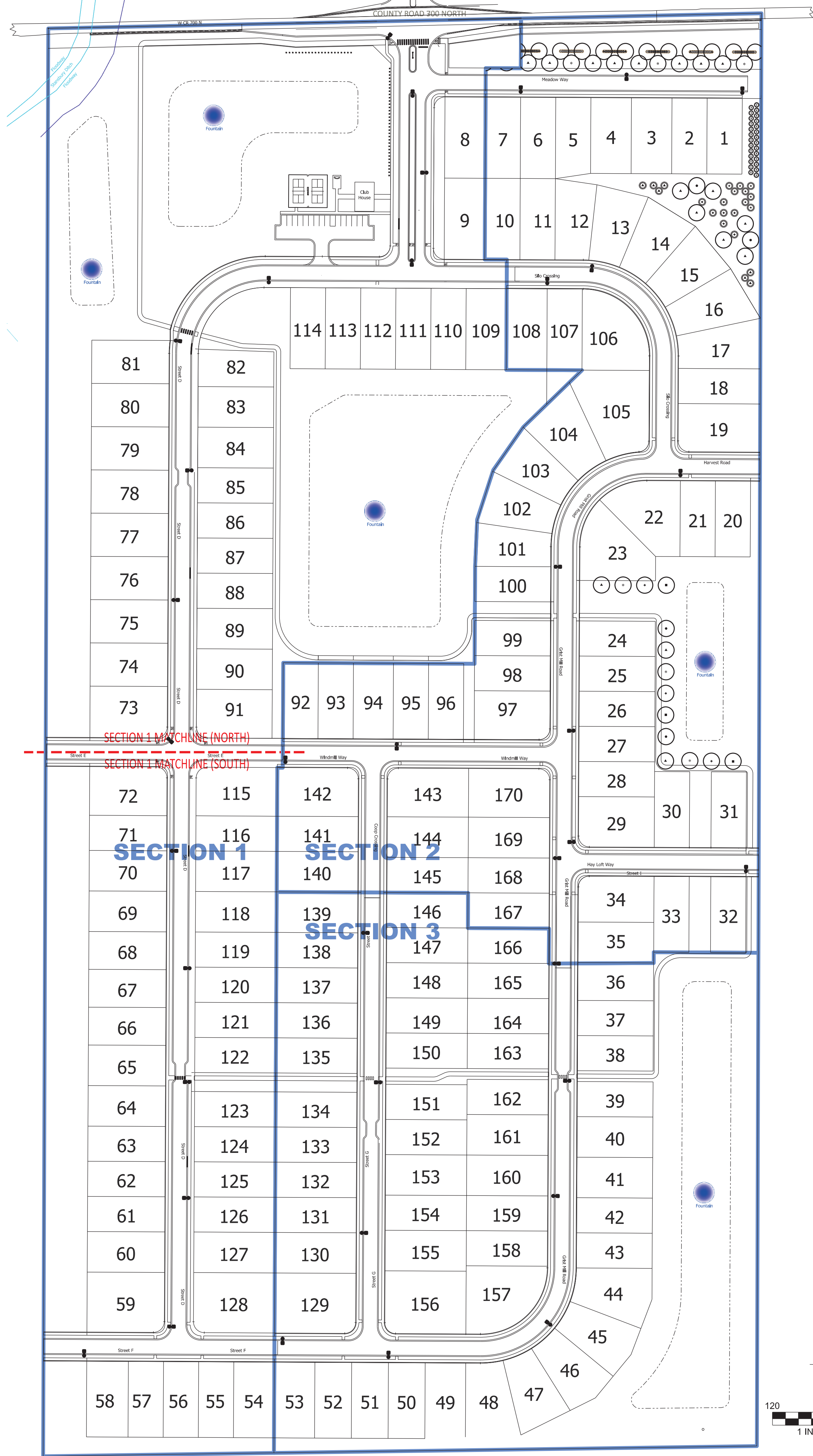
**Gatherings at Aurora**  
Section 2  
West CR 700 North McCordsville, IN  
Construction Details

DATE: CHECKED BY:  
N.A.W.

PROJECT NUMBER:  
24001

SHEET #

C802



SHEET SCHEDULE:

L101 SECTION 2 PLANTING PLAN

REVISIONS:

BENCHMARK CONSULTING, INC.  
69 AUGUSTA DRIVE BROWNSBURG, IN 46112  
(317) 852-5695

DATE:

PREPARED FOR:

Beazer Homes  
9465 Counselors Row, Suite 125  
Indianapolis, IN 46240  
317-714-4118  
Sean Sullivan  
sean.sullivan@beazer.com

Gatherings at Aurora - Section Two  
Construction Plans

DATE: 04/26/2024  
PROJECT NUMBER: 22007  
SHEET #





EW5

L000






McCordsville, Indiana  
Landscaping Plan - Cover Sheet

PLANT SCHEDULE:






Street Trees (2") by Developer:

- |   |  |
|---|--|
|  | Gleditsia triacanthos var. inermis 'Draves' - 0<br>(Street Keeper Honeylocust) |
|  | Platanus x acerifolia 'Bloodgood' - 0<br>(Bloodgood London Planetree)          |
|  | Ulmus 'Princeton' - 0<br>(Princeton Elm)                                       |
|  | Zelkova serrata 'Green Vase' - 0<br>(Green Vase Zelkova)                       |

Shade Trees (2") by Developer:

- |   |  |
|---|--|
|  | Acer rubrum 'Autumn Radiance' - 22<br>(Autumn Radiance Red Maple)    |
|  | Gleditsia triacanthos inermis 'Skycole' - 4<br>(Skyline Honeylocust) |
|  | Liquidambar styraciflua 'Worplesdon' - 3<br>(Worplesdon Sweetgum)    |
|  | Liriodendron tulipifera - 12<br>(Tuliptree)                          |
|  | Quercus rubra - 4<br>(Red Oak)                                       |

Evergreen Trees (6') by Developer:

-  Abies balsamea var. phanerolepis - 8  
(Canaan Fir)
-  Picea abies - 7  
(Norway Spruce)
-  Pinus heldreichii - 7  
(Bosnian Pine)
-  Taxus cuspidata 'Capitata' - 27  
(Capitata Pyramidal Yew)
-  Thuja stadishii x plicata 'Green Giant' - 0  
(Green Giant Arborvitae)

Shrubs (24") by Developer:

- |       |  |
|-------|--|
| ***** | Aronia melanocarpa 'Viking' - 18<br>(Viking Black Chokeberry)                                  |
| ***** | Hydrangea macrophylla 'Bailer' - 18<br>(Endless Summer Bingleaf Hydrangea)                     |
| ***** | Thuja occidentalis 'Woodwardii' - 0<br>(Woodward Globe Arborvitae)                             |
| ***** | Viburnum plicatum tomentosum 'Summer Snowflake' - 18<br>(Summer Snowflake Doublefile Viburnum) |

LEGEND:

- Entry Feature  
(with Development Sign)
- One Foot Contours  
(Mound and/or Pond Bank)

NOTES:

1. In addition to the plantings shown on this sheet the Builder shall install on each residential Lot a minimum of i) one 2.5" caliper shade tree, ii) two trees consisting of any combination of 6' high evergreens and/or 1.5" caliper ornamentals, and iii) twelve 24" high shrubs. The shrubs shall be planted along the foundation of the primary building. Of the three trees required one deciduous tree must be planted within the front yard.

