

WARNING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR CALLING FOR LOCATIONS OF ALL EXISTING UTILITIES. THEY SHALL COOPERATE WITH ALL UTILITY COMPANIES IN MAINTAINING THEIR SERVICE AND/OR RELOCATION OF LINES.

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL BEFORE YOU DIG: TOLL FREE 1-800-252-1166

SITE DATA TABLE

PROJECT AREA	±8.69 ac
TOTAL OPEN AREA REQUIRED IN PUD	±30.68 ac
OPEN AREA POST DEVELOPMENT	±32.15 ac
ZONING	PUD
SETBACKS	
FRONT YARD	21 ft
INTERNAL FRONT YARD (BACK CURB TO FRONT OF BUILDING)	15 ft
SIDE YARD	30 ft
REAR YARD	25 ft
PROPOSED NUMBER OF UNITS	128
REQUIRED PARKING	2.5 SPACES / UNIT
REQUIRED SPACES	320
PROPOSED PARKING	2.04 SPACES / UNIT
SURFACE PARKING	186
ADA PARKING	17
GARAGE ADA PARKING	4
GARAGE PARKING	54
TOTAL PARKING SPACES	261

LEGEND

—	PROPERTY BOUNDARY
—	LOT LINE
- - -	EASEMENT LINE
- - -	SETBACK LINE
- - -	RIGHT OF WAY LINE
- - -	EXISTING EASEMENT LINE
—	CURB AND GUTTER
D.U.S.&E	DRAINAGE, UTILITY, SANITARY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
D.E.	DRAINAGE EASEMENT



733 MARQUETTE AVE
SUITE 1000
MINNEAPOLIS, MN 55402
WWW.STANTEC.COM

CLIENT:

KENSINGTON WAY DEVELOPMENT NORTH KENSINGTON WAY, MCCORDSVILLE, IN

PROJECT TITLE

ISSUE NO.:

DESCRIPTION:

DATE:

CERTIFICATION:

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE:

PROJECT NO.: 193806723

DWN BY: MK CHK'D BY: PWS APP'D BY: PWS

ISSUE DATE: 01/05/2024

ISSUE NO.: 1

SHEET TITLE:

SITE PLAN

SHEET NO.:

C-101

Exhibit B

Statement of Intent

The proposed development of 8.69 acres along N. Kensington Avenue is comprised of 128 multifamily units, made up of 1 and 2-bedroom apartment units. The development will consist of eight, 2-story apartment buildings and a clubhouse with leasing offices, tenant amenities, and a pool. The property will have surface parking available to all tenants, as well as private garages for lease. The exterior of the buildings is proposed to be a combination of masonry and fiber cement lap and panel siding. Based on the current PUD, overlay, and zoning requirements, the below variances are being requested:

1. Parking Variance:

Current zoning requires 2.5:1 parking ratio, requiring the development to maintain 320 parking spaces. Based on regional and national multifamily parking statistics, we are requesting a reduction in the current parking requirement from 2.5:1 to 2.0:1 to have a minimum available parking of 256 spaces. Based on data provided by the National Apartment Association (NAA) the average garden style multifamily development maintains a 1.50:1 parking ratio. We believe, based on national data, as well as our own data from existing properties, that a parking reduction from 2.5:1 to 2.0:1 will provide adequate parking spaces for the property. Site plan with current parking shown in Exhibit E.

2. 100% First Floor Masonry – Apartment Buildings Variance:

The Gateway Crossing PUD requires all multifamily structures to have 100% masonry across the first floor with the exception of bays, windows, and doors. We request relief from the requirement in select locations (shown in Exhibit C), primarily located at unit entry, first floor patio areas, and utility rooms not facing Kensington Avenue. We believe the deviation from first floor masonry in these select locations gives texture and depth to the elevation of the building.

3. Clubhouse – 50% Masonry on sides facing adjacent properties:

The McCordsville Overlay and Architectural Standards require all clubhouse sides facing adjacent properties to maintain 50% Masonry. We request a variance for relief of the 50% requirement on the south and east facing sides of the clubhouse. We request a reduction from 50% to 40% on the south facing side and a reduction from 50% to 45% on the east facing side of the building. (Exhibit D)

EXHIBIT C

Building A

Request for relief of masonry requirement at location shown below. Inset balconies at the rear of the buildings, utility closets at end of buildings (non-Kensington facing utility closets), storage closets at rear first floor balconies, and unit entry points at front of buildings.



Building B

Request for relief of masonry requirement at location shown below. Inset balconies at the rear of the buildings, utility closets at end of buildings (non-Kensington facing utility closets), storage closets at rear first floor balconies, and unit entry points at front of buildings.

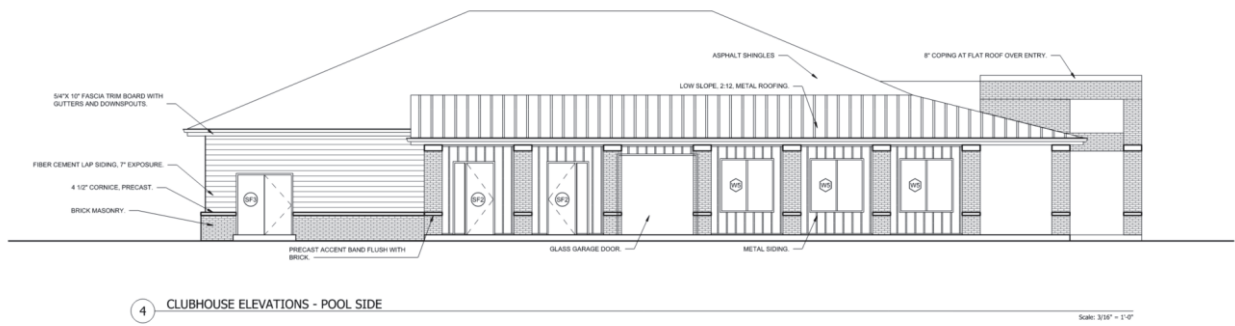


Exhibit D

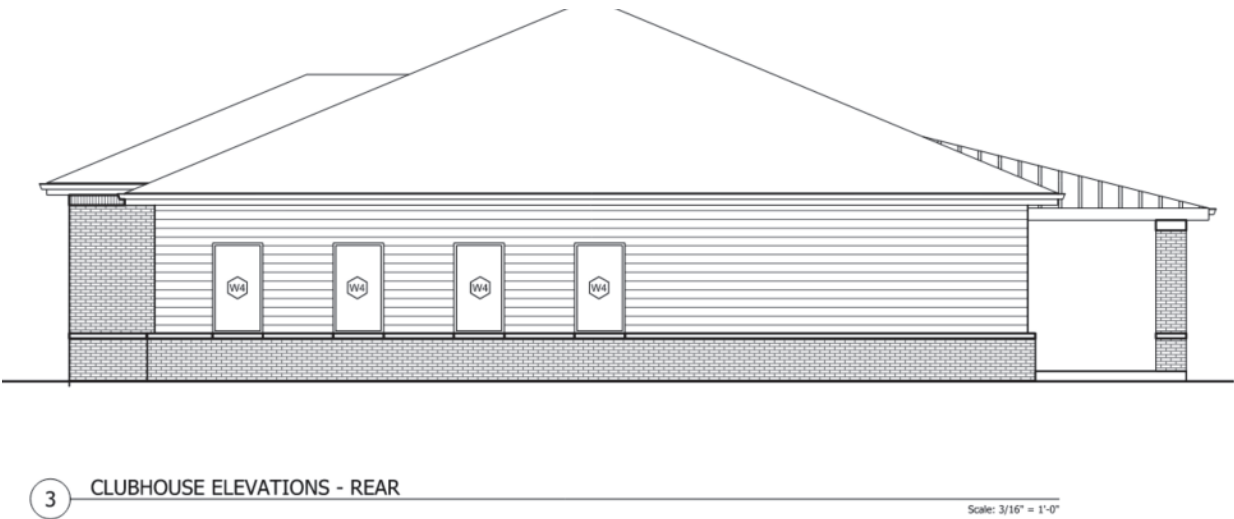
Clubhouse

Request for relief of 50% Masonry requirement for sides facing adjacent properties. The south and east facing sides of the clubhouse are designed with less than the 50% masonry requirement for sides facing adjacent properties. The south facing side is comprised of 40% masonry and the east, pool facing side is comprised of 45% masonry.

East: (pool facing side)



South facing side:



Aerial of Clubhouse:

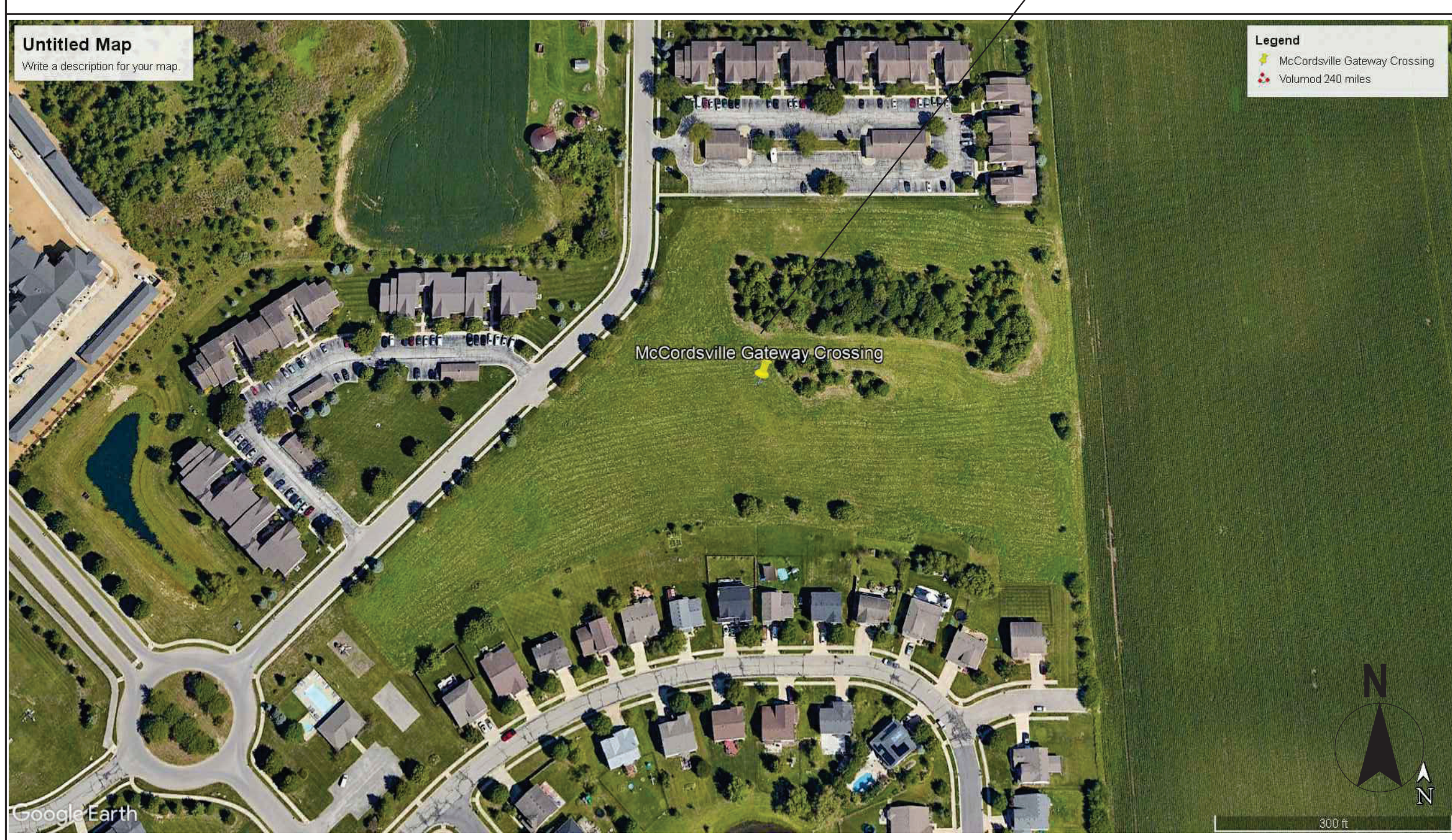




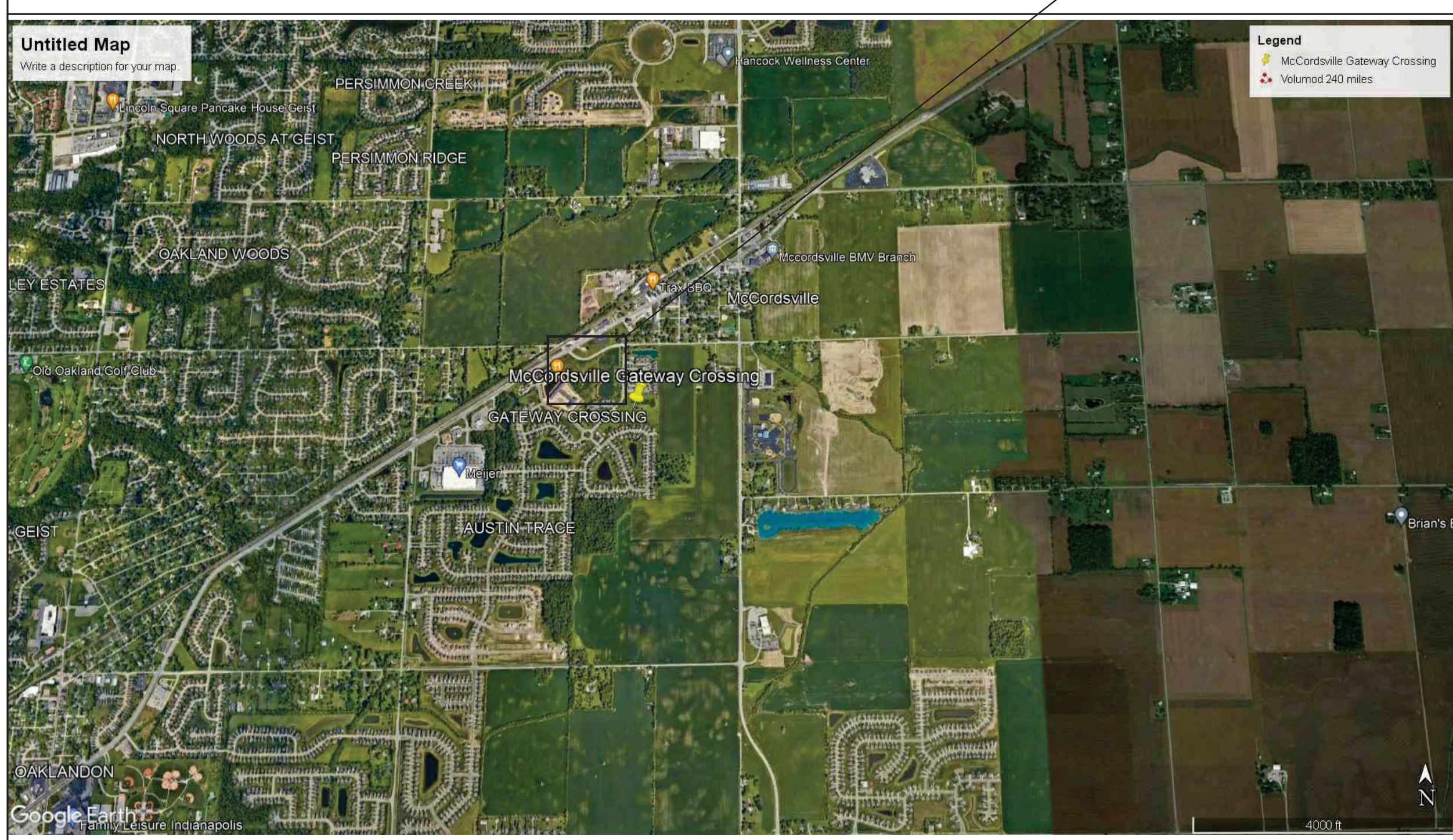
KENNSINGTON WAY MCCORDSVILLE, IN 46055



SITE LOCATION MAP



SITE VICINITY MAP



PROJECT TEAM

DEVELOPER:

THE RIDGE GROUP
TYLER BOWERS
3225 S. HOYT AVENUE
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ARCHITECT:



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STRUCTURAL ENGINEER:



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MECH., PLUMBING & ELEC. ENGINEER:



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PHONE: 785-633-7454
DEVERHART@LSAPA.COM

CIVIL ENGINEER:

STANTEC

5778 WEST 74TH STREET
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MICHAEL KING
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LANDSCAPE

STANTEC

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CONSTRUCTION:

THE RIDGE GROUP

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INTERIOR DESIGNER:

KELSEY PARKISON, NCIDQ

2325 N. DELAWARE ST
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PHONE: 219-851-0192
KELSEYPARKISON@GMAIL.COM

CLIENT



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CONSULTANT



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SEAL

PROGRESS PRINT

PROJECT TITLE

KENNSINGTON WAY
MCCORDSVILLE, IN 46055

ISSUED FOR:	DATE

REVISIONS		
MARK	DESCRIPTION	DATE

DATE: 01-23-2024

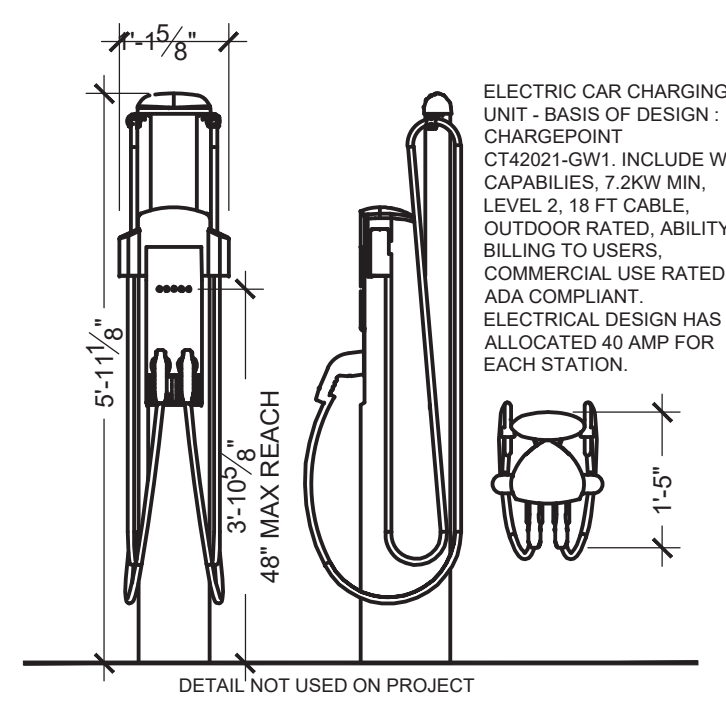
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SHEET TITLE
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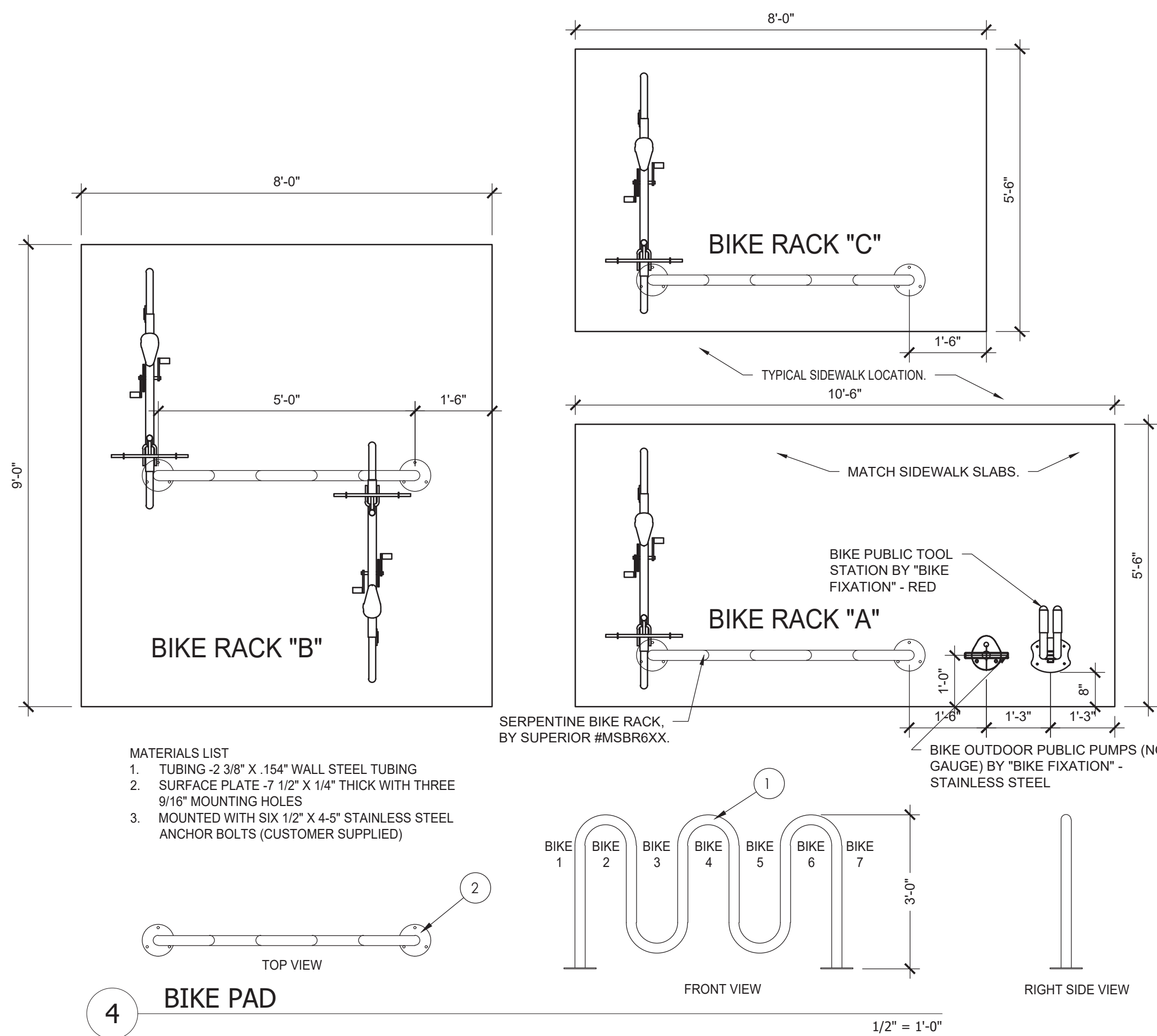
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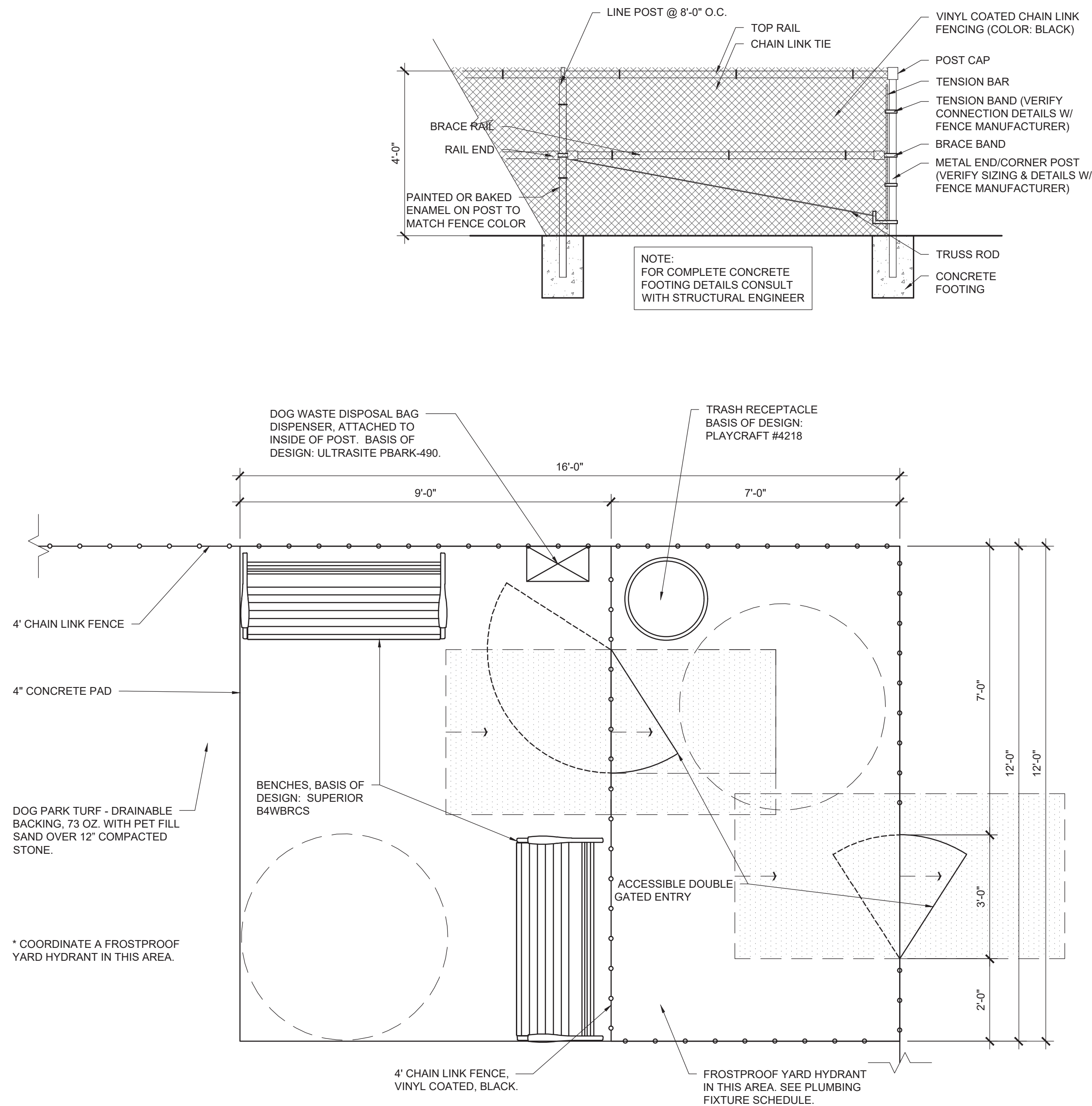


5 CAR CHARGING STATION
1/2" = 1'-0"

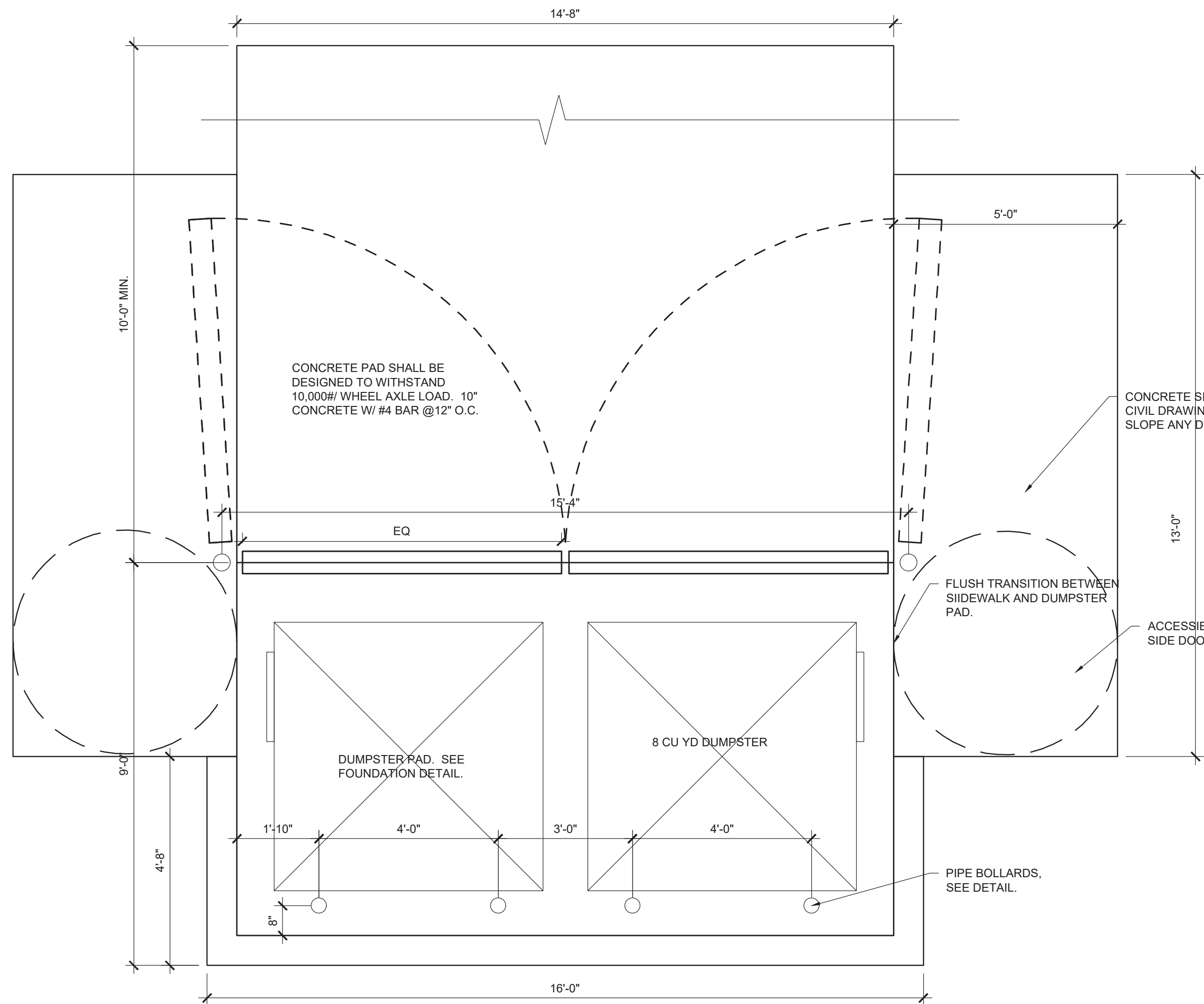
DETAIL NOT
USED



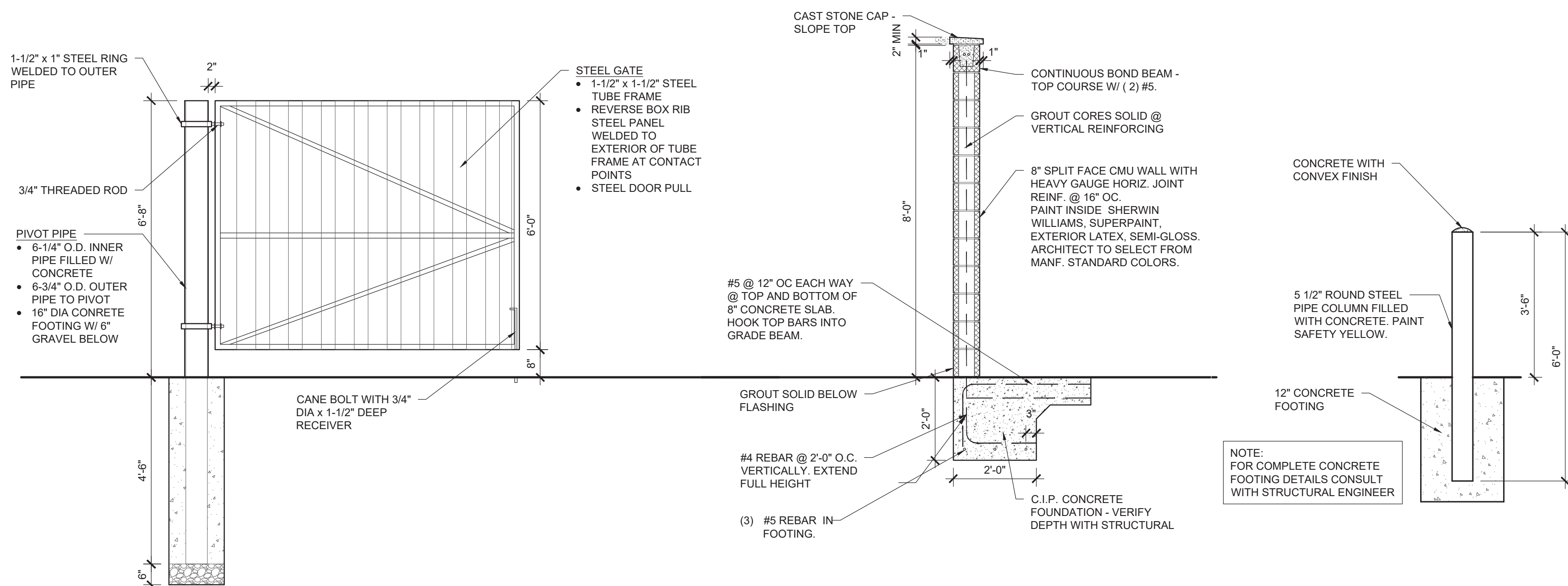
4 BIKE PAD
1/2" = 1'-0"



2 DOG PARK DOUBLE ENTRY
1/2" = 1'-0"

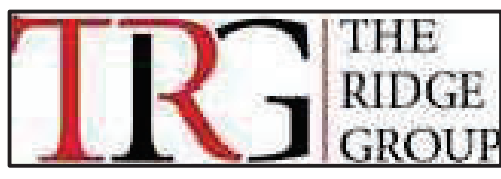


1 DUMPSTER ENCLOSURE
1/2" = 1'-0"



NOTE:
FOR COMPLETE CONCRETE
FOOTING DETAILS CONSULT
WITH STRUCTURAL ENGINEER

CLIENT



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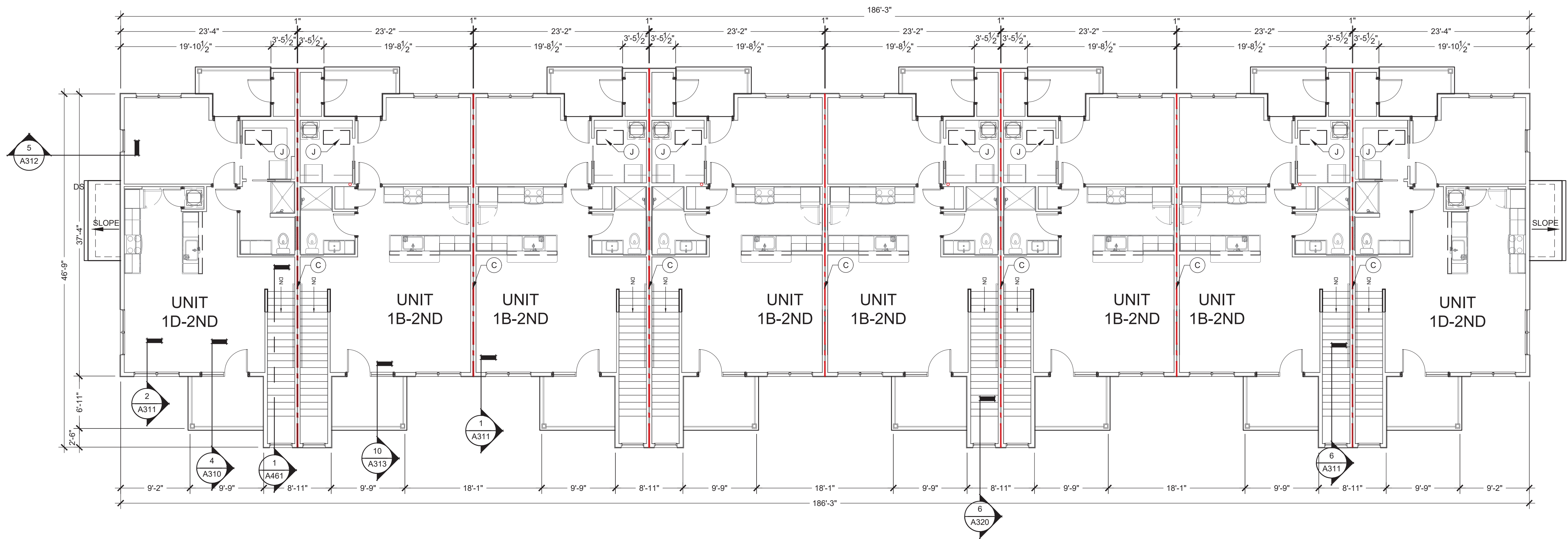
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SHEET TITLE
SITE DETAILS

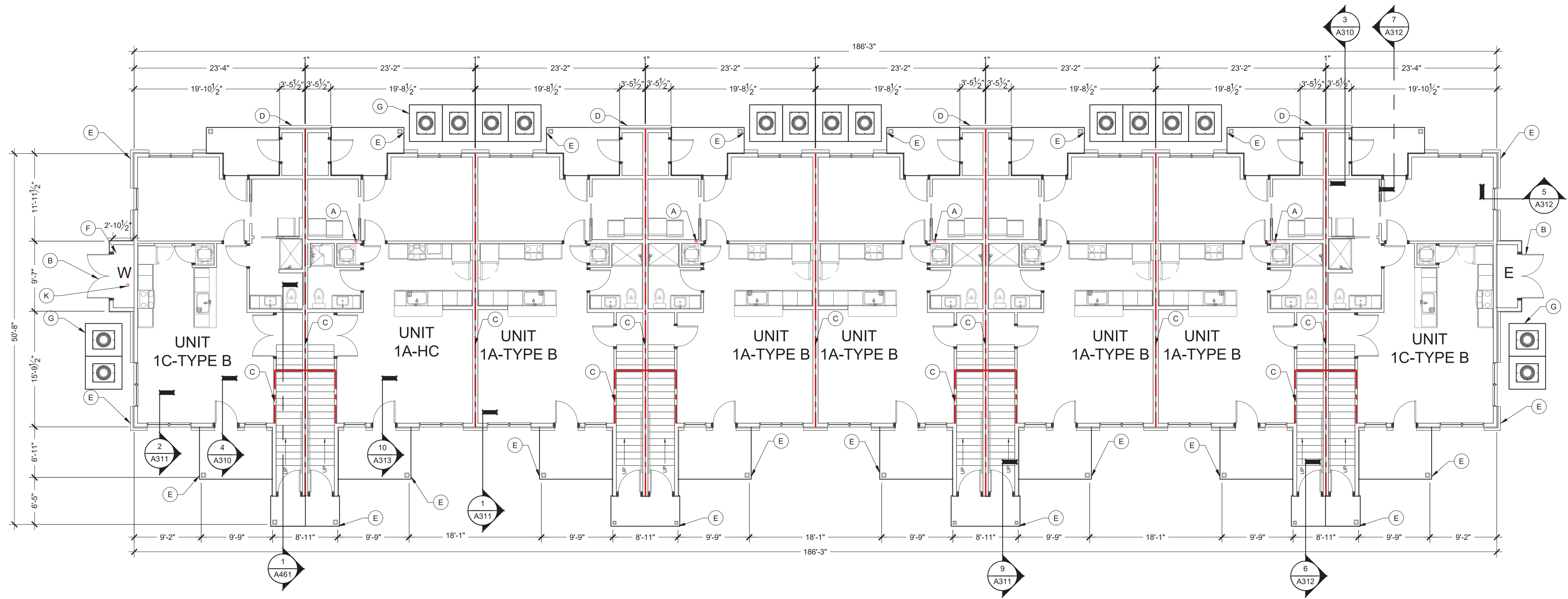
SHEET NUMBER

A020



2 FLOOR PLAN BUILDING TYPE-A - LEVEL 2

Scale: $1/8" = 1' - 0"$



1 FLOOR PLAN BUILDING TYPE-A - LEVEL 1

Scale: $1/8" = 1' - 0"$

GENERAL FLOOR PLAN NOTES







1. FLOOR TRUSSES ARE TO BE POSITIONED SO THEY DO NOT INTERFERE WITH PLUMBING AND HVAC. ADJUST SPACING AS NECESSARY. REFER TO MECHANICAL AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
2. DETAILED FLOOR AND ROOF TRUSS FRAMING DIAGRAMS ARE TO BE FURNISHED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE.
3. PROVIDE A MINIMUM OF 1/4" TO 3/8" OF CLEARANCE AROUND TRUSSES. APPROXIMATELY 1/2" TO ACCOMMODATE SHRINKAGE AT GROUND LEVEL OF WOOD BUILDINGS 3-4 STORIES AND GREATER FOR 5 STORIES.
4. ALL DIMENSIONS ARE TO FACE OF STUDS.
5. ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH ALL OTHER TRADES TO AVOID CONFLICTS. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SIZE AND QUANTITY OF OPENINGS, SLAB REQUIREMENTS AND LIMITS.
6. SEAL AROUND ALL PENETRATIONS TO INSURE TIGHT BUILDING ENVELOPE. SEE A330 AND A391 FOR ADDITIONAL INFORMATION.
7. PROVIDE FIRE SEALANT AROUND ALL PENETRATIONS THROUGH RATED WALLS.
8. ALL WALLS ARE PAINTED UNLESS NOTED OTHERWISE.
9. COORDINATE BUILDING STEP LOCATIONS WITH FLOOR ELEVATIONS SHOWN ON ARCHITECTURAL AND SITE-CASE PLANS.
10. PATIO SLOPES SHALL BE 1/4" PER FOOT MAX. AVOID FROM UNIT AND DOOR.
11. PROVIDE CONTROL JOINTS IN GYPSUM BOARD ASSEMBLIES AS RECOMMENDED BY MANUFACTURER. PROVIDE 1/2" C GUTTINGS SO NO DIMENSION EXCEEDS 80 FT. IN EITHER DIRECTION WHERE THERE IS A CONTROL JOINT. PROVIDE 1/2" C GUTTINGS IN EITHER DIRECTION WITHOUT PERMITTER RELIEF. DO NOT SEPARATE SUSPENSION SYSTEM. CALL OUT JOINT AND PAINT TO MATCH.
12. REFER TO C100 SERIES DRAWINGS FOR ADDITIONAL INFORMATION ON ACCESSORIES. SHEETS ARE INCLUDED FOR FURTHER GUIDE. CONTRACT SHOULD NOT MAKE ADJUSTMENTS TO THE PLANS WITHOUT APPROVAL FROM ARCHITECT.
13. REFER TO ELECTRICAL DRAWINGS AND E307 AND E308 FOR ADDITIONAL INFORMATION. PROVIDE INFORMATION OF DESIGN-BUILD SCOPE FOR ACCESS CONTROLS, SECURITY CAMERAS, DOOR OPERATORS, AND DATA/TV. ICONS AND SYMBOLS SHOWN ON FLOOR PLANS FOR ACCESS CONTROLS AND DATA/TV.
14. REFER TO WALL SECTIONS A300 SERIES FOR U/L ASSEMBLIES FOR HORIZONTAL ASSEMBLIES AND EXTERIOR WALL INFORMATION.
15. PROVIDE DEFLECTION CLIPS AT ALL NON-BEARING WALLS WHERE THE WALL IS TO BE STACKED. PROVIDE DEFLECTION CLIPS TO BE 1/2" WIDE (AS450). TYPICAL, WHERE UNITS ARE ABOVE AMENITY AREAS. SEE STRUCTURAL SET S310 FOR DETAILS.
16. HANDRAILS AT BALCONIES ON FLOORS 2 AND UP. NOT SHOWN ON FLOOR PLANS.
17. REFER TO A400 FOR MOUNTING DETAILS FOR ACCESS CONTROLS, DOOR OPENERS, CALL BOXES, AND PEDESTALS AT ENTRY DOORS.
18. REFER TO A510 FOR ADDITIONAL SPRINKLER DETAILS WHERE INSULATION MAY BE REQUIRED BELOW TOP OF ROOF DECK. TO BE COORDINATED WITH FIRE PROTECTION.
19. REFER TO A531 FOR ADDITIONAL PLAN DETAILS FOR "FIRE WALLS".
20. ALL CORRIDOR WALLS ARE TO BE WALL TYPE 1C1 WITH RC-DCLUXE RESISTANT CHANNEL ON THE CORRIDOR SIDE. UNLESS NOTED OTHERWISE, STRUCTURAL DETAILS FOR SHEARWALLS LOCATIONS. CORRIDORS ARE NOT USED FOR SHEARWALLS THIS PROJECT.
21. END LIST

 FLOOR PLAN KEYED NOTES:

- A. RADON VENT. REFER TO G110 FOR ADDITIONAL INFORMATION.
- B. DOUBLE 36" DOORS, INSULATED, SEE DOOR SCHEDULE #B01.
- C. 1 HOUR DEMISING WALL.
- D. METER CENTER, SEE ELECTRICAL DRAWINGS.
- E. DOWNSPOUT, SEE ROOF PLANS FOR MORE INFORMATION.
- F. SPRINKLER CLOSET, ONLY OCCURS ON ONE END OF BUILDING. SEE MECHANICAL SCHEDULE FOR SIZES AND LOCATIONS.
- G. MECHANICAL EQUIPMENT PAD, SEE FOUNDATION PLANS FOR SIZE AND LOCATION.
- H. PERFORATED TILE TO BE INSTALLED UNDER CONNECTING WALKWAY AT DOWNSPOUT. SEE SITE PLAN AND CIVIL DRAWINGS FOR LOCATION.
- I. CONCRETE MECHANICAL EQUIPMENT PADS, COORDINATE SIZE AND CLEARANCE WITH MECHANICAL EQUIPMENT.
- J. ATTIC ACCESS AT ALL FLOOR TURNS SEE DETAIL 6/A521.
- K. FLOOR DRAIN, SEE PLUMBING.

WALL LEGEND





(NOT ALL RATING LINE TYPES ARE
NECESSARILY USED IN THIS PROJECT)

- | | |
|---|--|
|  | <p>LOAD BEARING WALL OVERLAY
REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.</p> |
|  | <p>30 MINUTE RATED "FIRE PARTITION" AT CORRIDORS.</p> |
|  | <p>1 HR RATED "FIRE PARTITION": WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.</p> |
|  | <p>1 HR RATED "FIRE BARRIER": WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.</p> |
|  | <p>2 HR RATED "FIRE BARRIER": WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.</p> |
|  | <p>2 HR RATED "FIRE WALL" CONTINUOUS WITHOUT INTERRUPTION.</p> |

NOTES:

- SEE STRUCTURAL FOR ALL SHEAR WALL LOCATIONS.
- SEE WALL ASSEMBLY ON G030 AND G040 SERIES SHEETS FOR SPECIFIC ASSEMBLY REQUIREMENTS.
- RATED WALLS INSIDE UNITS ARE FIRE RATED DUE TO CONSTRUCTION TYPE OF BUILDING AND FIRE RATING REQUIRED FOR CERTAIN ELEMENTS IN ACCORDANCE WITH TABLE 601.

LOW VOLTAGE LEGEND

- | | |
|---|--|
|  | ACCESS CONTROLS |
|  | SECURITY CAMERA. SEE E020 AND E021 FOR ADDITIONAL INFORMATION. |
|  | AUTOMATIC DOOR OPENER |
|  | INTERCOM CALL BOX |
| | SEE E307 AND E308 FOR ADDITIONAL INFORMATION. |

CLIENT



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CONSULTANT [REDACTED]



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ARCHITECTURE, LLC
- quality & service -
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SEAL

PROGRESS
PRINT

PROJECT TITLE

KENNINGTON WAY
MCCORDSVILLE, IN 46055

ISSUED FOR:

DATE _____

REVISIONS

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DATE: 01-23-2024

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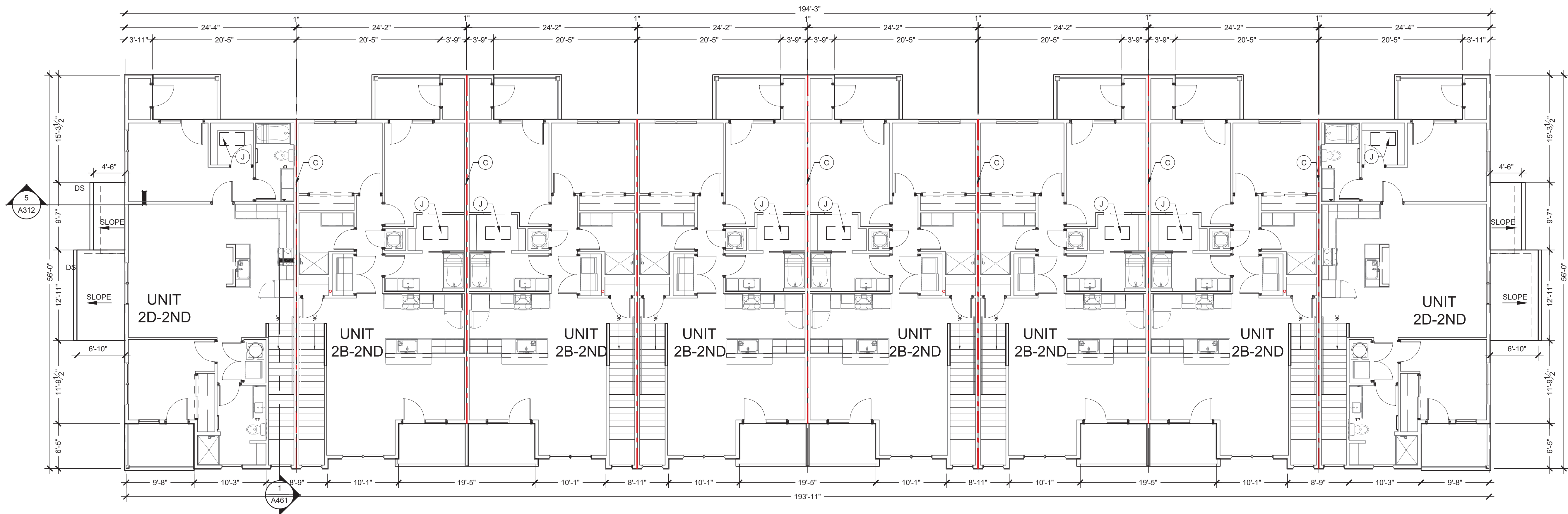
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SHEET TITLE

OVERALL FLOOR
PLANS
LEVEL 1-2

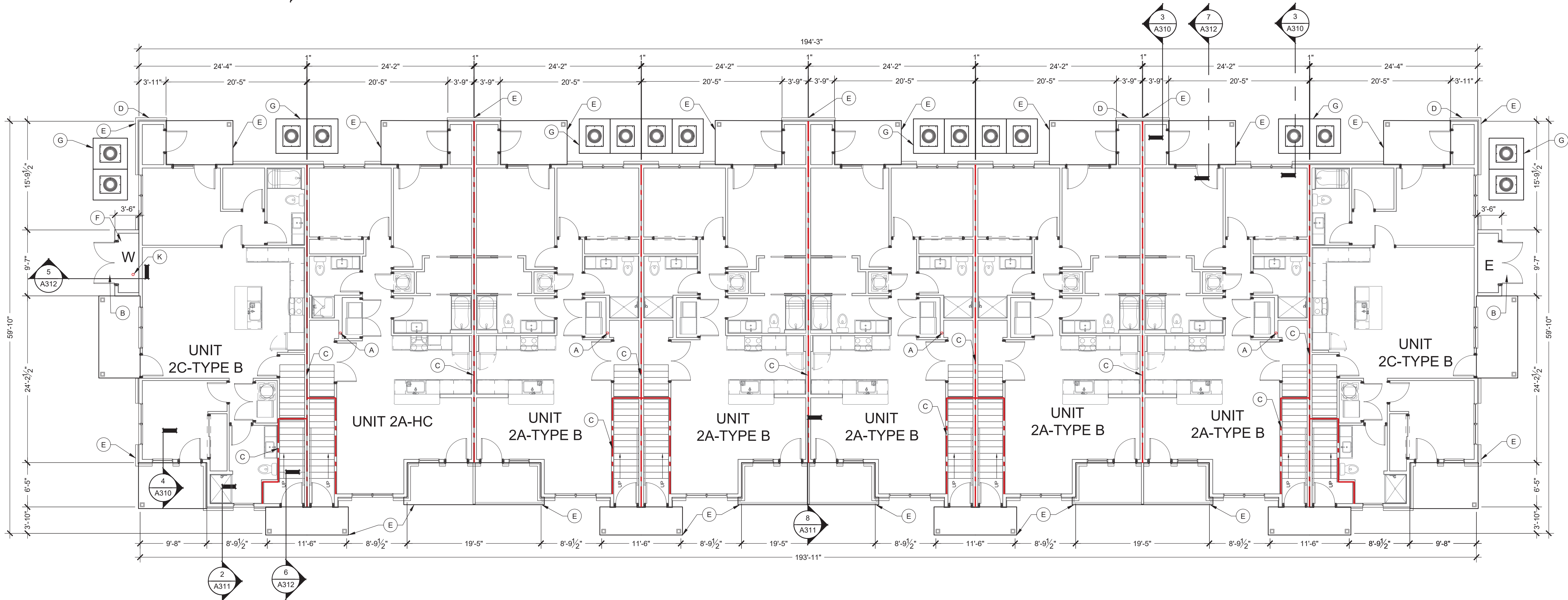
SHEET NUMBER

A101



2 FLOOR PLAN BUILDING TYPE-B- LEVEL 2

Scale: 1/8" = 1' - 0"



1 FLOOR PLAN BUILDING TYPE-B- LEVEL 1

Scale: 1/8" = 1' - 0"

GENERAL FLOOR PLAN NOTES

- FLOOR TRUSSES ARE TO BE POSITIONED SO THEY DO NOT INTERFERE WITH PLUMBING AND HVAC. ADJUST SPACING AS NECESSARY. REFER TO SPECIFICATIONS AND STRUCTURAL PLANS FOR ADDITIONAL INFORMATION.
- DETAILED FLOOR AND ROOF TRUSS FRAMING DIAGRAMS ARE TO BE FURNISHED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE.
- ROUGH OPENINGS IN EXTERIOR WALLS SHALL BE UPSIZE APPROXIMATELY 1/2" TO ACCOMMODATE SHRINKAGE AT GROUND FLOOR OF WOOD BUILDINGS 3-4 STORIES AND GREATER FOR 5 STORIES.
- ALL DIMENSIONS ARE TO FACE OF STUDS.
- ALL CONTRACTORS ARE REQUIRED TO COORDINATE THEIR WORK WITH ALL DISCIPLINES TO AVOID CONFLICTS. SEE MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION REGARDING SIZE AND QUANTITY OF OPENINGS, SLAB REQUIREMENTS AND LINTELS. INCLUDE FIRE PROTECTION NOT SHOWN ON PLANS.
- SEAL AROUND ALL PENETRATIONS TO INSURE TIGHT BUILDING ENVELOPE. SEE A390 AND A391 FOR ADDITIONAL INFORMATION.
- PROVIDE FIRE SEALANT AROUND ALL PENETRATIONS THROUGH RATED WALLS.
- ALL WALLS ARE PAINTED UNLESS NOTED OTHERWISE.
- COORDINATE BUILDING STEP LOCATIONS WITH FLOOR ELEVATIONS SHOWN ON ARCHITECTURAL AND CIVIL SITE PLANS.
- PATIO SLOPES SHALL BE 1/4" PER FOOT MAX. AWAY FROM UNIT AND DOORS.
- PROVIDE CONTROL JOINTS IN GYPSUM BOARD ASSEMBLIES AS RECOMMENDED BY MANUFACTURER. PROVIDE CJ IN CEILINGS SO NO DIMENSION EXCEEDS 50 FT. IN EITHER DIRECTION WHERE THERE IS PERIMETER RELIEF OR 30 FT. IN EITHER DIRECTION WITHOUT PERIMETER RELIEF. DO NOT SEPARATE SUSPENSION SYSTEM. CAULK JOINT AND PAINT TO MATCH.
- REFER TO G100 SERIES DRAWINGS FOR ADDITIONAL INFORMATION ON ACCESSIBILITY. SHEETS ARE INCLUDED FOR REFERENCE ONLY. CONTRACT SHOULD NOT MAKE ADJUSTMENTS TO THE PLANS WITHOUT APPROVAL FROM ARCHITECT.
- REFER TO ELECTRICAL DRAWINGS AND E307 AND E308 FOR ADDITIONAL INFORMATION AND CLARIFICATION OF DESIGN-BUILD SCOPE FOR ACCESS CONTROLS, SECURITY CAMERAS, DOOR OPERATORS, AND DATA TV. ICONS AND SYMBOLS SHOWN ON FLOOR PLANS FOR COORDINATION ACROSS DESIGN DISCIPLINES.
- REFER TO WALL SECTIONS A300 SERIES FOR UL ASSEMBLIES FOR HORIZONTAL ASSEMBLIES AND EXTERIOR WALL INFORMATION.
- PROVIDE DEFLECTION CLIPS AT ALL NON-BEARING WALLS WHERE THE WALLS DO NOT STACK VERTICALLY THROUGH THE BUILDING. SEE (A)540. TYPICAL WHERE UNITS ARE ABOVE AMENITY AREAS. SEE STRUCTURAL SET S310 FOR DETAIL.
- HANDRAILS AT BALCONIES ON FLOORS 2 AND UP. NOT SHOWN ON FLOOR PLANS.
- REFER TO A400 FOR MOUNTING DETAILS FOR ACCESS CONTROLS, DOOR OPENERS, CALL BOXES, AND PEDESTALS AT ENTRY DOORS.
- REFER TO A510 FOR ADDITIONAL SPRINKLER DETAILS WHERE INSULATION MAY BE REQUIRED BELOW TOP OF ROOF DECK. TO BE COORDINATED WITH FINAL SPRINKLER INSTALLER.
- REFER TO A531 FOR ADDITIONAL PLAN DETAILS FOR "FIRE WALLS".
- ALL CORRIDOR WALLS ARE TO BE WALL TYPE 1C1 WITH RC-DELUXE RESILIENT CHANNEL ON THE CORRIDOR SIDE, UNLESS NOTED DIFFERENTLY. SEE STRUCTURAL FOR SHEARWALL LOCATIONS. CORRIDORS ARE NOT USED FOR SHEARWALLS THIS PROJECT.
- END LIST

FLOOR PLAN KEYED NOTES:

- A. RADON VENT. REFER TO G110 FOR ADDITIONAL INFORMATION.
B. DOUBLE 36" DOORS, INSULATED, SEE DOOR SCHEDULE #B01.
C. 1 HOUR DEMISING WALL.
D. METER CENTER, SEE ELECTRICAL DRAWINGS.
E. DOWNSPOUT, SEE ROOF PLANS FOR MORE INFORMATION.
F. SPRINKLER CLOSET, ONLY OCCURS ON ONE END OF BUILDING. SEE ARCHITECTURAL SITE PLAN FOR LOCATION.
G. MECHANICAL EQUIPMENT PAD, SEE FOUNDATION PLANS FOR SIZE AND LOCATION.
H. PERFORATED TILE TO BE INSTALLED UNDER CONNECTING WALKWAY AT DOWNSPOUT, SEE SITE PLAN AND CIVIL DRAWINGS FOR LOCATION OF WALKWAY.
I. CONCRETE MECHANICAL EQUIPMENT PADS, COORDINATE SIZE AND CLEARANCE WITH MECHANICAL EQUIPMENT.
J. ATTIC ACCESS AT ALL TOP FLOOR UNITS. SEE DETAIL 6/A521.
K. FLOOR DRAIN, SEE PLUMBING.

WALL LEGEND

- (NOT ALL RATING LINE TYPES ARE NECESSARILY USED IN THIS PROJECT)
- LOAD BEARING WALL OVERLAY
REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.
30 MINUTE RATED "FIRE PARTITION": AT CORRIDORS.
- 1 HR RATED "FIRE PARTITION": WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.
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 - RATED WALLS INSIDE UNITS ARE FIRE RATED DUE TO CONSTRUCTION TYPE OF BUILDING AND FIRE RATING REQUIRED FOR CERTAIN ELEMENTS IN ACCORDANCE WITH TABLE 601.

LOW VOLTAGE LEGEND

- AC ACCESS CONTROLS
SECURITY CAMERA. SEE E020 AND E021 FOR ADDITIONAL INFORMATION.
DO AUTOMATIC DOOR OPENER
CB INTERCOM CALL BOX
SEE E307 AND E308 FOR ADDITIONAL INFORMATION.

CLIENT



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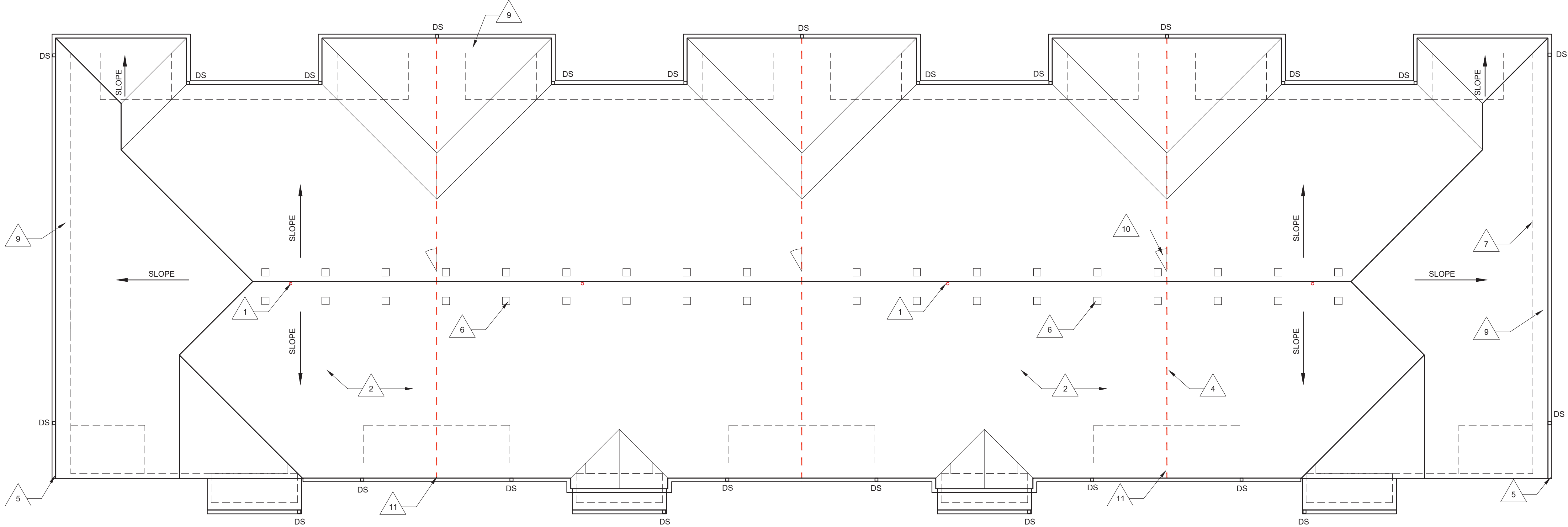
SHEET TITLE

OVERALL FLOOR
PLANS
LEVEL 1-2

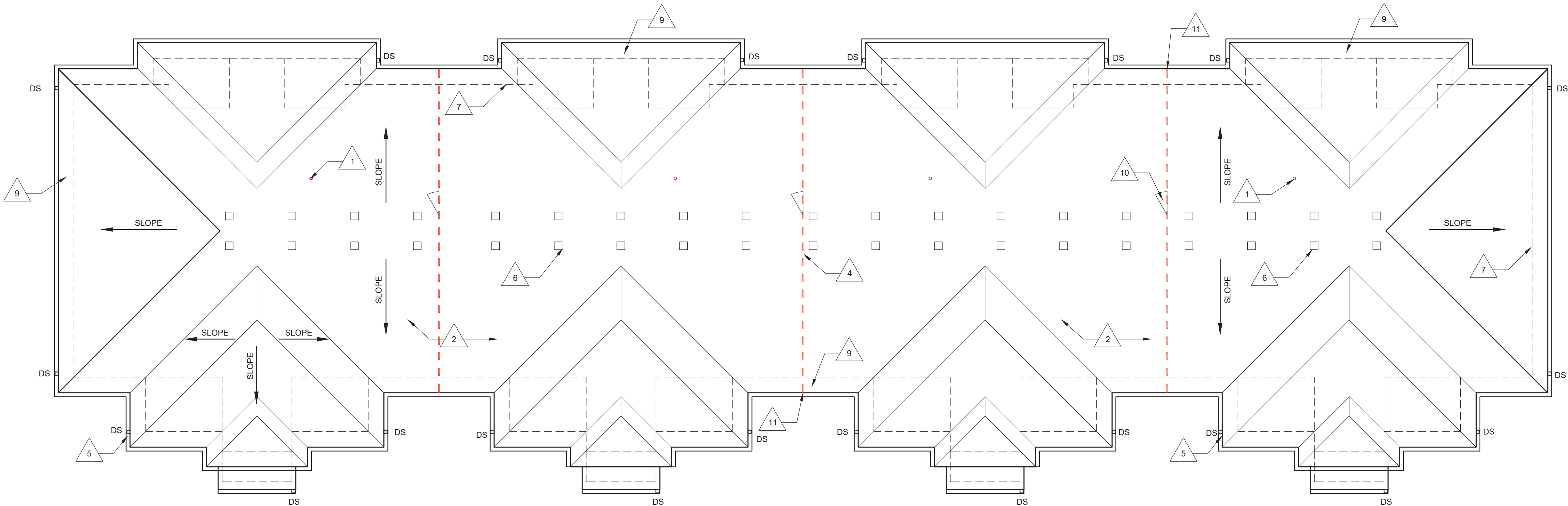
SHEET NUMBER

A102

ROOF DRAINAGE CALCULATIONS					
UPDATED	12/22/2023				
Rainfall Intensity:	3.10	inches / hr / sf			
Reference Location:	Indianapolis				
=	0.2583	cub ft / hr / sf			
=	1.9323	gph / sqft			
=	0.0322	gpm / sqft			
Actual Roof Area	1000				
ROOF PITCH FACTOR:	1.00				
Calculated Roof Area	1000				
Roof Area Flow Rate	32.21	gpm to gutter.			
Notes					
Roof Pitch Factors.		Gutter Sizing 1/4" / foot		Downspout Sizing	
12:12+	1.3	4" dia.	39	2 1/2" x 3"	92
9:12 - 11:12	1.2	5" dia.	74	3 1/2" x 4"	192
6:12 - 8:12	1.1	6" dia.	110	4" x 5"	360
4:12 - 5:12	1.05	3" x 5"	157	5 x 6"	563
Flat - 3:12	1.0	4 1/2" x 6"	348		
		IBC 1106.6		IBC 1106.3	



1 ROOF PLAN BUILDING TYPE B Scale: 1/8" = 1' - 0"



1 ROOF PLAN BUILDING TYPE A Scale: 1/8" = 1' - 0"

GENERAL NOTES - ROOF PLAN

1. DETAILED FLOOR AND ROOF TRUSS FRAMING DIAGRAMS ARE TO BE FURNISHED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE WHERE THE PROJECT IS TO BE LOCATED.
2. THE TRUSS MANUFACTURER SHALL PROVIDE ENGINEERED PERMANENT ROOF TRUSS BRACING AS REQUIRED BY THE CODE.
3. LOCATE HIGH-POINT OF GUTTER AT MID-SPAN IN BETWEEN DOWNSPOUTS UNLESS INDICATED OTHERWISE ON THE ROOF PLAN. DOWNSPOUTS TO BE PROVIDED WITH EXTENSIONS TO ENSURE ALL WATER DISCHARGES NO LESS THAN 6' FROM BUILDING FOUNDATION OR DIRECTLY INTO STORM SYSTEM.
4. THE ENTIRE BUILDING ENVELOPE INCLUDING ROOF, WALLS, & FLOORS TO BE DRIED IN PRIOR TO THE STORAGE AND INSTALLATION OF INTERIOR FINISH MATERIALS. IN ADDITION, THE OWNER'S REPRESENTATIVE IS RESPONSIBLE FOR VERIFYING THAT THERE HAS BEEN NO EVIDENCE OF WATER PENETRATING THE BUILDING ENVELOPE OR WATER LEAK FROM MECHANICAL AND/OR FIRE SPRINKLER SYSTEMS PRIOR TO ENCLOSING THE WALL, CEILING OR ROOF CAVITIES.
5. ARROWS ON THE ROOF PLAN INDICATE WATER DRAINAGE DIRECTION.
6. FRAMING SUB-CONTRACTOR, PANEL MANUFACTURER, ROOFING SUPPLIERS, ROOF TRUSS MANUFACTURERS AND INSTALLERS SHALL REVIEW ALL ROOFING DETAILS AND ADVISE ARCHITECT ON ANY RECOMMENDED CHANGES. UNLESS NOTED OTHERWISE, ROOFING SUPPLIERS, MANUFACTURERS AND INSTALLERS WILL BE ASSUMED TO HAVE REVIEWED AND APPROVED THE DETAILS SHOWN.
7. PRIME ALL METAL TO BE IN CONTACT WITH ROOFING MATERIALS.
8. "DS" INDICATES DOWN SPOUT, "RV" INDICATES RADON VENT.
9. PROVIDE FLASHING PER DETAILS AT ALL CONDUIT AND HVAC LINES PENETRATING THE ROOF.
10. CONTRACTOR AND ALL SUB-TRADES SHALL BE AWARE AND EXERCISE THE NECESSARY CARE TO PREVENT DAMAGE TO OR PUNCTURE OF THE ROOF. THIS SHALL INCLUDE ALL SHARP MATERIALS, TOOLS, MATERIAL SCRAPS OR MATERIALS HAVING A DELETERIOUS AFFECT ON THE ROOFING MATERIAL.
11. PROVIDE SOFFIT DRAFTSTOPPING AT 20' MAX. INTERVALS.
12. SEPARATE DISSIMILAR METALS AS THEY OCCUR PER MANUFACTURER'S RECOMMENDATIONS. REVIEW MATERIALS AND METHODS WITH ARCHITECT.
13. THE ROOF ASSEMBLY IS CONSIDERED A COMPLETE ROOF ASSEMBLY. ARCHITECTS DRAWINGS DO NOT INCLUDE ALL ACCESSORIES, FLASHING, TRANSITIONS, AND INSTALLATION DETAILS AS REQUIRED BY MANUFACTURER. OMISSIONS OF ANY ACCESSORY FROM THE ROOF PLAN SHALL NOT RELIEVE THE G.C. OR SUB-CONTRACTOR FROM PROVIDING A COMPLETE SYSTEM.
14. PROVIDE "ICE & WATER SHIELD" AROUND ALL PENETRATIONS, VALLEYS, AND ALONG EAVES. EXTEND 24" FROM FACE OF EXT. WALL.
15. PROVIDE A 24X36 MIN. OPENING TO ALL ROOF CAVITIES TO CONNECT TO THE MAIN VOLUME OF SPACE FOR VENTING AND ACCESS. RIDGE VENTS MAY BE USED AT GABLES ONLY.

ROOF LEGEND

(NOT ALL RATING LINE TYPES ARE NECESSARILY USED IN THIS PROJECT)

- 2 HR RATED "FIRE WALL" CONTINUOUS WITHOUT INTERRUPTION.
- 1 HR RATED "FIRE BARRIER" WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.
- DRAFT STOPPING - ALIGN WITH DEMISING WALLS. LIMIT CAVITY TO 3000 SQ. FT OR (2) UNITS (WHAT EVER IS LESS). ALIGN WITH 1' SIDE OF THE CORRIDOR. IBC 718.3.1 - DRAFTSTOPPING, WHERE SHOWN, IS INTENDED TO STOP THE PASSAGE OF AIR. ALIGN WITH FIRE RATED WALLS ("FIRE BARRIERS") BELOW.

1 ROOF PLAN KEYED NOTES

1. RADON VENT. REFER TO G110 FOR ADDITIONAL INFORMATION.
- 1.1. OFFSET PIPE IN ROOF CAVITY TO AVOID FIRE TREATED DECKING.
2. ASPHALTIC ROOF SHINGLES ON SYNTHETIC UNDERLAYMENT, 30 YEAR WARRANTY, ENERGY STAR, ANTI-FUNGAL RATED. BASIS OF DESIGN - OWENS CORNING, OAKRIDGE.
3. not used
4. DRAFTSTOPPING IN CEILING-ROOF CAVITY BELOW. ACCEPTABLE DRAFTSTOPPING MATERIALS INCLUDE:
 - 4.1. 1/2" GYPSUM BOARD
 - 4.2. 1/2" WOOD STRUCTURAL PANELS
 - 4.3. 1/2" PARTICLE BOARD
 - 4.4. 1" NOMINAL LUMBER
 - 4.5. CEMENT FIBERBOARD
 - 4.6. MINERAL WOOL
5. TYPICAL GUTTER. REFER TO ELEVATIONS FOR DOWNSPOUT LOCATIONS. GUTTERS TO BE 6" WIDE X 6" DEEP. SLOPE TO BE 1/16" PER 1'-0". DOWNSPOUTS TO BE 5" WIDE X 5" DEEP. SEE 12/A520.
6. ROOF VENT, 144 SQ. INCHES FREE AREA, MIN. TYPICAL SEE VENTILATION CHART.
7. LINE OF WALLS BELOW.
8. ATTIC ACCESS HATCH IN CEILING AT TOP FLOOR. SIZE 20"x40" MINIMUM.
9. SOFFIT VENTS, 5 SQ. INCHES / FOOT MIN..
10. DOOR THROUGH DRAFTSTOPPING COMPARTMENTS. SEE SHEET B/A521.
11. EXTEND DRAFT STOPPING TO EDGE OF OVERHANG IN THE ROOF ATTIC SPACE. ALIGN WITH UNIT DEMISING WALL BELOW.
12. END LIST

CLIENT



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SEAL

PROGRESS PRINT

PROJECT TITLE

KENNINGTON WAY
MCCORDSVILLE, IN 46055

ISSUED FOR: DATE:

REVISIONS

MARK	DESCRIPTION	DATE

DATE: 01-23-2024

DRAWN BY: BP

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SHEET TITLE

ROOF PLANS

SHEET NUMBER

A103



CLIENT

TRG THE RIDGE GROUP

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SHEET TITLE
RENDERINGS
TYPE A

SHEET NUMBER




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SHEET TITLE
RENDERINGS
TYPE B

SHEET NUMBER
A202



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SEAL

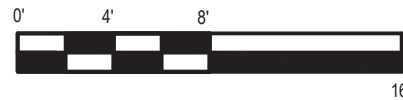
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PROJECT TITLE

KENSINGTON WAY
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REVISIONS		
MARK	DESCRIPTION	DATE
DATE:		01-23-2024
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CHECKED BY:		BP
SHEET TITLE		
RENDERINGS CLUBHOUSE		
SHEET NUMBER		

A203



1. FOUNDATION SHOWS FOR REFERENCES ONLY. SEE STRUCTURAL.
2. SEAL ALL PENETRATION WITH SEALANT TO MATCH ADJACENT MATERIALS.
3. SEAL ALL JOINTS FOR ROOF SLOPE, DOWNSPOUT, GUTTER AND ROOF VENT.
4. ALL SIDING AND TRIM TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. TOUCH UP PRIMER AND PRIMER AT ALL CUTS WHERE COMPOSITE WOOD FIBERS ARE USED.
5. REVIEW ALL PENETRATIONS THROUGH SHEARWALL WITH STRUCTURAL. ANY PENETRATION NOT IN APPROVED ZONES SHOULD BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY.
6. PROVIDE FLASHING CUT INTO BRICK WHERE ROOF OR CANOPY TERMINATES INTO BRICK WALL. PROVIDE 1" FULL COARSE VERICAL COVERAGE, MIN. 2" MIN. OF THE STRUCTURAL ENGINEER IMMEDIATELY.
7. RECEIVE A FACTORY FINISH (THIS IS NOT SPECIFIED OR INDICATED TO RECEIVE A FACTORY FINISH)
8. PAINT ALL DRYER AND EXHAUST VENTS TO MATCH SIDING. SEE A600 SERIES FOR DRYER VENT DETAILS.
9. REFER TO DOOR AND WINDOW SCHEDULES FOR TYPES AND SIZES. SEE A600 SERIES.
10. ALL TRIM TO BE 5/4" UNLESS OTHERWISE NOTED.
11. SIDEWALKS AT BUILDING AND STRUCTURES ON AN ACCESSIBLE ROUTE TO BE 48" HIGH WITH FINISH FLOOR TO MATCH EXISTING SIDEWALKS IN ACCORDANCE WITH ADA STANDARDS.
12. ALL EXPOSED FLASHING TO BE FACTORY FINISHED BY MANUFACTURER / SUPPLIER WITH WATER WASHABLE FINISH.
13. ARCHITECTURAL FINISH FLOOR ELEVATION OF 0'-0" IS EQUAL TO THE HIGHEST GROUND FLOOR ELEVATION AT EACH BUILDING LISTED ON THE CIVIL FINISH SCHEDULE. SEE CIVIL SCHEDULE FOR GROUND ELEVATIONS.
14. ALL SOFFITS TO BE PAINTED TO MATCH THE FRONT FACE OF THE WALL THAT IT TIES INTO ABOVE IT.
15. PAINT LOUZE LINEETS AT PRESSURE TO MATCH ADJACENT BRICK COLOR.
16. BALCONY FRAMES WITH BRICK SURFACE TREATED LUMEN EXPOSED FROM BELOW UNPAINTED FINISH.
17. SEE A600 SERIES FOR TYPICAL EXTERIOR DETAILS, FLASHING CONDITIONS, WALL PENETRATIONS, TRANSITION DETAILS, AIR & WATER BARRIER SYSTEMS. RECOMMENDED INSTALLATION DETAIL.
18. END LIST!

EXTERIOR MATERIAL LEGEND		
TAG	MATERIAL	COLOR
L1	LAP SIDING, LP SMART SIDING, 7" LAP, PRE-FINISHED.	SNOWSCAPE WHITE
L2	LAP SIDING, LP SMART SIDING, 5" LAP, PRE-FINISHED, 2 TONE WOOD GRAIN BY WOODTONE, RUSTIC SERIES	ROSEWOOD
P1	LP SMARTSIDING SMOOTH PANELS, WITH BLACK ALUM. TRIM.	SNOWSCAPE WHITE
P2	LP SMARTSIDING SMOOTH PANELS, WITH CLEAR ANODIZED ALUM. TRIM.	RAPIDS BLUE
B1	BRICK, TERRE HAUTE, IN.	DOMINO
S1	VERTICAL METAL PANEL HWP 16, PAC CLAD, ALUMINIUM .040".	ANODIC CLEAR

- A. 5/4" X 10" FASCIA BOARD WITH GUTTER. COLOR GUTTER AND FASCIA WHITE. SEE SPECIFICATIONS FOR MATERIAL AND PROFILE.
- B. 1/2" X 1/2" X 1/2" DRAINAGE BOARD. COLOR WHITE. SEE SPECIFICATIONS.
- C. BRICK DETAILS (SWEETS AT TOP AND BOTTOM OF WALL). COLOR: C1. SLOPED PRECAST SLIT. ARCHITECT TO CHOOSE FROM SUPPLIER'S CATALOGUE. C2. SLIDER COURSE OVER WINDOWS WITH PAINTED STEEL LINTEL AND VERTICAL WAFFER VENEER. COLOR TO MATCH BRICK.
- D. ELECTRIC METER BANK. TRIM OUT AREA FOR METERS AND FINISH WITH 1/2" X 1/2" X 1/2" DRAINAGE BOARD. COLOR WHITE. MATCH BRICK.
- E. 1/4" METER BOARD. MATCH COLORS OF SIDING BELOW.
- E.1. X" WIDE TRIM AROUND WINDOWS AND DOORS.
- E.2. X" WIDE TRIM AT TOP AND BOTTOM OF WINDOWS.
- E.3. X" HORIZONTAL BANE TRIM ABOVE BRICK.
- E.4. X" HORIZONTAL BANE "BELOW OVERHANG / SOFFIT". SEE DETAILS FOR FINISH.
- F. GUTTERS & DOWNSPOUTS. MATCH ADJACENT CORNER / SIDING COLOR. THE INFO INTO STRUT SYSTEM. SEE CIVIL PLANS. PAINT EXPOSED METAL SURFACES AND DOWNSPOUTS.
- G. LIGHTING WALL PANEL. ADD ADDITIONAL NOTES ON THE LIGHTING FIXTURES SCHEDULE.
- H. ASPHALT SHINGLE ROOF. 30 YEAR WARRANTY ON SYNTHETIC UNDERLAYMENT AND 60 YRS DECKING ON PRE-ENGINEERED WOOD TRUSSES.
- I. EDGE OF ROOF WITH DRY EDGE AND 4" TRIM, TYPICAL.
- J. 1/2" X 1/2" X 1/2" DRAINAGE BOARD. COLOR WHITE. SEE SPECIFICATIONS.
- K. ALUMINUM RAILING TYPICAL. SEE ADDITIONAL NOTES ON BALCONY FRAMING PLANS. NO RAILINGS REQUIRED ON GROUND FLOOR AT BALCONY.
- L. COMPOSITE POST: REAL POST - SMOOTH, PAINT HIGH GLOSS MATCH CANOPY POST "P". WRAP TOP OF COLUMN WITH 5/4 X 10" TRIM AND BOTTOM WITH 5/4 X 10" TRIM / PAINT COLOR.
- M. BOARD & BATTEN FIBER CEMENT SIDING. COLOR: N. METAL ROOF PROFILE: COLOR: O. LAP SIDING, FIBER CEMENT, 7" EXPOSURE. COLOR: P. METAL WALL SILLCOSE, SEE LIGHTING SCHEDULE.
- END LIST

TRG THE
RIDGE
GROUP

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PROJECT TITLE

KENNSINGTON WAY
MCCORDSVILLE, IN 46055

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MARK	DESCRIPTION	DATE
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DATE: 01-23-2024

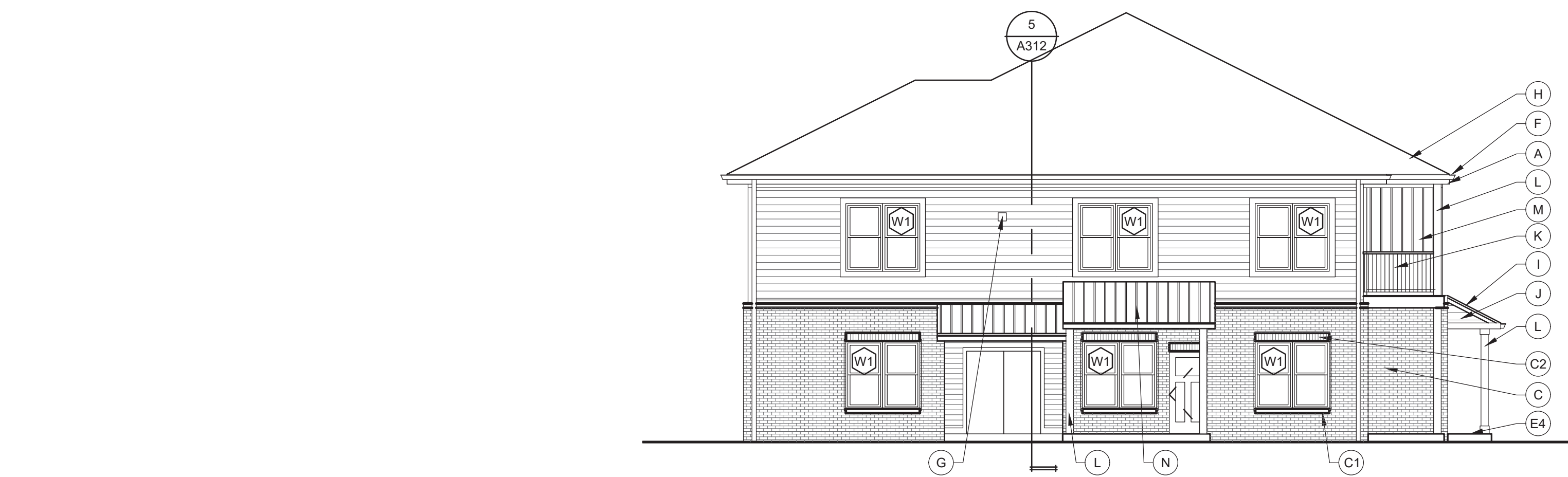
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SHEET TITLE
ELEVATIONS

SHEET NUMBER

A210



4 ELEVATION - TYPE B - SIDE

Scale: 1/8" = 1' - 0"



3 ELEVATION - TYPE B - SIDE

Scale: 1/8" = 1' - 0"



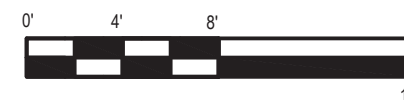
2 ELEVATION - TYPE B - REAR OVERALL

Scale: 1/8" = 1' - 0"



1 ELEVATION - TYPE B - FRONT OVERALL

Scale: 1/8" = 1' - 0"



GENERAL ELEVATION NOTES

- FOUNDATION SHOWN FOR REFERENCES ONLY. SEE STRUCTURAL.
- SEAL ALL PENETRATION WITH SEALANT TO MATCH ADJACENT MATERIALS.
- SEE ROOF PLANS FOR ROOF SLOPE, DOWNSPOUT, GUTTER AND ROOF VENT INFORMATION.
- ALL SIDING AND TRIM TO BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS. TOUCH UP PAINT AND PRIMER AT ALL CUTS WHERE COMPOSITE WOOD FIBERS ARE USED.
- REVIEW ALL PENETRATIONS THROUGH SHEARWALL WITH STRUCTURAL. ANY PENETRATION NOT IN APPROVED ZONES SHOULD BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER IMMEDIATELY.
- PROVIDE FLASHING CUT INTO BRICK WHERE ROOF OR CANOPY TERMINATES INTO BRICK WALL. PROVIDE 1 FULL COARSE VERTICAL COVERAGE, MIN.
- PAIN'T ALL EXPOSED METAL THAT IS NOT SPECIFIED OR INDICATED TO RECEIVE A FACTORY FINISH.
- PAIN'T ALL DRYER AND EXHAUST VENTS TO MATCH SIDING. SEE A500 SERIES FOR DRYER VENT DETAILS.
- REFER TO DOOR AND WINDOW SCHEDULES FOR TYPES AND SIZES. SEE A600 SERIES.
- ALL TRIM TO BE 5/4" UNLESS OTHERWISE NOTED.
- SIDEWALKS AT BUILDING AND STRUCTURES ON AN ACCESSIBLE ROUTE TO BE FLUSH WITH FINISH FLOOR AT DOORS AND MUST SLOPE AWAY IN ACCORDANCE WITH ADA STANDARDS.
- ALL EXPOSED FLASHING TO BE FACTORY FINISHED BY MANUFACTURER / SUPPLIER OR MATERIAL WHICH IS BEING FLASHED.
- ARCHITECTURAL FINISH FLOOR ELEVATION OF 0'-0" IS EQUAL TO THE HIGHEST GROUND FLOOR ELEVATION AT EACH BUILDING LISTED ON THE CIVIL FINISH FLOOR ELEVATIONS. SEE CIVIL DRAWINGS.
- ALL SOFFITS TO BE PAINTED TO MATCH THE FRONT FACE OF THE WALL THAT IT DIES INTO ABOVE IT.
- PAIN'T LOOSE LINTELS AT THE BRICK TO MATCH ADJACENT BRICK COLOR.
- ALL BALCONIES FRAMED WITH PRESSURE TREATED LUMBER EXPOSED FROM BELOW WITHOUT PAINTED FINISH.
- SEE A600 SERIES FOR TYPICAL EXTERIOR DETAILS, FLASHING CONDITIONS, WALL PENETRATIONS, TRANSITION DETAILS, AND AIR & WATER BARRIER SYSTEM RECOMMENDED INSTALLATION DETAILS.
- END LIST

EXTERIOR MATERIAL LEGEND

TAG	MATERIAL	COLOR
L1	LAP SIDING, LP SMART SIDING, 7" LAP, PRE-FINISHED.	SNOWSCAPE WHITE
L2	LAP SIDING, LP SMART SIDING, 5" LAP, PRE-FINISHED, 2 TONE WOOD GRAIN BY WOODTONE, RUSTIC SERIES	ROSEWOOD
P1	LP SMARTSIDING SMOOTH PANELS, WITH BLACK ALUM. TRIM.	SNOWSCAPE WHITE
P2	LP SMARTSIDING SMOOTH PANELS, WITH CLEAR ANODIZED ALUM. TRIM.	RAPIDS BLUE
B1	BRICK, TERRE HAUTE, IN.	DOMINO
S1	VERTICAL METAL PANEL HWP 16, PAC CLAD, ALUMINIUM .040"	ANODIC CLEAR

ELEVATION KEYED NOTES

- A. 5/4" X 10" FASCIA BOARD WITH GUTTER. COLOR GUTTER AND FASCIA WHITE. SEE SPECIFICATIONS FOR MATERIAL AND PROFILE.
- B. VINYL WINDOW, BLACK, TYPICAL.
- C. BRICK DETAILS (WEEPS AT TOP AND BOTTOM OF WALL). COLOR: C.1. SLOPED PRECAST SILL. ARCHITECT TO CHOOSE FROM SUPPLIERS STANDARD PROFILES. COLOR TO MATCH BRICK. C.2. SOLDIER COARSE OVER WINDOWS WITH PAINTED STEEL LINTEL AND VERTICAL WAFFER WEEPS. COLOR TO MATCH BRICK.
- D. ELECTRIC METER BANK. TRIM OUT AREA FOR METERS AND FINISH WITH FLAT SIDING PANELS. PAINT TO MATCH ADJACENT BRICK.
- E. 5/4" TRIM BOARD. MATCH COLORS OF SIDING BELOW.
- E.1. X6" WIDE TRIM AROUND WINDOWS AND DOORS.
- E.2. X6" WIDE TRIM AT INSIDE & OUTSIDE CORNERS.
- E.3. X4" HORIZONTAL BASE TRIM ABOVE BRICK.
- E.4. X6" HORIZONTAL BAND "BELOW OVERHANG / SOFFIT". SEE DETAILS.
- E.5. X6" TRIM ABOVE PATIO SLAB.
- F. GUTTERS & DOWNSPOUTS. MATCH ADJACENT COPING / SIDING COLOR. TIE INTO STORM SYSTEM. SEE CIVIL PLANS. PAINT EXPOSED PVC TO MATCH DOWNSPOUTS.
- G. LIGHTING WALL PACK. SEE ADDITIONAL NOTES ON THE LIGHTING FIXTURES SCHEDULE.
- H. ASPHALT SHINGLE ROOF. "30 YEAR WARRANTY" ON SYNTHETIC UNDERLAYMENT AND 5/8" OSB DECKING ON PRE-ENGINEERED WOOD TRUSSES.
- I. EDGE OF ROOF WITH DRIP EDGE AND 4" TRIM. TYPICAL.
- J. SMOOTH SIDING PANEL AT GABLE. TYPICAL.
- K. ALUMINUM RAILING TYPICAL. SEE ADDITIONAL NOTES ON BALCONY FRAMING PLANS. NO RAILINGS REQUIRED ON GROUND FLOOR AT BALCONIES.
- L. COMPOSITE POST, REAL POST - SMOOTH, PAINT HIGH GLOSS MATCH CANOPY NOTE "P" WRAP TOP OF COLUMN WITH 5/4"X6" TRIM AND BOTTOM WITH 5/4"X6" TRIM. PAINT COLOR.
- M. BOARD & BATTEN FIBER CEMENT SIDING. COLOR:
- N. METAL ROOF PROFILE. COLOR:
- O. LAP SIDING, FIBER CEMENT, 7" EXPOSURE. COLOR:
- P. PATIO WALL SCORCE. SEE LIGHTING SCHEDULE.
- Q. END LIST

CLIENT



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SEAL

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PROJECT TITLE

KENSINGTON WAY
MCCORDSVILLE, IN 46055

ISSUED FOR: DATE

REVISIONS

MARK DESCRIPTION DATE

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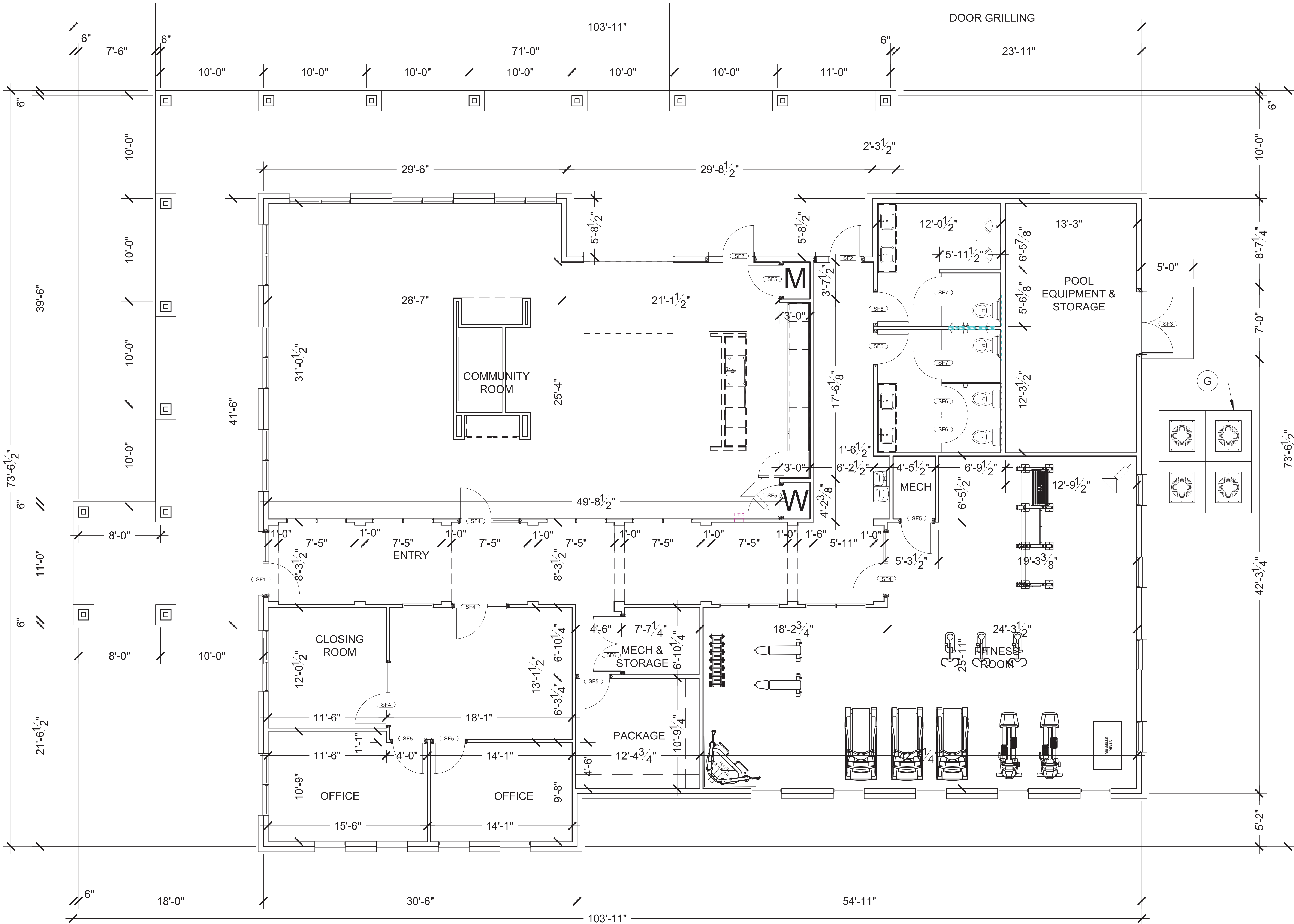
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SHEET TITLE
ELEVATIONS

SHEET NUMBER

A220



1 CLUBHOUSE FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A. SEE TYPICAL PLAN SHEETS FOR GENERAL NOTES.

GENERAL ELEVATION NOTES:

A. SEE TYPICAL ELEVATION SHEETS FOR GENERAL NOTES.

FLOOR PLAN KEYED NOTES:

- A. SLOPE APRON BETWEEN DOORS AS SHOWN PER POINT GRADES ON CIVIL DRAWINGS.
- B. PROVIDE VERTICAL 2X BLOCKING.
- C. OSB PANELS 1 SIDE OF DEMISING WALLS ONLY.
- D. ADA COMPLIANT THRESHOLD, NO STEP GREATER THAN 1/4" EITHER SIDE OF DOOR.
- E. LINE OF CMU CURB.
- F. WOOD FRAMING, NO INTERIOR WALL PANELS.
- G. CONTROLS AT ALL ACCESSIBLE PARKING BAYS TO BE < 48".
- H. SEMI RECESSED FIRE EXTINGUISHER AND CABINET. MOUNT < 48".
- I. 3/4" STEP AT DOOR.
- J. MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CAR SERVICE AISLE.
- K. 1 HR ASSEMBLY, EXTENDED TO UNDERSIDE OF DECK.
- L. SLOPE LESS THAN 2% EITHER DIRECTION WITHIN ACCESSIBLE PARKING BAY.
- M. MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CLEAR ACCESS ISLE.
- N. END LIST.

SECTION KEYED NOTES:

- 1. PROVIDE H1 TRUSS CLIPS @ EACH END.
- 2. TOP OF CMU BEYOND FOUND AT PERIMETER.
- 3. 2X4'S @ 16" O.C. W/ 7/16 OSB ON ONE SIDE ONLY. EXTEND TO UNDERSIDE OF ROOF DECKING.
- 4. TOP OF PAVEMENT REFER TO CIVIL.
- 5. TOP OF CONC. APRON COORDINATE WITH CIVIL.
- 6. BRICK BEYOND.
- 7. RETURN 1X5 F.C. TRIM BOARD.
- 8. 1X4 F.C. TRIM BOARD.
- 9. SECTIONAL OVERHEAD DOOR TRACK AND ELECT MOTOR.
- 10. 4" CONC. SLAB W/ 6"X6" #10@10 W.W.F. ON 6 MIL VAPOR BARRIER OVER 4" GRANULAR FILL.
- 11. ADJUST SLOPE AT DOOR TO MAINTAIN <2% SLOPE AND ALLOW FOR ADA THRESHOLD.
- 12. PROVIDE # 4 REBAR @ 4'-0" O.C. MIN. 8" EMBEDDED INTO CONCRETE.
- 13. GROUT CAVITY SOLID.
- 14. FINISHED GRADE VARIES WITHIN THIS AREA, REFER TO CIVIL.
- 15. 2 COURSES OF 8" CMU INCH WIDE W/ CELLS GROUTED SOLID.
- 16. TREATED 2X4 SILL W/ 12" ANCH. BOLT @ 4'-0" O.C. AND 12" FROM CORNER.
- 17. BRICK.
- 18. BRICK ROWLOCK 15 DEGREE MIN.
- 19. 2X4 STUD @ 16" O.C.
- 20. 7/16" O.S.B.
- 21. VINYL SOFFIT OR F.C. LAP SIDING.
- 22. 2x6 FASCIA WITH ALUM. WRAP.
- 23. FIBERGLASS SHINGLES ON 15# FELT OVER 7/16" OSB DECKING, ON PRE-ENGINEERED WOOD TRUSSES @ 2'-0" O.C.
- 24. 2% (1" PER FOOT) SLOPE MAX
- 25. END LIST.

ROOF PLAN KEYED NOTES:

- R1. ATTIC DRAFTSTOP: EXTEND WALL GYP. BOARD TO CEILING AND TAPE AND SEAL JOINTS PER A500 SERIES AIR SEALANT DETAILS PRIOR TO FRAMING BULKHEADS.
- R2. FR SHEATHING: AREA OF FIRE RETARDANT PLYWOOD SHEATHING, CENTERED ABOVE 2-HR ASSEMBLY, NO VENTS OR PENETRATIONS PERMITTED IN THIS AREA. STAGGER JOINTS.
- R3. 2 HR WALL ASSEMBLY. EXTEND TO UNDERSIDE OF ROOF DECK
- R4. ROOF ANCHOR
- R5. ATTIC ACCESS FROM BELOW
- R6. METAL DOWNSPOUT: SEE GENERAL ROOF PLAN NOTES
- R7. SEAMLESS METAL GUTTER: SEE GENERAL ROOF PLAN NOTES
- R8. ROOF VENT WITH ONE SQ. FT. FREE AREA
- R9. ATTIC ACCESS THROUGH DRAFTSTOPPING MAY VARY ALONG WALL. SEE DETAILS: 16/A501
- R10. RIDGE VENT

EXTERIOR MATERIAL LEGEND

	COMPOSITION ROOF
	STANDING SEAM METAL ROOF
	BRICK VENEER
	FIBER CEMENT SIDING

WALL LEGEND

(NOT ALL RATING LINE TYPES ARE NECESSARILY USED IN THIS PROJECT)	
	LOAD BEARING WALL OVERLAY REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.
	30 MINUTE RATED "FIRE PARTITION". AT CORRIDORS.
	1 HR RATED "FIRE PARTITION". WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.
	1 HR RATED "FIRE BARRIER". WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
	2 HR RATED "FIRE BARRIER". WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
	2 HR RATED "FIRE WALL" CONTINUOUS WITHOUT INTERRUPTION.

- NOTES:
- SEE STRUCTURAL FOR ALL SHEAR WALL LOCATIONS.
 - SEE WALL ASSEMBLY ON G303 AND G304 SERIES SHEETS FOR SPECIFIC ASSEMBLY REQUIREMENTS.
 - RATED WALLS INSIDE UNITS ARE FIRE RATED DUE TO CONSTRUCTION TYPE OF BUILDING AND FIRE RATING REQUIRED FOR CERTAIN ELEMENTS IN ACCORDANCE WITH TABLE 601.

CLIENT



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PROGRESS
PRINT

PROJECT TITLE

KENSINGTON WAY
MCCORDSVILLE, IN 46055

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REVISIONS

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DATE: 01-23-2024

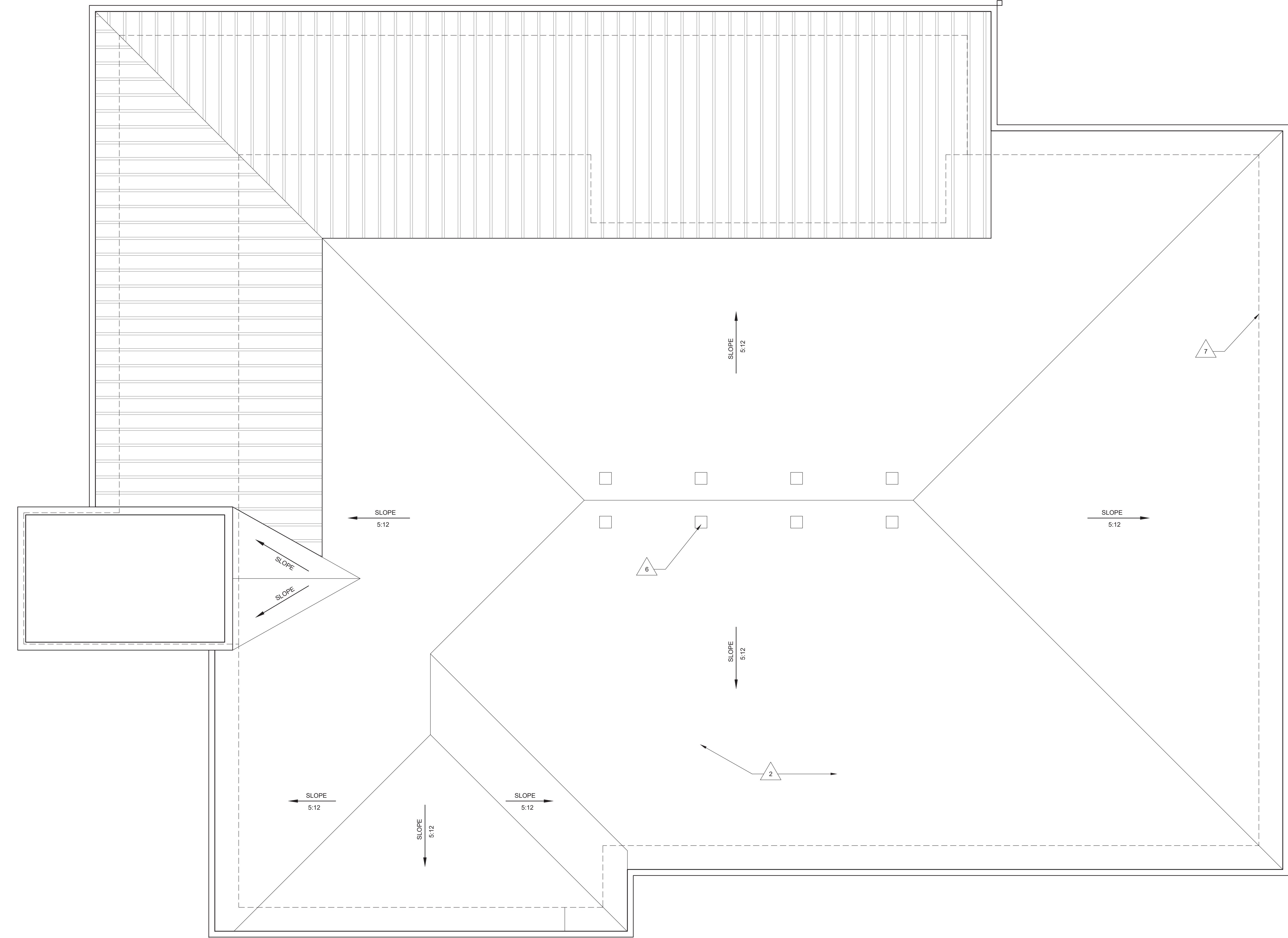
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SHEET TITLE
CLUBHOUSE FLOOR
PLAN

SHEET NUMBER

A710



1

CLUBHOUSE ROOF PLAN

Scale: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A. SEE TYPICAL PLAN SHEETS FOR GENERAL NOTES.

GENERAL ELEVATION NOTES:

A. SEE TYPICAL ELEVATION SHEETS FOR GENERAL NOTES.

FLOOR PLAN KEYED NOTES:

- A. SLOPE APRON BETWEEN DOORS AS SHOWN PER POINT GRADES ON CIVIL DRAWINGS.
B. PROVIDE VERTICAL 2X BLOCKING.
C. OSB PANELS 1 SIDE OF DEMISING WALLS ONLY.
D. ADA COMPLIANT THRESHOLD, NO STEP GREATER THAN 1/4" EITHER SIDE OF DOOR.
E. LINE OF CMU CURB.
F. WOOD FRAMING, NO INTERIOR WALL PANELS.
G. CONTROLS AT ALL ACCESSIBLE PARKING BAYS TO BE < 48".
H. SEMI RECESSED FIRE EXTINGUISHER AND CABINET. MOUNT < 48".
I. 3/4" STEP AT DOOR.
J. MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CAR SERVICE AISLE.
K. 1 HR ASSEMBLY, EXTENDED TO UNDERSIDE OF DECK.
L. SLOPE LESS THAN 2% EITHER DIRECTION WITHIN ACCESSIBLE PARKING BAY.
M. MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CLEAR ACCESS ISLE.
N. END LIST.

SECTION KEYED NOTES:

1. PROVIDE H1 TRUSS CLIPS @ EACH END.
2. TOP OF CMU BEYOND FOUND AT PERIMETER.
3. 2X4'S @ 16" O.C. W/ 7/16" OSB ON ONE SIDE ONLY. EXTEND TO UNDERSIDE OF ROOF DECKING.
4. TOP OF PAVEMENT REFER TO CIVIL.
5. TOP OF CONC. APRON COORDINATE WITH CIVIL.
6. BRICK BEYOND.
7. RETURN 1X5 F.C. TRIM BOARD.
8. 1X4 F.C. TRIM BOARD.
9. SECTIONAL OVERHEAD DOOR TRACK AND ELECT MOTOR.
10. 4" CONC. SLAB W/ 6"X6" #10/10 W.W.F. ON 6 MIL VAPOR BARRIER OVER 4" GRANULAR FILL.
11. ADJUST SLOPE AT DOOR TO MAINTAIN <2% SLOPE AND ALLOW FOR ADA THRESHOLD.
12. PROVIDE # 4 REBAR @ 4'-0" O.C. MIN. 8" EMBEDDED INTO CONCRETE.
13. GROUT CAVITY SOLID.
14. FINISHED GRADE VARIES WITHIN THIS AREA, REFER TO CIVIL.
15. 2 COURSES OF 8" CMU INCH WIDE W/ CELLS GROUTED SOLID.
16. TREATED 2X4 SILL W/ 12" ANCH. BOLT @ 4'-0" O.C. AND 12" FROM CORNER.
17. BRICK.
18. BRICK ROWLOCK 15 DEGREE MIN.
19. 2X4 STUD @ 16" O.C.
20. 7/16" O.S.B.
21. VINYL SOFFIT OR F.C. LAP SIDING.
22. 2x6 FASCIA WITH ALUM. WRAP.
23. FIBERGLASS SHINGLES ON 15# FELT OVER 7/16" OSB DECKING, ON PRE-ENGINEERED WOOD TRUSSES @ 2'-0" O.C.
24. 2% (1" PER FOOT) SLOPE MAX
25. END LIST.

ROOF PLAN KEYED NOTES:

- Rx ATTIC DRAFTSTOP: EXTEND WALL GYP. BOARD TO CEILING AND TAPE AND SEAL JOINTS PER AS500 SERIES AIR SEALANT DETAILS PRIOR TO FRAMING BULKHEADS.
R1 FR SHEATHING: AREA OF FIRE RETARDANT PLYWOOD SHEATHING, CENTERED ABOVE 2-HR ASSEMBLY, NO VENTS OR PENETRATIONS PERMITTED IN THIS AREA. STAGGER JOINTS.
R2 2 HR WALL ASSEMBLY. EXTEND TO UNDERSIDE OF ROOF DECK
R3 ROOF ANCHOR
R4 ATTIC ACCESS FROM BELOW
R5 METAL DOWNSPOUT: SEE GENERAL ROOF PLAN NOTES
R6 SEAMLESS METAL GUTTER: SEE GENERAL ROOF PLAN NOTES
R7 ROOF VENT WITH ONE SQ. FT. FREE AREA
R8 ATTIC ACCESS THROUGH DRAFTSTOPPING MAY VARY ALONG WALL. SEE DETAILS: 16/A501
R9 RIDGE VENT
R10

EXTERIOR MATERIAL LEGEND

- COMPOSITION ROOF
STANDING SEAM METAL ROOF
BRICK VENEER
FIBER CEMENT SIDING

WALL LEGEND (NOT ALL RATING LINE TYPES ARE NECESSARILY USED IN THIS PROJECT)

- LOAD BEARING WALL OVERLAY REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.
30 MINUTE RATED "FIRE PARTITION", AT CORRIDORS.
1 HR RATED "FIRE PARTITION", WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.
1 HR RATED "FIRE BARRIER", WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
2 HR RATED "FIRE BARRIER", WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
2 HR RATED "FIRE WALL" CONTINUOUS WITHOUT INTERRUPTION.

NOTES:
• SEE STRUCTURAL FOR ALL SHEAR WALL LOCATIONS.
• SEE WALL ASSEMBLY ON G300 AND G340 SERIES SHEETS FOR SPECIFIC ASSEMBLY REQUIREMENTS.
• RATED WALLS INSIDE UNITS ARE FIRE RATED DUE TO CONSTRUCTION TYPE OF BUILDING AND FIRE RATING REQUIRED FOR CERTAIN ELEMENTS IN ACCORDANCE WITH TABLE 601.

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SEAL

PROGRESS
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PROJECT TITLE

KENSINGTON WAY
MCCORDSVILLE, IN 46055

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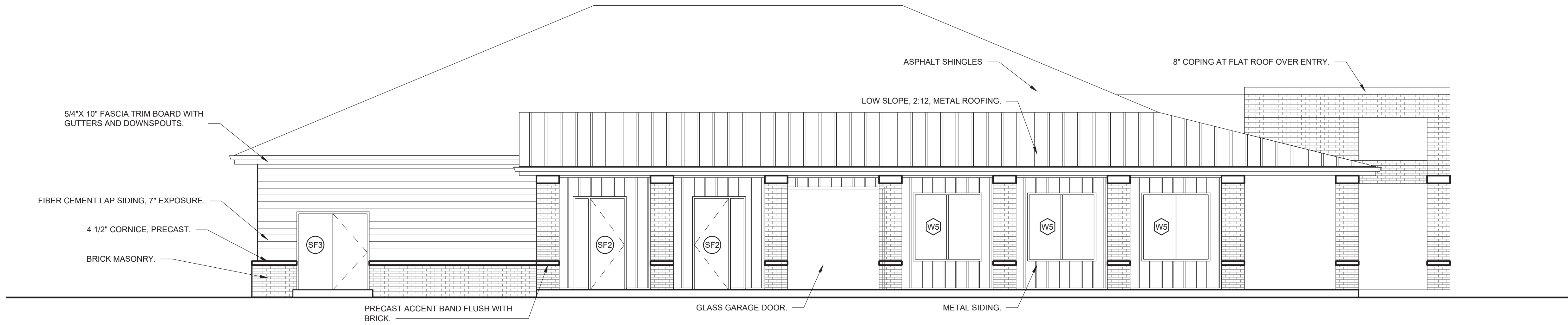
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CHECKED BY: BP

SHEET TITLE
CLUBHOUSE ROOF
PLAN

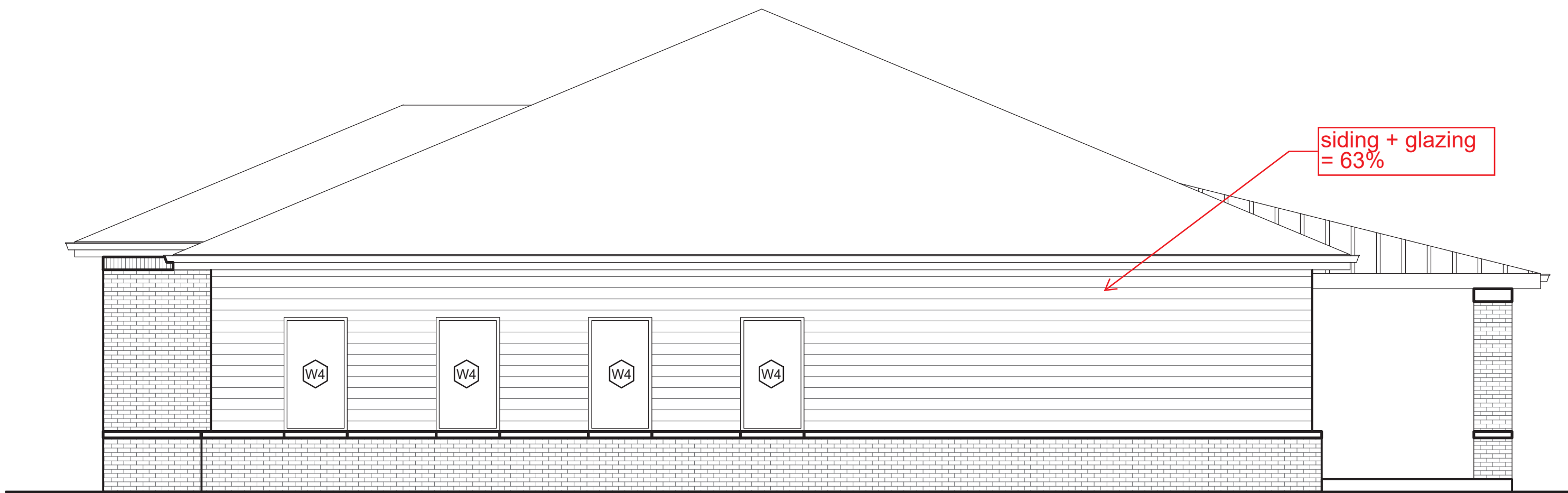
SHEET NUMBER

A711



4 CLUBHOUSE ELEVATIONS - POOL SIDE

Scale: 3/16" = 1'-0"



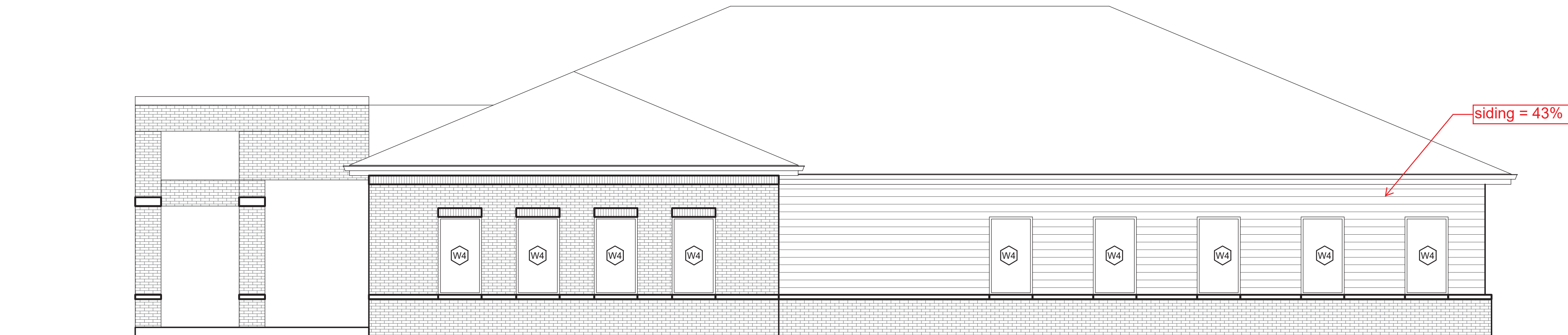
3 CLUBHOUSE ELEVATIONS - REAR

Scale: 3/16" = 1'-0"



2 CLUBHOUSE ELEVATIONS - FRONT

Scale: 3/16" = 1'-0"



1 CLUBHOUSE ELEVATIONS - POOL SIDE

Scale: 3/16" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A. SEE TYPICAL PLAN SHEETS FOR GENERAL NOTES.

GENERAL ELEVATION NOTES:

A. SEE TYPICAL ELEVATION SHEETS FOR GENERAL NOTES.

FLOOR PLAN KEYED NOTES:

- SLOPE APRON BETWEEN DOORS AS SHOWN PER POINT GRADES ON CIVIL DRAWINGS.
- PROVIDE VERTICAL 2X BLOCKING.
- OSB PANELS 1 SIDE OF DEMISING WALLS ONLY.
- ADA COMPLIANT THRESHOLD, NO STEP GREATER THAN 1/4" EITHER SIDE OF DOOR.
- LINE OF CMU CURB.
- WOOD FRAMING, NO INTERIOR WALL PANELS.
- CONTROLS AT ALL ACCESSIBLE PARKING BAYS TO BE < 48".
- SEMI RECESSED FIRE EXTINGUISHER AND CABINET. MOUNT < 48".
- 3/4" STEP AT DOOR.
- MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CAR SERVICE AISLE.
- 1 HR ASSEMBLY, EXTENDED TO UNDERSIDE OF DECK.
- SLOPE LESS THAN 2% EITHER DIRECTION WITHIN ACCESSIBLE PARKING BAY.
- MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CLEAR ACCESS ISLE.
- END LIST.

SECTION KEYED NOTES:

- PROVIDE H1 TRUSS CLIPS @ EACH END.
- TOP OF CMU BEYOND FOUND AT PERIMETER.
- 2X4'S @ 16" O.C. W/ 7/16 OSB ON ONE SIDE ONLY. EXTEND TO UNDERSIDE OF ROOF DECKING.
- TOP OF PAVEMENT REFER TO CIVIL.
- TOP OF CONC. APRON COORDINATE WITH CIVIL.
- BRICK BEYOND.
- RETURN 1X5 F.C. TRIM BOARD.
- 1X4 F.C. TRIM BOARD.
- SECTIONAL OVERHEAD DOOR TRACK AND ELECT MOTOR.
- 4" CONC. SLAB W/ 6"X6" #10/10 W.W.F. ON 6 MIL VAPOR BARRIER OVER 4" GRANULAR FILL.
- ADJUST SLOPE AT DOOR TO MAINTAIN <2% SLOPE AND ALLOW FOR ADA THRESHOLD.
- PROVIDE # 4 REBAR @ 4'-0" O.C. MIN. 8" EMBEDDED INTO CONCRETE.
- GROUT CAVITY SOLID.
- FINISHED GRADE VARIES WITHIN THIS AREA, REFER TO CIVIL.
- 2 COURSES OF 8" CMU INCH WIDE W/ CELLS GROUTED SOLID.
- TREATED 2X4 SILL W/ 1/2" ANCH. BOLT @ 4'-0" O.C. AND 12" FROM CORNER.
- BRICK.
- BRICK ROWLOCK 15 DEGREE MIN.
- 2X4 STUD @ 16" O.C.
- 7/16" O.S.B.
- VINYL SOFFIT OR F.C. LAP SIDING.
- 2x6 FASCIA WITH ALUM. WRAP.
- FIBERGLASS SHINGLES ON 15# FELT OVER 7/16" OSB DECKING, ON PRE-ENGINEERED WOOD TRUSSES @ 2'-0" O.C.
- 2.2% (1" PER FOOT) SLOPE MAX
- END LIST.

ROOF PLAN KEYED NOTES:

- ATTIC DRAFTSTOP: EXTEND WALL GYP. BOARD TO CEILING AND TAPE AND SEAL JOINTS PER A500 SERIES AIR SEALANT DETAILS PRIOR TO FRAMING BULKHEADS.
- FR SHEATHING: AREA OF FIRE RETARDANT PLYWOOD SHEATHING, CENTERED ABOVE 2-HR ASSEMBLY, NO VENTS OR PENETRATIONS PERMITTED IN THIS AREA. STAGGER JOINTS.
- 2 HR WALL ASSEMBLY. EXTEND TO UNDERSIDE OF ROOF DECK
- ROOF ANCHOR
- ATTIC ACCESS FROM BELOW
- METAL DOWNSPOUT: SEE GENERAL ROOF PLAN NOTES
- SEAMLESS METAL GUTTER: SEE GENERAL ROOF PLAN NOTES
- ROOF VENT WITH ONE SQ. FT. FREE AREA
- ATTIC ACCESS THROUGH DRAFTSTOPPING MAY VARY ALONG WALL. SEE DETAILS: 16/A501
- RIDGE VENT

EXTERIOR MATERIAL LEGEND

	COMPOSITION ROOF
	STANDING SEAM METAL ROOF
	BRICK VENEER
	FIBER CEMENT SIDING

WALL LEGEND

	LOAD BEARING WALL OVERLAY REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.
	30 MINUTE RATED "FIRE PARTITION". AT CORRIDORS.
	1 HR RATED "FIRE PARTITION". WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.
	1 HR RATED "FIRE BARRIER". WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
	2 HR RATED "FIRE BARRIER". WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
	2 HR RATED "FIRE WALL" CONTINUOUS WITHOUT INTERRUPTION.

- NOTES:
- SEE STRUCTURAL FOR ALL SHEAR WALL LOCATIONS.
 - SEE WALL ASSEMBLY ON G300 AND G340 SERIES SHEETS FOR SPECIFIC ASSEMBLY REQUIREMENTS.
 - RATED WALLS INSIDE UNITS ARE FIRE RATED DUE TO CONSTRUCTION TYPE OF BUILDING AND FIRE RATING REQUIRED FOR CERTAIN ELEMENTS IN ACCORDANCE WITH TABLE 601.

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MCCORDSVILLE, IN 46055

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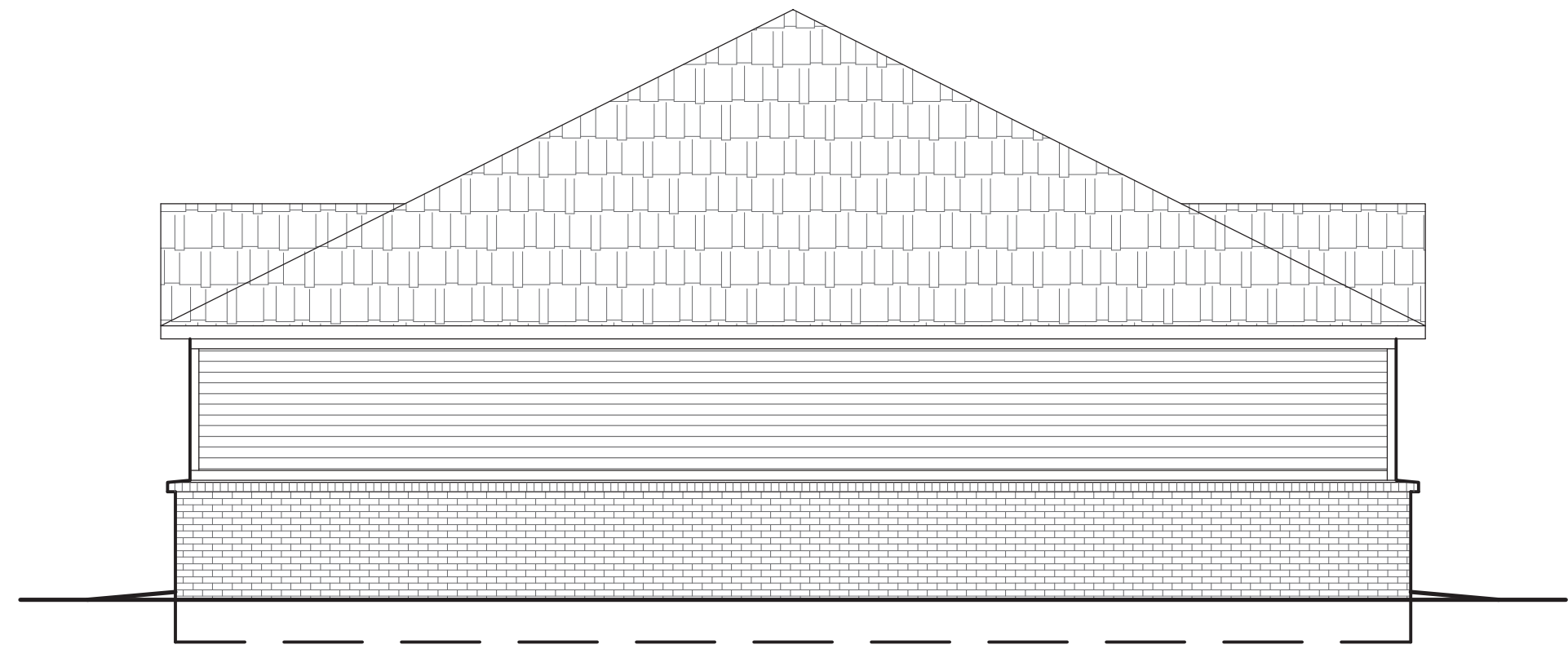
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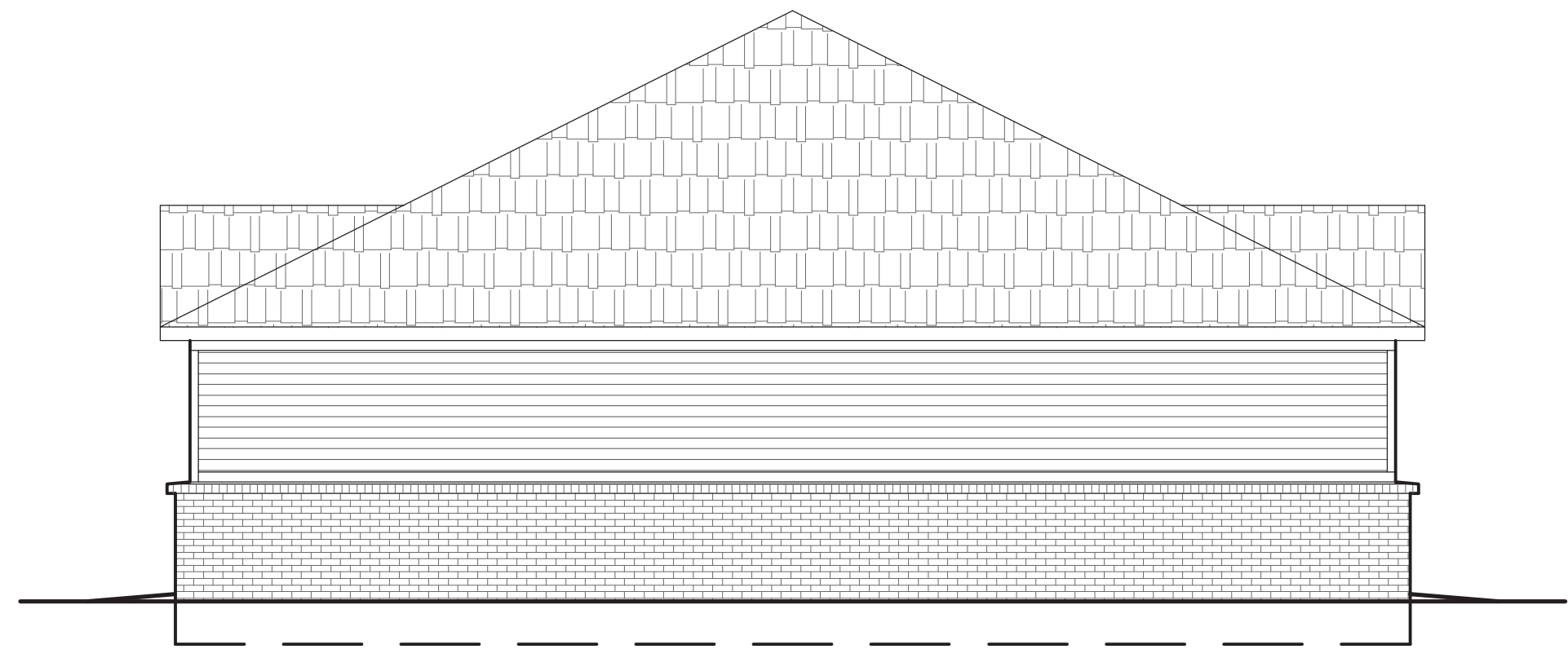
CLUBHOUSE
ELEVATIONS

SHEET NUMBER

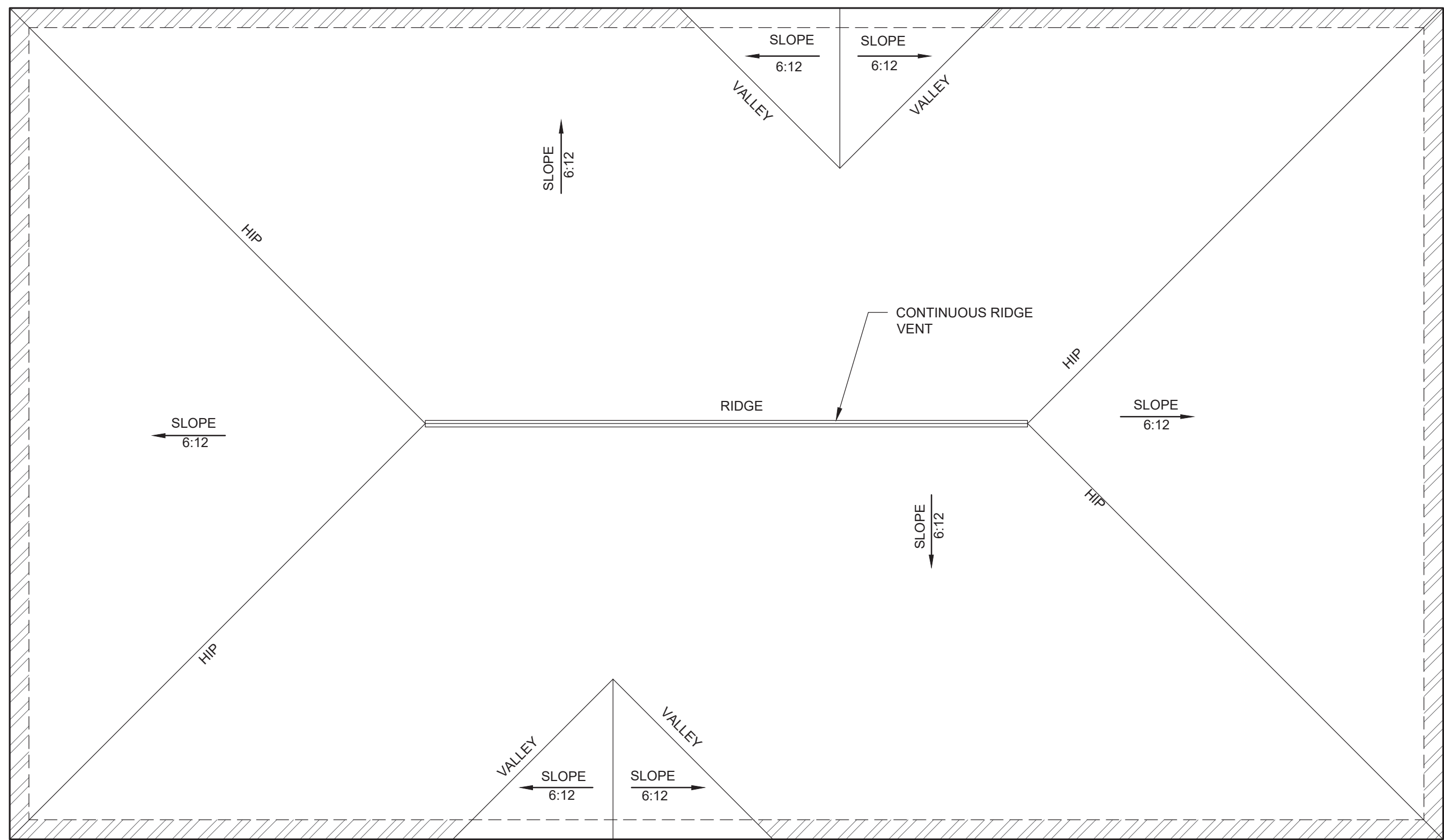
A712



6 SIDE ELEVATION (RIGHT) Scale: 3/16" = 1'-0"



5 SIDE ELEVATION (LEFT) Scale: 3/16" = 1'-0"



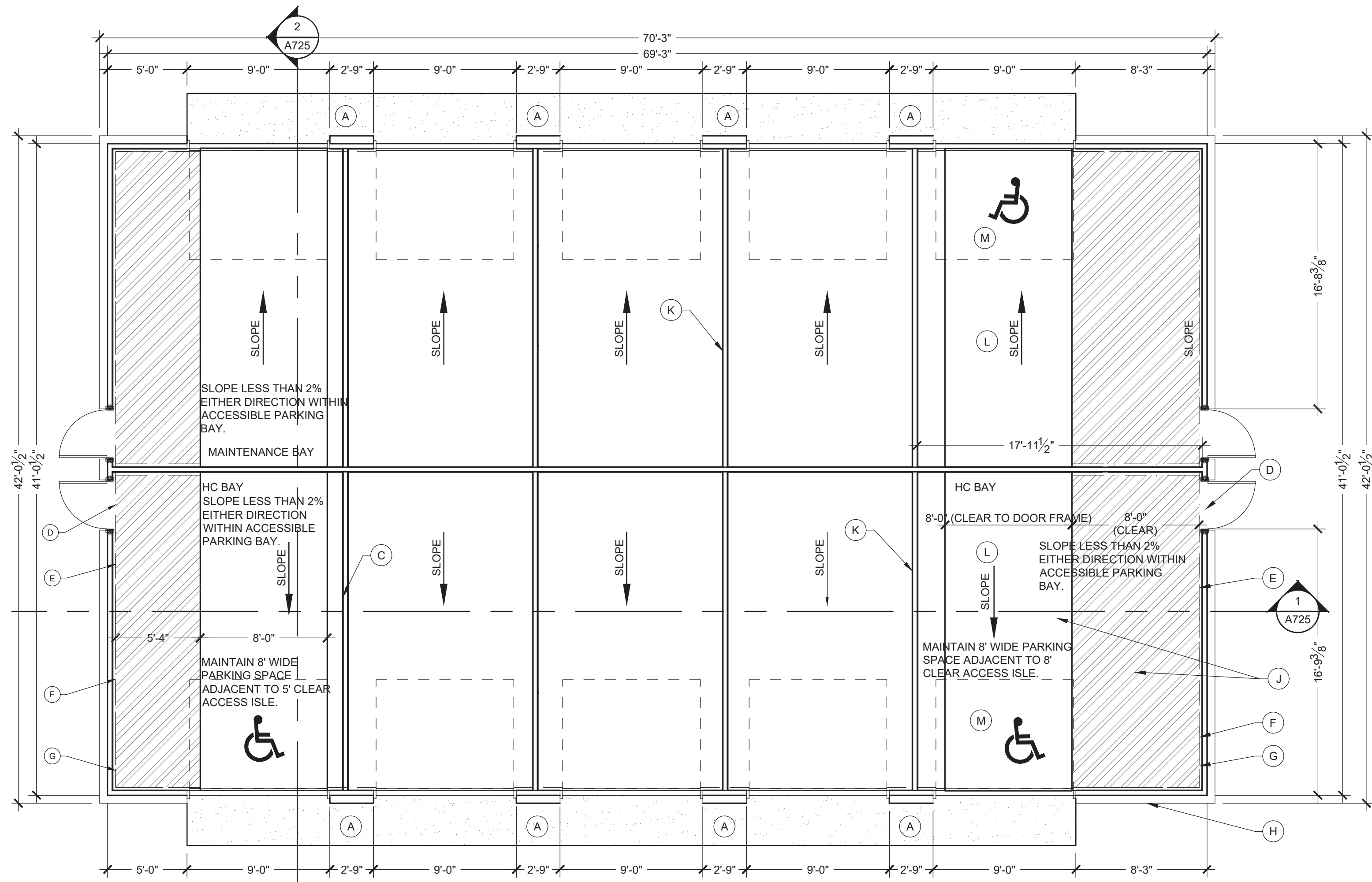
4 ROOF PLAN Scale: 3/16" = 1'-0"



3 REAR ELEVATION Scale: 3/16" = 1'-0"



2 FRONT ELEVATION Scale: 3/16" = 1'-0"



1 FLOOR PLAN-6 BAY DOUBLE Scale: 3/16" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A. SEE TYPICAL PLAN SHEETS FOR GENERAL NOTES.

GENERAL ELEVATION NOTES:

A. SEE TYPICAL ELEVATION SHEETS FOR GENERAL NOTES.

FLOOR PLAN KEYED NOTES:

- SLOPE APRON BETWEEN DOORS AS SHOWN PER POINT GRADES ON CIVIL DRAWINGS.
- PROVIDE VERTICAL 2X BLOCKING.
- OSB PANELS 1 SIDE OF DEMISING WALLS ONLY.
- ADA COMPLIANT THRESHOLD, NO STEP GREATER THAN 1/4" EITHER SIDE OF DOOR.
- LINE OF CMU CURB.
- WOOD FRAMING, NO INTERIOR WALL PANELS.
- CONTROLS AT ALL ACCESSIBLE PARKING BAYS TO BE < 48".
- SEMI RECESSED FIRE EXTINGUISHER AND CABINET. MOUNT < 48".
- 3/4" STEP AT DOOR.
- MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CAR SERVICE AISLE.
- 1 HR ASSEMBLY, EXTENDED TO UNDERSIDE OF DECK.
- SLOPE LESS THAN 2% EITHER DIRECTION WITHIN ACCESSIBLE PARKING BAY.
- MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CLEAR ACCESS ISLE.
- END LIST.

SECTION KEYED NOTES:

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- TOP OF CMU BEYOND FOUND AT PERIMETER.
- 2X4'S @ 16" O.C. W/ 7/16 OSB ON ONE SIDE ONLY. EXTEND TO UNDERSIDE OF ROOF DECKING.
- TOP OF PAVEMENT REFER TO CIVIL.
- TOP OF CONC. APRON COORDINATE WITH CIVIL.
- BRICK BEYOND.
- RETURN 1X5 F.C. TRIM BOARD.
- 1X4 F.C. TRIM BOARD.
- SECTIONAL OVERHEAD DOOR TRACK AND ELECT MOTOR.
- 4" CONC. SLAB W/ 6"X6" #10/10 W.W.F. ON 6 MIL VAPOR BARRIER OVER 4" GRANULAR FILL.
- ADJUST SLOPE AT DOOR TO MAINTAIN <2% SLOPE AND ALLOW FOR ADA THRESHOLD.
- PROVIDE # 4 REBAR @ 4'-0" O.C. MIN. 8" EMBEDDED INTO CONCRETE.
- GROUT CAVITY SOLID.
- FINISHED GRADE VARIES WITHIN THIS AREA. REFER TO CIVIL.
- 2 COURSES OF 8" CMU INCH WIDE W/ CELLS GROUTED SOLID.
- TREATED 2X4 SILL W/ 1/2" ANCH. BOLT @ 4'-0" O.C. AND 12" FROM CORNER.
- BRICK.
- BRICK ROWLOCK 15 DEGREE MIN.
- 2X4 STUD @ 16" O.C.
- 7/16" O.S.B.
- WHV. SOFFIT OR F.C. LAP SIDING.
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- FIBERGLASS SHINGLES ON 15# FELT OVER 7/16" OSB DECKING, ON PRE-ENGINEERED WOOD TRUSSES @ 2'-0" O.C.
- 2.2% (1" PER FOOT) SLOPE MAX
- END LIST.

ROOF PLAN KEYED NOTES:

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- ATTIC ACCESS FROM BELOW
- METAL DOWNSPOUT: SEE GENERAL ROOF PLAN NOTES
- SEAMLESS METAL GUTTER: SEE GENERAL ROOF PLAN NOTES
- ROOF VENT WITH ONE SQ. FT. FREE AREA
- ATTIC ACCESS THROUGH DRAFTSTOPPING MAY VARY ALONG WALL, SEE DETAILS:16/A501
- RIDGE VENT

EXTERIOR MATERIAL LEGEND

	COMPOSITION ROOF
	STANDING SEAM METAL ROOF
	BRICK VENEER
	FIBER CEMENT SIDING

WALL LEGEND

	LOAD BEARING WALL OVERLAY REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.
	30 MINUTE RATED "FIRE PARTITION". AT CORRIDORS.
	1 HR RATED "FIRE PARTITION". WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.
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NOTES:
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• SEE WALL ASSEMBLY ON G300 AND G340 SERIES SHEETS FOR SPECIFIC ASSEMBLY REQUIREMENTS.
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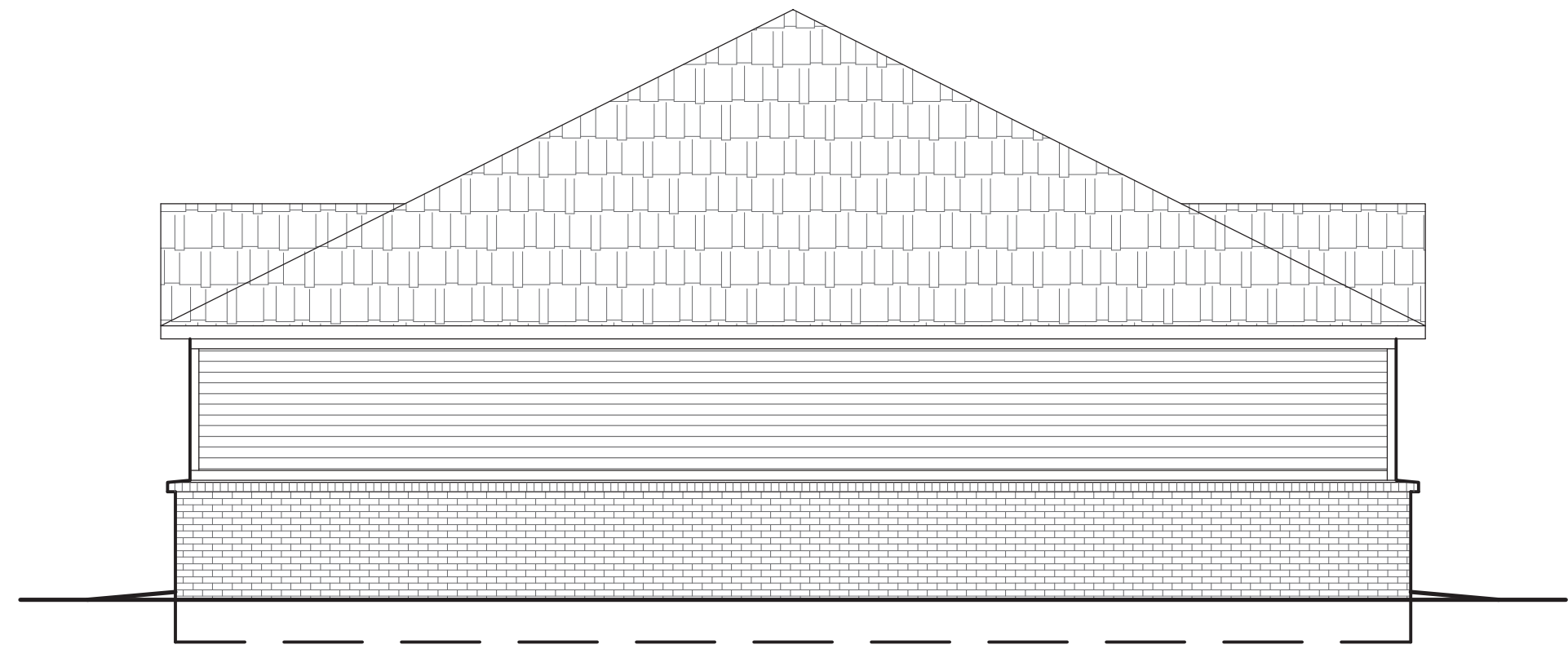
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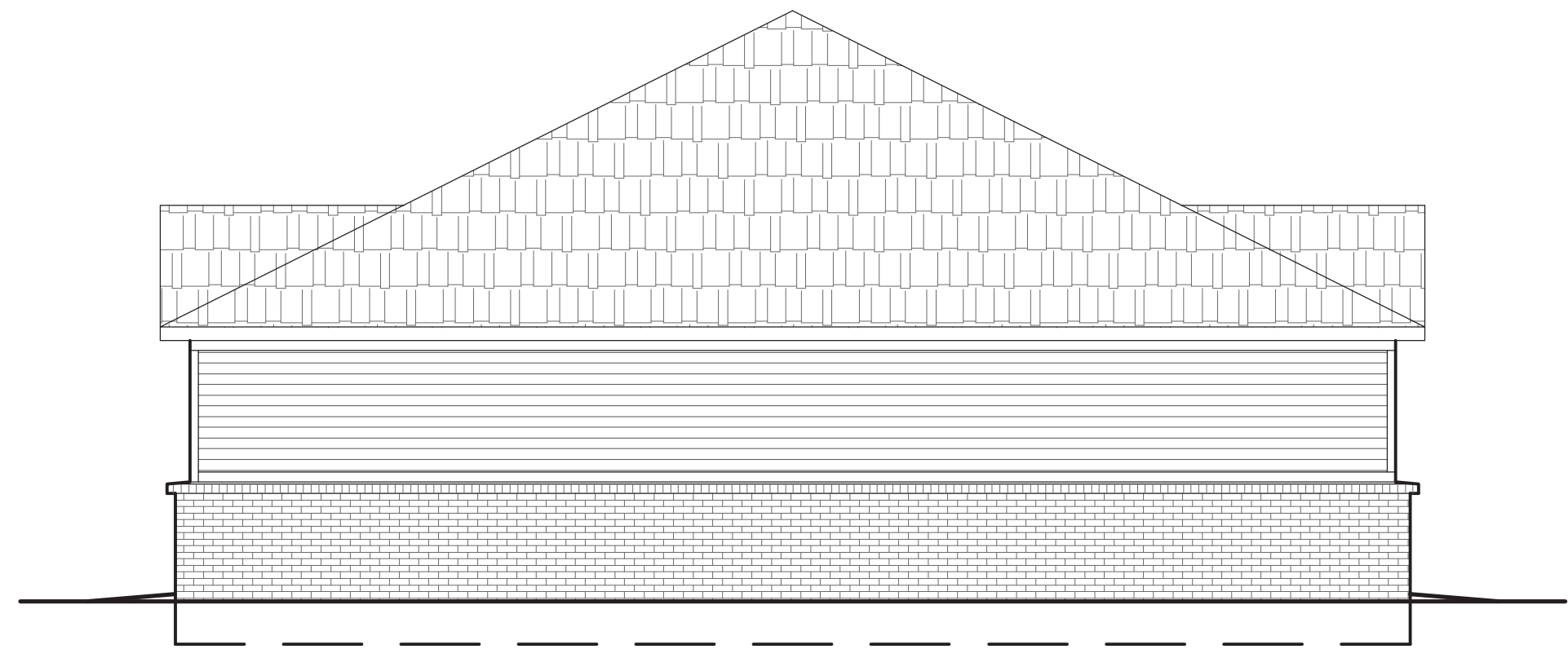
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GARAGE DETAILS

SHEET NUMBER

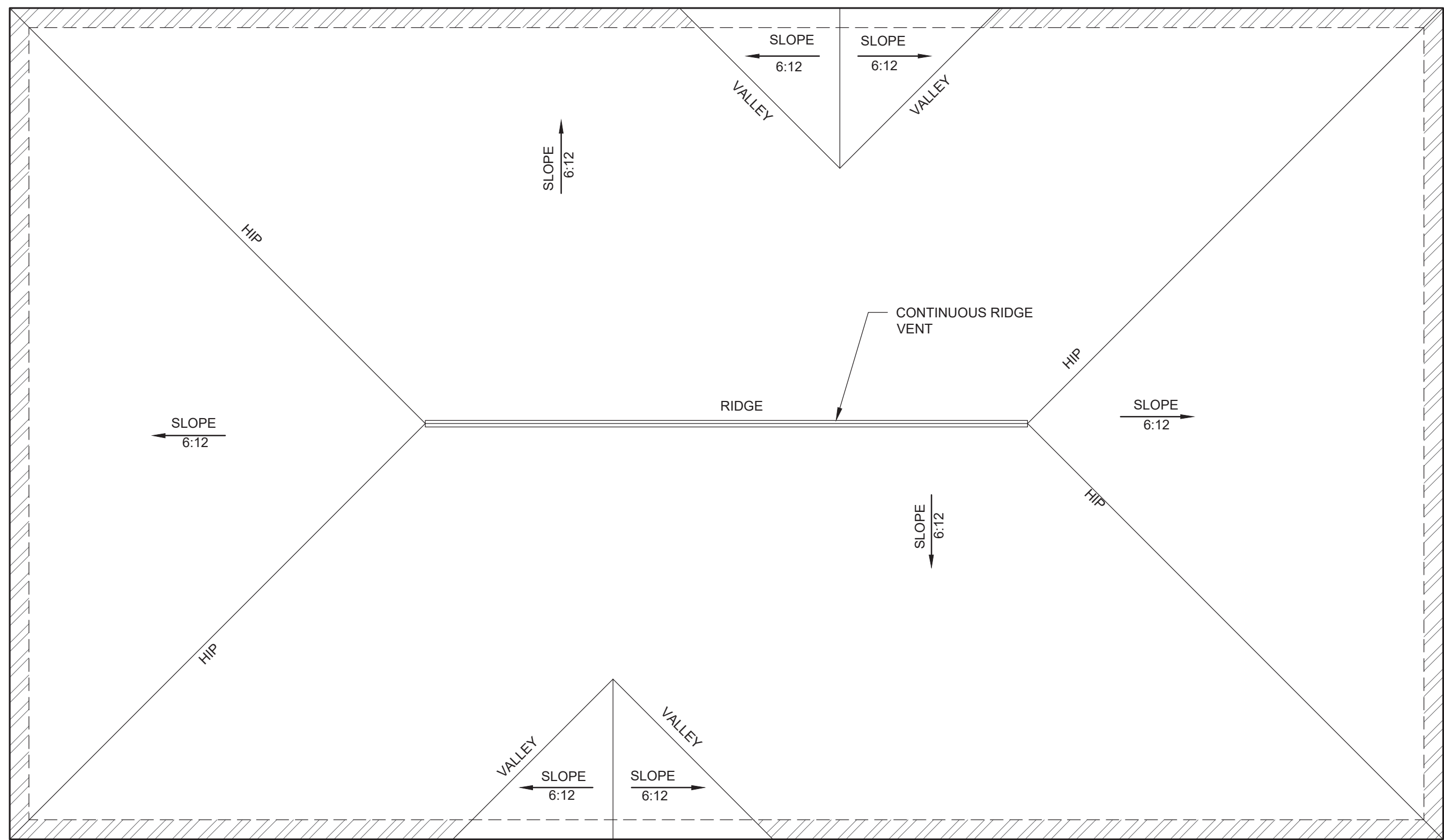
A722



6 SIDE ELEVATION (RIGHT) Scale: 3/16" = 1'-0"



5 SIDE ELEVATION (LEFT) Scale: 3/16" = 1'-0"



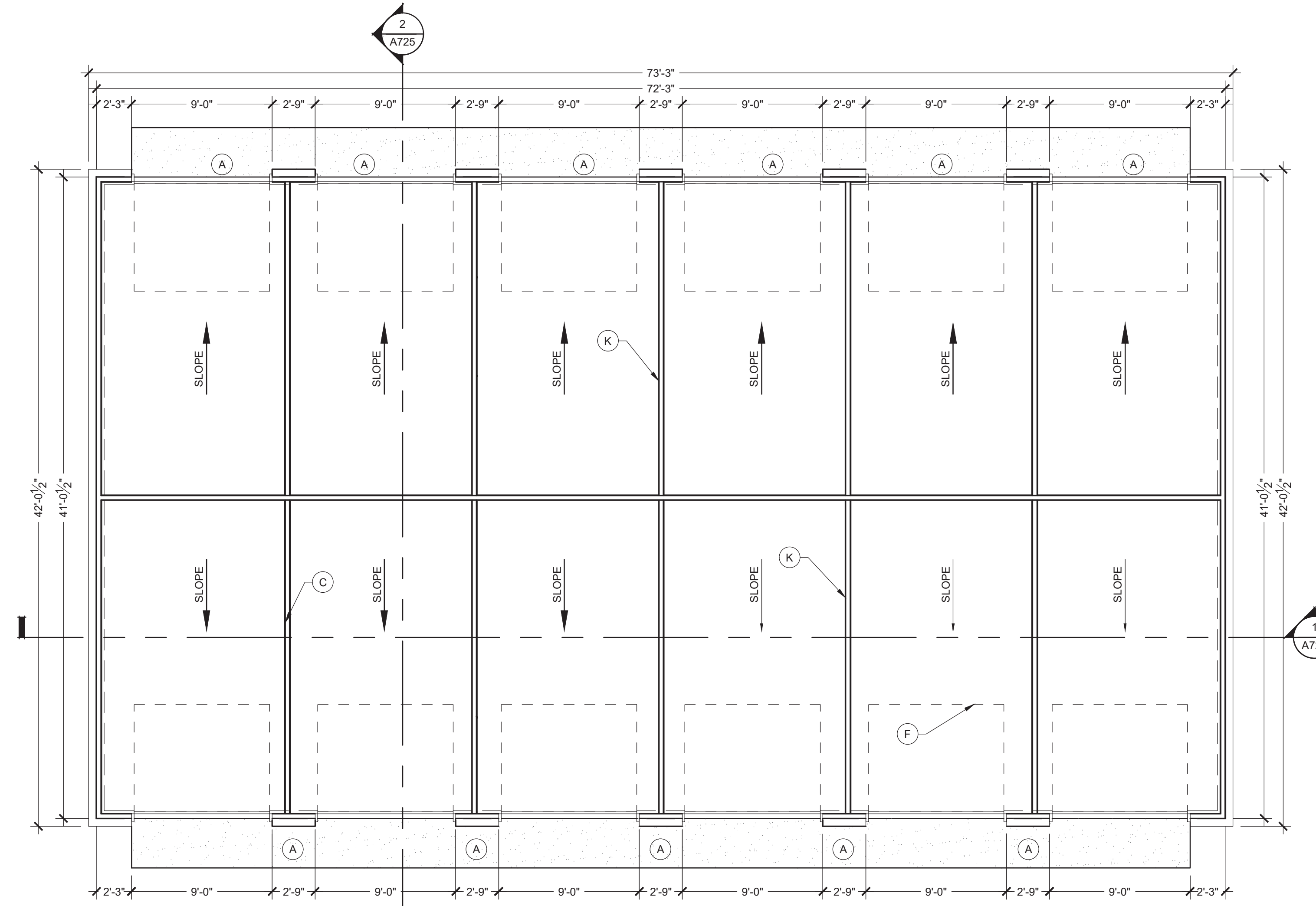
4 ROOF PLAN Scale: 3/16" = 1'-0"



3 REAR ELEVATION Scale: 3/16" = 1'-0"



2 FRONT ELEVATION Scale: 3/16" = 1'-0"



1 FLOOR PLAN-6 BAY DOUBLE Scale: 3/16" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A. SEE TYPICAL PLAN SHEETS FOR GENERAL NOTES.

GENERAL ELEVATION NOTES:

A. SEE TYPICAL ELEVATION SHEETS FOR GENERAL NOTES.

FLOOR PLAN KEYED NOTES:

- A. SLOPE APRON BETWEEN DOORS AS SHOWN PER POINT GRADES ON CIVIL DRAWINGS.
B. PROVIDE VERTICAL 2X BLOCKING.
C. OSB PANELS 1 SIDE OF DEMISING WALLS ONLY.
D. ADA COMPLIANT THRESHOLD, NO STEP GREATER THAN 1/4" EITHER SIDE OF DOOR.
E. LINE OF CMU CURB.
F. WOOD FRAMING, NO INTERIOR WALL PANELS.
G. CONTROLS AT ALL ACCESSIBLE PARKING BAYS TO BE < 48".
H. SEMI RECESSED FIRE EXTINGUISHER AND CABINET. MOUNT < 48".
I. 3/4" STEP AT DOOR.
J. MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CAR SERVICE AISLE.
K. 1 HR ASSEMBLY, EXTENDED TO UNDERSIDE OF DECK.
L. SLOPE LESS THAN 2% EITHER DIRECTION WITHIN ACCESSIBLE PARKING BAY.
M. MAINTAIN 8' WIDE PARKING SPACE ADJACENT TO 8' CLEAR ACCESS ISLE.
N. END LIST.

SECTION KEYED NOTES:

1. PROVIDE H1 TRUSS CLIPS @ EACH END.
2. TOP OF CMU BEYOND FOUND AT PERIMETER.
3. 2X4'S @ 16" O.C. W/ 7/16 OSB ON ONE SIDE ONLY. EXTEND TO UNDERSIDE OF ROOF DECKING.
4. TOP OF PAVEMENT REFER TO CIVIL.
5. TOP OF CONC. APRON COORDINATE WITH CIVIL.
6. BRICK BEYOND.
7. RETURN 1X5 F.C. TRIM BOARD.
8. 1X4 F.C. TRIM BOARD.
9. SECTIONAL OVERHEAD DOOR TRACK AND ELECT MOTOR.
10. 4" CONC. SLAB W/ 6"X6" #10/10 W.W.F. ON 6 MIL VAPOR BARRIER OVER 4" GRANULAR FILL.
11. ADJUST SLOPE AT DOOR TO MAINTAIN <2% SLOPE AND ALLOW FOR ADA THRESHOLD.
12. PROVIDE # 4 REBAR @ 4'-0" O.C. MIN. 8" EMBEDDED INTO CONCRETE.
13. GROUT CAVITY SOLID.
14. FINISHED GRADE VARIES WITHIN THIS AREA. REFER TO CIVIL.
15. 2 COURSES OF 8" CMU INCH WIDE W/ CELLS GROUTED SOLID.
16. TREATED 2X4 SILL W/ 1/2" ANCH. BOLT @ 4'-0" O.C. AND 12" FROM CORNER.
17. BRICK.
18. BRICK ROWLOCK 15 DEGREE MIN.
19. 2X4 STUD @ 16" O.C.
20. 7/16" O.S.B.
21. WHL SOFFIT OR F.C. LAP SIDING.
22. 2x6 FASCIA WITH ALUM. WRAP.
23. FIBERGLASS SHINGLES ON 15# FELT OVER 7/16" OSB DECKING, ON PRE-ENGINEERED WOOD TRUSSES @ 2'-0" O.C.
24. 2% (1" PER FOOT) SLOPE MAX
25. END LIST.

ROOF PLAN KEYED NOTES:

- Rx ATTIC DRAFTSTOP: EXTEND WALL GYP. BOARD TO CEILING AND TAPE AND SEAL JOINTS PER A500 SERIES AIR SEALANT DETAILS PRIOR TO FRAMING BULKHEADS.
R1 FR SHEATHING: AREA OF FIRE RETARDANT PLYWOOD SHEATHING, CENTERED ABOVE 2-HR ASSEMBLY, NO VENTS OR PENETRATIONS PERMITTED IN THIS AREA. STAGGER JOINTS.
R2 2 HR WALL ASSEMBLY, EXTEND TO UNDERSIDE OF ROOF DECK
R3 ROOF ANCHOR
R4 ATTIC ACCESS FROM BELOW
R5 METAL DOWNSPOUT: SEE GENERAL ROOF PLAN NOTES
R6 SEAMLESS METAL GUTTER: SEE GENERAL ROOF PLAN NOTES
R7 ROOF VENT WITH ONE SQ. FT. FREE AREA
R8 ATTIC ACCESS THROUGH DRAFTSTOPPING MAY VARY ALONG WALL, SEE DETAILS:16/A501
R9 RIDGE VENT

EXTERIOR MATERIAL LEGEND

	COMPOSITION ROOF
	STANDING SEAM METAL ROOF
	BRICK VENEER
	FIBER CEMENT SIDING

WALL LEGEND

	LOAD BEARING WALL OVERLAY REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.
	30 MINUTE RATED "FIRE PARTITION". AT CORRIDORS.
	1 HR RATED "FIRE PARTITION". WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.
	1 HR RATED "FIRE BARRIER". WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
	2 HR RATED "FIRE BARRIER". WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
	2 HR RATED "FIRE WALL" CONTINUOUS WITHOUT INTERRUPTION.

- NOTES:
• SEE STRUCTURAL FOR ALL SHEAR WALL LOCATIONS.
• SEE WALL ASSEMBLY ON G100 AND G240 SERIES SHEETS FOR SPECIFIC ASSEMBLY REQUIREMENTS.
• RATED WALLS INSIDE UNITS ARE FIRE RATED DUE TO CONSTRUCTION TYPE OF BUILDING AND FIRE RATING REQUIRED FOR CERTAIN ELEMENTS IN ACCORDANCE WITH TABLE 601.

CLIENT



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CONSULTANT



SEAL

PROGRESS
PRINT

PROJECT TITLE

KENSINGTON WAY
MCCORDSVILLE, IN 46055

ISSUED FOR: DATE

REVISIONS

MARK DESCRIPTION DATE

DATE: 01-23-2024

DRAWN BY: BP

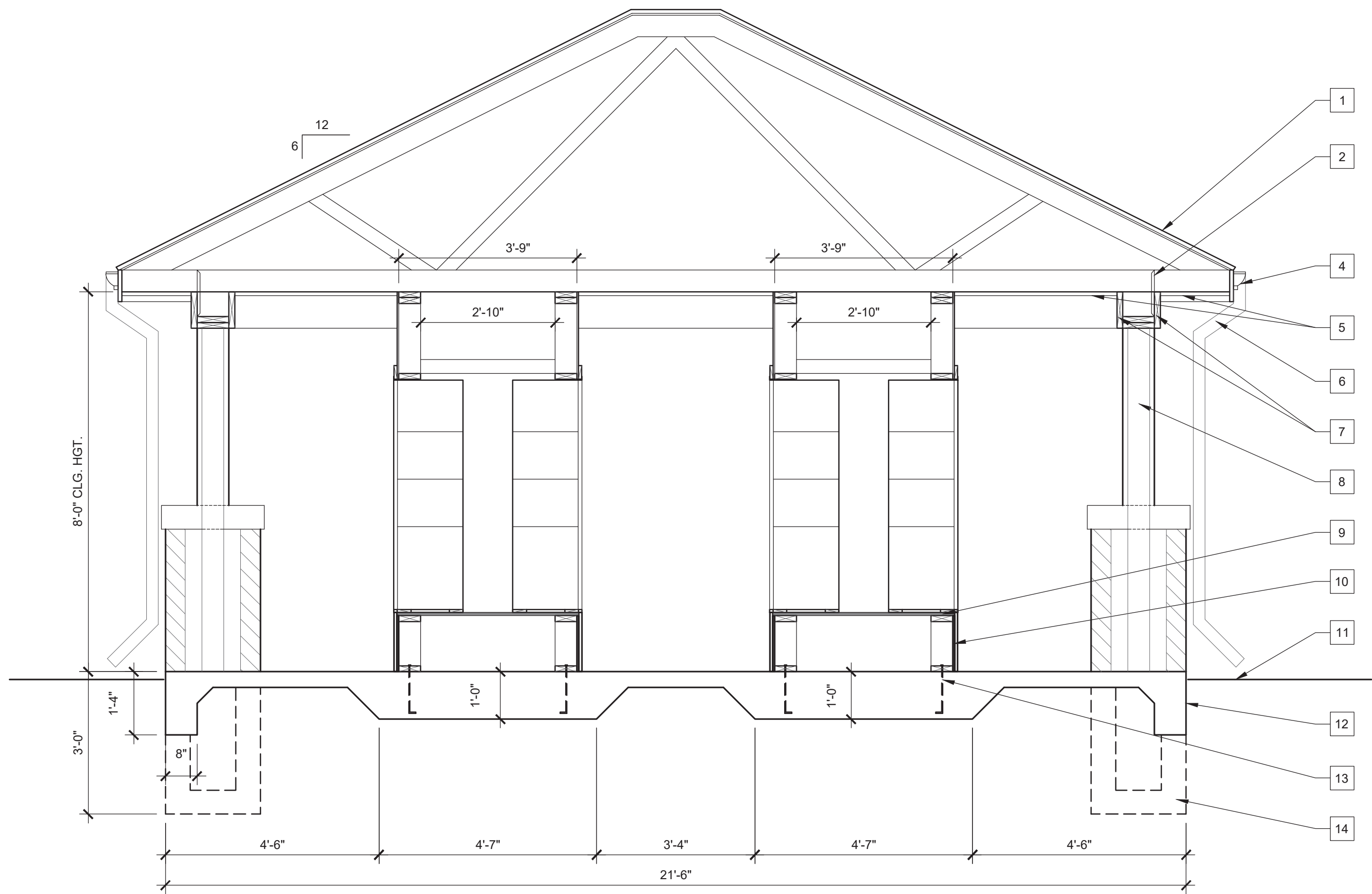
CHECKED BY: BP

SHEET TITLE

DOUBLE 6 BAY
GARAGE DETAILS

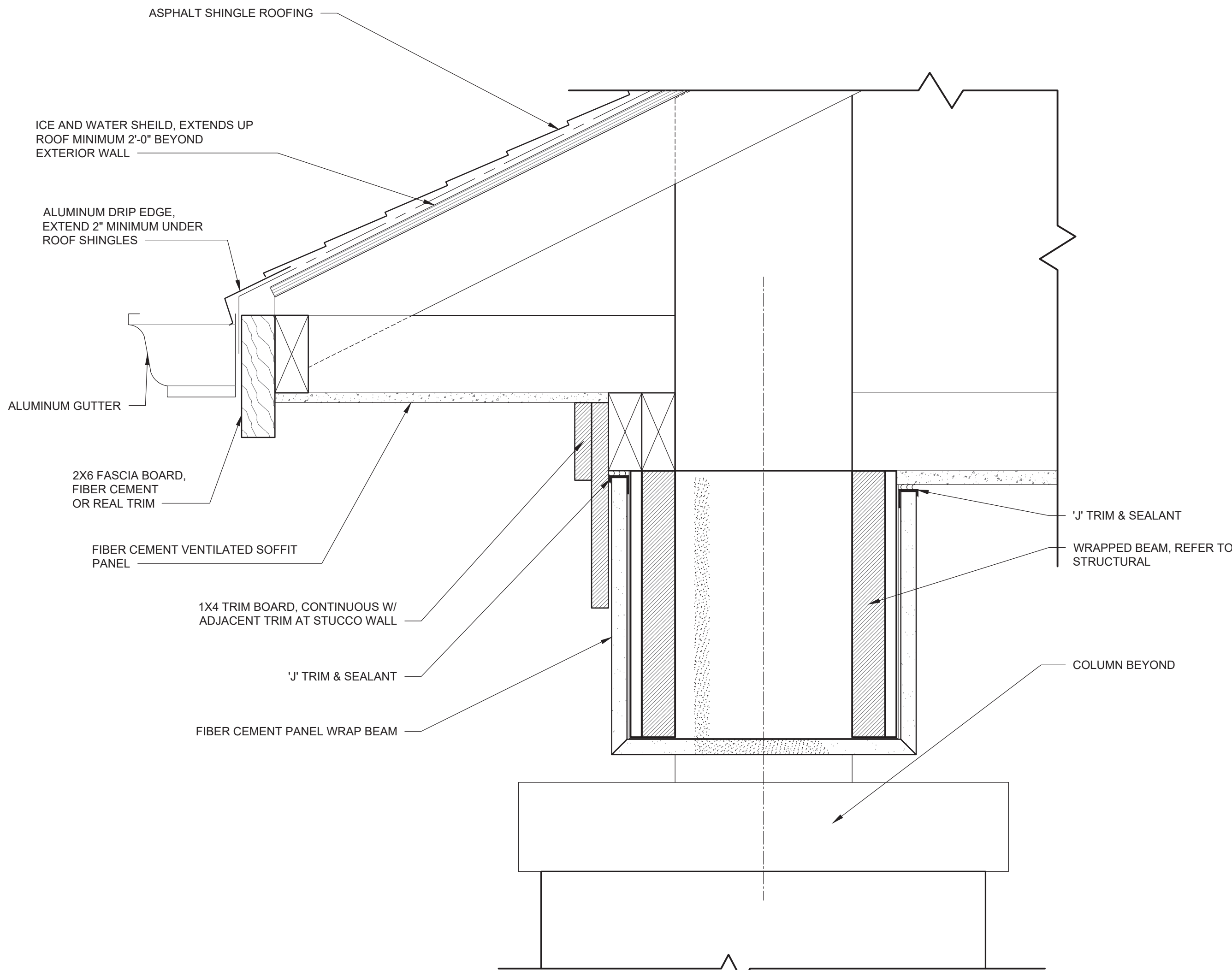
SHEET NUMBER

A722



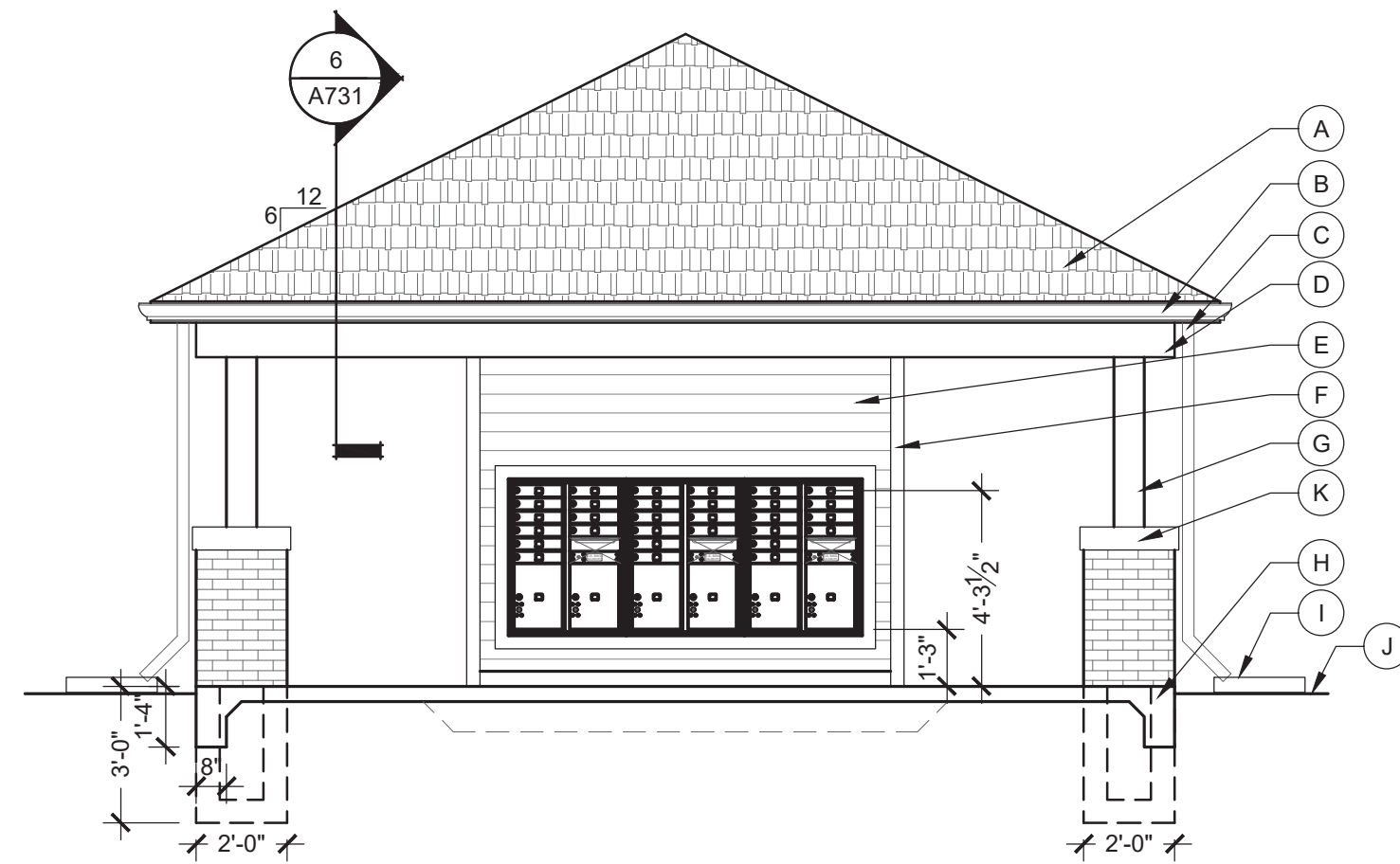
5 BUILDING SECTION

Scale: 1/2" = 1'-0"



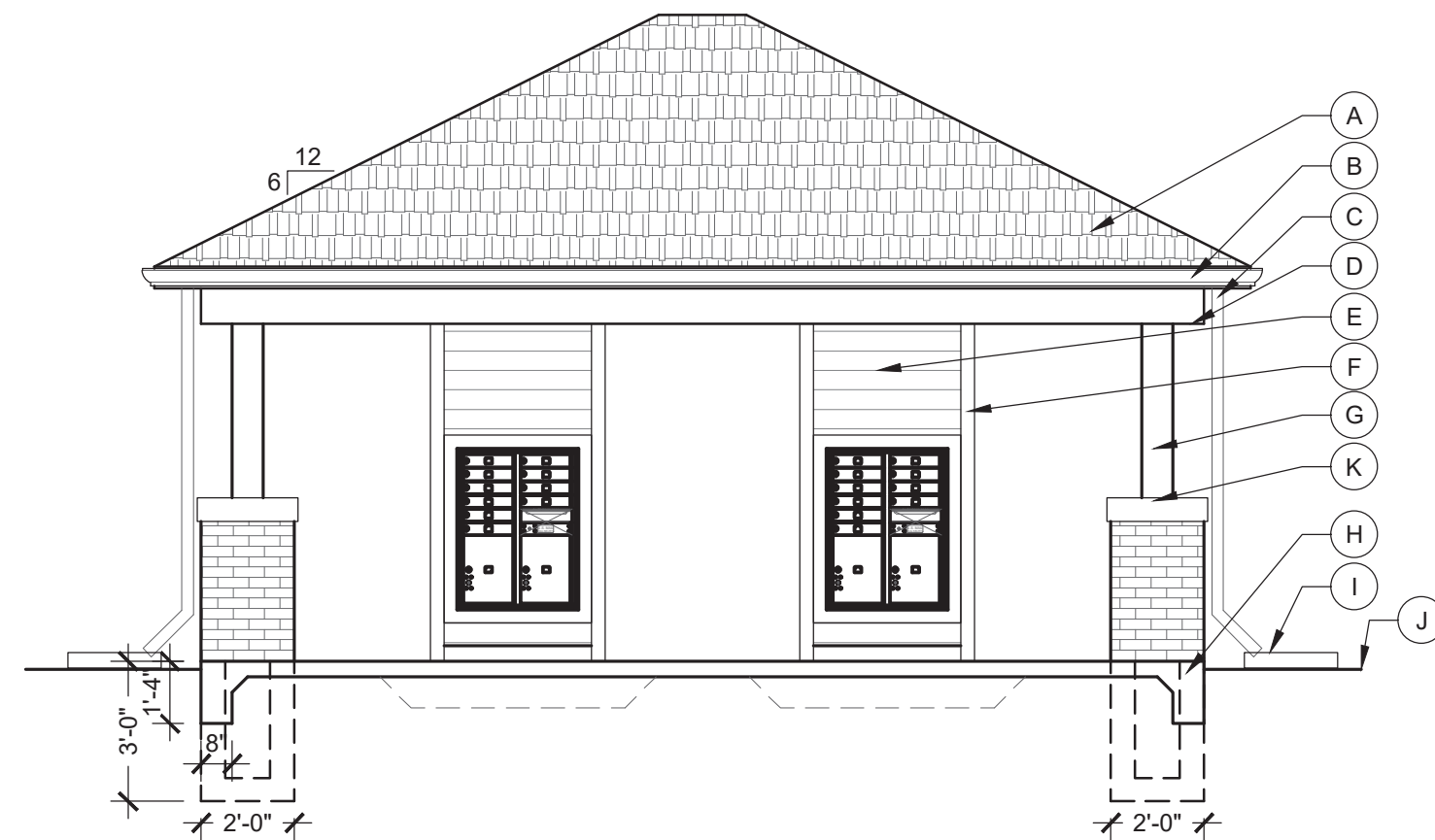
6 SOFIT & FACIA SECTIONAL DETAIL

Scale: 3" = 1'-0"



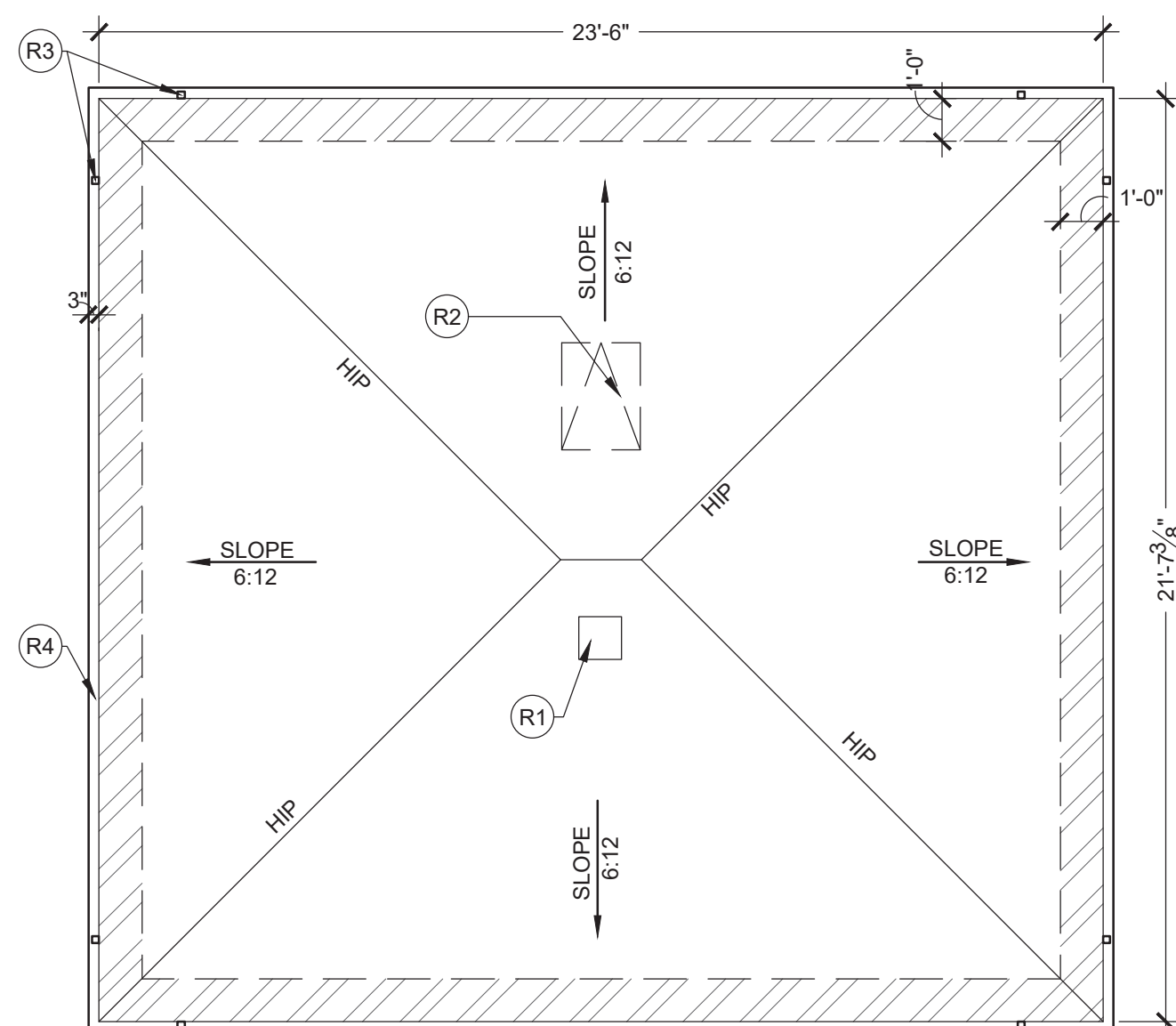
4 SIDE ELEVATION (LEFT)

Scale: 1/4" = 1'-0"



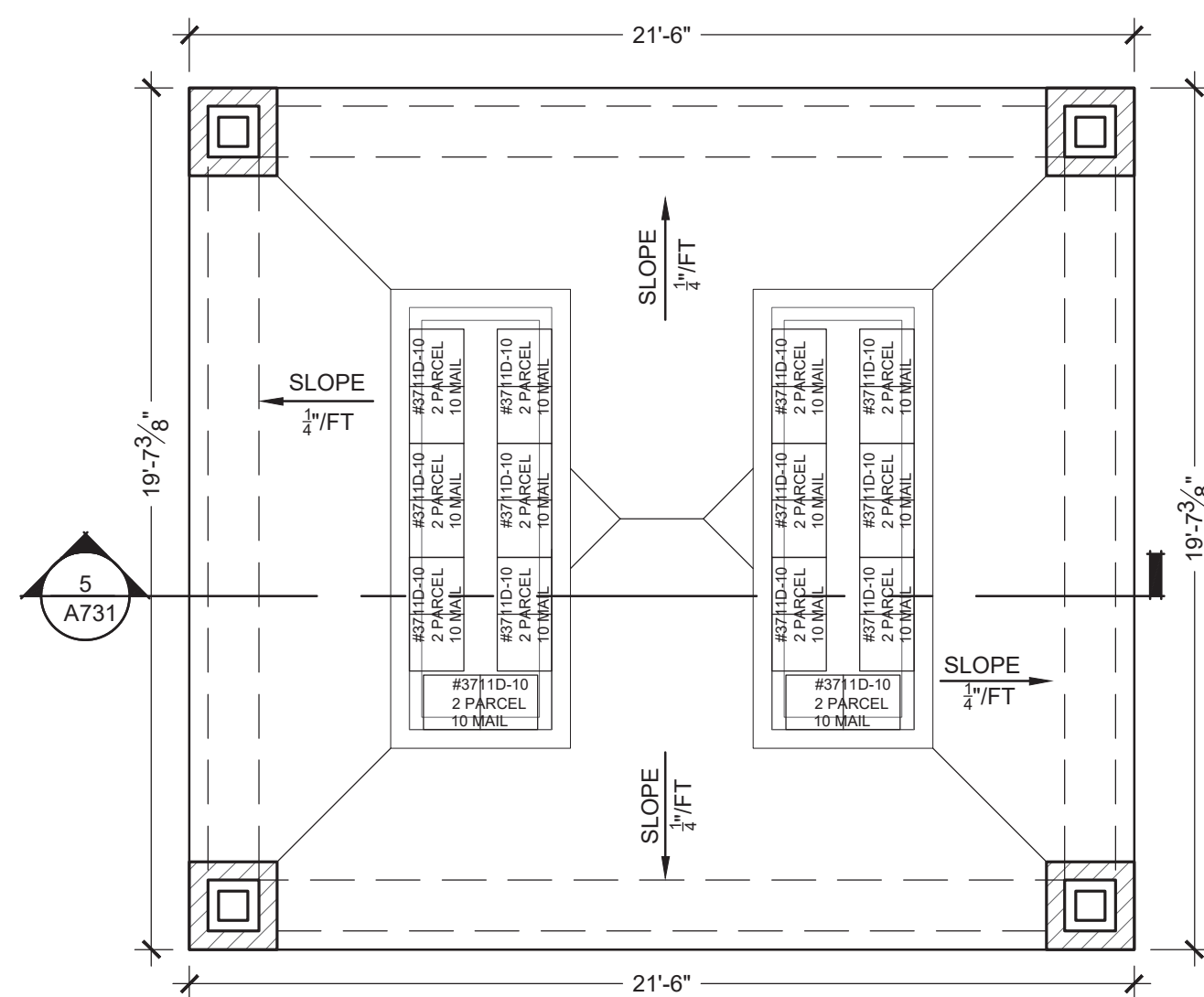
3 FRONT ELEVATION

Scale: 1/4" = 1'-0"



2 ROOF PLAN

Scale: 1/4" = 1'-0"



1 FLOOR PLAN

Scale: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES:

A. SEE TYPICAL PLAN SHEETS FOR GENERAL NOTES.

GENERAL ELEVATION NOTES:

A. SEE TYPICAL ELEVATION SHEETS FOR GENERAL NOTES.

ELEVATION KEYED NOTES:

- DIMENSIONAL ASPHALT SHINGLES
- ALUMINUM GUTTER
- ALUMINUM DOWNSPOUT
- 2X10 BEAM EACH SIDE OF POST THRU BOLTED W/ (3) 3/2" DIAMETER BOLTS AT EACH POST
- FIBER CEMENT SIDING
- FIBER CEMENT TRIM
- 8"X8" REAL POST, SMOOTH CEDAR
- 4" CONC. SLAB W/ 6X6X10 W.W.F. ON 4" COMPACTED FILL
- SPLASH BLOCK
- GRADE
- PRECAST CONCRETE CAP STONES
- END LIST

SECTION KEYED NOTES:

- CLASS A FIBERGLASS SHINGLES ON 5LB. FELT PAPER ON 1/2" OSB SHTG. ON PRE-ENGINEERED ROOF TRUSS @ 24" O.C.
- ROOF TRUSS TIE DOWNS CLIPS
- ALUMINUM GUTTER W/DRIP
- PERFORATED VINYL SOFFIT AT PERIMETER
- ALUMINUM DOWNSPOUT, BEYOND
- 2X10 CEDAR BEAM EACH SIDE OF POST THRU BOLTED W/ (3) 3/2" DIAMETER BOLTS AT EACH POST, PROVIDE INTERMEDIATE BLOCKING
- 14"X14" RS CEDAR POST
- PRESSURE TREATED 3/4" OSB W/2X BLOCKING AS REQ'D
- PRESSURE TREATED 2x6 @ 16" O.C. W/ 7/16" OSB AND BUILDING WRAP
- GRADE
- 4" CONC. SLAB W/ 6X6X10 W.W.F. ON 4" COMPACTED FILL
- 3/4" DIA. ANCHOR BOLTS @ 48" O.C. 12" MAX. FROM ENDS
- 1'-6" DIAMETER CONC. PIER
- 6"X 6" RS CEDAR POST
- 2X6 CEDAR (SOFFIT) FLUSH WITH BOTTOM OF BEAMS
- END LIST

ROOF PLAN KEYED NOTES:

- ROOF VENT, 144 SQ. INCHES FREE AREA, MIN.
- ATTIC ACCESS W/LOCK
- DOWNSPOUT LOCATION
- ALUMINUM GUTTER W/ DRIP

EXTERIOR MATERIAL LEGEND

	COMPOSITION ROOF
	STANDING SEAM METAL ROOF
	BRICK VENEER
	FIBER CEMENT SIDING

WALL LEGEND

	LOAD BEARING WALL OVERLAY REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS.
	30 MINUTE RATED "FIRE PARTITION". AT CORRIDORS.
	1 HR RATED "FIRE PARTITION". WALL EXTENDS FROM RATED ASSEMBLY TO RATED ASSEMBLY.
	1 HR RATED "FIRE BARRIER". WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
	2 HR RATED "FIRE BARRIER". WALL EXTENDS THROUGH INTERSECTING ASSEMBLIES.
	2 HR RATED "FIRE WALL" CONTINUOUS WITHOUT INTERRUPTION.

NOTES:
• SEE STRUCTURAL FOR ALL SHEAR WALL LOCATIONS.
• SEE WALL ASSEMBLY ON G300 AND G340 SERIES SHEETS FOR SPECIFIC ASSEMBLY REQUIREMENTS.
• RATED WALLS INSIDE UNITS ARE FIRE RATED DUE TO CONSTRUCTION TYPE OF BUILDING AND FIRE RATING REQUIRED FOR CERTAIN ELEMENTS IN ACCORDANCE WITH TABLE 601.

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ISSUED FOR: DATE

REVISIONS

MARK DESCRIPTION DATE

DATE: 01-23-2024

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CHECKED BY: BP

SHEET TITLE

MAIL KIOSK DETAILS
140 MAIL BOXES, 28
PARCEL BOXES

SHEET NUMBER

A731