

General Notes		
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.		
2. ALL FOUNDATION WALLS 8" THICK UNLESS OTHERWISE NOTED.		
3. OVERALL FOUNDATION WALL HEIGHT MAY VARY UP TO 1".		
4. SEE SHEET ON.1 FOR VERTICAL FOUNDATION WALL CONTROL JOINT LOCATIONS.		
Key Notes		
1	OUTLINE OF BASEMENT STAIRS	
2	8"W x 8"H x 4"D BEAM POCKET	
3	36"x36"x12" CONCRETE PAD	
4	--	
5	CONTINUOUS FOOTING & FOUNDATION, DROP TO BE FIELD DETERMINED.	
6	SLAB CONTROL JOINT TO BE LOCATED DIRECTLY UNDER CENTERLINE OF BEAM	
7	SLAB CONTROL JOINT	
8	GARAGE SLAB TO BE HELD A MINIMUM OF 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 4" TOWARDS GARAGE DOOR.	
9	8"W x 9-1/4"H x 4"D BEAM POCKET	
10	HOLD TOP OF PORCH FOUNDATION EVEN MAIN WALL FOR CONCRETE PORCH SLAB SUPPORT	
11	5'-0" DIAMETER AREA SLOPED TO DRAIN, 2" LOWER THAN TOP OF SLAB	
12	---	
13	---	
14	8"x16" PLAIN CONCRETE THICKENED SLAB FOR BEARING WALL ABOVE	
15	---	
16	---	
17	---	
18	---	
19	---	
20	LINE OF SLAB/FIRST FLOOR SUBFLOOR ABOVE, RE: A/7.01	
21	---	
22	---	
23	---	
24	---	
25	---	
Subdivision:		SUB_NM
Job #:		JOB_NM
Customer Name:		CUS_NM
Job Address:		JOB_AD
Sheet No.		1.01



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House:		ASH LAWN	
Series:		Plan No.:	
Std. Drawn By:		JRT	
Std. Chk. By:		ARC	
Std. Date:		9-16-13	
Date of Last Rev:		11/04/22 WJS	

Sheet Description: SCALE: 1/8" = 1'-0"  
FOUNDATION PLAN  
ELEVATION "J"

Contract Drawn By:	DWG_BY
Phone #:	DWG_PH
Coordinator's Name:	COORD_NM
Coordinator's Phone #:	COORD_PH

Original Site Specific Dwg. & Effective Change Order Date:

CT\_DT

Ash Lawn - CDs [Elev 1] - MWR.dwg Sep 05, 2023 - 12:53pm

OPT. BEDROOM 5. SEE SHEET 8.06-8.07  
OPT. SUNROOM. SEE SHEET 8.08-8.09  
OPT. POCKET OFFICE. SEE SHEET 8.10-8.11  
OPT. SUNROOM W/ OPT. BEDROOM 5. SEE SHEET 8.12-8.13  
OPT. OUTDOOR LIVING. SEE SHEET 8.21-8.23  
OPT. OUTDOOR LIVING W/ BEDROOM 5. SEE SHEET 8.27  
OPT. OUTDOOR LIVING W/ SUNROOM. SEE SHEET 8.28  
OPT. OUTDOOR LIVING W/ SUNROOM AND BEDROOM 5. SEE SHEET 8.29

OPT. RECREATION ROOM. SEE SHEET 8.01

OPT. WET BAR - SEE SHEET 8.01

OPT. 3 CAR FRONT GARAGE. SEE SHEET 8.31

OPT. BATHS -  
SEE SHEET 8.01

OPT. 9'-0" FDN. STAIRS

FLOOR DRAIN

UNEXCAVATED

UNEXCAVATED

OPT. 2 CAR SIDE ENTRY GARAGE.  
SEE SHEET 8.03  
OPT. 3 CAR SIDE ENTRY GARAGE.  
SEE SHEET 8.04,8.05

General Notes

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- [1] STAIRS TO BE ENCLOSED WITH FULL HEIGHT STUDS @ 16" O.C. AND DRYWALLED ON INTERIOR STAIRWELL ONLY TO BOTTOM OF THE RUN
- [2] --
- [3] 5'-0" DIAMETER AREA SLOPED TO DRAIN 2" LOWER THAN TOP OF SLAB.
- [4] --
- [5] BEARING WALL
- [6] --
- [7] --
- [8] --
- [9] --
- [10] --
- [11] --
- [12] --
- [13] --
- [14] 80 SQ. FT. MAX. AREA OF CEILING, COMPLYING WITH RCO 302.13 EXCEPTION 3.1 AND EXCEPTION 3.2, NOT REQUIRING DRYWALL. PERIMETER EDGE MUST BE FIREBLOCKED TO KEEP SEPARATE FROM THE REST OF THE FLOOR ASSEMBLY.
- [15] UNFINISHED BASEMENT CEILING TO BE COVERED IN 1/2" GYPSUM BOARD (WITH THE EXCEPTION OF THE AREA OF KEYNOTE 14). JOINTS DO NOT NEED TO BE TAPED OR MUDDED.



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House:  
ASH LAWN

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 11/04/22 WJS  
Sheet Description: SCALE: 1/8" = 1'-0"  
UNFINISHED BASEMENT  
FRAMING PLAN  
ELEVATION "J"

Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CT\_DT

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.  
1.02

OPT. BEDROOM 5. SEE SHEET 8.06-8.07  
OPT. SUNROOM. SEE SHEET 8.08-8.09  
OPT. POCKET OFFICE. SEE SHEET 8.10-8.11  
OPT. SUNROOM W/ OPT. BEDROOM 5. SEE SHEET 8.12-8.13  
OPT. OUTDOOR LIVING. SEE SHEET 8.21-8.23  
OPT. OUTDOOR LIVING W/ BEDROOM 5. SEE SHEET 8.27  
OPT. OUTDOOR LIVING W/ SUNROOM. SEE SHEET 8.28  
OPT. OUTDOOR LIVING W/ SUNROOM AND BEDROOM 5. SEE SHEET 8.29

OPT. RECREATION ROOM. SEE SHEET 8.01

OPT. WET BAR - SEE SHEET 8.01

OPT. 3 CAR FRONT GARAGE. SEE SHEET 8.31

OPT. 2 CAR SIDE ENTRY GARAGE.  
SEE SHEET 8.03  
OPT. 3 CAR SIDE ENTRY GARAGE.  
SEE SHEET 8.04,8.05

General Notes

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 5'-0" DIAMETER AREA SLOPED TO DRAIN 2" LOWER THAN TOP OF SLAB.  
2 TO SWITCH ABOVE.  
3 OUTLET IN JOIST SPACE FOR FAN  
4 APPROXIMATE LOCATION OF PLUMBING STACK. LOCATE AS SHOWN TO KEEP OUT OF FINISHED OR FUTURE FINISHED AREA HOLD TIGHT TO FOOTING & FOUNDATION.  
5 --  
6 --  
7 --  
8 --  
9 --  
10 --

Mechanical Legend

DATA JACK	FLUORESCENT LIGHT
WALL OUTLET	UNDER CABINET LIGHTING
WEATHERPROOF OUTLET	CLG. MOUNTED LIGHT FIXT.
220 OUTLET	WALL MOUNTED LIGHT FIXT.
GROUND FAULT CIRCUIT INTERRUPT OUTLET	SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT,PER SPECS.
FLOOR OUTLET	DOUBLE SPOTLIGHT FIXT.
CABLE/TELEVISION JACK	DIRECTIONAL CAN LIGHT
SINGLE POLE SWITCH	PIN LIGHT
3-WAY SWITCH	WALL SCONCE @ 5'-6" A.F.F.
4-WAY SWITCH	STAIR LIGHT
SMOKE DETECTOR	CLG. MTD. EXHAUST FAN
SMOKE DETECTOR/ CO DETECTOR COMBINATION	WALL MTD. EXHAUST FAN
BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	SHOWER HEAD
EXHAUST FAN AND LIGHT COMBINATION	HOSE BIB
FLOOR DRAIN	GAS HOOK UP



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ASH LAWN

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 11/04/22 WJS  
Sheet Description: SCALE: 1/8" = 1'-0"  
UNFINISHED BASEMENT MECHANICAL PLAN ELEVATION "J"

Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

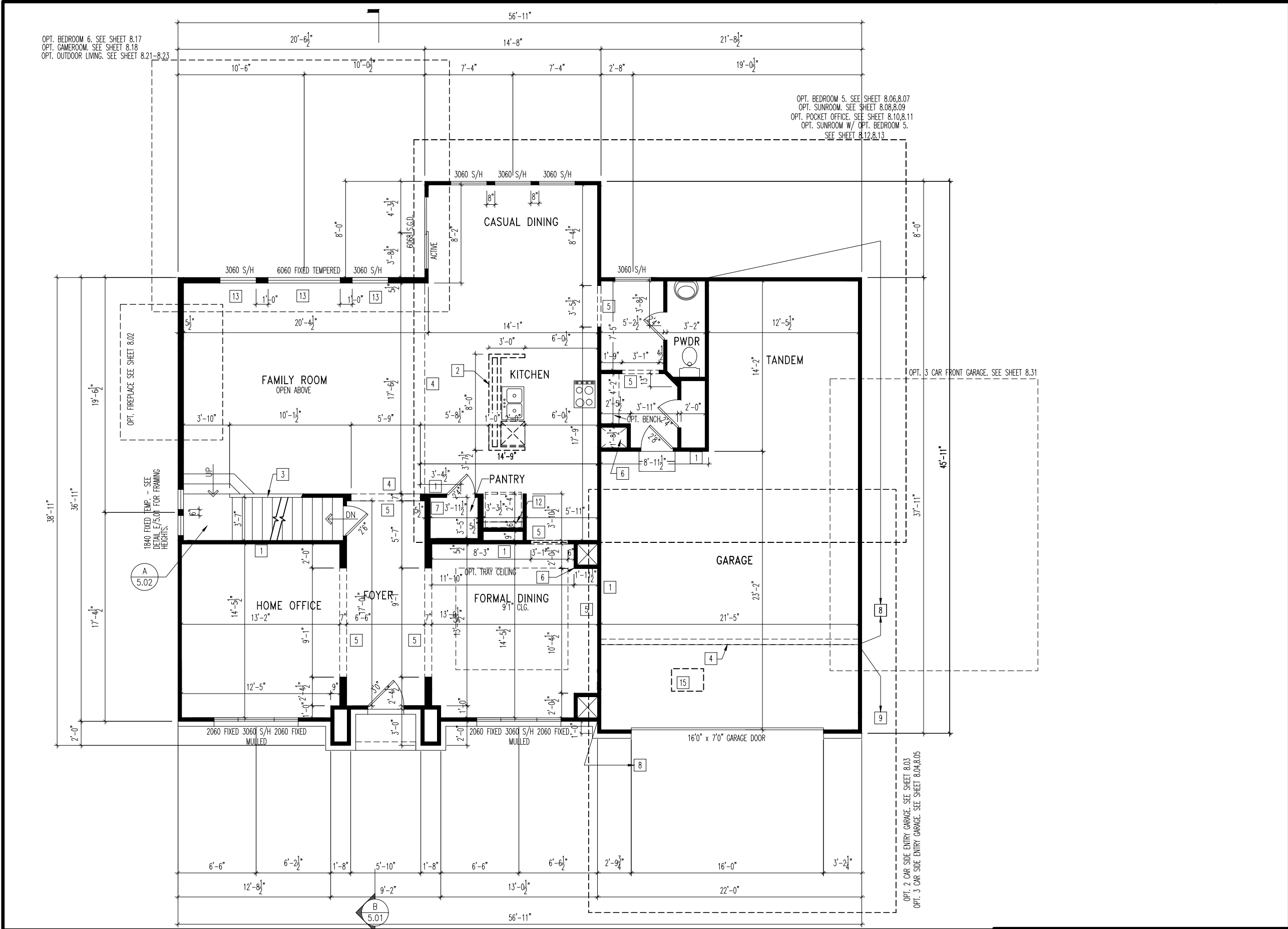
Original Site Specific Dwg. & Effective Change Order Date:

CT\_DT

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.

1.03

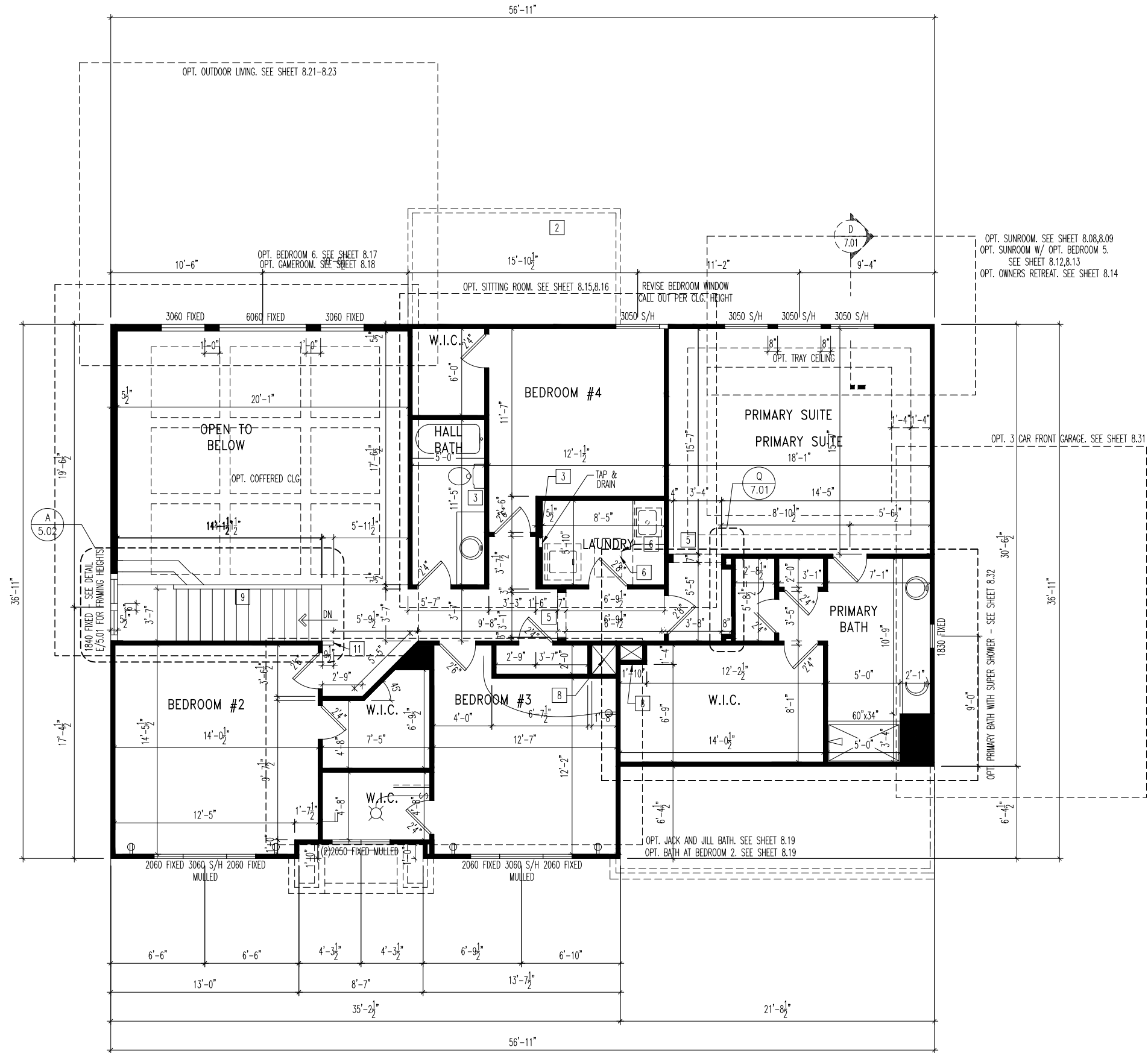


General Notes		
- REFER TO SHEET ON.1 FOR GENERAL NOTES		
- ALL FIRST FLOOR CEILINGS TO BE 9'1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED (SEE SPECIFICATIONS)		
- FRAME TOP OF ALL WINDOWS AT 1'0-1/4" BELOW TOP PLATE UNLESS OTHERWISE NOTED		
- ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'0" FROM CEILING UNLESS CALCULATIONS REQUIRE LARGER HEADERS.		
Key Notes		
1	BEARING WALL	
2	34-1/2' HIGH WALL	
3	SLOPED WALL W/ STAIR STRINGER.	
4	SECOND FLOOR LINE ABOVE.	
5	TOP OF OPENING @ 8'-1"	
6	HVAC CHASE	
7	DROP CEILING FOR HVAC	
8	FRAME GARAGE WALLS @ 10'-3 1/8" WITH 2x4's @ 12" O.C. ABOVE TOP OF FOUNDATION WALL	
9		
10		
11		
12	REF. HEADER HELD TO 6'-8" A.F.F.	
13	SEE DETAIL C/5.01 FOR FRAMING HEIGHTS.	
14		
15	22-1/2"x 32" ATTIC ACCESS PANEL, HOLD MINIMUM 9'-6" BACK FROM GARAGE DOOR.	
16	DO NOT CENTER JOIST OVER FRONT DOOR TO ALLOW FOR CEILING LIGHT INSTALLATION, CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS	
17		

Subdivision:	SUB_NM	Sheet No.
Job #:	JOB_NM	2.01 FRAMING
Customer Name:	CUS_NM	
Job Address:	JOB_AD	







- General Notes**
- REFER TO SHEET ON.1 FOR GENERAL NOTES
  - ALL SECOND FLOOR CEILINGS TO BE 8'1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED (SEE SPECIFICATIONS)
  - FRAME TOP OF ALL WINDOWS AT 1'0-1/4" BELOW TOP PLATE UNLESS OTHERWISE NOTED
  - ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'0" FROM CEILING UNLESS CALCULATIONS REQUIRE LARGER HEADERS.

- Key Notes**
- 1
  - 2 OUTLINE OF GARAGE OR FIRST FLOOR WALL BELOW.
  - 3 DO NOT LOCATE TRUSS ABOVE PLUMBING WALL.
  - 4
  - 5 1'-0" DROP CEILING
  - 6 22-1/2" x 32" ATTIC ACCESS.
  - 7
  - 8 HVAC CHASE
  - 9 SLOPED WALL W/ STAIR STRINGER.
  - 10
  - 11 42" HIGH WALL
  - 12
  - 13
  - 14 --
  - 15



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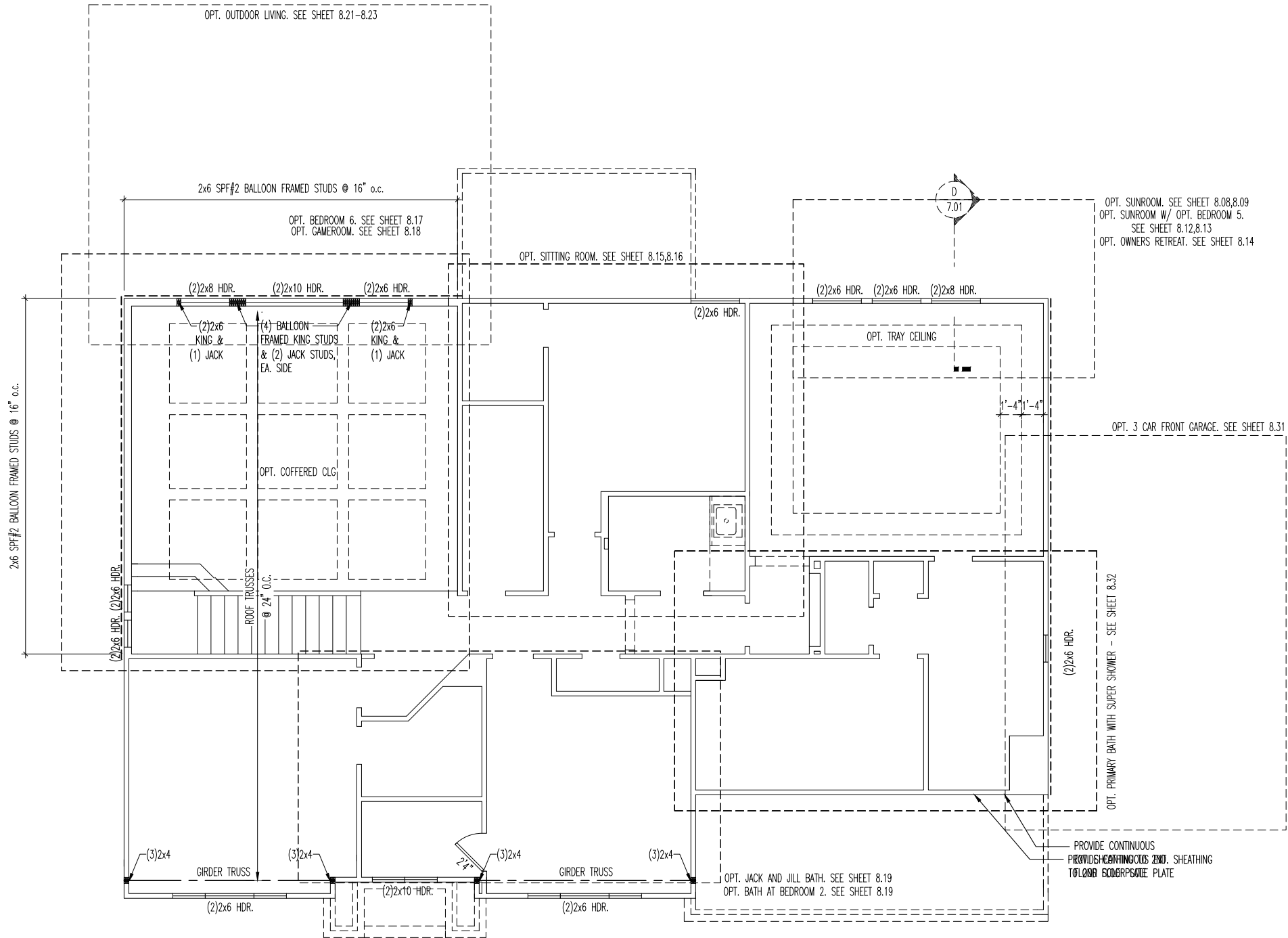
House:  
**ASH LAWN**  
Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 01/03/22 WJS  
Sheet Description: **SECOND FLOOR FRAMING PLAN ELEVATION "J"**  
SCALE: 1/8" = 1'-0"

Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:  
**CT\_DT**  
Ash Lawn - CDs [Elev 1 - MNR.dwg Sep 05, 2023 - 12:53pm]

Subdivision:	SUB_NM	Sheet No.
Job #:	JOB_NM	2.02
Customer Name:	CUS_NM	FRAMING
Job Address:	JOB_AD	



### LATERAL BRACING & SHEAR WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:

**115 MPH WIND IN 2020 InRC MAP**  
(115 MPH WIND SPEED IN ASCE 7-16 WIND MAP, PER IRC R301.2.1.1)  
EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2018 IBC (SECTION 1609) & ASCE 7-16, AS PERMITTED BY R301.1.3 OF THE 2020 InRC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2020 InRC IF THE PARAMETERS OF SECTION R602.12 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

### EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:  
FASTEN SHEATHING w/ 2-3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1-3/4" 16 GA STAPLES (7/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

### 3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2-3/8"x0.113" NAILS @ 3" o.c. AND 12" o.c. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

### NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS:  
ALL SHEATHED (OSB OR PLYWOOD) PANELIZED WALLS SHALL BE FASTENED TOGETHER AT END STUDS WITH 0.131x3" NAILS AT 4" O.C. (VERTICALLY) THROUGH ONE SIDE. WHEN SIDE NAILING OF PANELIZED WALLS IS NOT POSSIBLE, FASTEN PANELS TOGETHER WITH 0.162x3.5" TOENAILS AT 4" O.C. (VERTICALLY). ALL NON-SHEATHED PANELIZED WALLS SHALL BE FASTENED TOGETHER WITH 0.131x3" NAILS AT 16" O.C. (VERTICALLY) THROUGH ONE SIDE.

- INDICATES EXTENT OF INT. OSB SHEARWALL AND/OR 3" O.C. EDGE NAILING
- ▶ INDICATES HOLDDOWN
- \* INDICATES POST ABOVE (P.A.) PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

### General Notes

### CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL	
JOIST TO SOLE PLATE	(3) 10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3) 10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3) 10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3) 10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3) 10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10) 10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) 10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.



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House:

**ASH LAWN**

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 01/03/22 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

**SECOND FLOOR STRUCTURAL PLAN  
ELEVATION "J"**

Contract Drawn By:

DWG. BY

Phone #:

DWG. PH

Coordinator's Name:

COORD. NM

Coordinator's Phone #:

COORD. PH

Original Site Specific Dwg. & Effective Change Order Date:

CT\_DT

Ash Lawn - CDs [Elev 1 - MNR.dwg Sep 05, 2023 - 12:53pm

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

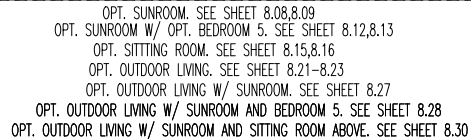
CUS\_NM

Job Address:

JOB\_AD

Sheet No.

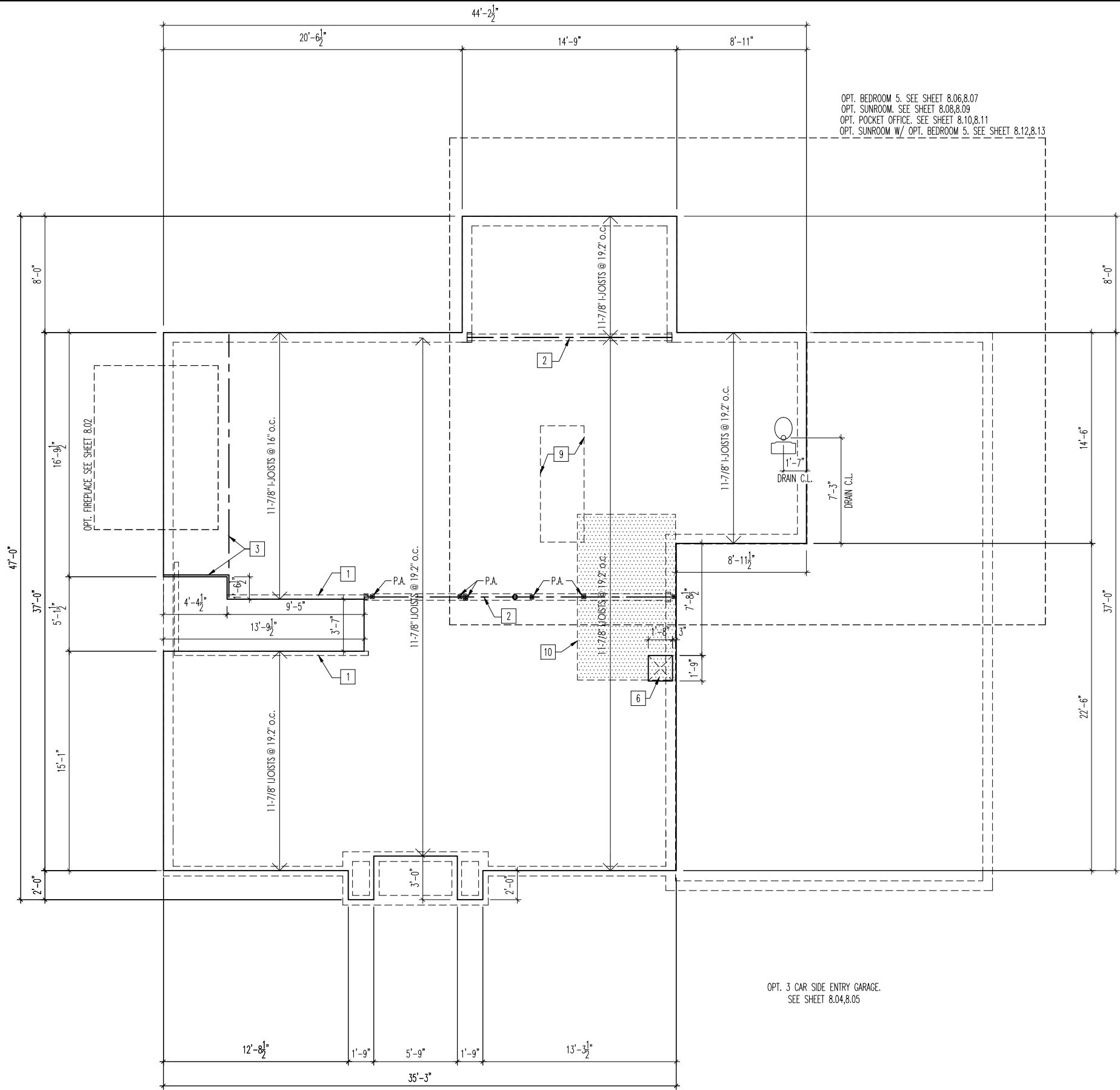
**2.02**  
**STRUCTURE**



General Notes	
<ul style="list-style-type: none"> <li>- REFER TO SHEET ON.1 FOR GENERAL NOTES.</li> <li>- ROOFING PER SPECIFICATIONS</li> </ul>	
<p>TRUSS MANUFACTURER TO VERIFY THE FOLLOWING: (REFER TO SHEETS 2.01F AND/OR 2.02F)</p> <ol style="list-style-type: none"> <li>1) DO NOT LOCATE ROOF TRUSSES ABOVE PARALLEL PLUMBING WALLS OR KITCHEN HOOD WALLS</li> <li>2) DO NOT LOCATE ROOF TRUSSES ABOVE HVAC CHASES (OR LEAVE A MIN. 22-1/2" WIDE CLEAR SPACE OVER CHASE)</li> </ol>	

- 1 --
- 2
- 3
- 4 SADDLE. MIN. 4:12 PITCH, EXTEND SADDLE 18" PAST FRONT ELEVATION FACE
- 5
- 6
- 7 NO ROOF DECKING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL	
JOIST TO SOLE PLATE	(3)10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3)10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3)10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3)10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3)10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10)10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2)10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.



OPT. BEDROOM 5. SEE SHEET 8.06,8.07  
OPT. SUNROOM. SEE SHEET 8.08,8.09  
OPT. POCKET OFFICE. SEE SHEET 8.10,8.11  
OPT. SUNROOM W/ OPT. BEDROOM 5. SEE SHEET 8.12,8.13

OPT. 3 CAR SIDE ENTRY GARAGE.  
SEE SHEET 8.04,8.05

- General Notes
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
  2. FLOOR SYSTEM TO BE 11-7/8" I-JOISTS AT 19.2" O.C., UNLESS OTHERWISE NOTED.
  3. ADJUST SUBFLOOR LAYOUT FOR PLUMBING AS NEEDED.
  4. JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS.  
(TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)

- Key Notes
- 1 BEARING WALL BELOW.
  - 2 BEAM BELOW
  - 3 DOUBLE JOISTS.
  - 4
  - 5
  - 6 ALLOW DEDICATED SPACE FOR HVAC
  - 7
  - 8 --
  - 9 DOUBLE EVERY OTHER JOIST UNDER KITCHEN ISLAND (MIN. 2 INSTANCES)
  - 10 80 SQ. FT. MAX. AREA OF CEILING, COMPLYING WITH RCO 302.13 EXCEPTION 3.1 AND EXCEPTION 3.2, NOT REQUIRING DRYWALL. PERIMETER EDGE MUST BE FIREBLOCKED TO KEEP SEPARATE FROM THE REST OF THE FLOOR ASSEMBLY.
  - 11
  - 12
  - 13
  - 14
  - 15
  - 16
  - 17
  - 18
  - 19



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House:  
ASH LAWN

Series: SERIES\_NM Plan No.: PLAN\_NM

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Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 12/14/21 WJS

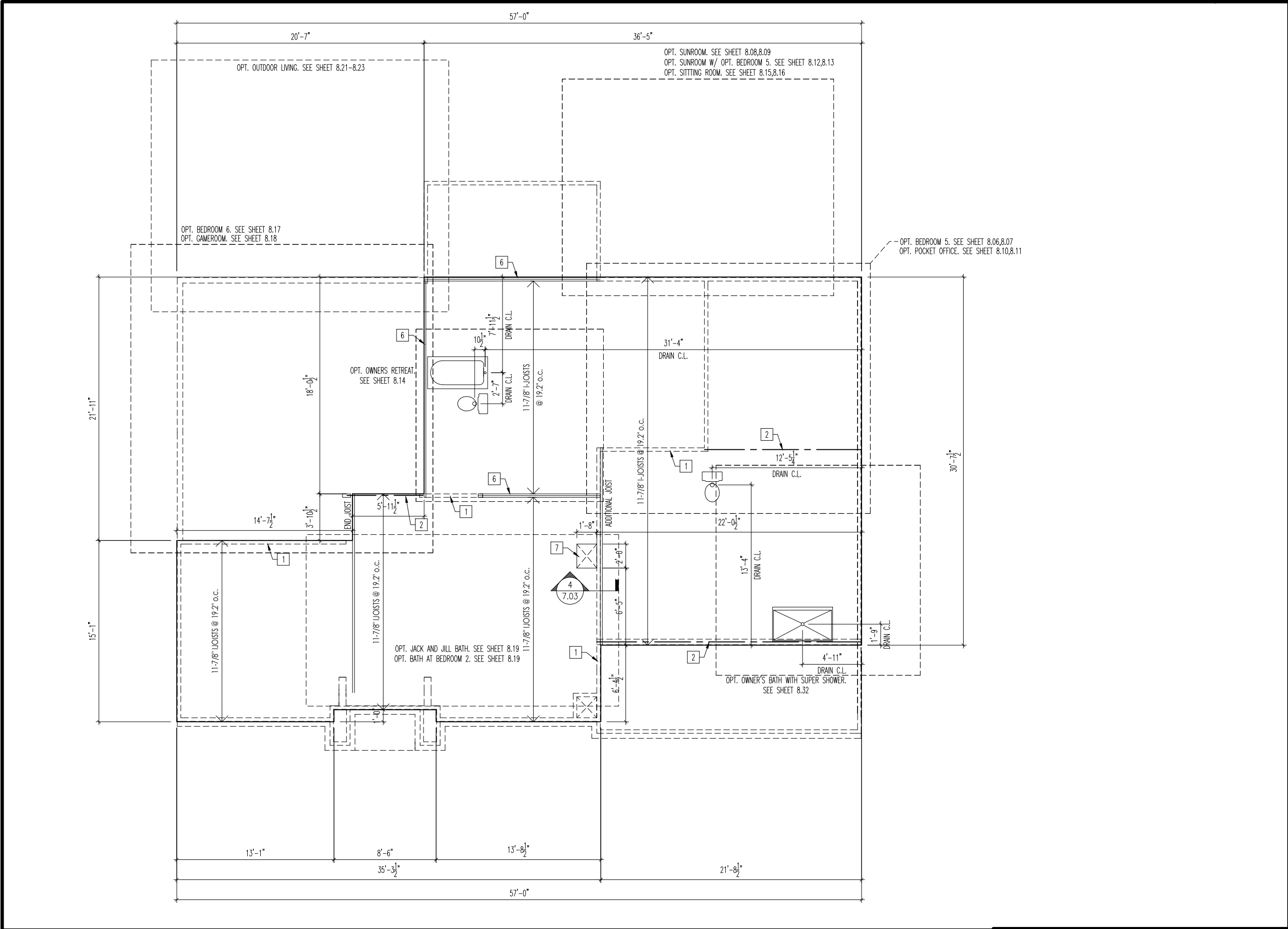
Sheet Description: SCALE: 1/8" = 1'-0"  
FIRST FLOOR SUBFLOOR PLAN  
ELEVATION "J"

Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:  
CT\_DT

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.  
3.01



General Notes

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. FLOOR SYSTEM TO BE 11-7/8" I-JOISTS AT 19.2" O.C., UNLESS OTHERWISE NOTED.
3. ADJUST SUBFLOOR LAYOUT FOR PLUMBING AS NEEDED.
4. JOISTS ARE NOT TO BE PLACED DIRECTLY OVER INTERIOR PARALLEL WALLS.  
(TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)

Key Notes

- 1 BEARING WALL BELOW.
- 2 BEAM BELOW - SEE SHEET 2.01S FOR SIZE.
- 3
- 4
- 5
- 6 FLUSH BEAM - SEE SHEET 2.01S FOR SIZE.
- 7 ALLOW DEDICATED SPACE FOR HVAC
- 8
- 9
- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18
- 19

Drees  
HOMES

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House:  
**ASH LAWN**

Series:  
SERIES\_NM

Plan No.:  
PLAN\_NM

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 12/14/21 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

SECOND FLOOR SUBFLOOR PLAN  
ELEVATION "J"

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CT\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

CUS\_NM

Job Address:

JOB\_AD

Sheet No.

3.02

OPT. BEDROOM 6, SEE SHEET 8.17  
OPT. GAMEROOM, SEE SHEET 8.18  
OPT. OUTDOOR LIVING, SEE SHEET 8.21-8.23

OPT. BEDROOM 5, SEE SHEET 8.06,8.07  
OPT. SUNROOM, SEE SHEET 8.08,8.09  
OPT. POCKET OFFICE, SEE SHEET 8.10,8.11  
OPT. SUNROOM W/ OPT. BEDROOM 5,  
SEE SHEET 8.12,8.13

### General Notes

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.

### Key Notes

- 1 GARBAGE DISPOSAL SWITCH (INSIDE BASE CABINET)  
2 OUTLET IN CEILING.  
3 OUTLET FOR MICROWAVE - HELD HIGH, VENT TO EXTERIOR  
4 TO SWITCH OR LIGHT ABOVE.  
5 OUTLINE OF SECOND FLOOR ABOVE.  
6 HVAC CHASE  
7 TO SWITCH OR LIGHT BELOW.  
8  
9 OUTLET FOR DISHWASHER LOCATED IN SINK CABINET  
10 SEE KITCHEN CUT SHEETS FOR SELECTIONS  
11 SEE SHEET 7.01 FOR KITCHEN LIGHTING, ISLAND LOCATION  
12 22-1/2"x 32" ATTIC ACCESS PANEL, HOLD MINIMUM 9'-6" BACK FROM GARAGE DOOR.

### Mechanical Legend

◀ DATA JACK	○ FLUORESCENT LIGHT
⊕ WALL OUTLET	≡ UNDER CABINET LIGHTING
⊕ WEATHERPROOF OUTLET	⊗ CLG. MOUNTED LIGHT FIXT.
⊕ 220 OUTLET	○ WALL MOUNTED LIGHT FIXT.
⊕ GROUND FAULT CIRCUIT INTERRUPT OUTLET	○ SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.
⊕ FLOOR OUTLET	⊗ DOUBLE SPOTLIGHT FIXT.
TV CABLE TELEVISION JACK	⊗ DIRECTIONAL CAN LIGHT
↔ SINGLE POLE SWITCH	⊗ PIN LIGHT
↔ 3-WAY SWITCH	⊗ WALL SCONCE @ 5'-6" A.F.F.
↔ 4-WAY SWITCH	⊗ STAIR LIGHT
SD SMOKE DETECTOR	⊗ CLG. MTD. EXHAUST FAN
SD CO SMOKE DETECTOR/CO DETECTOR COMBINATION	⊗ WALL MTD. EXHAUST FAN
⊕ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	⊗ SHOWER HEAD
⊕ EXHAUST FAN AND LIGHT COMBINATION	+ HOSE BIB
⊕ FLOOR DRAIN	⊕ GAS GAS HOOK UP



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 05/05/2022 WJS

Sheet Description:

FIRST FLOOR MECHANICAL PLAN  
ELEVATION "J"

SCALE: 1/8" = 1'-0"

Contract Drawn By:

Phone #:

Coordinator's Name:

Coordinator's Phone #:

DWG BY

DWG PH

COORD\_NM

COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:

CT\_DT

Ash Lawn - CDs [Elev 1] - MWR.dwg Sep 05, 2023 - 12:53pm

Subdivision:

Job #:

Customer Name:

Job Address:

SUB\_NM

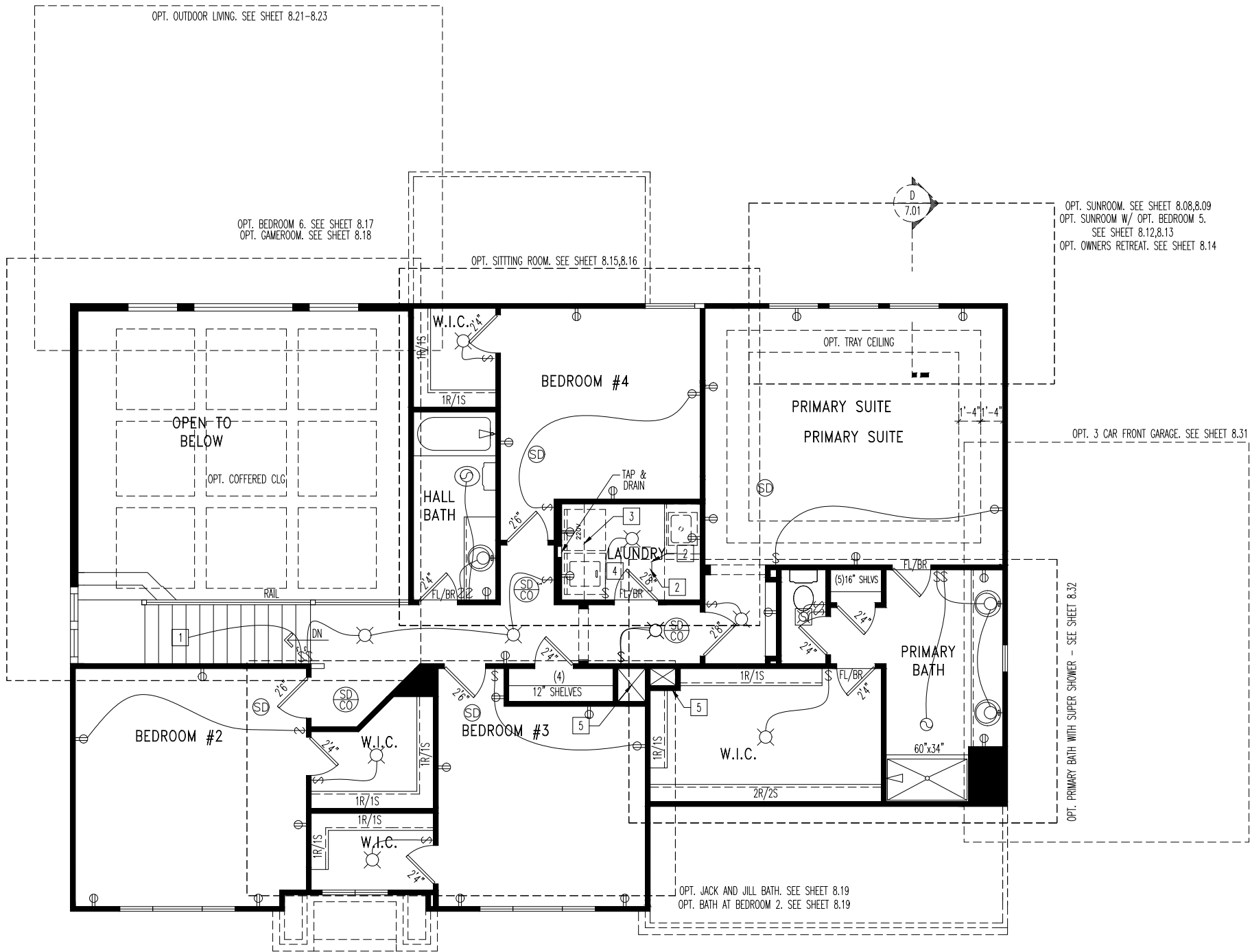
JOB\_NM

CUS\_NM

JOB\_AD

Sheet No.

4.01



General Notes

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 TO LIGHT OR SWITCH.
- 2 22-1/2" x 32" ATTIC ACCESS.
- 3 16" DEEP @ 5'7" A.F.F.
- 4 LOCATE WASHER TO THE LEFT OF THE DRYER
- 5 HVAC CHASE
- 6
- 7 --
- 8 --
- 9 --
- 10 --

Mechanical Legend

DATA JACK	FLUORESCENT LIGHT
WALL OUTLET	UNDER CABINET LIGHTING
WEATHERPROOF OUTLET	CLG. MOUNTED LIGHT FIXT.
220 OUTLET	WALL MOUNTED LIGHT FIXT.
GROUND FAULT CIRCUIT INTERRUPT OUTLET	SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.
FLOOR OUTLET	DOUBLE SPOTLIGHT FIXT.
CABLE TELEVISION JACK	DIRECTIONAL CAN LIGHT
SINGLE POLE SWITCH	PIN LIGHT
3-WAY SWITCH	WALL SCONCE @ 5'-6" A.F.F.
4-WAY SWITCH	STAIR LIGHT
SMOKE DETECTOR	CLG. MTD. EXHAUST FAN
SMOKE DETECTOR/ CO DETECTOR COMBINATION	WALL MTD. EXHAUST FAN
BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)	SHOWER HEAD
EXHAUST FAN AND LIGHT COMBINATION	HOSE BIB
FLOOR DRAIN	GAS HOOK UP



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House:  
ASH LAWN  
Series:  
Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 01/03/22 WJS  
Sheet Description: SCALE: 1/8" = 1'-0"  
SECOND FLOOR MECHANICAL PLAN  
ELEVATION "J"

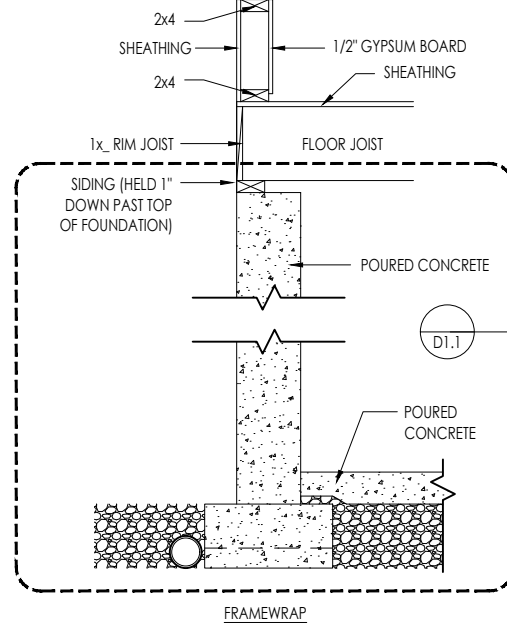
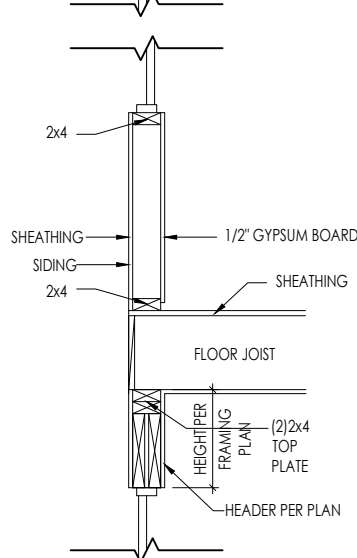
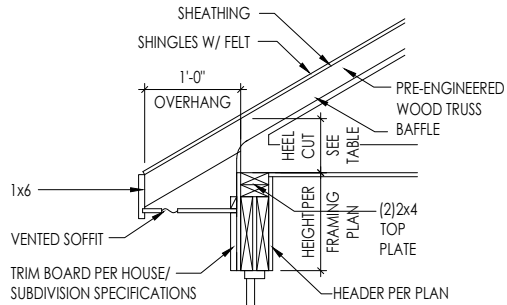
Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:  
CT\_DT

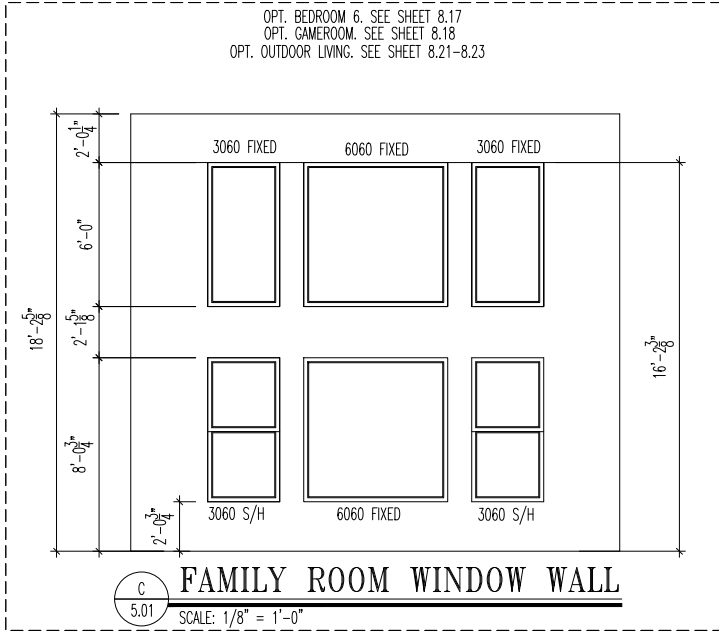
Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.  
4.02

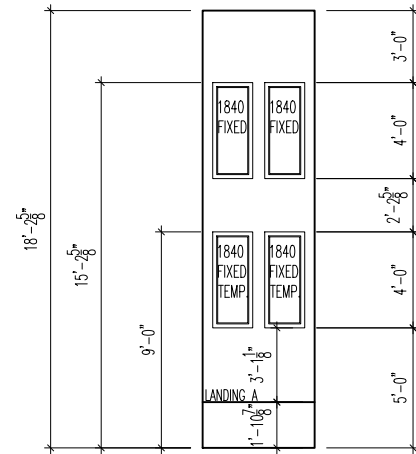




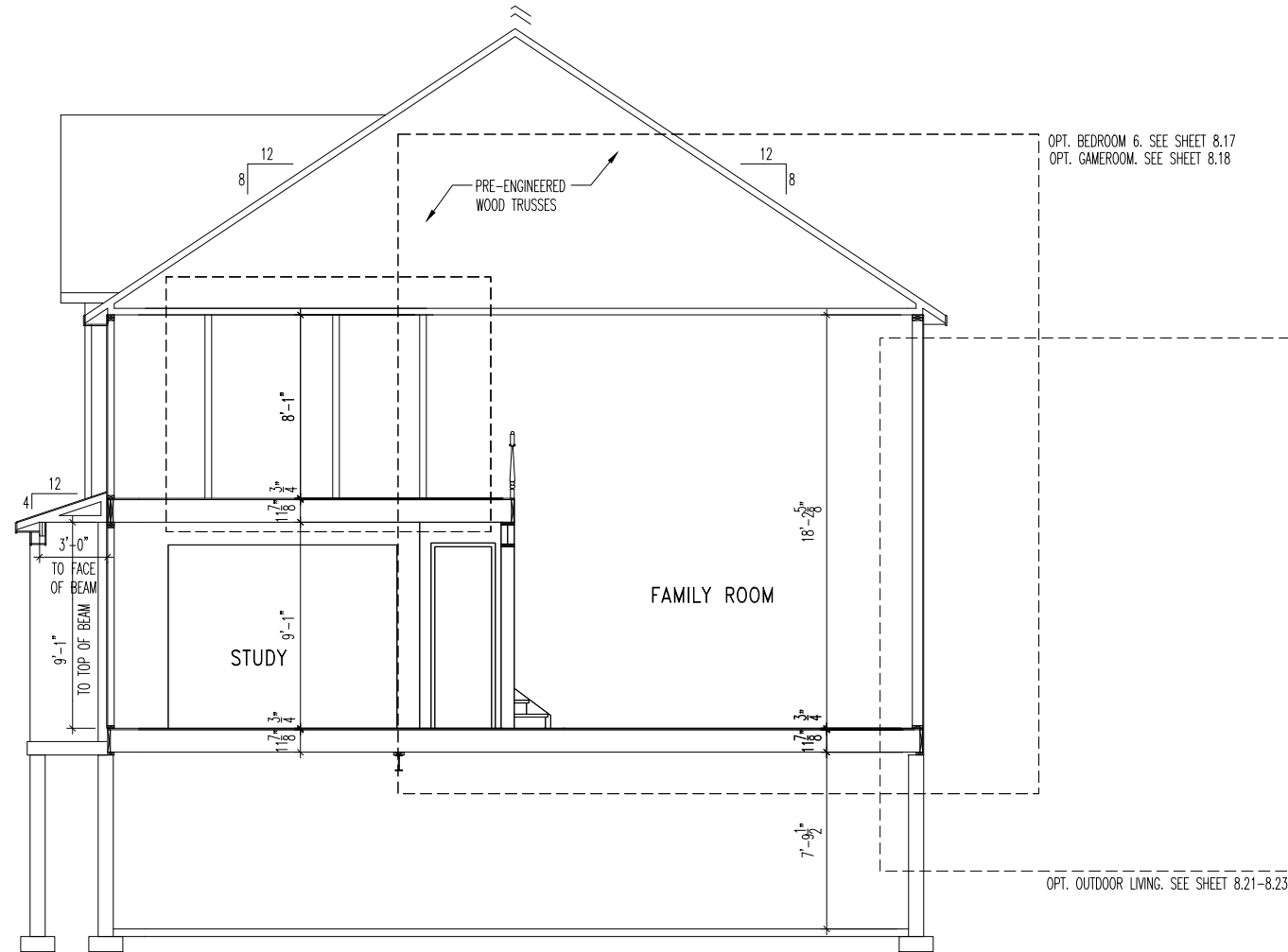
**A**  
5.01  
**WALL SECTION**  
SCALE: 1/2" = 1'-0"



**C**  
5.01  
**FAMILY ROOM WINDOW WALL**  
SCALE: 1/8" = 1'-0"



**E**  
5.01  
**WINDOWS AT STAIR ELEVATION**  
SCALE: 1/8" = 1'-0"



**B**  
5.01  
**BUILDING SECTION**  
SCALE: 1/8" = 1'-0"

### General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

### Key Notes

- 
- 
- 
- 
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- 
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- 

House:

**ASH LAWN**

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 06/29/21 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

**BUILDING SECTIONS/DETAILS  
ELEVATION "J"**

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CT\_DT

Ash Lawn - CDs [Elev] 1 - MWR.dwg Sep 05, 2023 - 12:53pm

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

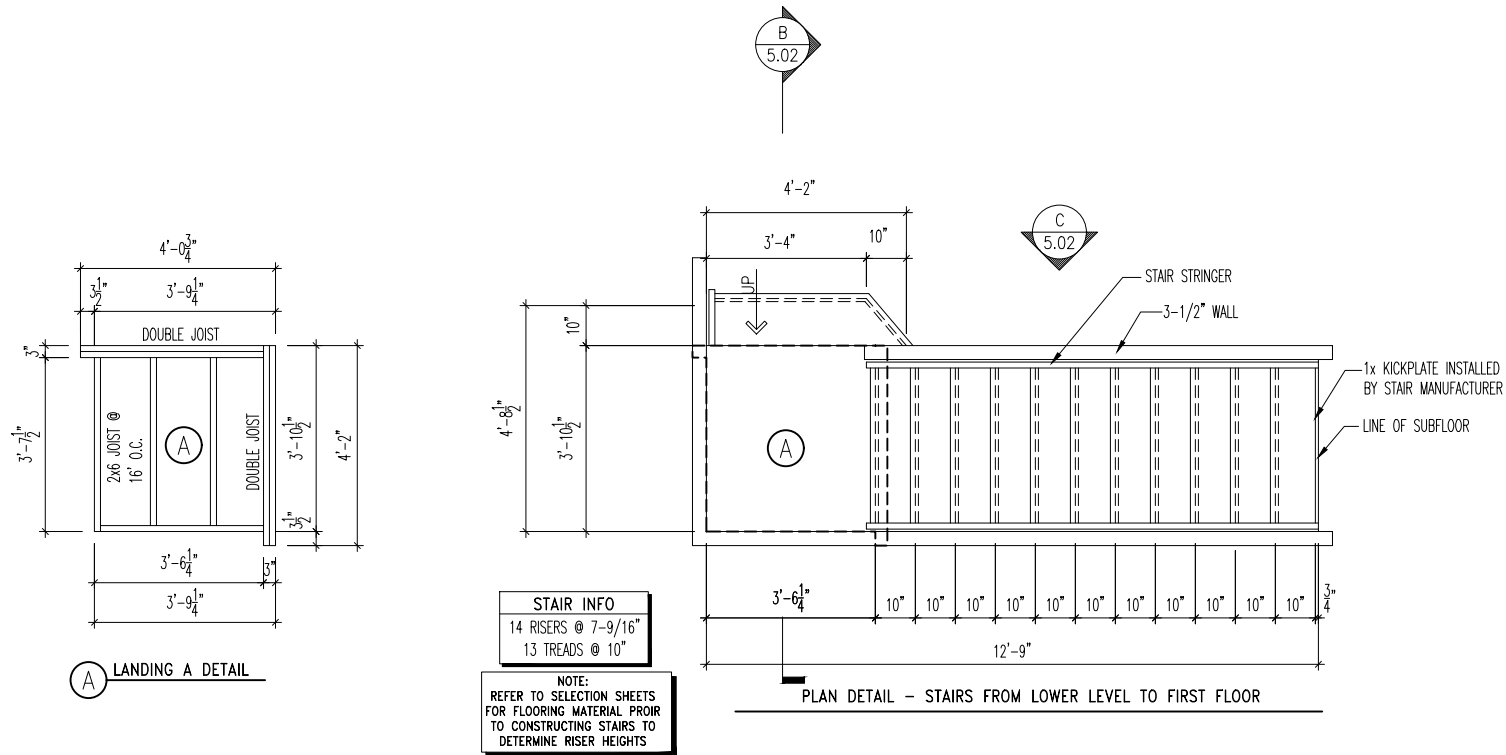
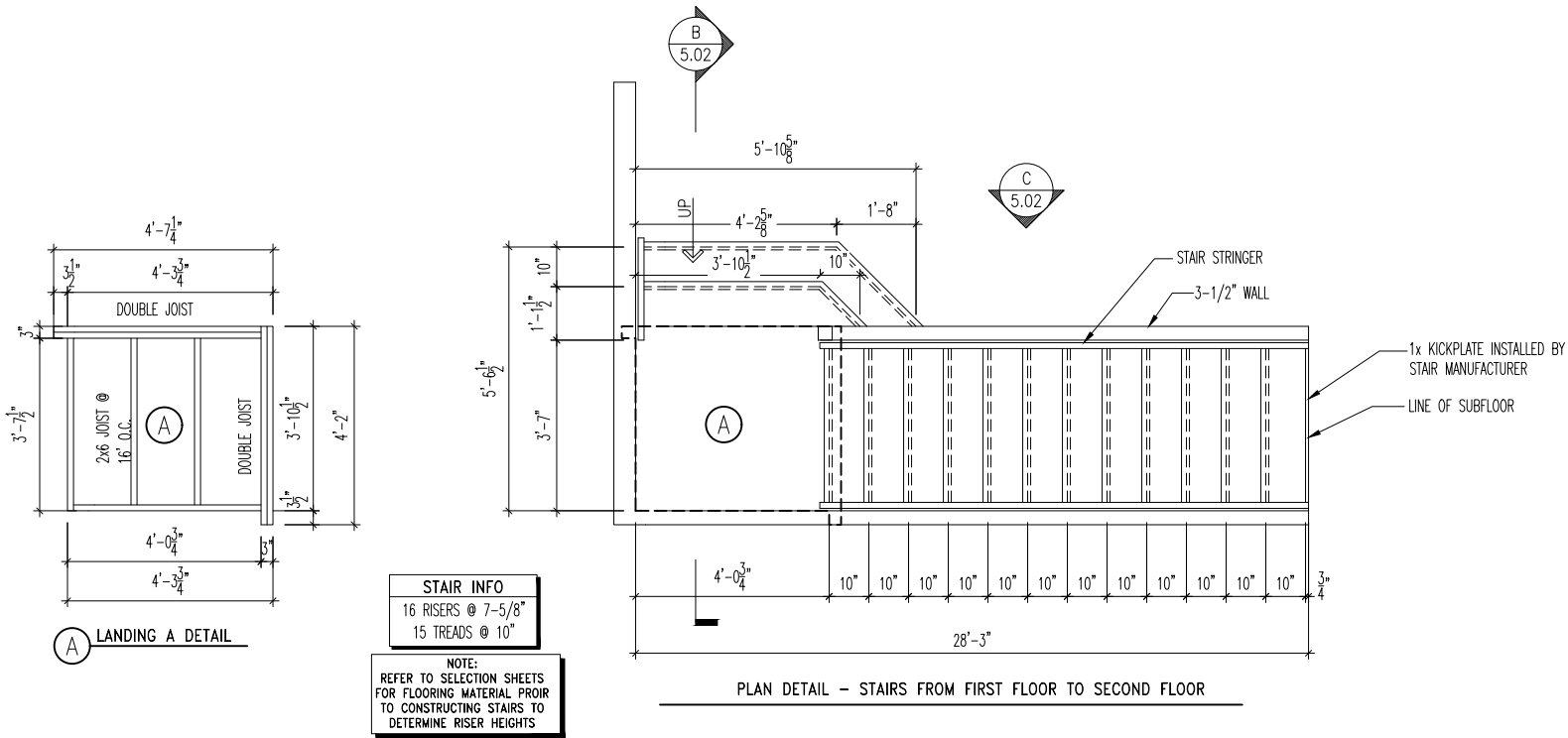
CUS\_NM

Job Address:

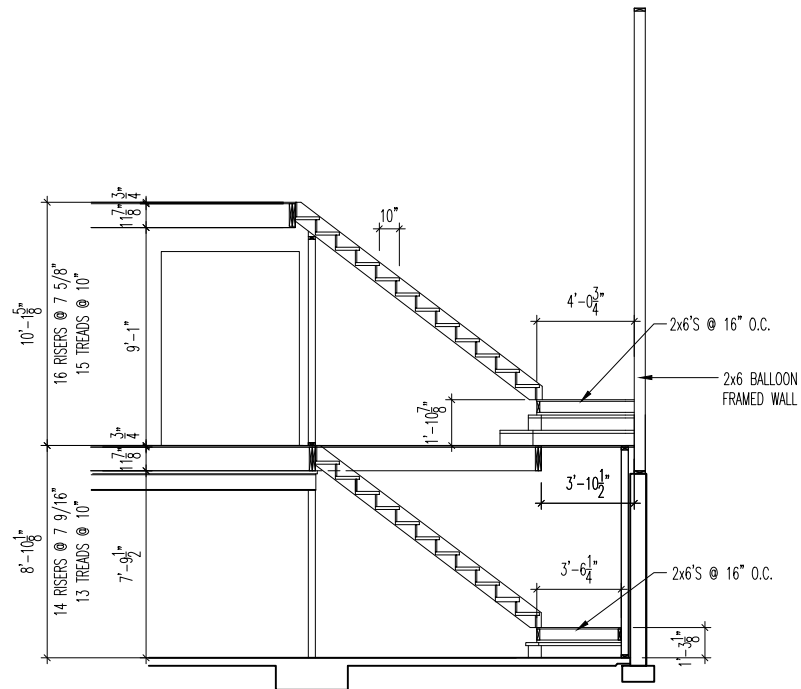
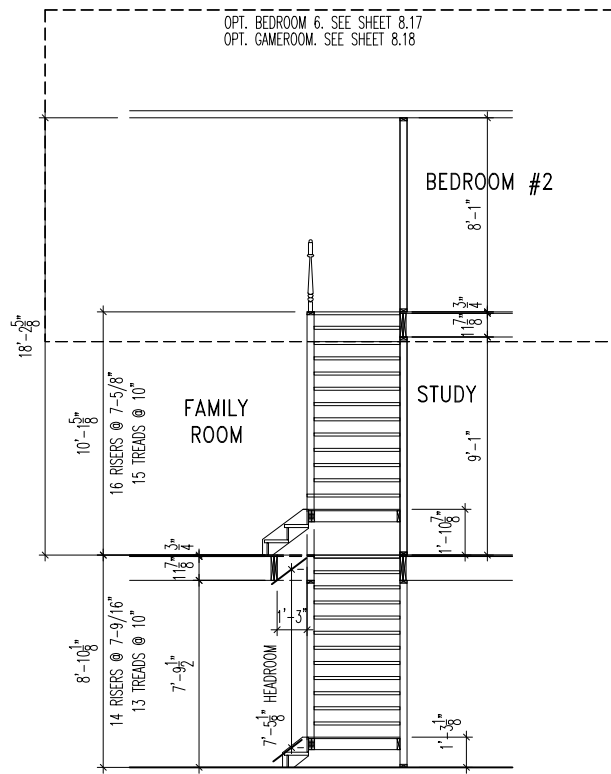
JOB\_AD

Sheet No.

**5.01**



**STAIR DETAILS**  
SCALE: 1/8" = 1'-0"

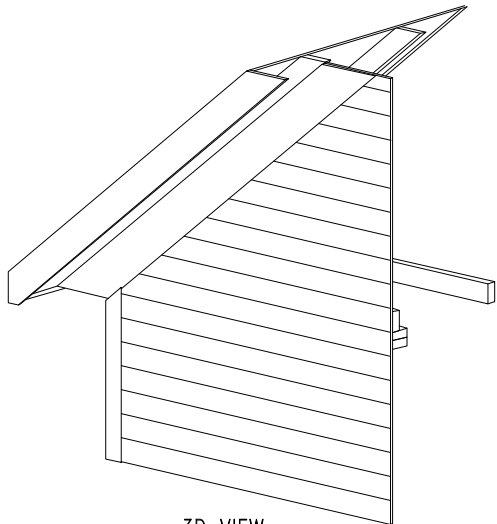
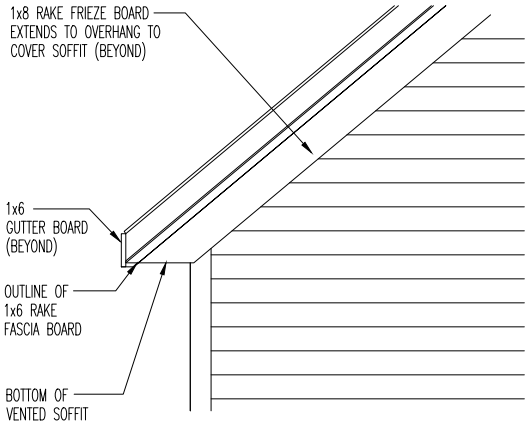


## General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

## Key Notes

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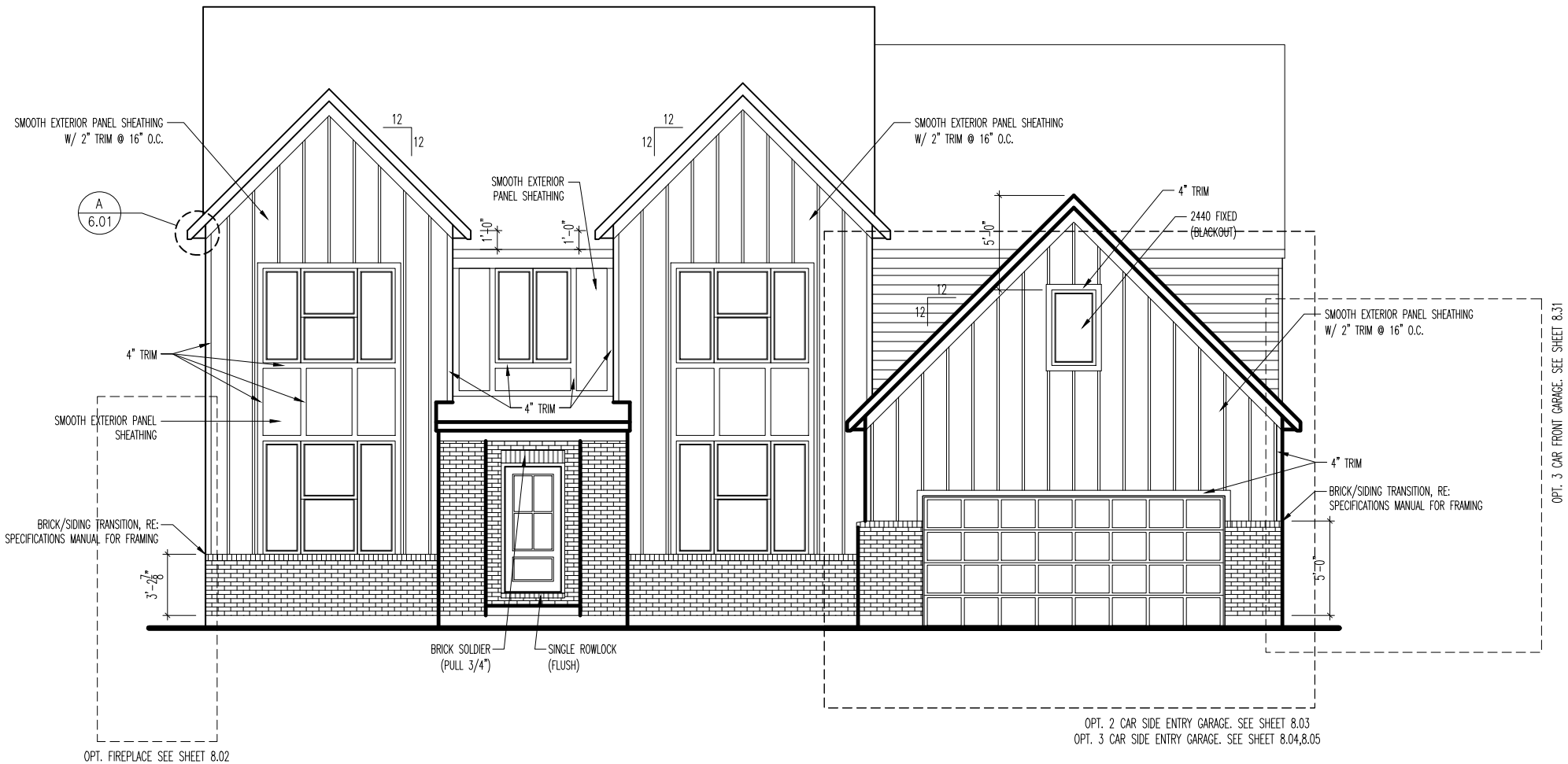
TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

- General Notes
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
  - ROOFING PER SPECIFICATIONS

- Key Notes
- - 
  - 
  - 
  - 
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**RAFTER TAIL OVERHANG DETAIL**

SCALE: 1/2" = 1'-0"



BRICK and STONE LINTEL SCHEDULE					
	SPAN	36" HIGH	48" HIGH	LINTEL SIZE	WINDOW ABOVE
*BRICK	Up to 6'-0"	---	---	L3½ x 3½ x ¼	---
	Up to 8'-3"	---	---	L5 x 3½ x ⅝	---
	Up to 9'-3"	---	---	L6 x 4 x ⅝	L7 x 4 x ⅝
	Up to 16'-3"	L7 x 4 x ⅝	L8 x 4 x ½	L8 x 4 x ½	**per Design
	Up to 6'-0"	---	---	L4 x 3½ x ¼	---
*STONE	Up to 8'-3"	---	---	L5 x 3½ x ⅝	---
	Up to 9'-3"	---	L6 x 4 x ⅝	L7 x 4 x ⅝	**per Design
	Up to 16'-3"	---	L8 x 4 x ½	**per Design	**per Design

All lintels: 4" Minimum bearing required each end  
\* Brick is based on 40psf and Stone is based on 60psf  
\*\* Any lintels not described by the above parameters shall be specifically designed.



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House:  
**ASH LAWN**

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 05/05/2022 WJS

Sheet Description: SCALE: 1/8" = 1'-0"  
**FRONT ELEVATION  
ELEVATION "J"**

Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:  
**CT\_DT**  
Ash Lawn - CDs [Elev 1 - MWR.dwg Sep 05, 2023 - 12:53pm

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.  
**6.01**



TYPICAL TRIM:

6" FASCIA  
(ALL SIDES)

8" FRIEZE  
(FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS
- REFER TO SHEET 6.01 FOR LINTEL SCHEDULE, AS NEEDED.

Key Notes

- 1
- SADDLE. MIN. 4:12 PITCH

2

3

4

5

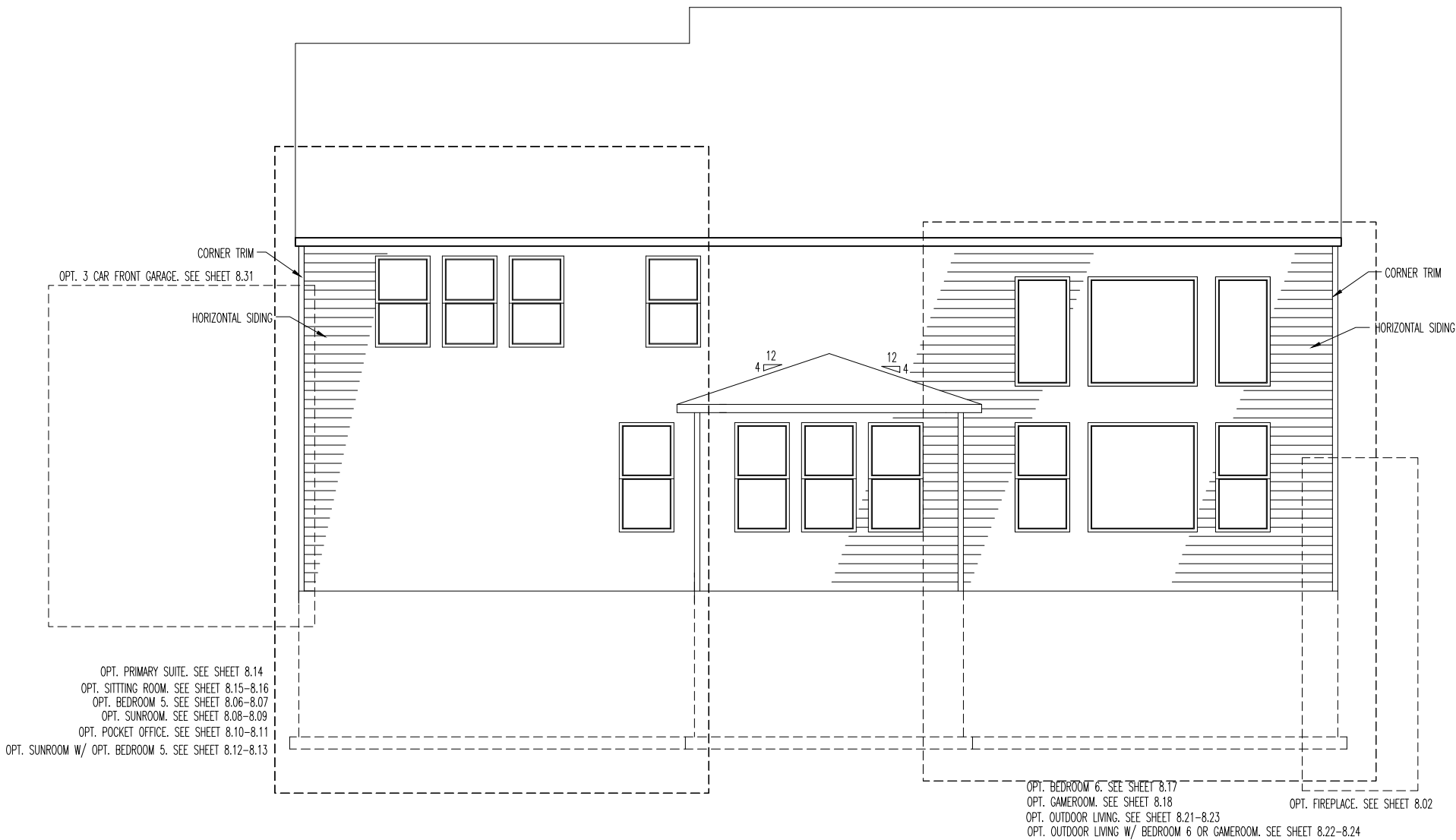
6

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8

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10



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 01/03/22 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

REAR ELEVATION  
ELEVATION "J"

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:

CT\_DT

Ash Lawn - CDs [Elev 1 - MNR.dwg Sep 05, 2023 - 12:53pm

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

CUS\_NM

Job Address:

JOB\_AD

Sheet No.

6.03

## TYPICAL TRIM:

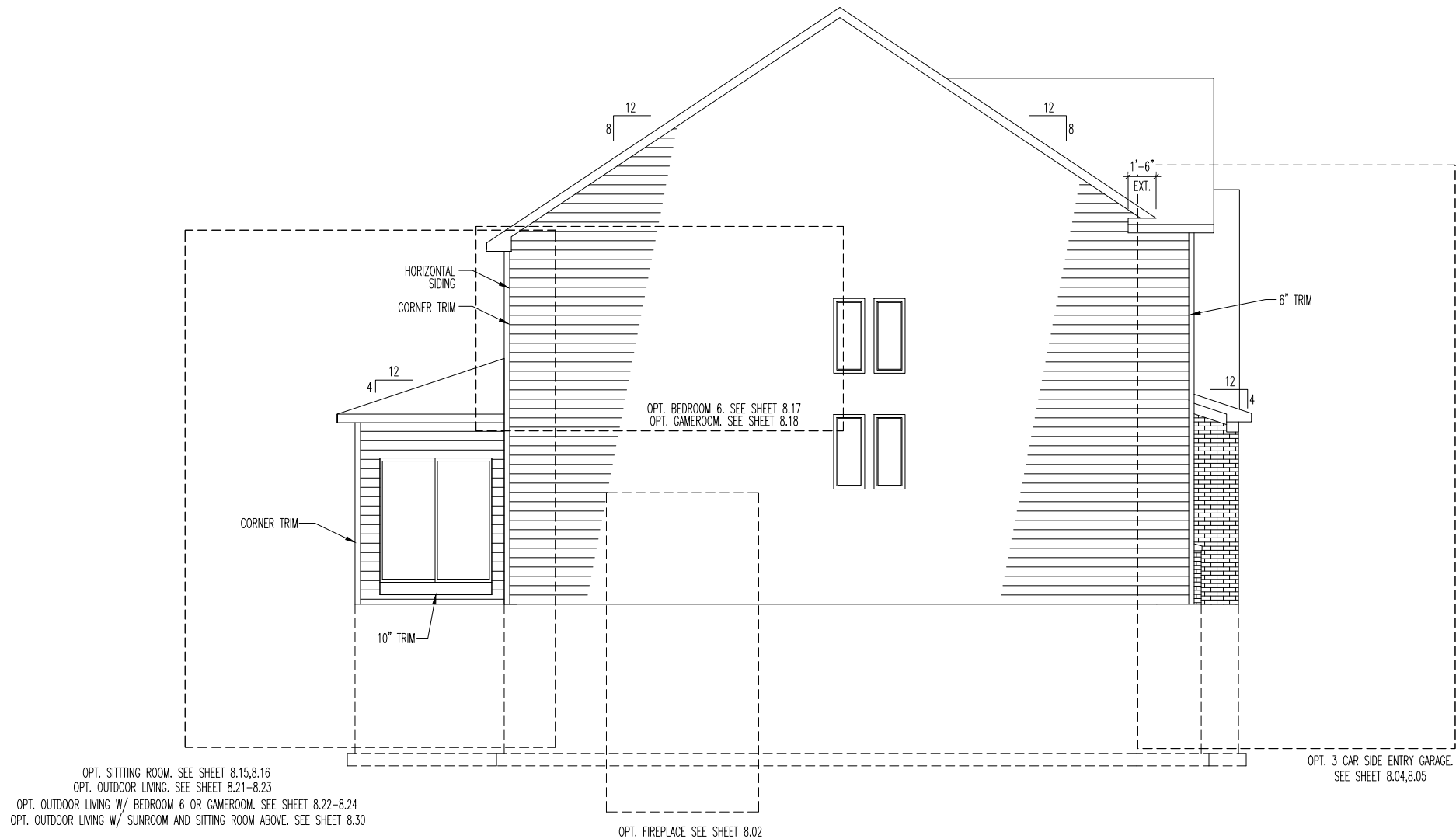
6" FASCIA  
(ALL SIDES)8" FRIEZE  
(FRONT ONLY, UNLESS OTHERWISE NOTED)

## General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.
- ROOFING PER SPECIFICATIONS
- REFER TO SHEET 6.01 FOR LINTEL SCHEDULE, AS NEEDED.

## Key Notes

- |    |    |
|----|----|
| 1  | -- |
| 2  | -- |
| 3  | -- |
| 4  | -- |
| 5  | -- |
| 6  | -- |
| 7  | -- |
| 8  | -- |
| 9  | -- |
| 10 | -- |



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 06/29/21 WJS

Sheet Description:

SIDE ELEVATION  
ELEVATION "J"

SCALE: 1/8" = 1'-0"

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CT\_DT

Ash Lawn - CDs [Elev 1 - MNR.dwg Sep 05, 2023 - 12:53pm]

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

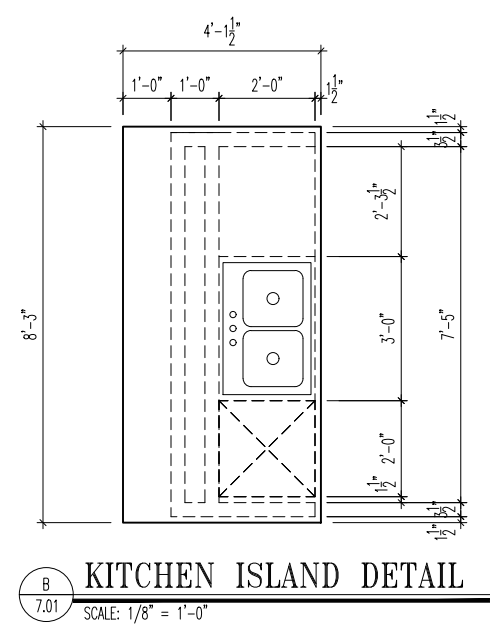
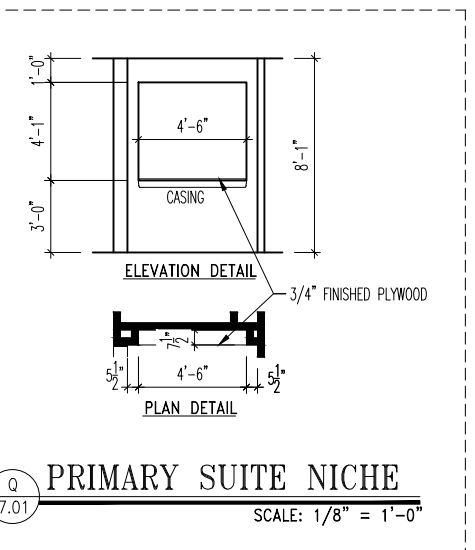
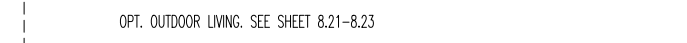
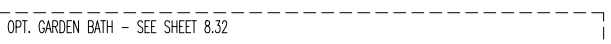
CUS\_NM

Job Address:

JOB\_AD

Sheet No.

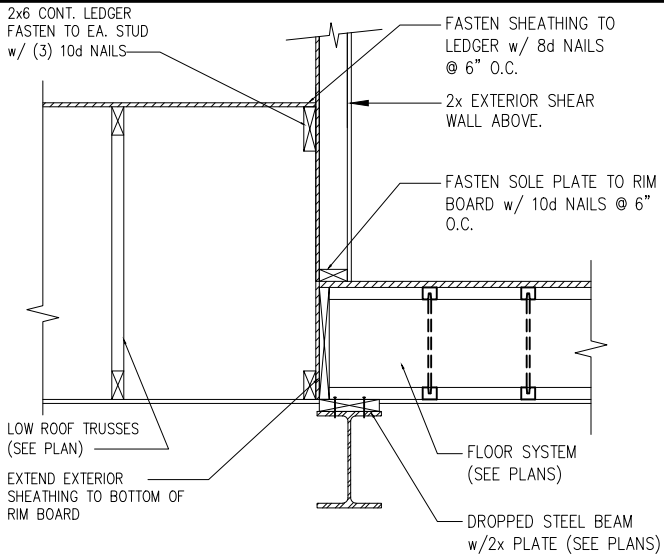
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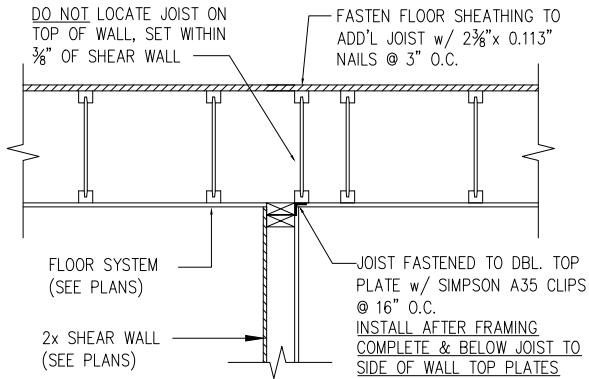
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9	--
10	--



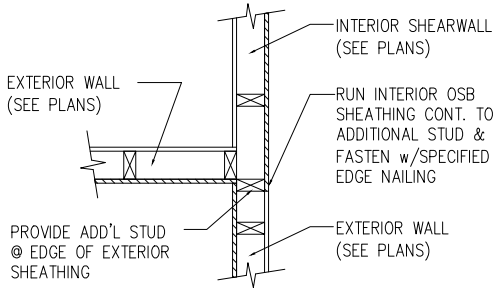




3  
7.03  
TYPICAL SHEAR TRANSFER DETAIL BETWEEN FLOORS @ INTERIOR WALL  
SCALE: 1/4"=1'-0"



4  
7.03  
SHEAR TRANSFER DETAIL @ INTERIOR SHEARWALL BELOW  
SCALE: 1/4"=1'-0" PARALLEL FRAMING



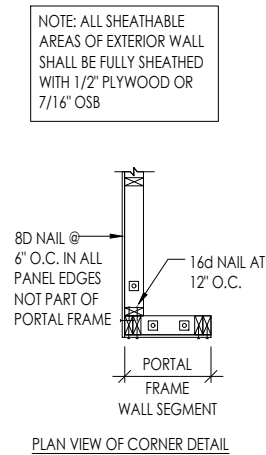
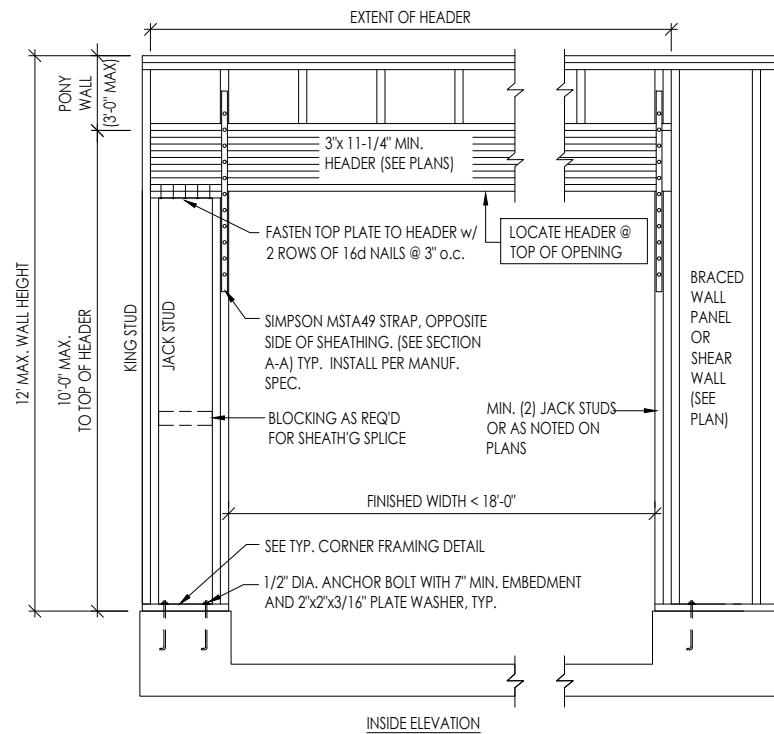
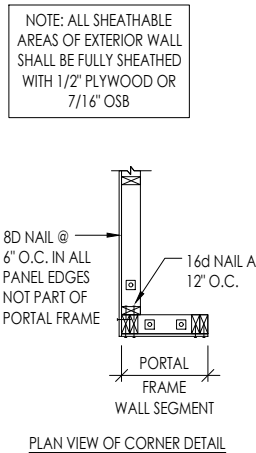
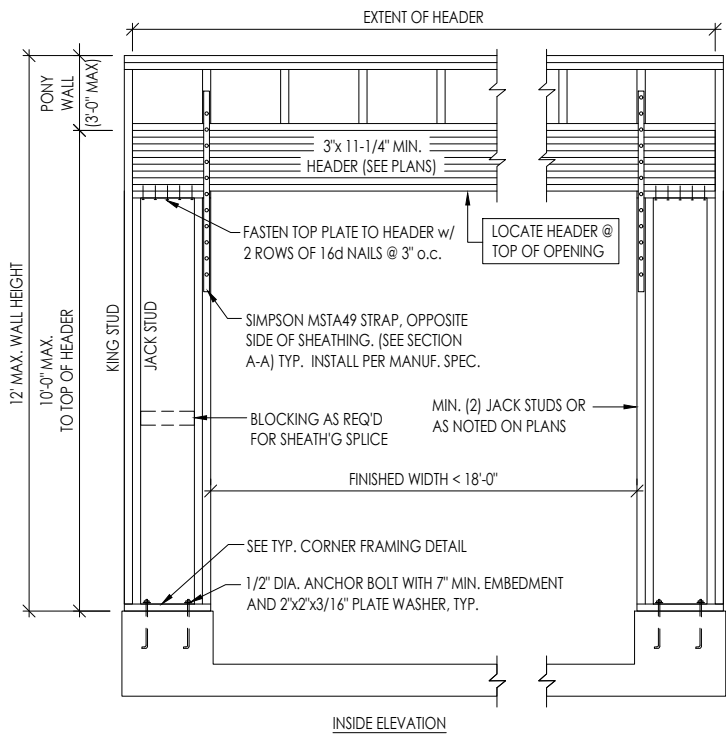
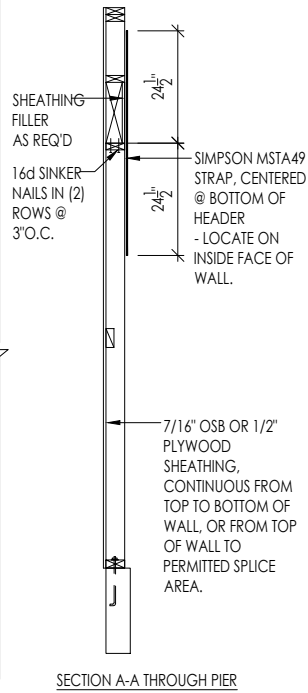
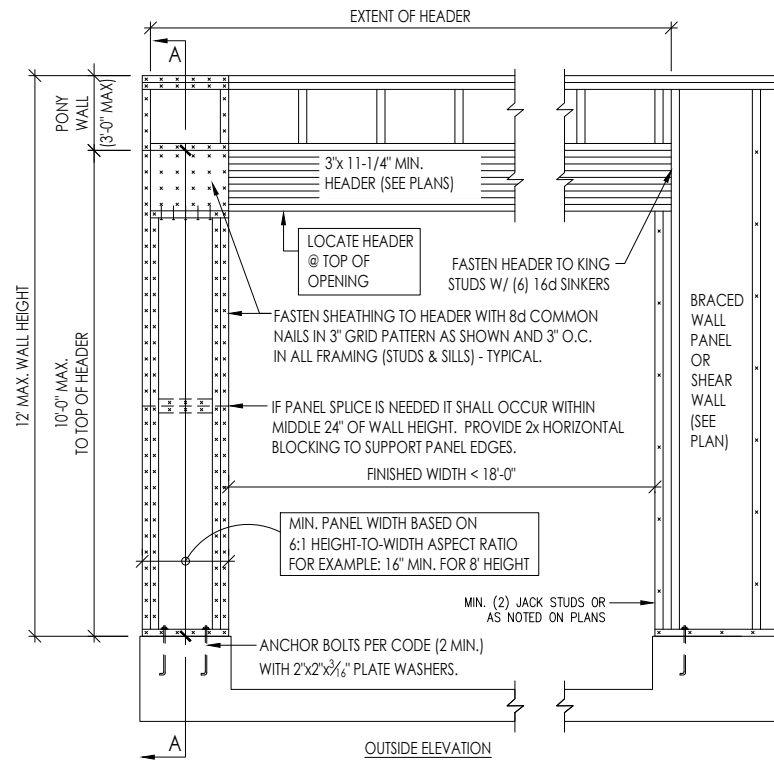
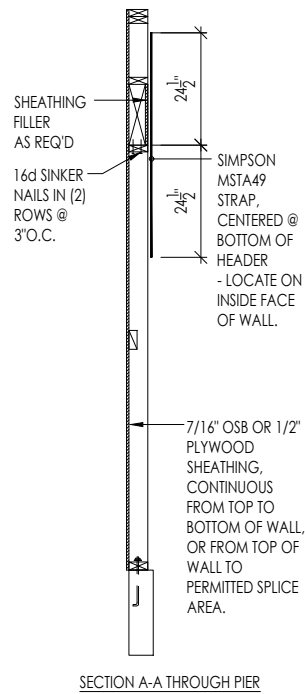
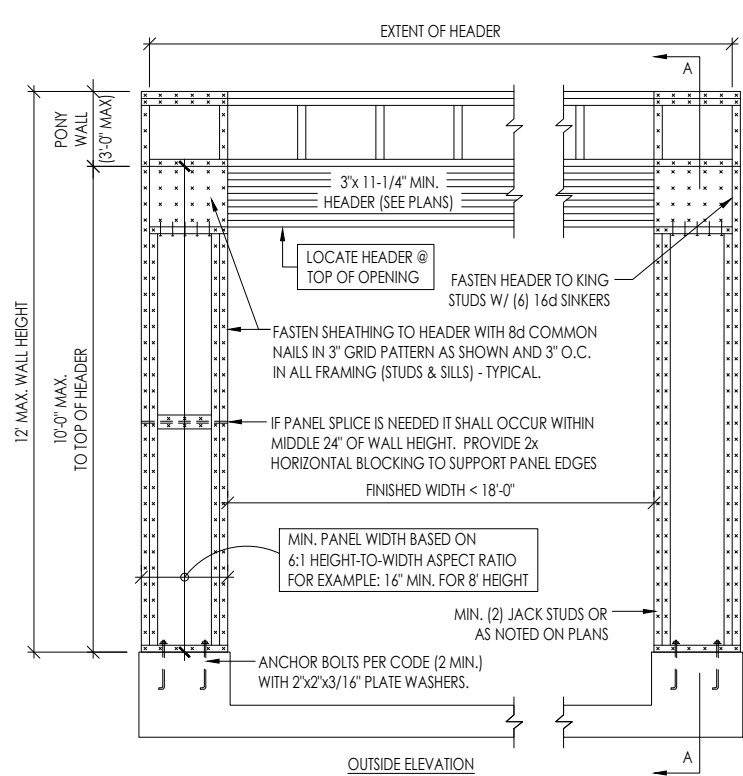
5  
7.03  
SHEAR TRANSFER DETAIL @ INTERSECTING INT. SHEARWALL  
SCALE: 1/4"=1'-0" SHTG. OPPOSITE FACES

General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --



1  
7.04  
NOT TO SCALE  
BOTH SIDES OF GARAGE DOOR

2  
7.04  
NOT TO SCALE  
ONE SIDE OF GARAGE DOOR

## General Notes

- REFER TO SHEET ON.1 FOR GENERAL NOTES.

## Key Notes

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --
- 6 --
- 7 --
- 8 --
- 9 --
- 10 --



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 06/29/21 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

LATERAL BRACING DETAILS  
ELEVATION "J"

Contract Drawn By:

DWG BY

Phone #: DWG PH

Coordinator's Name: COORD\_NM

Coordinator's Phone #: COORD PH

Original Site Specific Dwg. & Effective Change Order Date:

CT\_DT

Ash Lawn - CDs [Elev 1 - MWR.dwg Sep 05, 2023 - 12:54pm

Subdivision:

SUB\_NM

Sheet No.

Job #:

JOB\_NM

Customer Name:

CUS\_NM

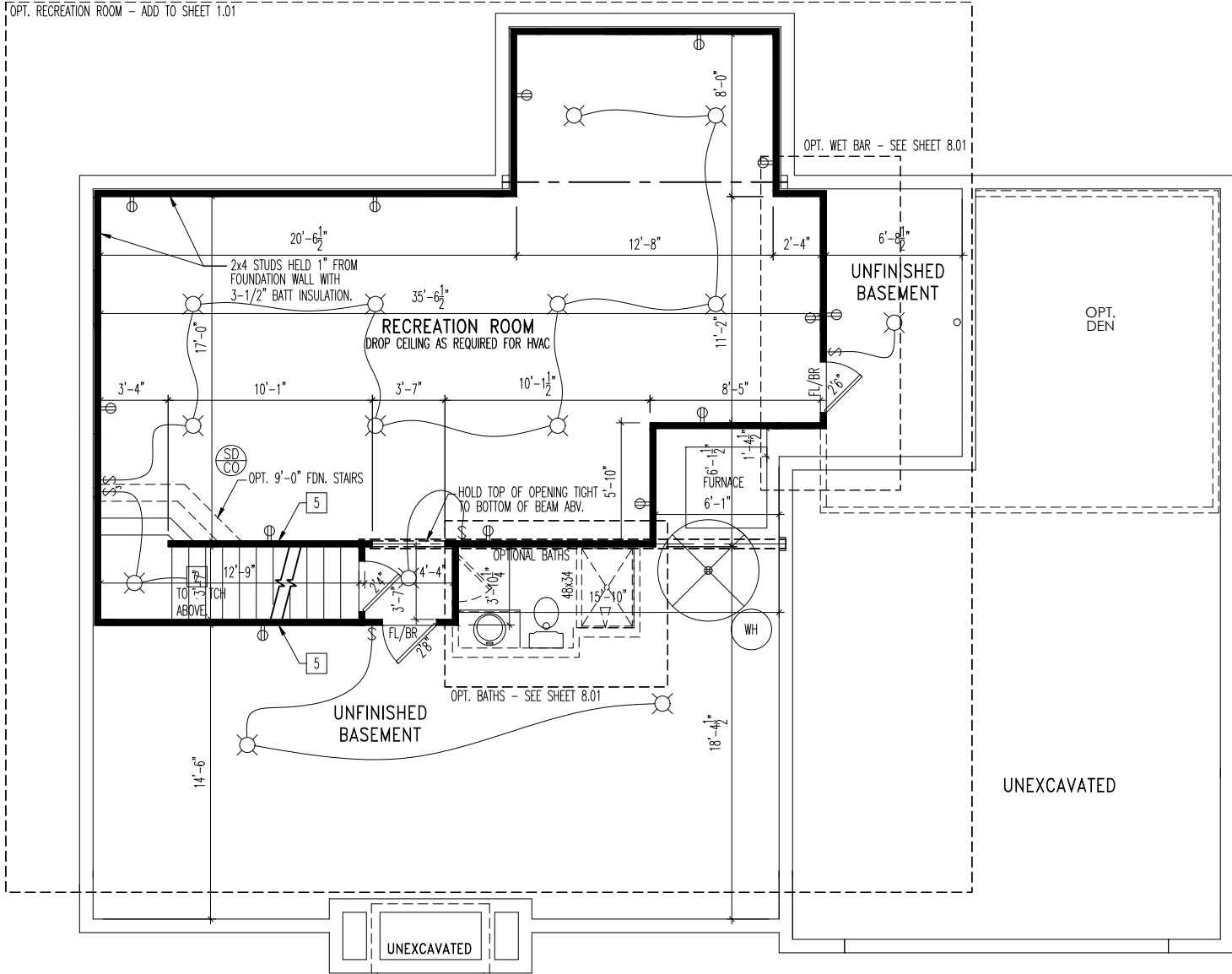
Job Address:

JOB\_AD

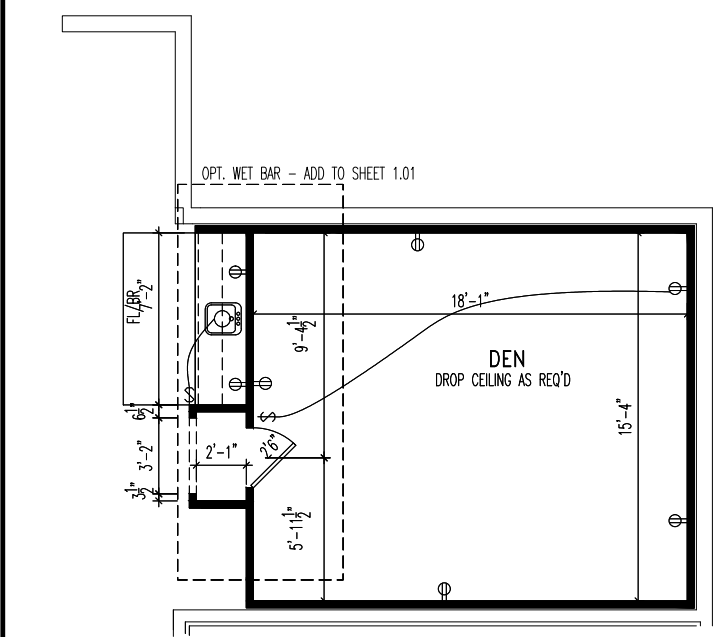
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OPTIONS LIST

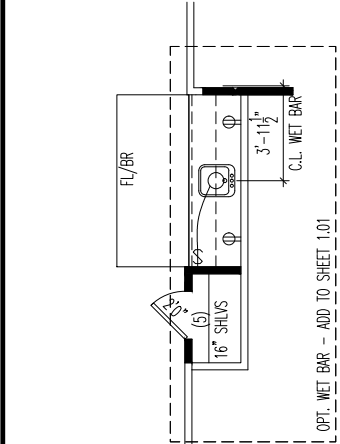
OPTIONS NAME	SHEET NO.
1. L.L. RECREATION ROOM	8.01
2. L.L. BATHS	8.01
3. L.L. WET BAR	8.01
4. L.L. WET BAR W/ DEN (DEN ONLY OFFERED WITH OPT. BEDROOM 5 OR OPT. KITCHEN)	8.01
5. OPT. FIREPLACE	8.02
6. 2 CAR SIDE ENTRY GARAGE	8.03
7. 3 CAR SIDE ENTRY GARAGE	8.04,8.05
8. BEDROOM 5	8.06,8.07
9. SUNROOM	8.08,8.09
10. POCKET OFFICE	8.10,8.11
11. SUNROOM WITH OPT. BEDROOM 5	8.12,8.13
12. PRIMARY RETREAT	8.14
13. SITTING ROOM	8.15,8.16
14. BEDROOM 6	8.17
15. GAMEROOM	8.18-8.19
16. XXX	XXX
17. OUTDOOR LIVING	8.19-8.21
18. OUTDOOR LIVING WITH BEDROOM 6 OR GAMEROOM ABOVE	8.22-8.24
19. OUTDOOR LIVING WITH BEDROOM #5	8.25
20. XXXX	XXX
21. OUTDOOR LIVING AND SUNROOM	8.27
22. OUTDOOR LIVING WITH OPT. SUNROOM AND OPT. BEDROOM 5	8.28
23. XXX	XXX
24. OUTDOOR LIVING WITH OPT. SUNROOM AND SITTING ROOM ABOVE	8.30
25. 3 CAR FRONT ENTRY	8.31
26. PRIMARY BATH WITH SUPER SHOWER	8.32
27. PRIMARY GARDEN BATH	8.32



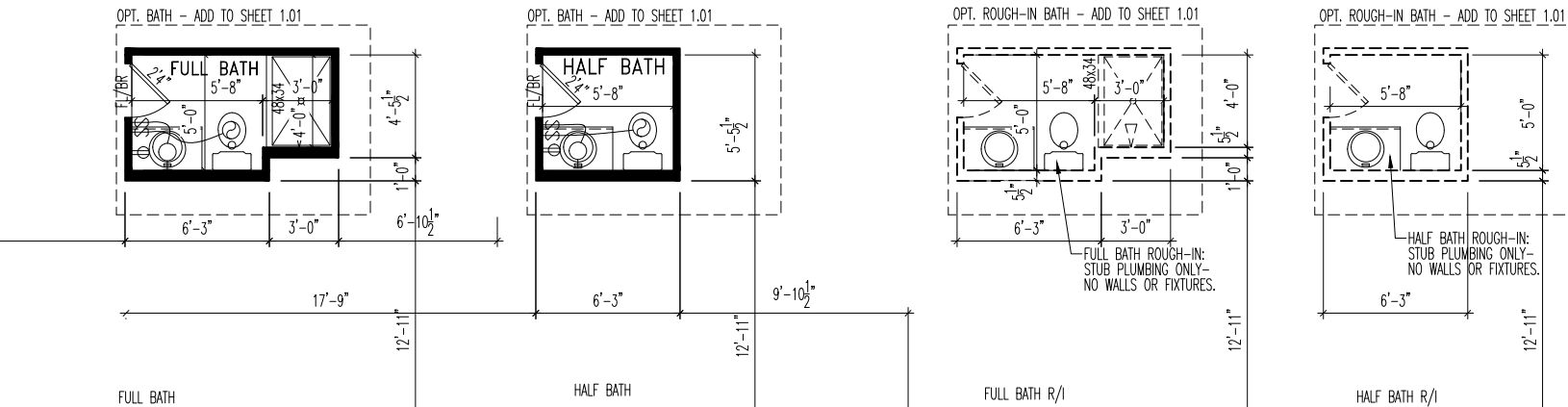
FOUNDATION/LOWER LEVEL PLAN  
1. RECREATION ROOM



4. LOWER LEVEL WET BAR W/ DEN



FOUNDATION/LOWER LEVEL PLAN  
3. LOWER LEVEL WET BAR



FOUNDATION/LOWER LEVEL PLAN  
2. LOWER LEVEL BATH



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House:  
ASH LAWN

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 11/04/22 WJS

Sheet Description:  
OPTIONS SHEET  
ELEVATION "J"

SCALE: 1/8" = 1'-0"

Contract Drawn By:  
Phone #:  
Coordinator's Name:  
Coordinator's Phone #:

DWG BY  
DWG\_PH  
COORD\_NM  
COORD\_PH

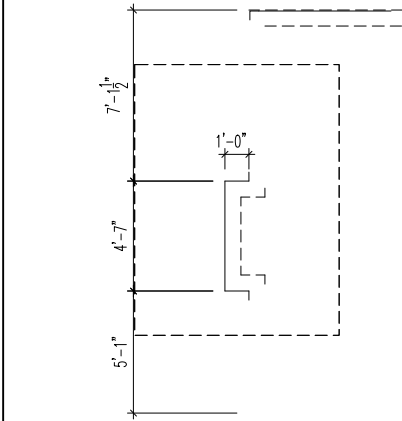
Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

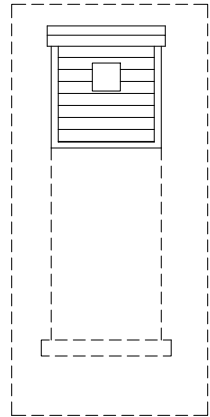
Subdivision:  
Job #:  
Customer Name:  
Job Address:

SUB\_NM  
JOB\_NM  
CUS\_NM  
JOB\_AD

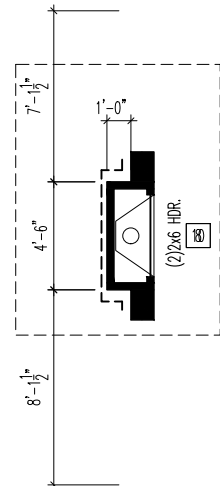
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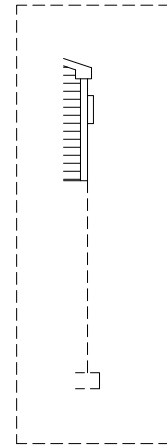
1ST FLOOR - SUB-FLOOR PLAN



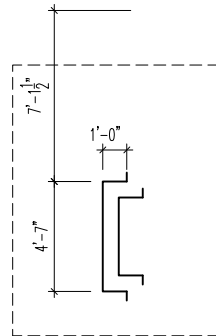
SIDE ELEVATION



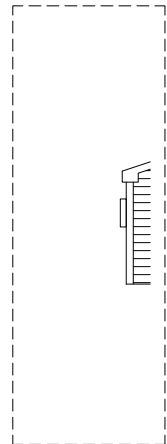
1ST FLOOR PLAN



REAR ELEVATION



FOUNDATION FLOOR PLAN



FRONT ELEVATION

## 5. FAMILY ROOM FIREPLACE



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 12/12/19 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By:

DWG BY

Phone #:

DWG PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

CUS\_NM

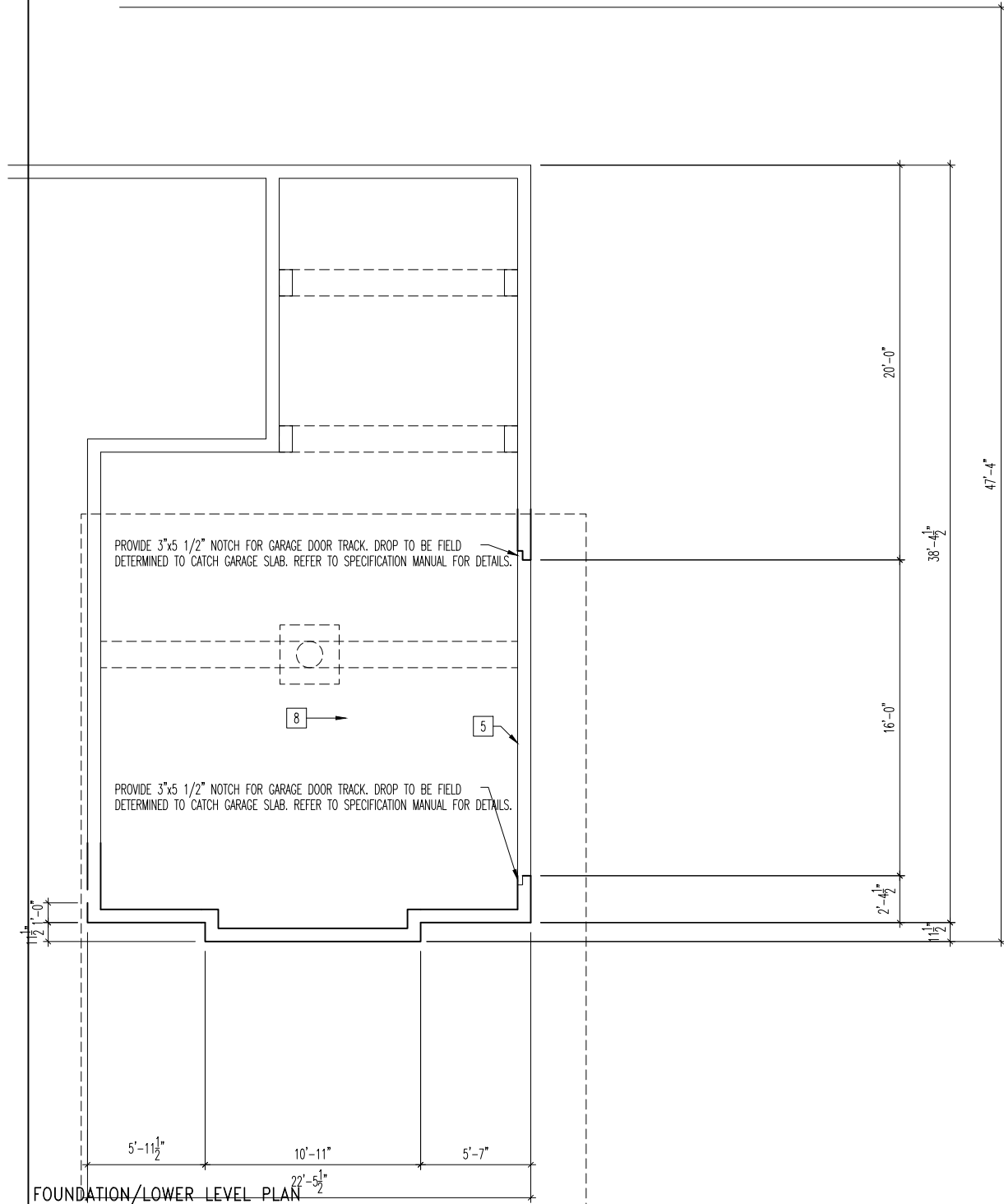
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JOB\_AD

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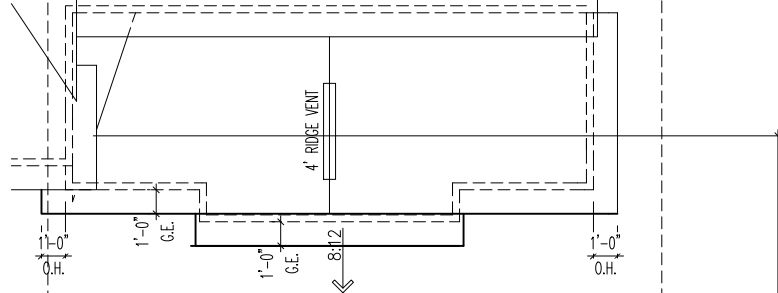
8.02

Ash Lawn - CDs Elev 1 - MWR.dwg Sep 05, 2023 - 12:54pm

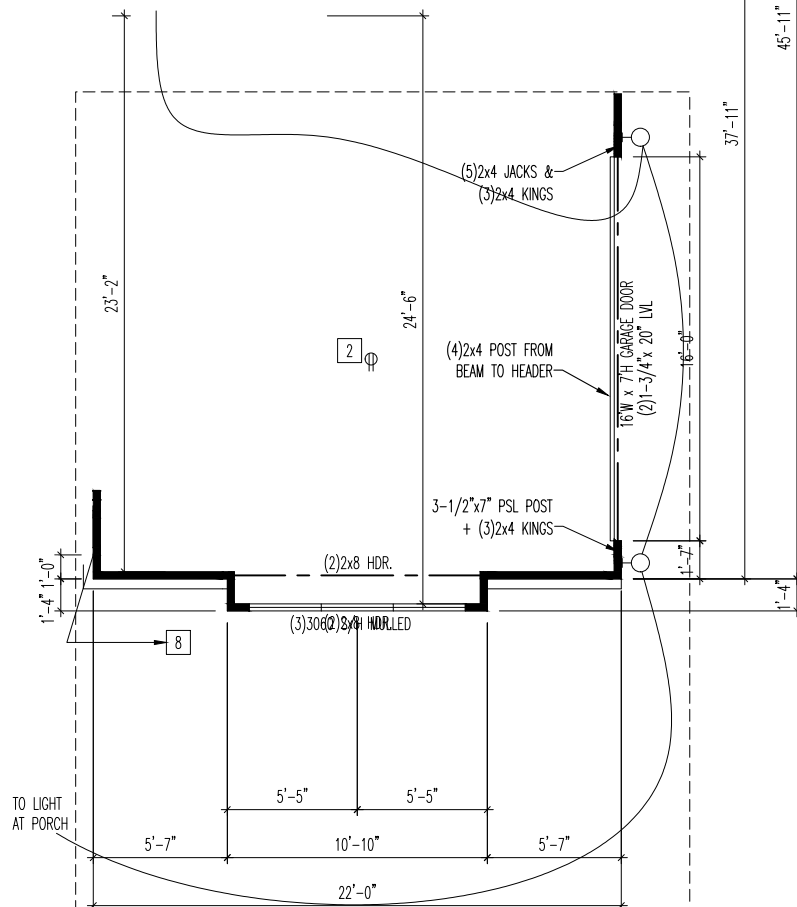


FOUNDATION/LOWER LEVEL PLAN

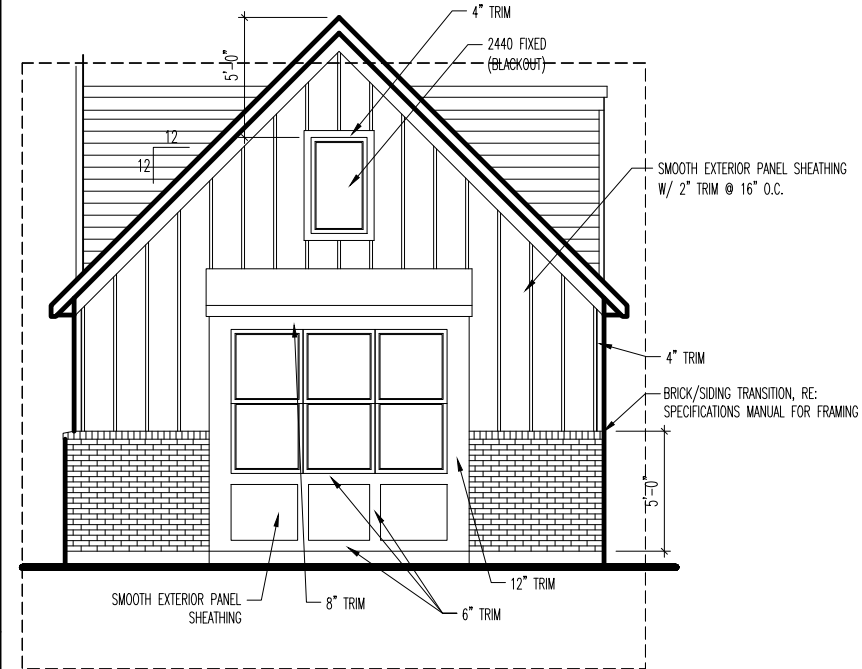
6. 2 CAR SIDE ENTRY GARAGE



ROOF PLAN



1ST FLOOR PLAN



FRONT ELEVATION



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 06/21/22 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By:

Phone #:

Coordinator's Name:

Coordinator's Phone #:

Ash Lawn - CDs [Elev 1 - MWR.dwg Sep 05, 2023 - 12:54pm

DWG BY

DWG\_PH

COORD\_NM

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

Subdivision:

Job #:

Customer Name:

Job Address:

SUB\_NM

JOB\_NM

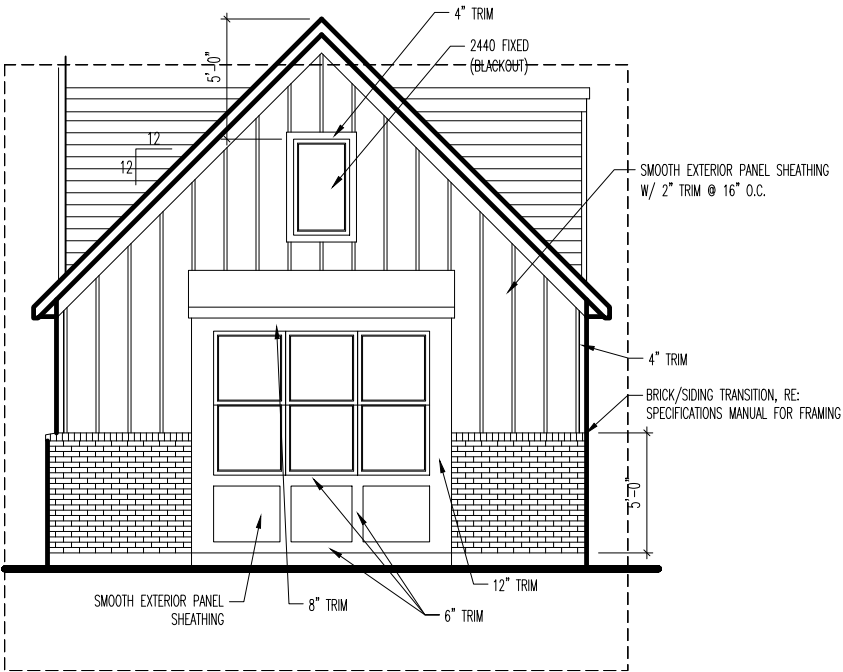
CUS\_NM

JOB\_AD

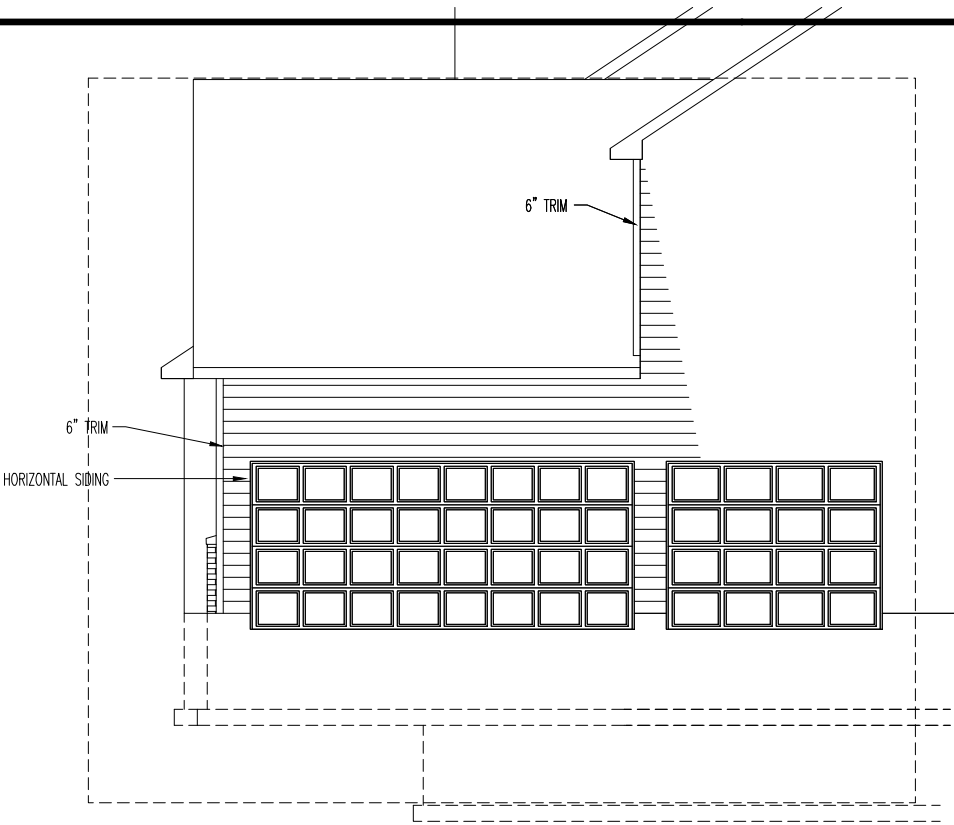
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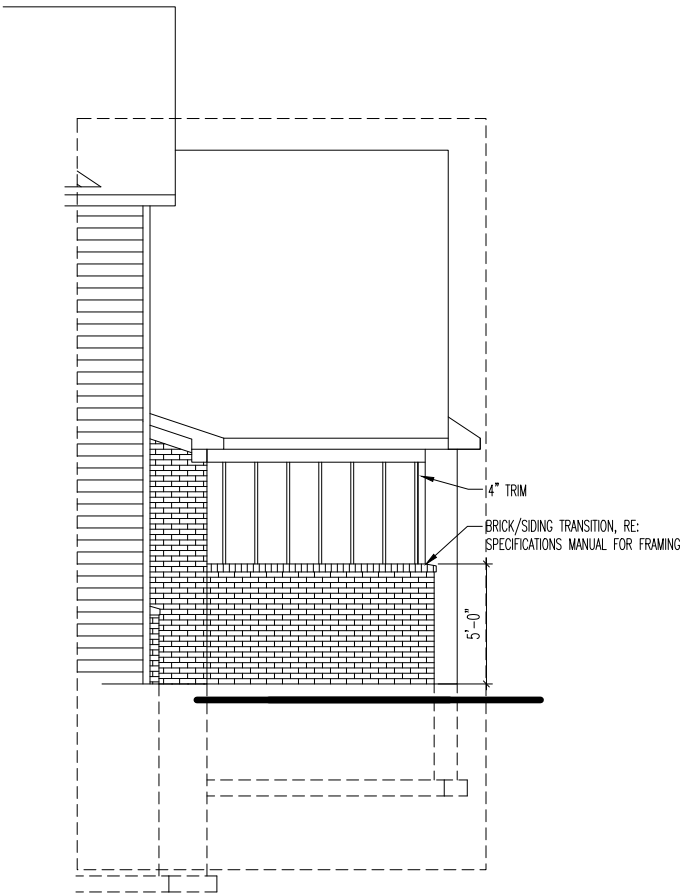




FRONT ELEVATION



GARAGE SIDE ELEVATION



SIDE ELEVATION

7. 3 CAR SIDE ENTRY GARAGE



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 01/03/22 WJS

Sheet Description:

OPTIONS SHEET  
ELEVATION "J"

SCALE: 1/8" = 1'-0"

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

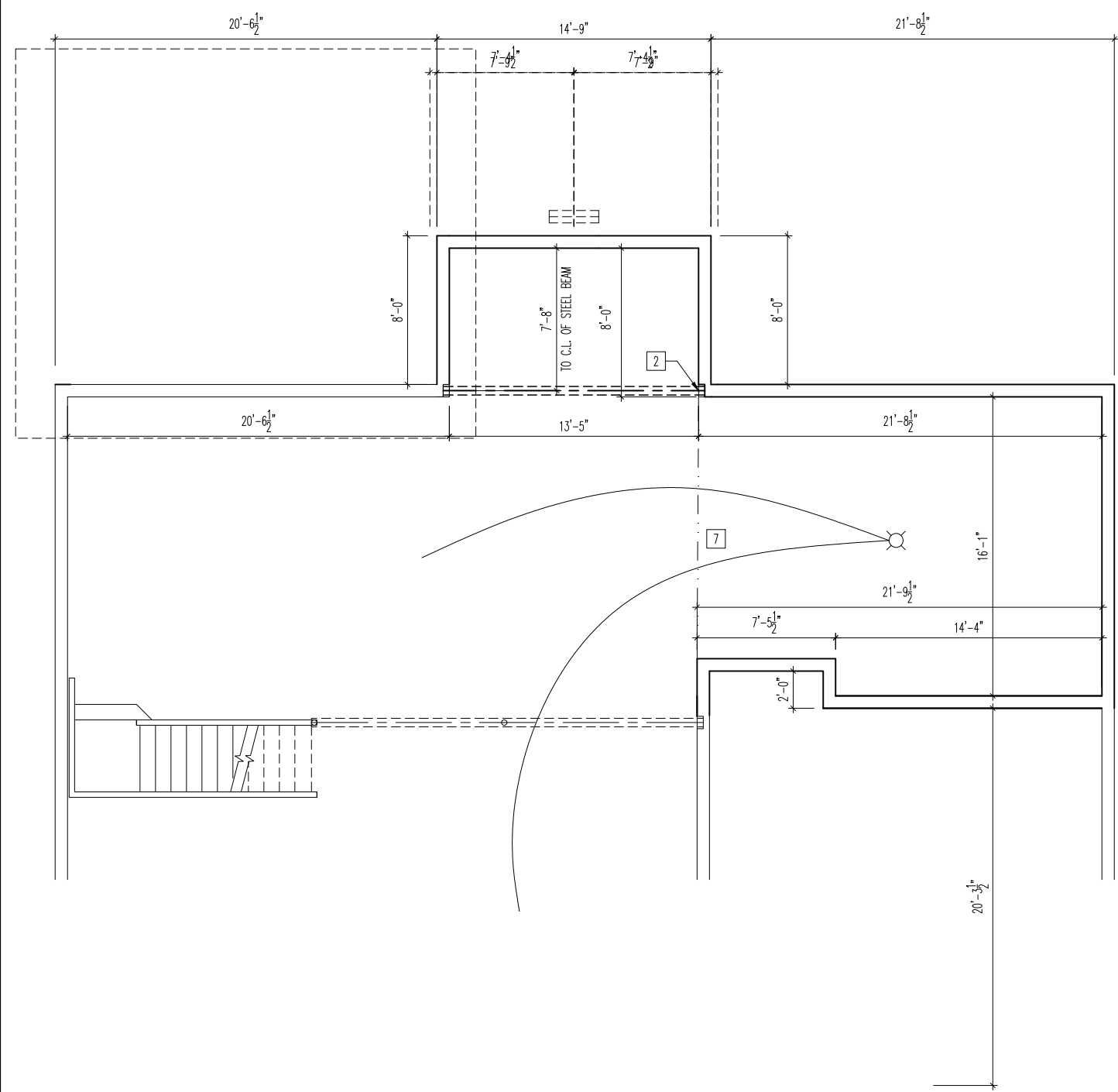
CUS\_NM

Job Address:

JOB\_AD

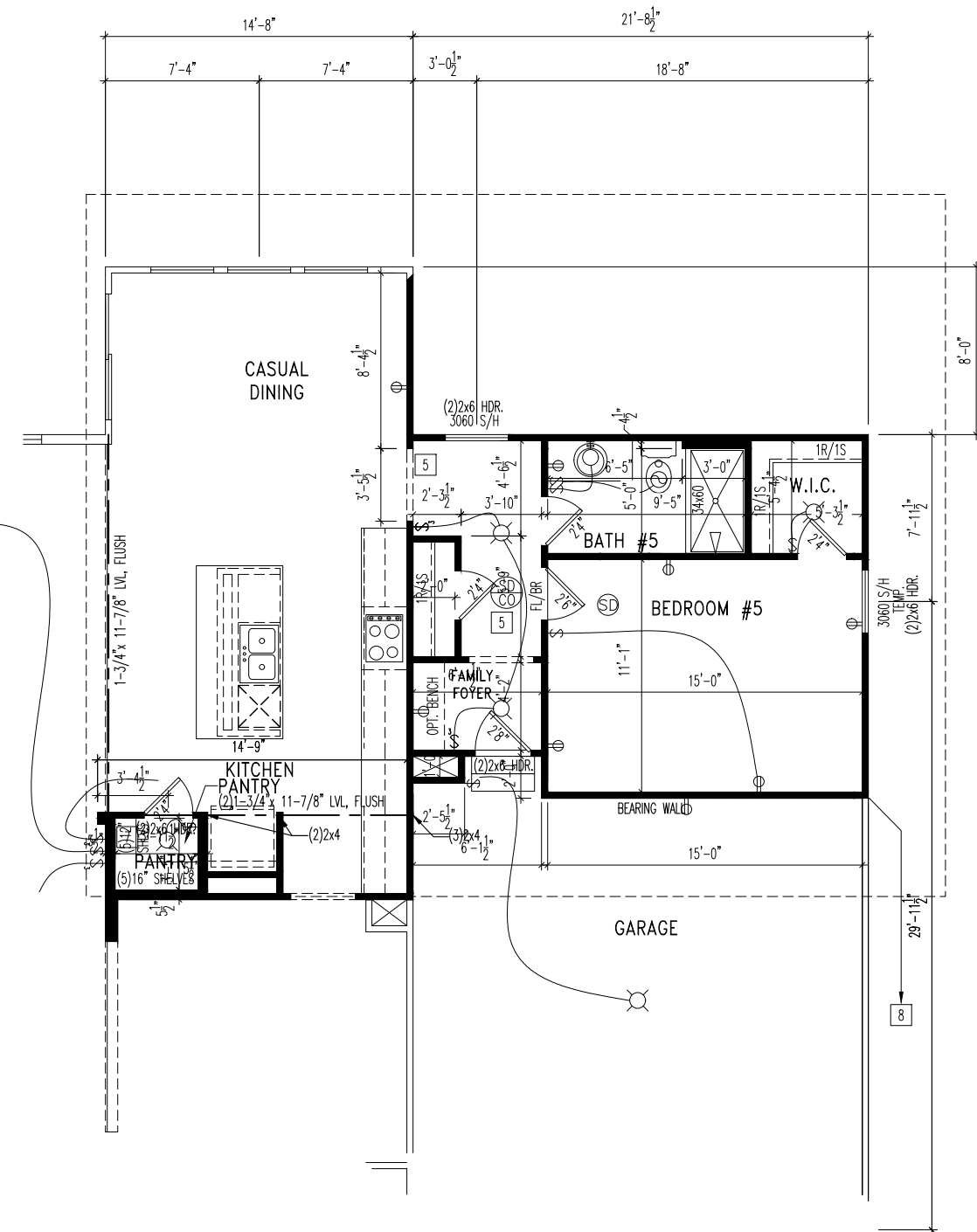
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8.05



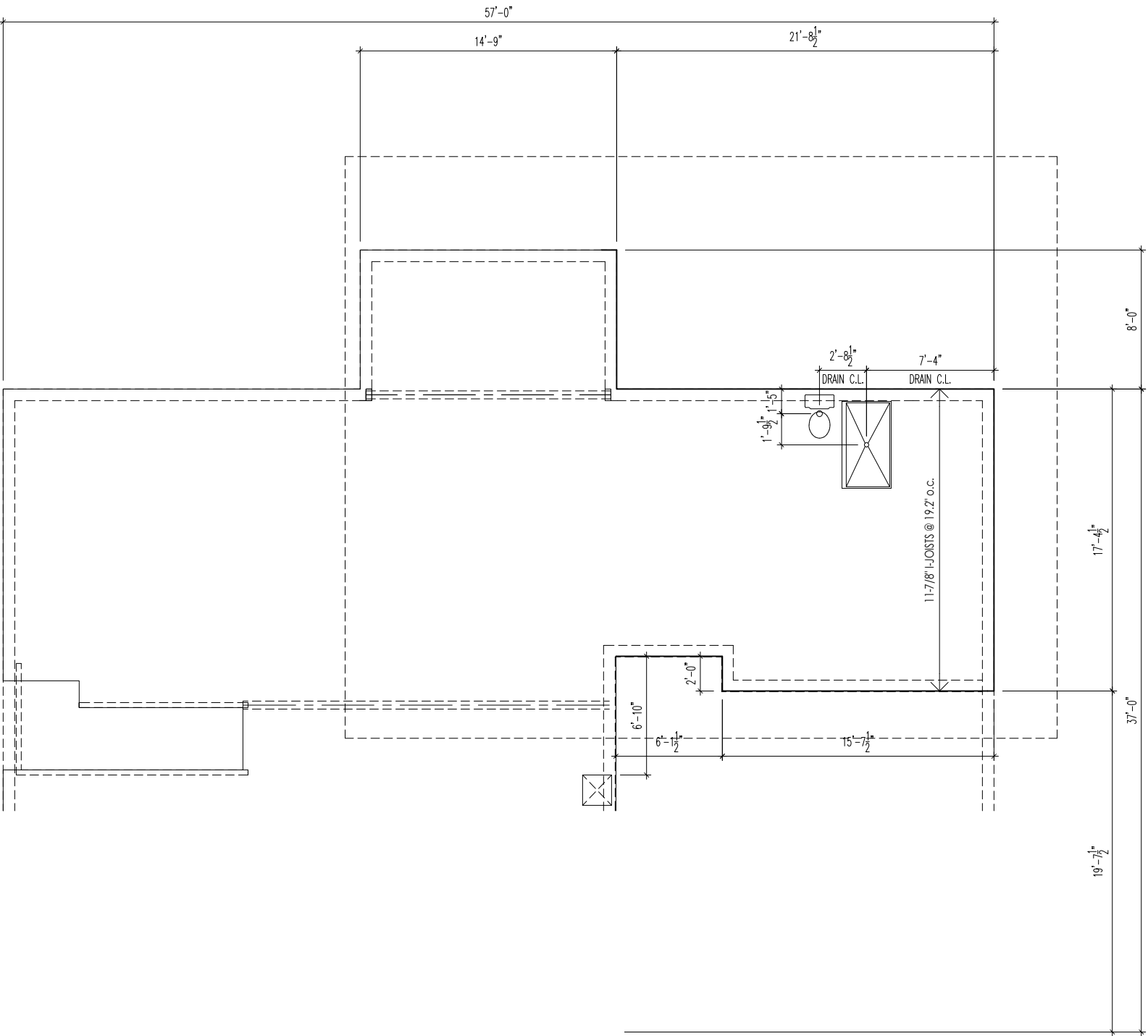
FOUNDATION

8. BEDROOM 5 (CONT.)



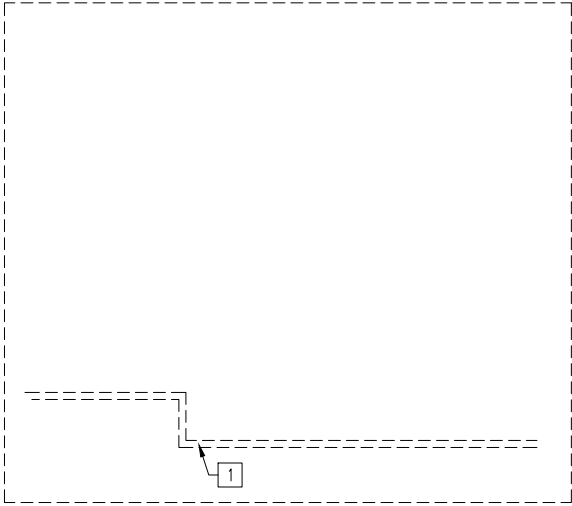
1ST FLOOR PLAN



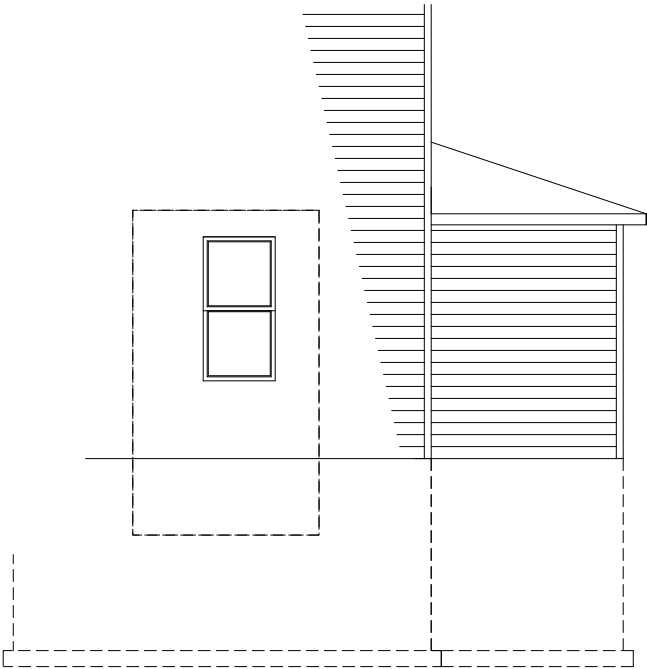


1ST FLOOR SUBFLOOR

8. BEDROOM 5



2ND FLOOR SUBFLOOR



SIDE ELEVATION



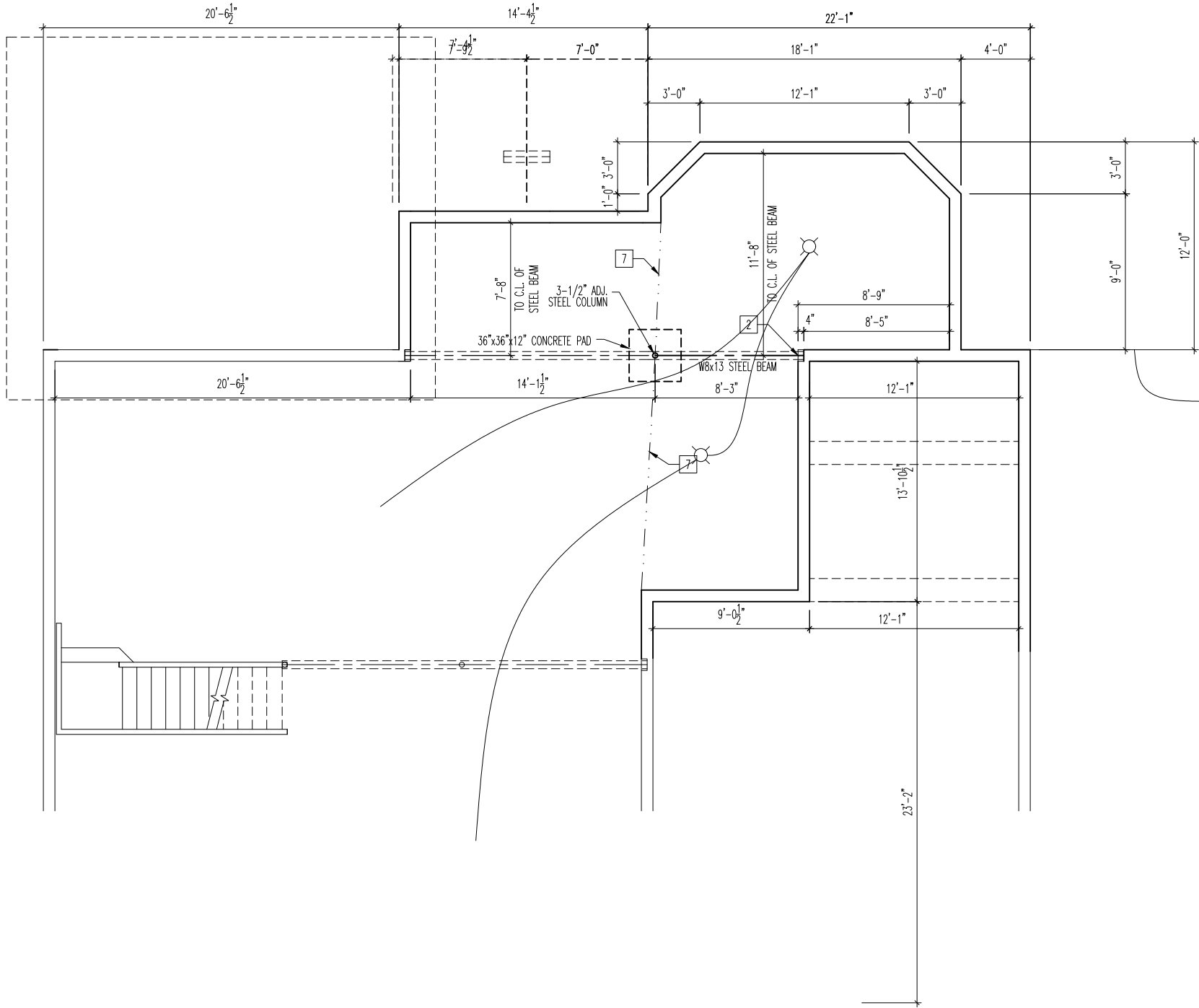
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House: <b>ASH LAWN</b>		Std. Drawn By: JRT	Sheet Description: <b>OPTIONS SHEET ELEVATION "J"</b>
		Std. Chk. By: ARC	
		Std. Date: 9-16-13	
Series:		Date of Last Rev: 12/14/21 WJS	
Plan No.:			

SCALE: 1/8" = 1'-0"
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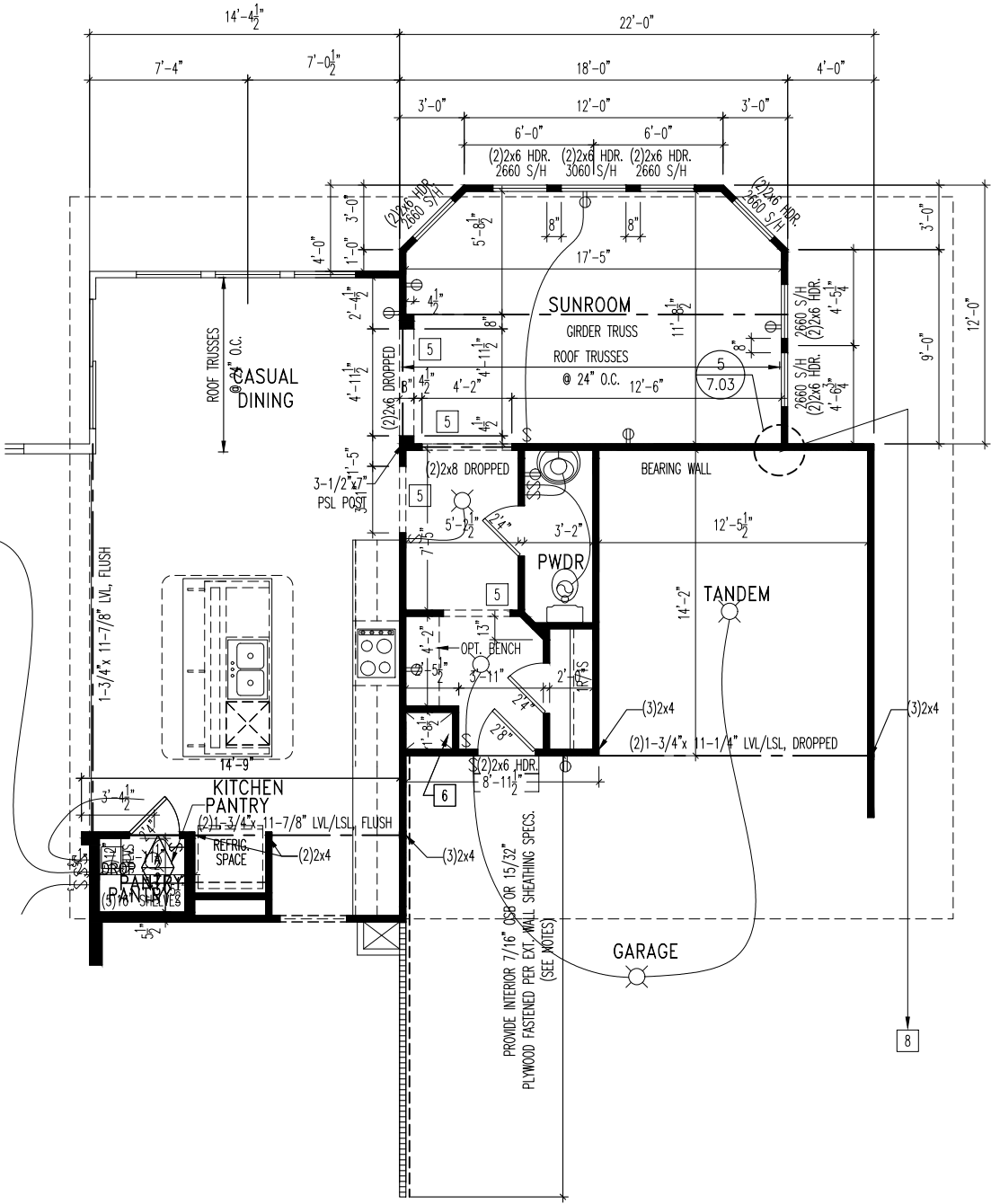
Contract Drawn By:	DWG_BY	Original Site Specific Dwg. & Effective Change Order Date:
Phone #:	DWG_PH	
Coordinator's Name:	COORD_NM	
Coordinator's Phone #:	COORD_PH	
CON_DT		

Subdivision:	SUB_NM	Sheet No. <b>8.07</b>
Job #:	JOB_NM	
Customer Name:	CUS_NM	
Job Address:	JOB_AD	



FOUNDATION

9. SUNROOM (CONT.)



1ST FLOOR PLAN



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House:  
**ASH LAWN**

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of 05/05/2022 WJS  
Last Rev:

Sheet Description: SCALE: 1/8" = 1'-0"  
**OPTIONS SHEET  
ELEVATION "J"**

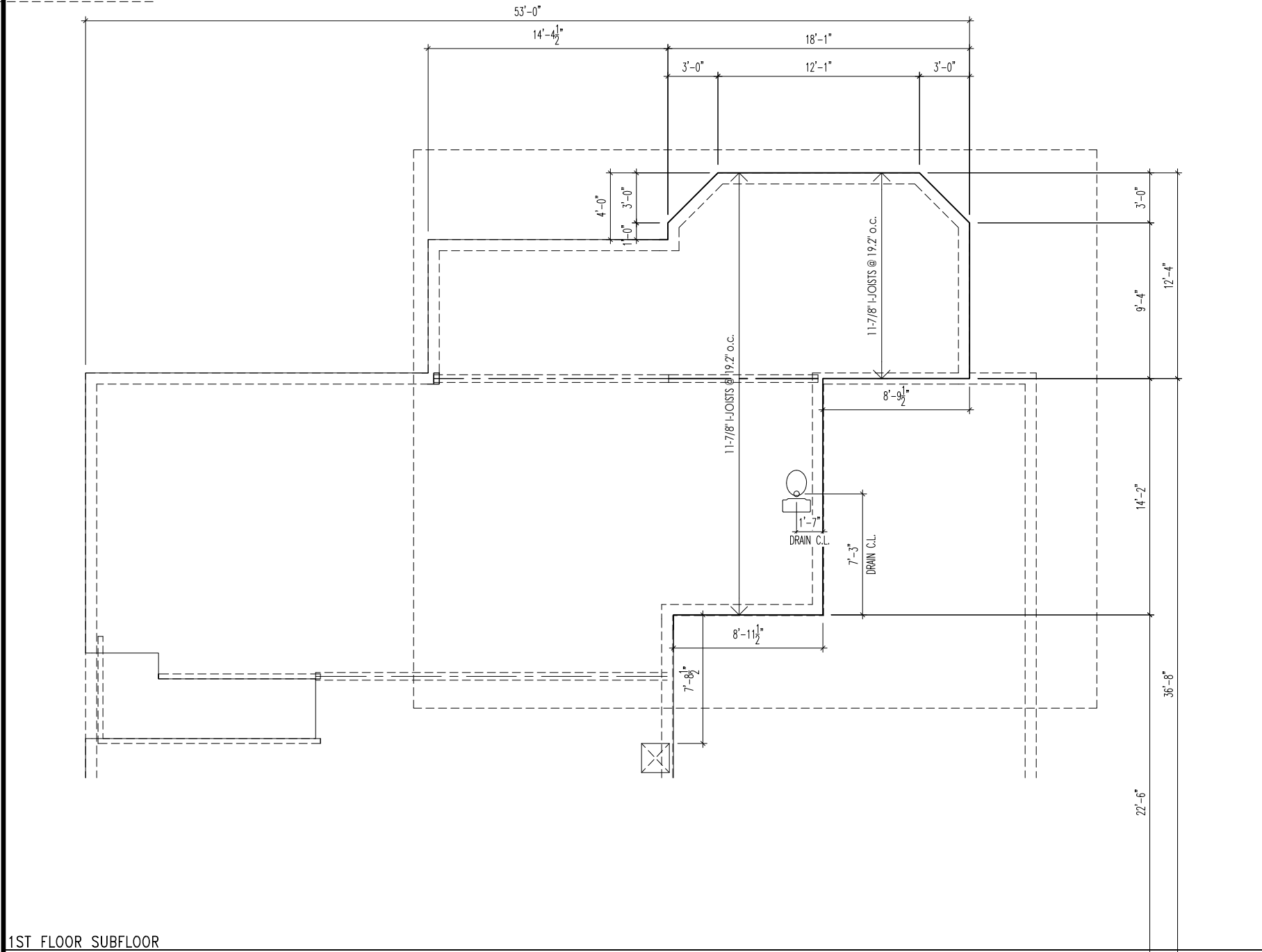
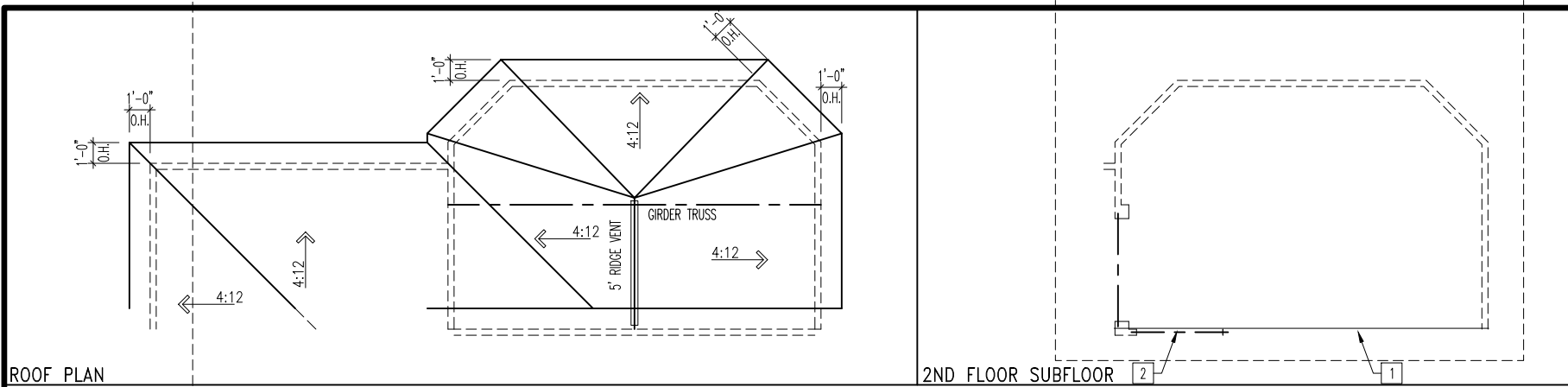
Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:  
**CON\_DT**

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.

8.08



Drees

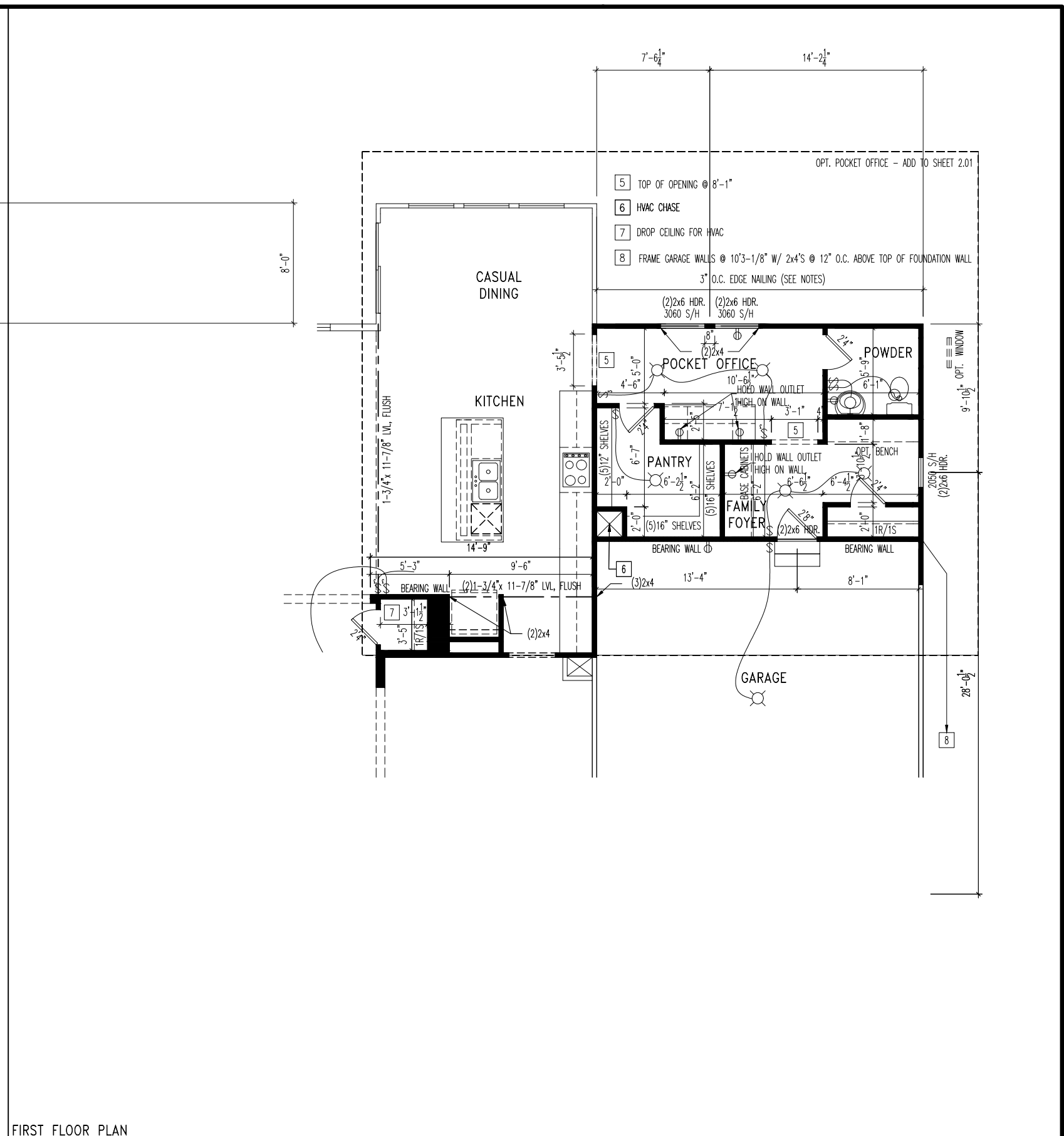
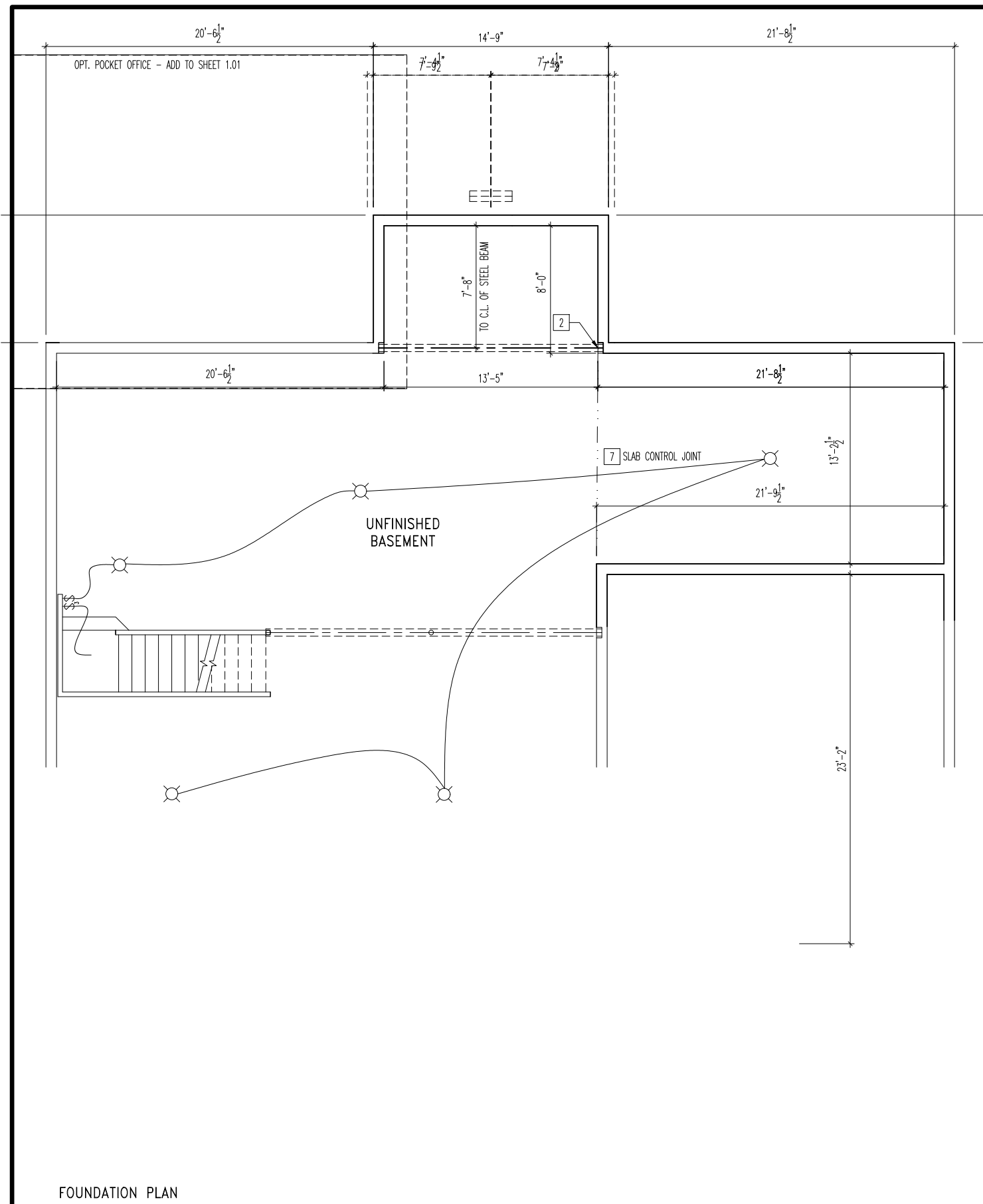
HOMES

Drees Homes

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House:	ASH LAWN	Std. Drawn By:	JRT	Sheet Description:	SCALE: 1/8" = 1'-0"	Contract Drawn By:	DWG_BY	Original Site Specific Dwg. & Effective Change Order Date:		Subdivision:	SUB_NM	Sheet No.	
		Std. Chk. By:	ARC			Phone #:	DWG_PH			Job #:	JOB_NM		
		Std. Date:	9-16-13			Coordinator's Name:	COORD_NM			Customer Name:	CUS_NM		
Series:	Plan No.:	Date of Last Rev:	12/14/21 WJS			Coordinator's Phone #:	COORD_PH			Job Address:	JOB_AD		
						CON_DT							
						Ash Lawn - CDs [Elev 1 - MWR.dwg Sep 05, 2023 - 12:54pm							



FOUNDATION PLAN

FIRST FLOOR PLAN

## 10. POCKET OFFICE ILO TANDEM GARAGE



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: WJS

Std. Chk. By: ARC

Std. Date:10/26/17 WJS

Date of Last Rev: 05/05/2022 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By:

DWG BY

Phone #:

DWG\_PH

Coordinator's Name: \_\_\_\_\_

COORD\_NM

Coordinator's Phone #:

COORD PH

Y	Original Site Specific Dwg. & Effective Change Order Date:
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CON\_DT

Subdivision:

SUB NM	
--------	--

Job #:

JOB_NM	
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Customer Name:

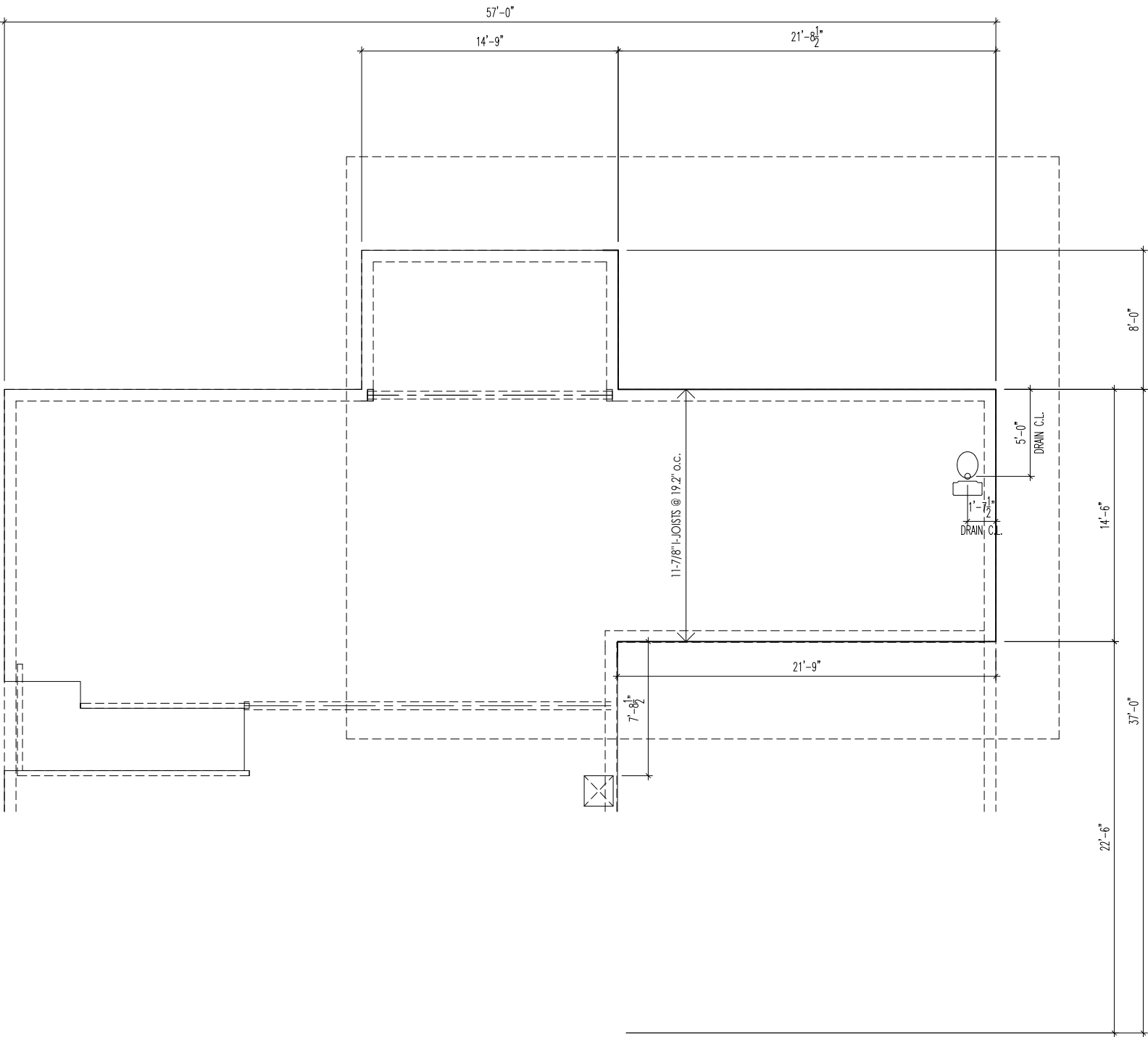
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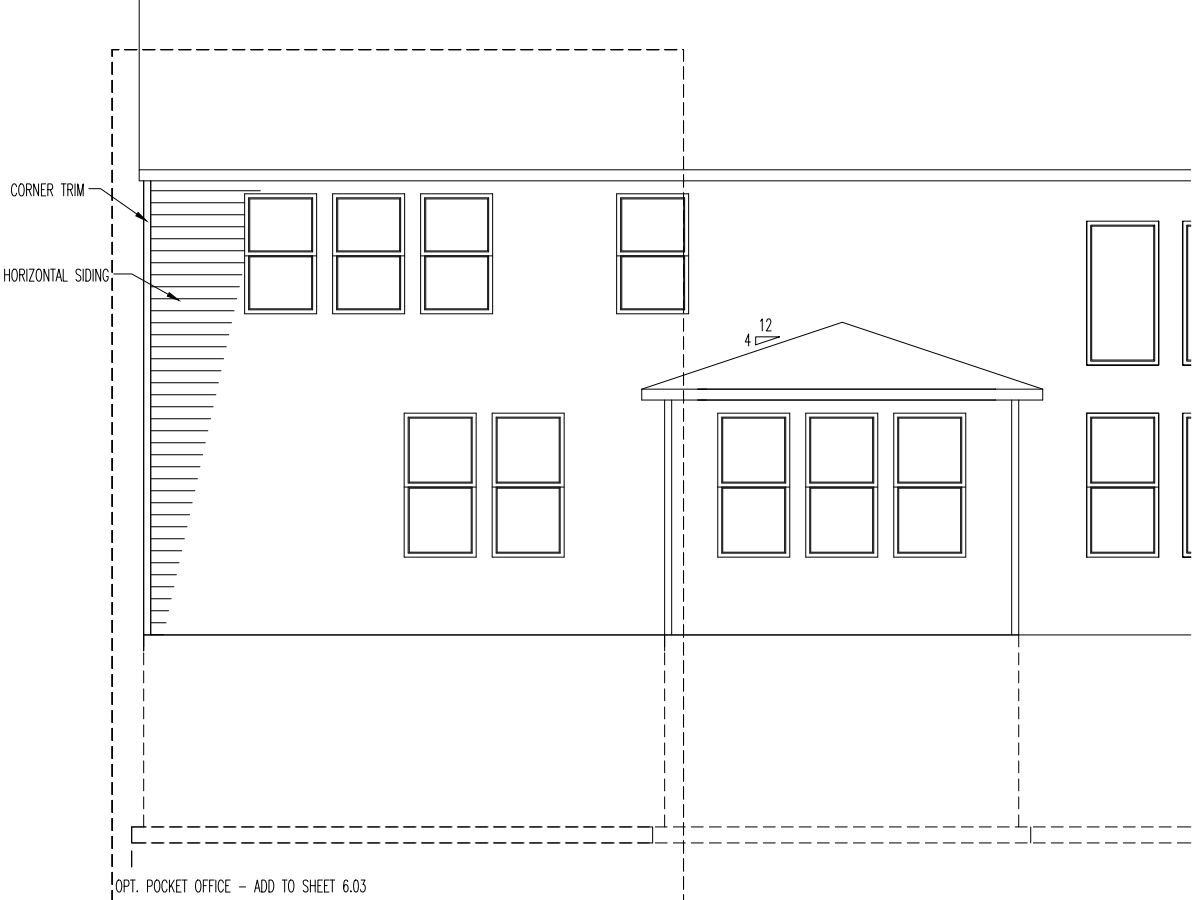
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Sheet No.

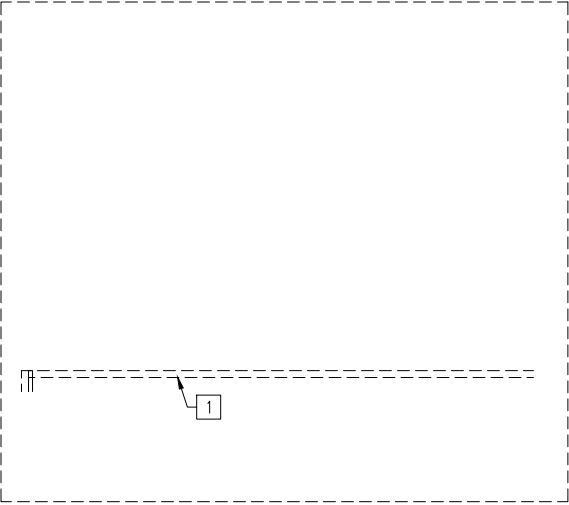
3.10



FIRST FLOOR SUBFLOOR



REAR ELEVATION



SECOND FLOOR SUBFLOOR

10. POCKET OFFICE ILO TANDEM GARAGE



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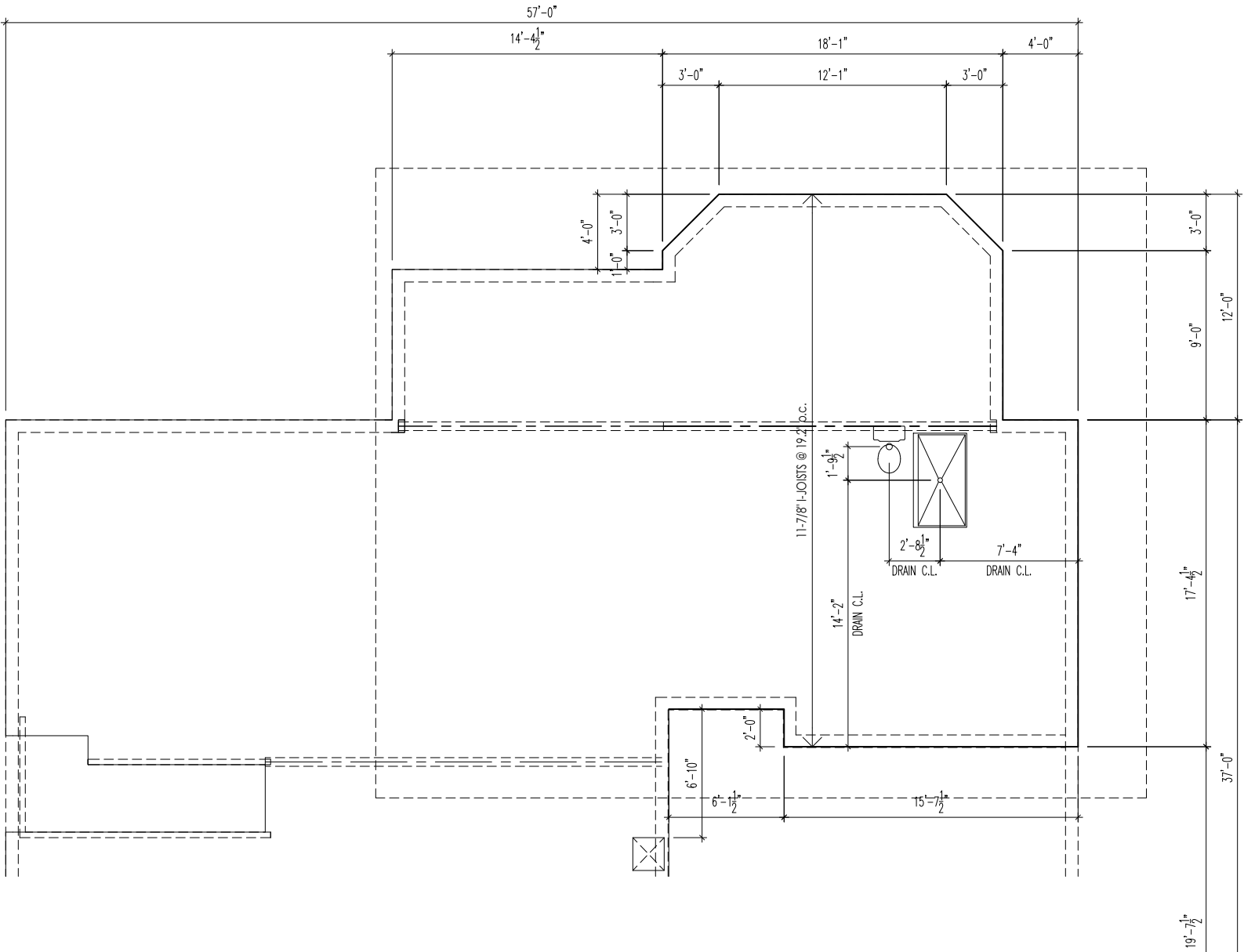
House:		Std. Drawn By: WJS
ASH LAWN		Std. Chk. By: ARC
		Std. Date:10/26/17 WJS
Series:	Plan No.:	Date of Last Rev: 12/14/21 WJS

SCALE: 1/8" = 1'-0"
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Contract Drawn By:	DWG_BY	Original Site Specific Dwg. & Effective Change Order Date:
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Coordinator's Name:	COORD_NM	
Coordinator's Phone #:	COORD_PH	
CON_DT		

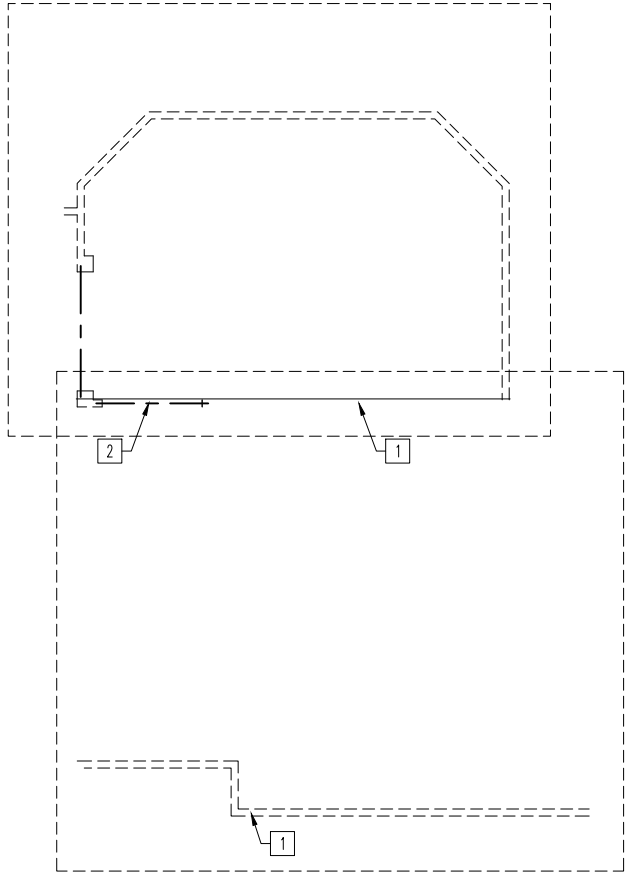
Subdivision:	SUB_NM	Sheet No. <b>8.11</b>
Job #:	JOB_NM	
Customer Name:	CUS_NM	
Job Address:	JOB_AD	





1ST FLOOR SUBFLOOR

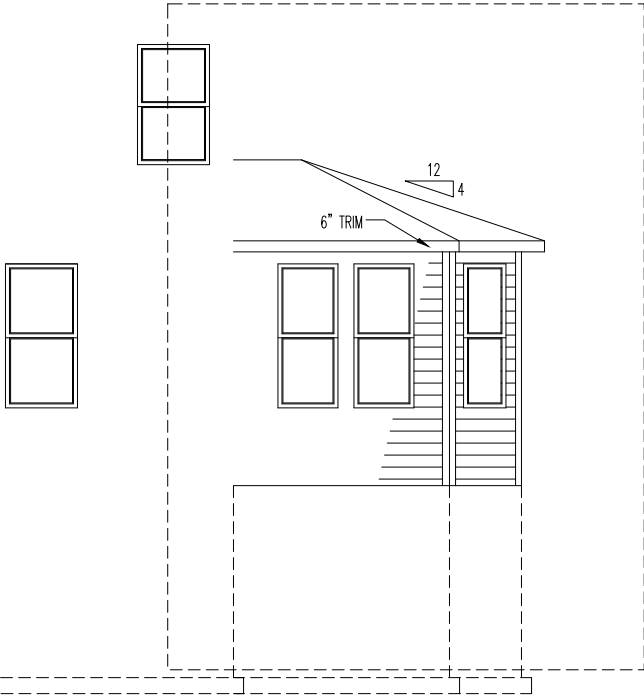
11. SUNROOM WITH OPT. BEDROOM 5



2ND FLOOR SUBFLOOR



REAR ELEVATION



GARAGE SIDE ELEVATION



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 12/14/21 WJS

Sheet Description:

OPTIONS SHEET  
ELEVATION "J"

SCALE: 1/8" = 1'-0"

Contract Drawn By:

DWG BY

Phone #:

DWG PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:

CON\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

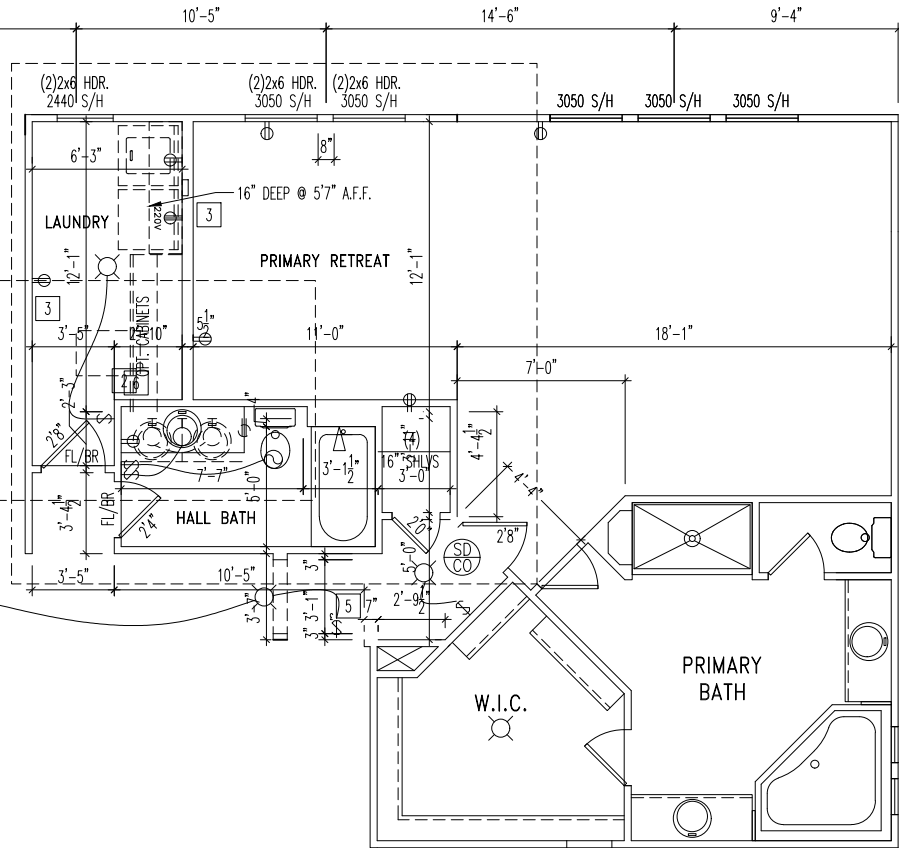
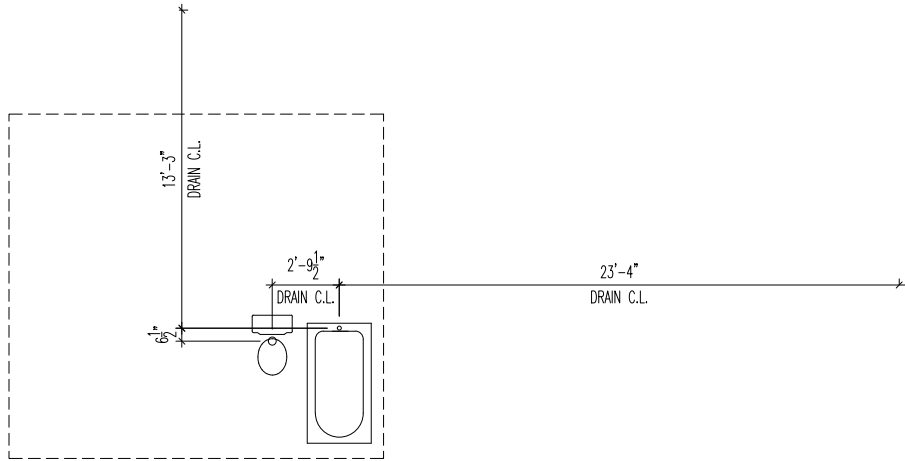
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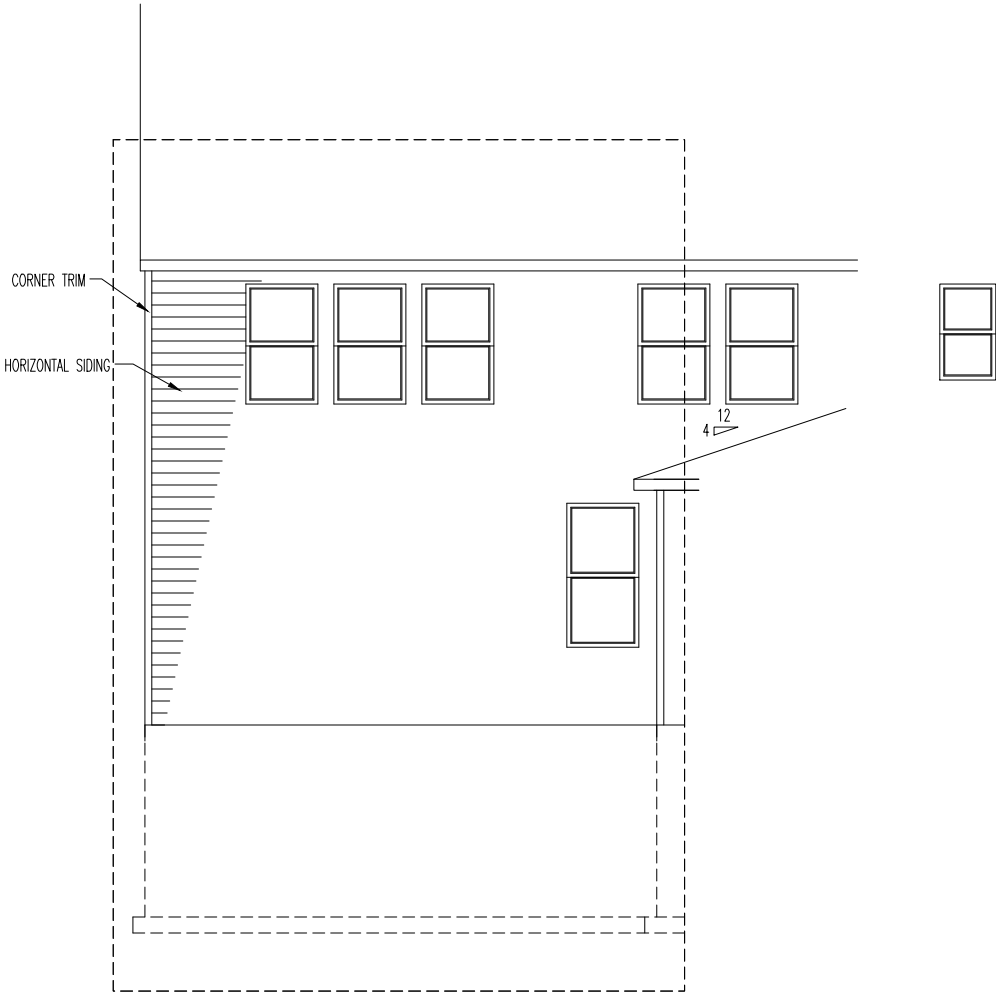
JOB\_AD

Sheet No.

8.13



2ND FLOOR PLAN  
12. OWNERS RETREAT



REAR ELEVATION



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 01/03/22 WJS

Sheet Description:

OPTIONS SHEET  
ELEVATION "J"

SCALE: 1/8" = 1'-0"

Contract Drawn By:

DWG BY

Phone #:

DWG PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

CUS\_NM

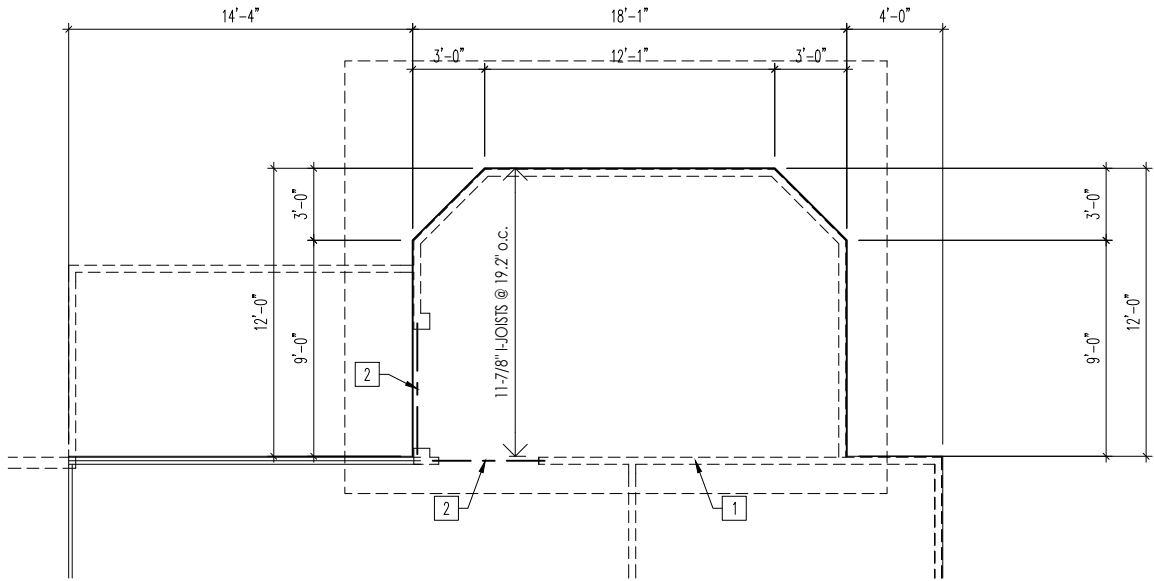
Job Address:

JOB\_AD

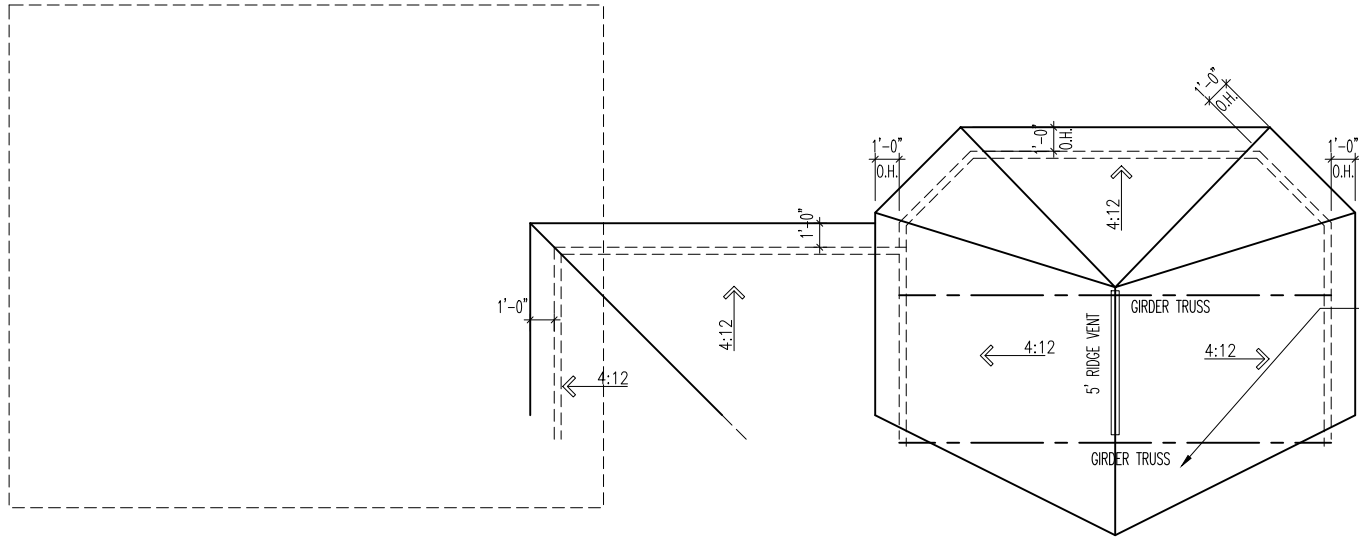
Sheet No.

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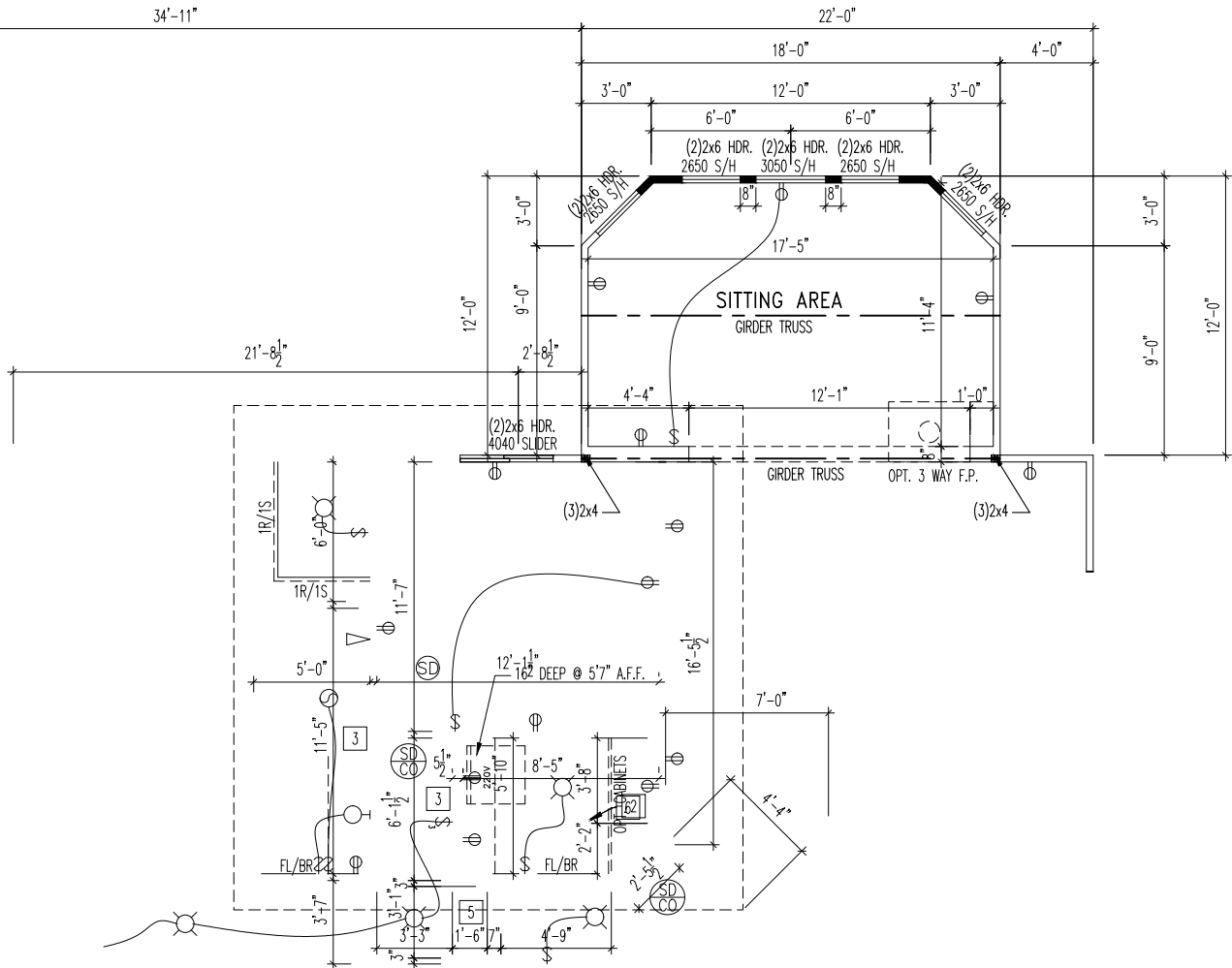




2ND FLOOR SUBFLOOR



ROOF PLAN



2ND FLOOR PLAN

13. SITTING ROOM (CONT.)



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House:  
ASH LAWN

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 12/14/21 MJS

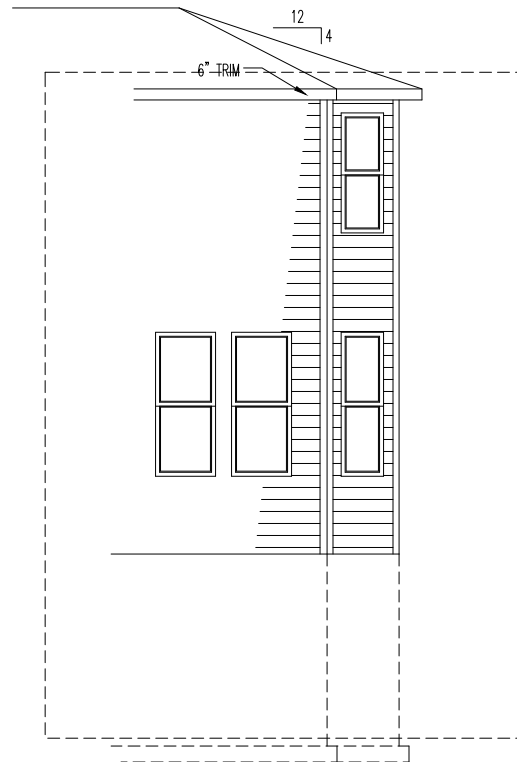
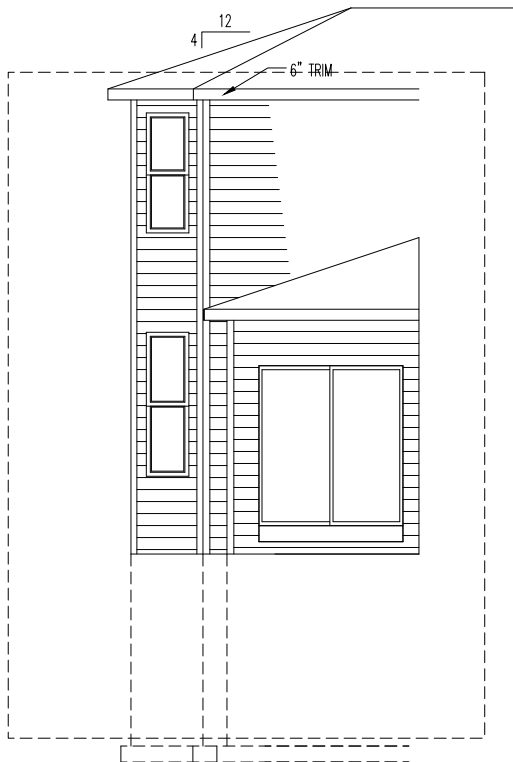
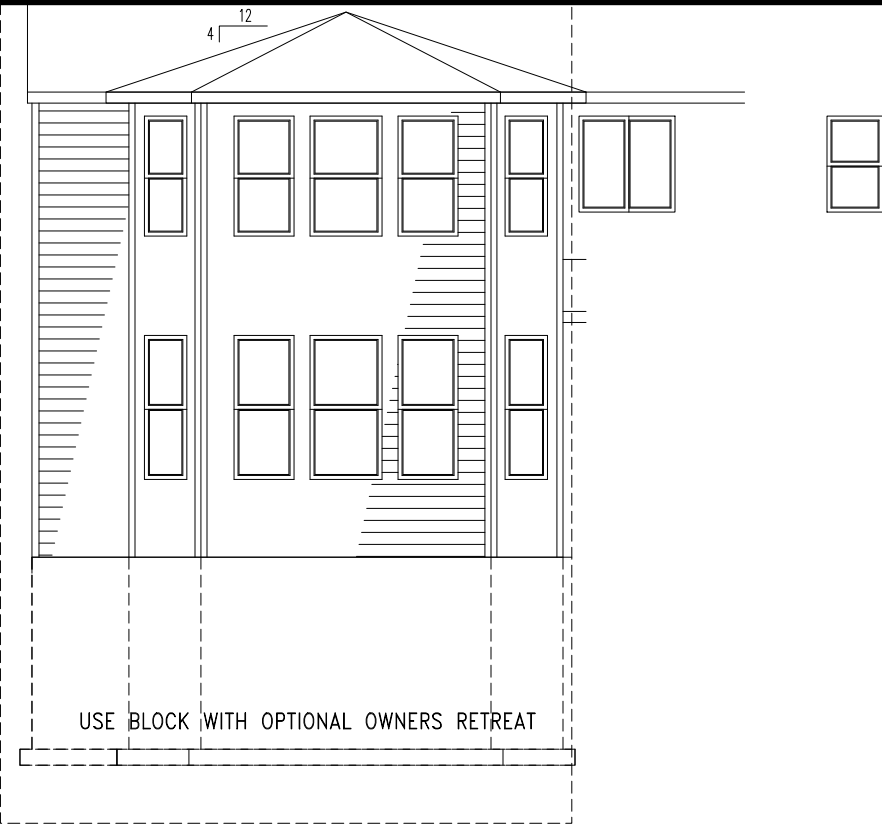
Sheet Description: SCALE: 1/8" = 1'-0"  
OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:  
CON\_DT

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.  
8.15



SIDE ELEVATION

GARAGE SIDE ELEVATION

REAR ELEVATION

### 13. SITTING ROOM



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House:  
**ASH LAWN**

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 10/26/17 WJS

Sheet Description: SCALE: 1/8" = 1'-0"  
**OPTIONS SHEET  
ELEVATION "J"**

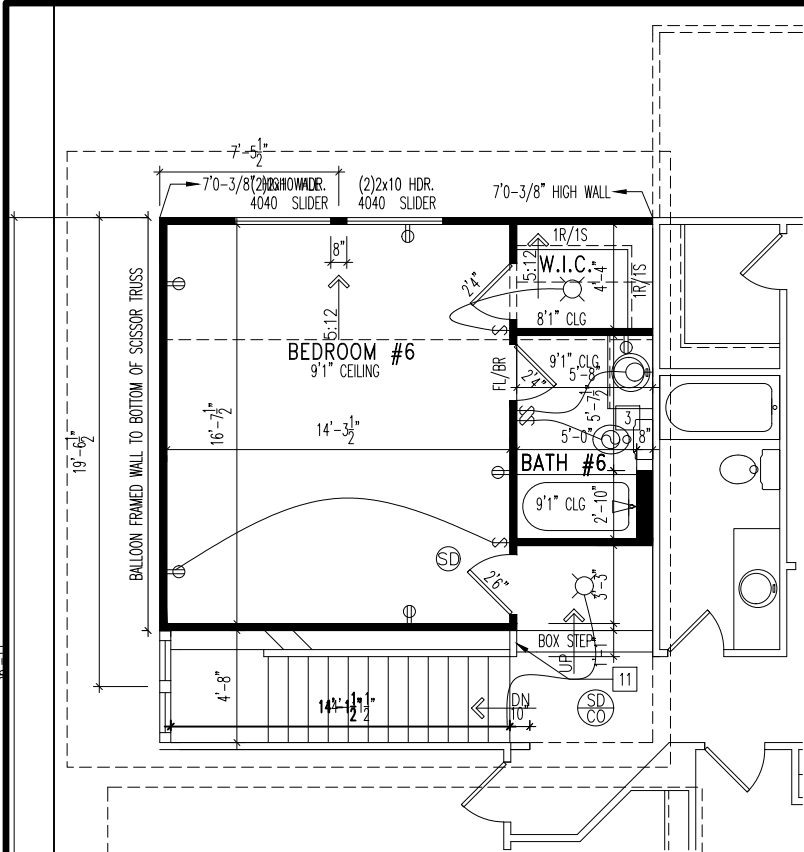
Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:  
**CON\_DT**

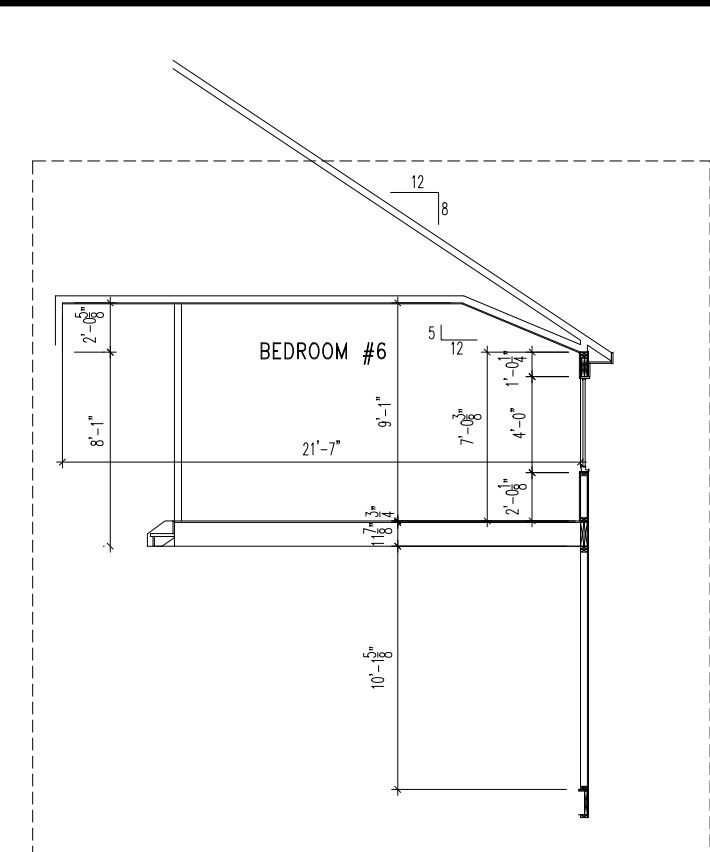
Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.  
**8.16**

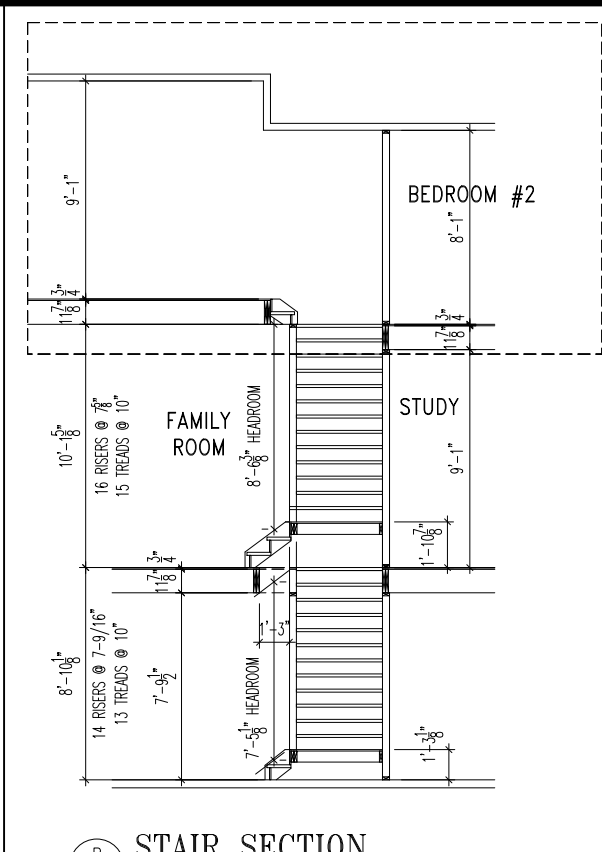
Ash Lawn - CDs [Elev] - MWR.dwg Sep 05, 2023 - 12:54pm



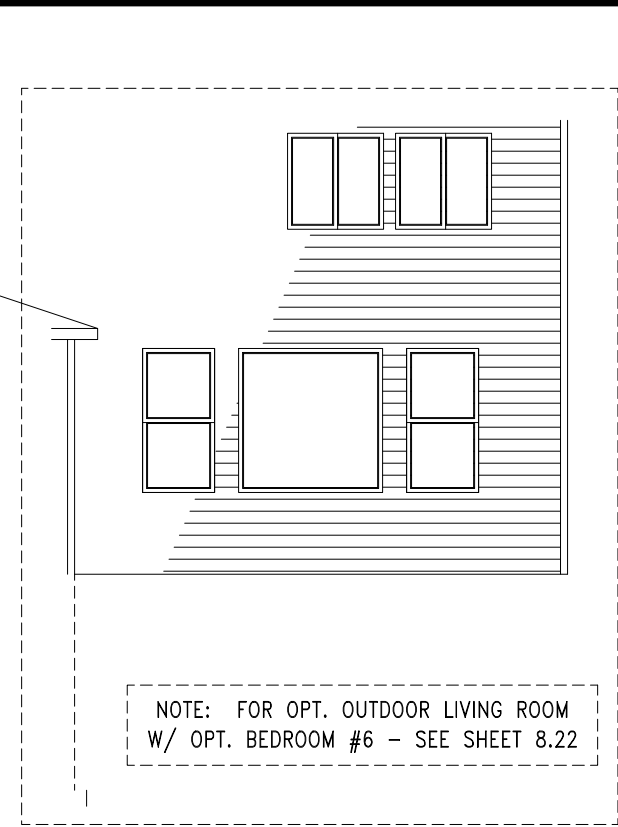
2ND FLOOR PLAN



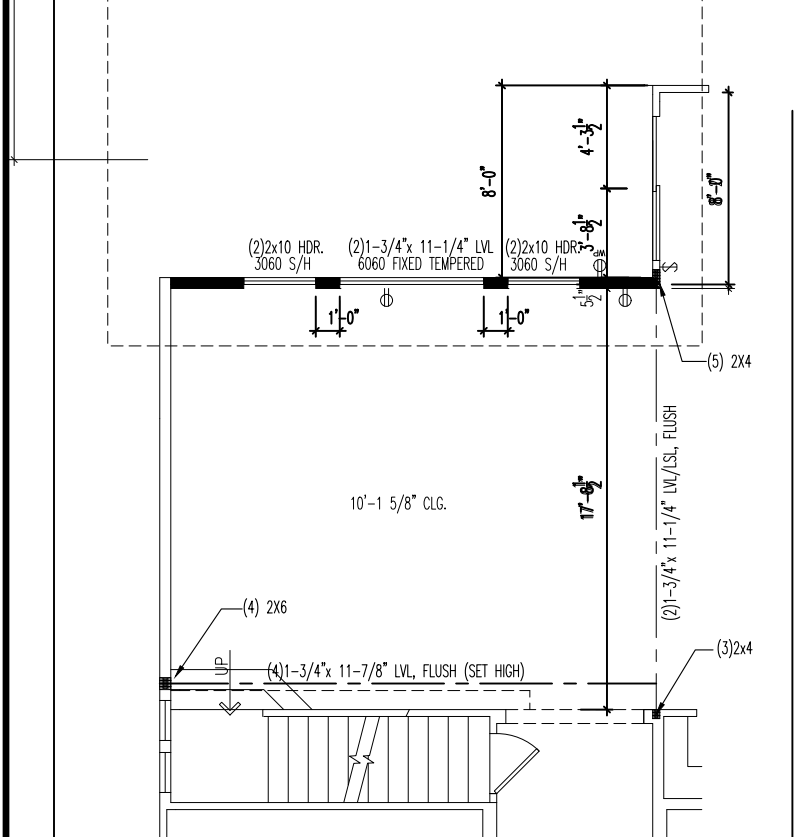
SECTION



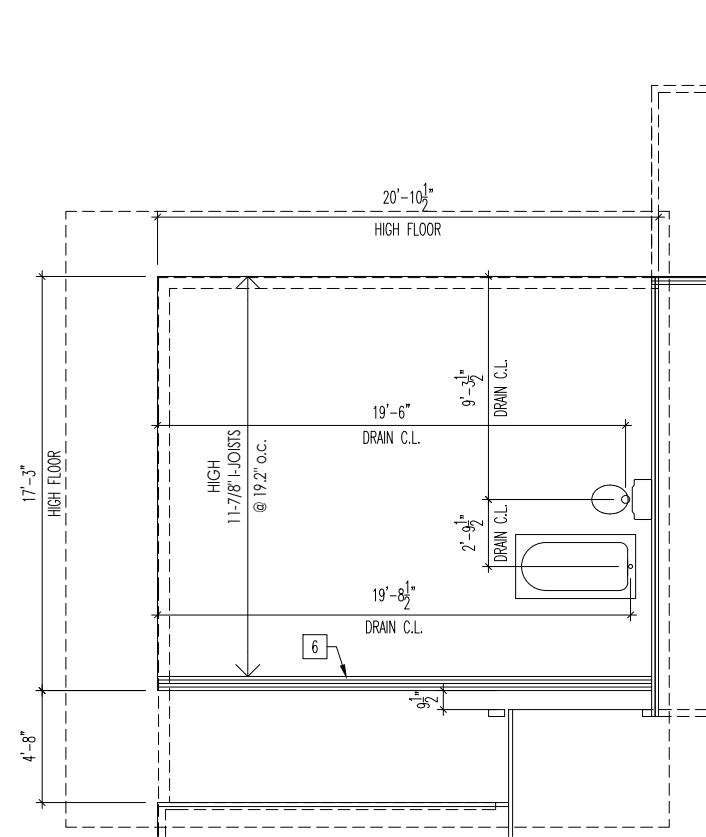
STAIR SECTION  
SCALE: 1/8" = 1'-0"



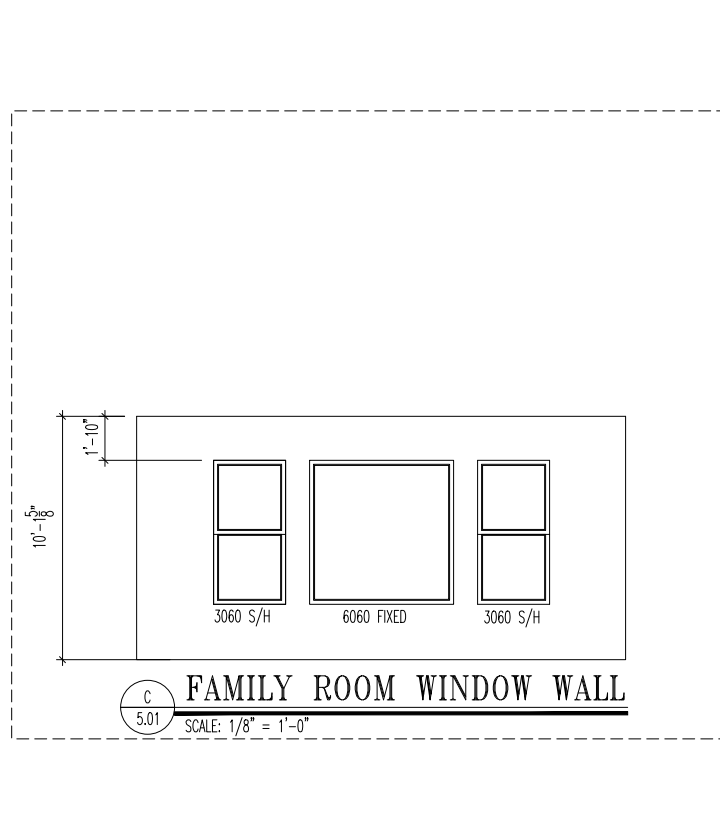
REAR ELEVATION



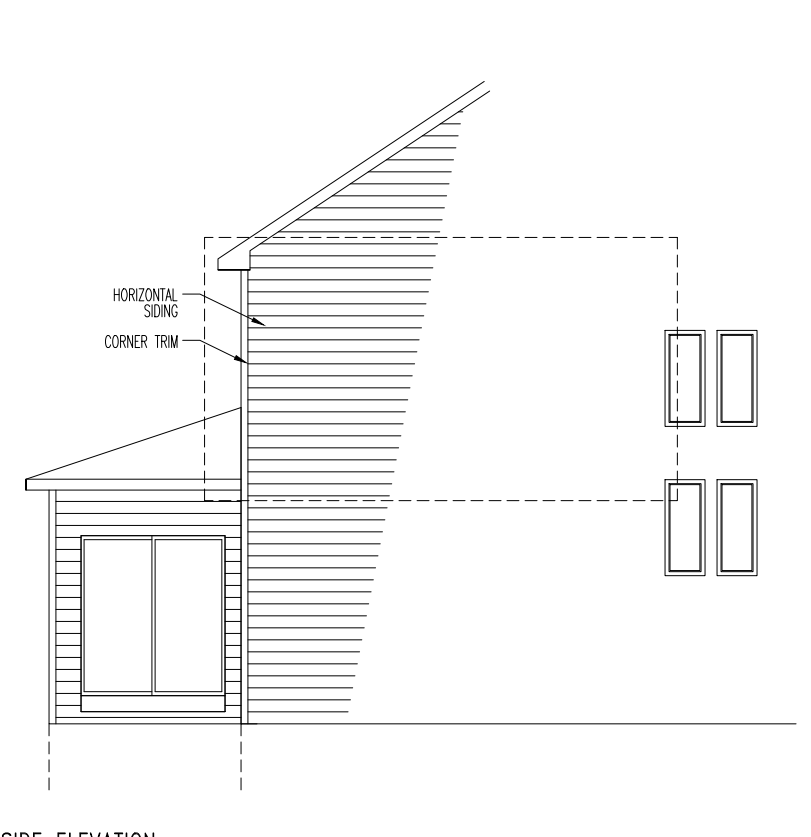
1ST FLOOR PLAN  
14. BEDROOM 6



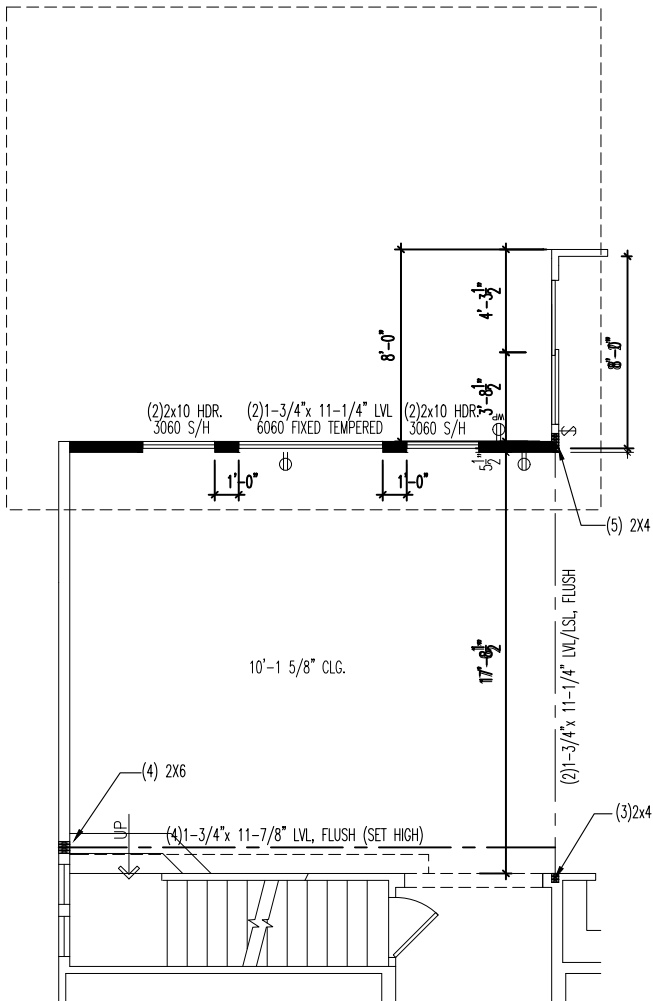
2ND FLOOR SUBFLOOR



WINDOW WALL

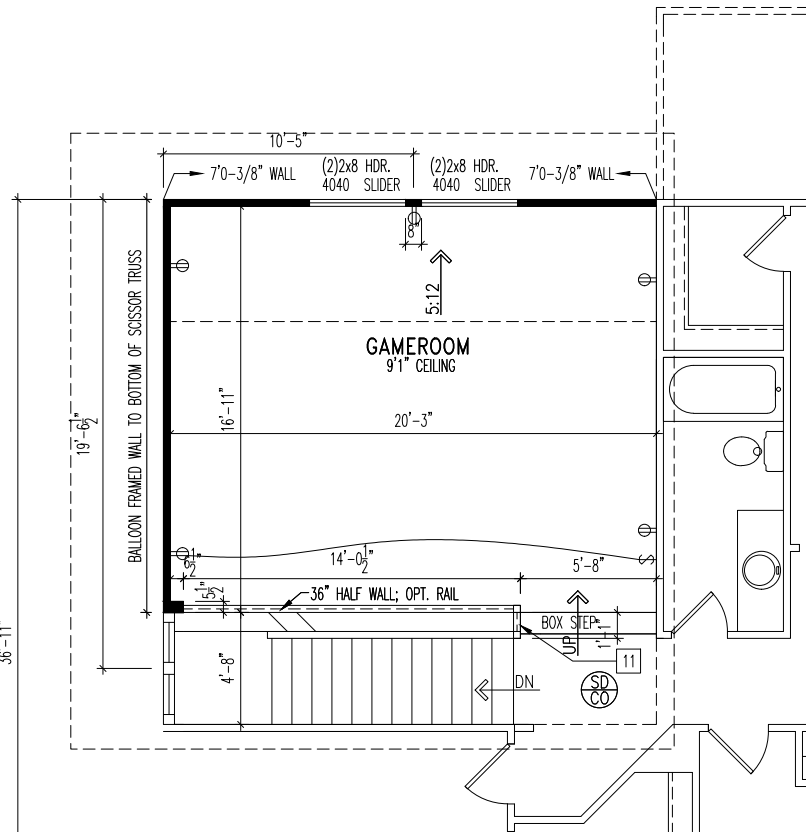


SIDE ELEVATION

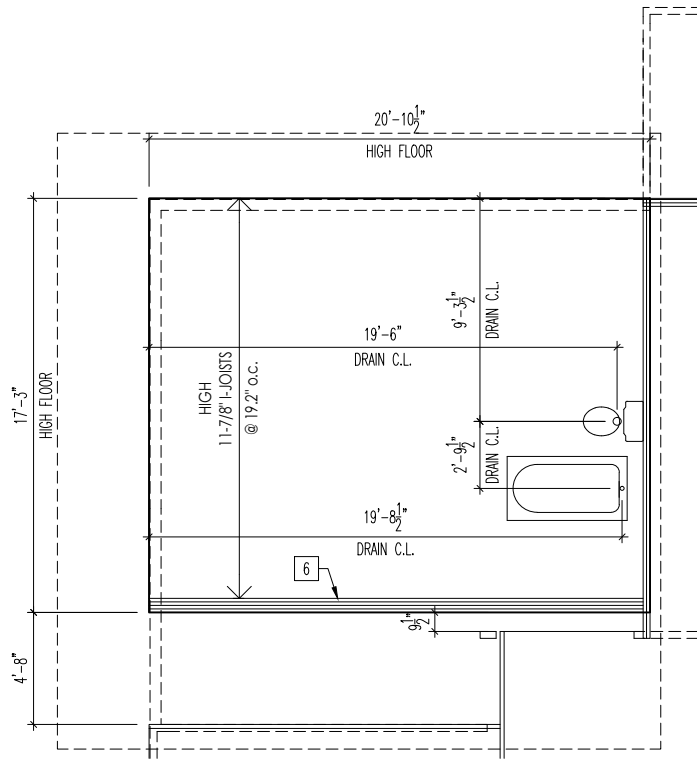


1ST FLOOR PLAN

15. GAMEROOM



2ND FLOOR PLAN



2ND FLOOR SUBFLOOR

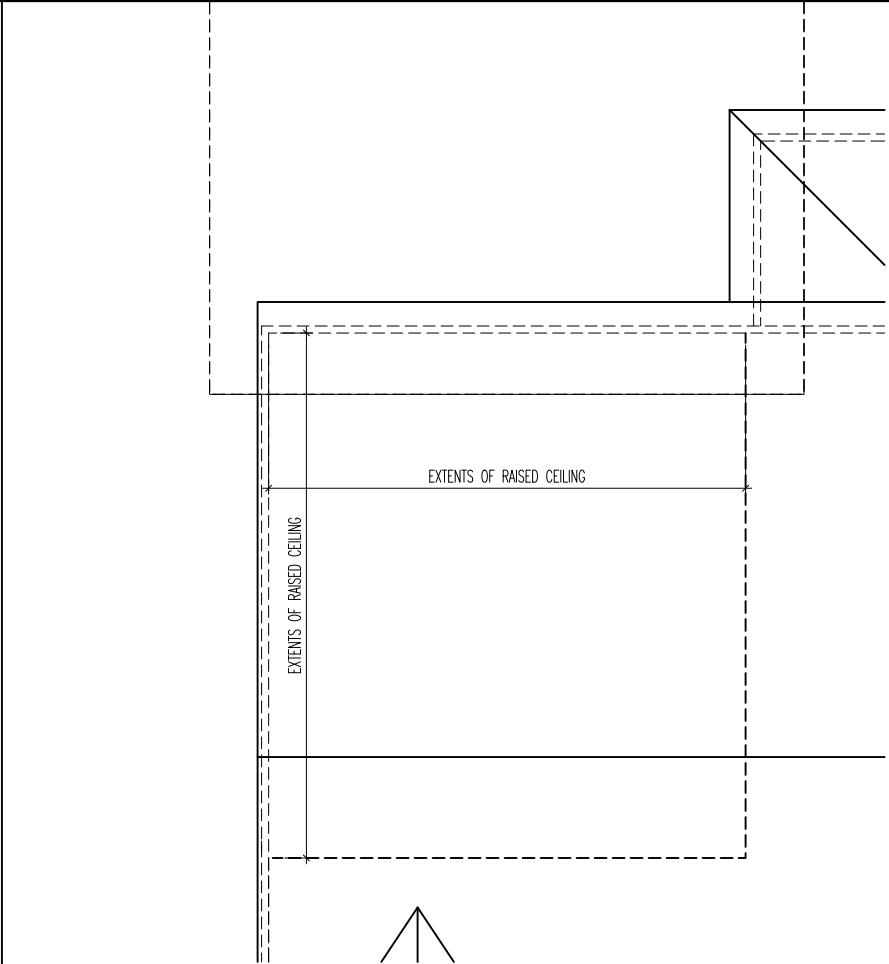


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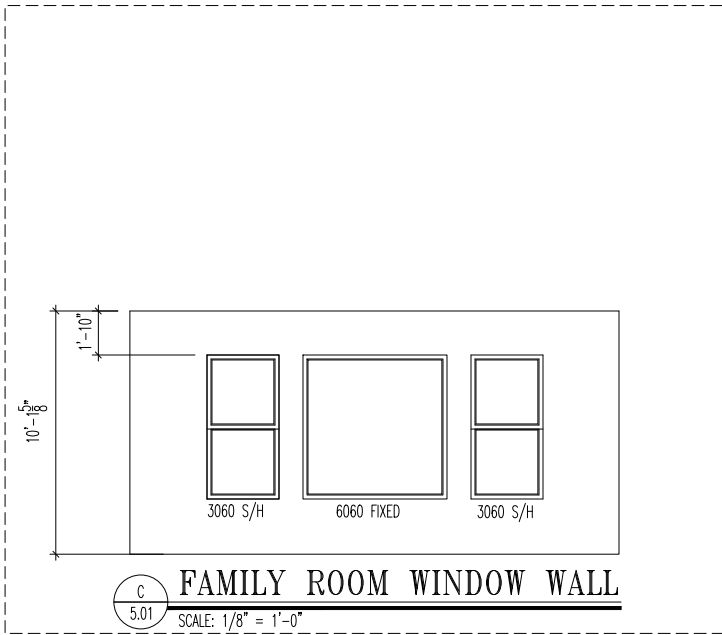
House: <b>ASH LAWN</b>		Std. Drawn By: JRT	Sheet Description: SCALE: 1/8" = 1'-0"
Series:		Std. Chk. By: ARC	OPTIONS SHEET ELEVATION "J"
		Std. Date: 9-16-13	
Plan No.:		Date of Last Rev: 12/14/21 WJS	

Contract Drawn By:	DWG_BY	Original Site Specific Dwg. & Effective Change Order Date:  <b>CON_DT</b>
Phone #:	DWG_PH	
Coordinator's Name:	COORD_NM	
Coordinator's Phone #:	COORD_PH	

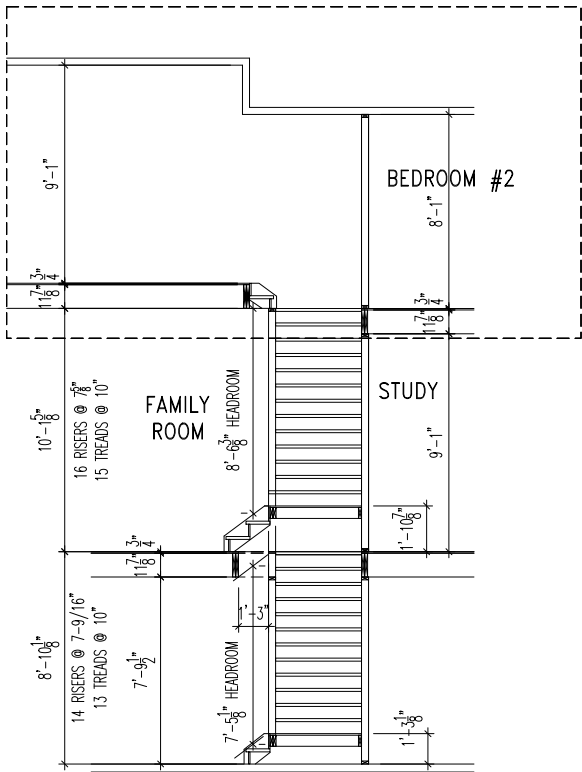
Subdivision:	SUB_NM	8.18
Job #:	JOB_NM	
Customer Name:	CUS_NM	
Job Address:	JOB_AD	



ROOF PLAN

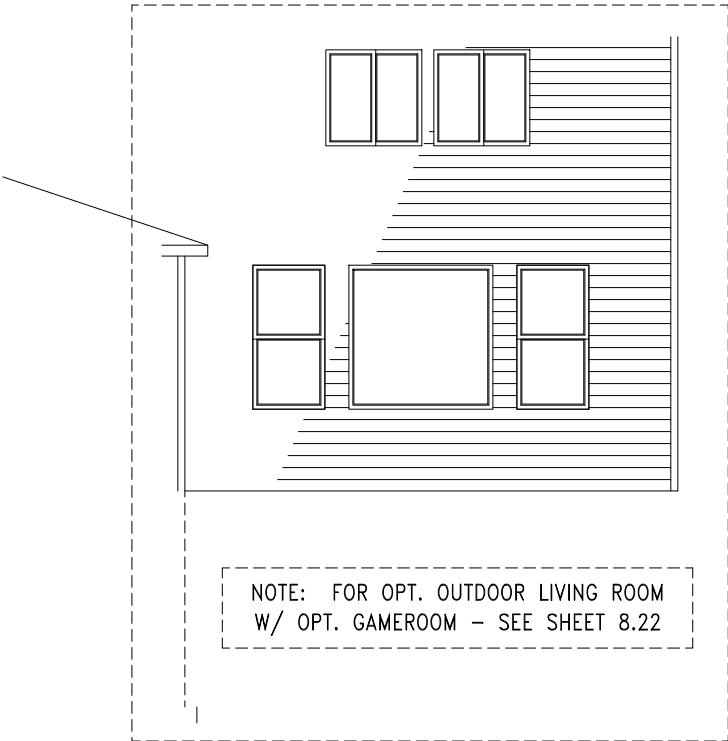


WINDOW WALL  
15. GAMEROOM

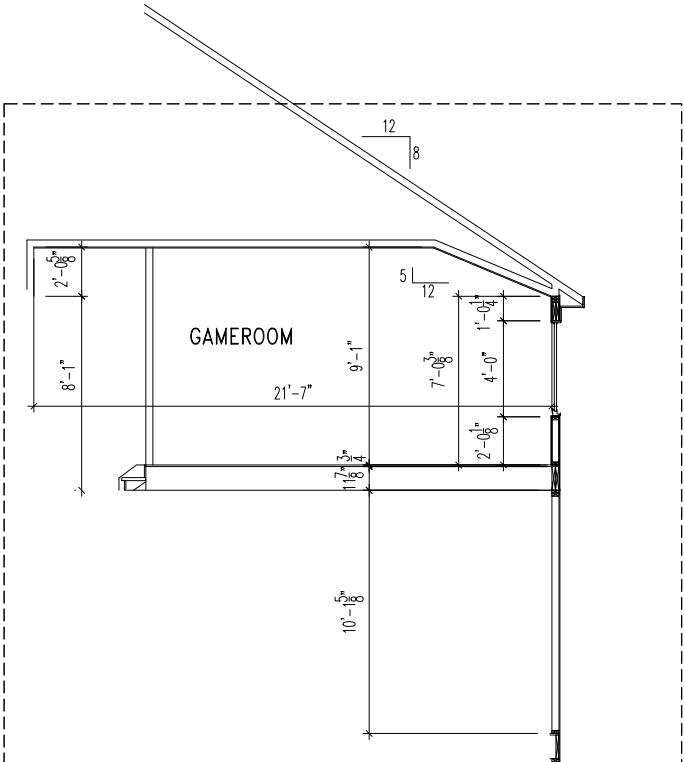


STAIR SECTION  
SCALE: 1/8" = 1'-0"

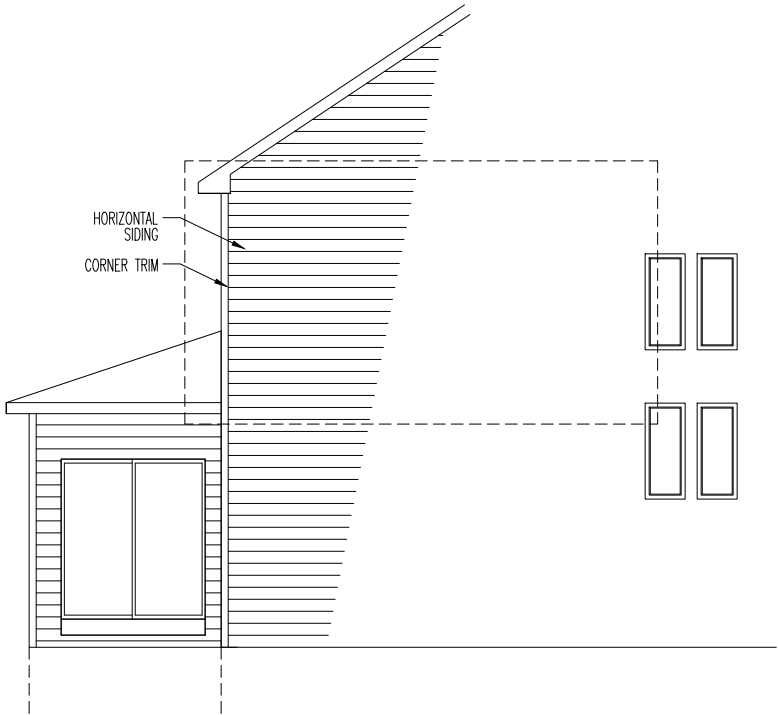
STAIR SECTION



REAR ELEVATION



BUILDING SECTION



SIDE ELEVATION



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House:  
ASH LAWN

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 10/26/17 WJS

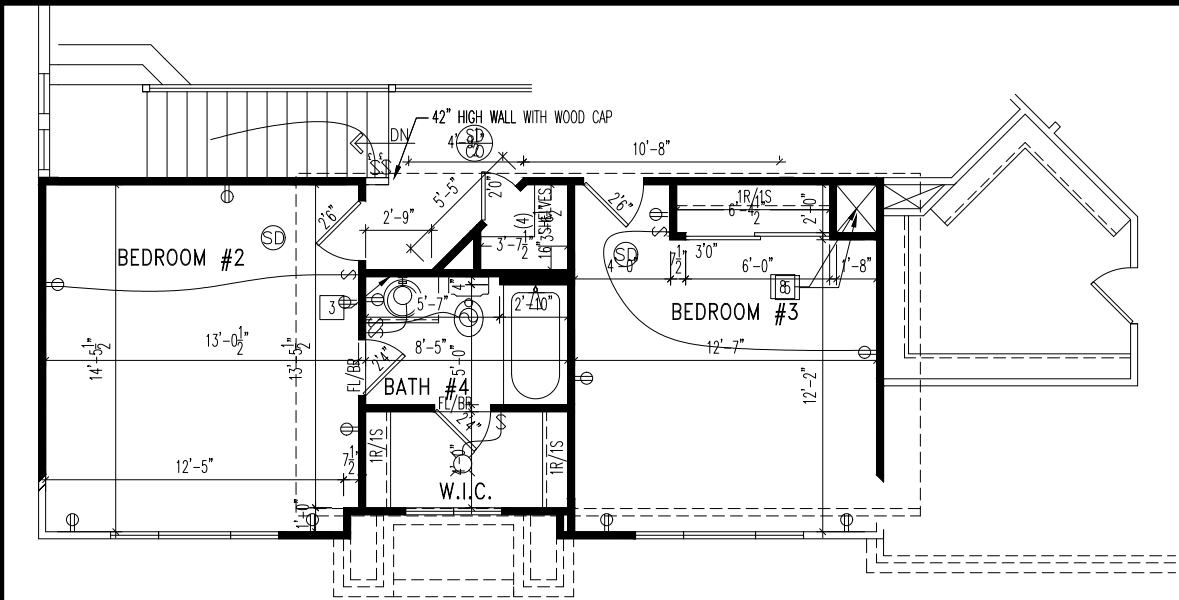
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OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

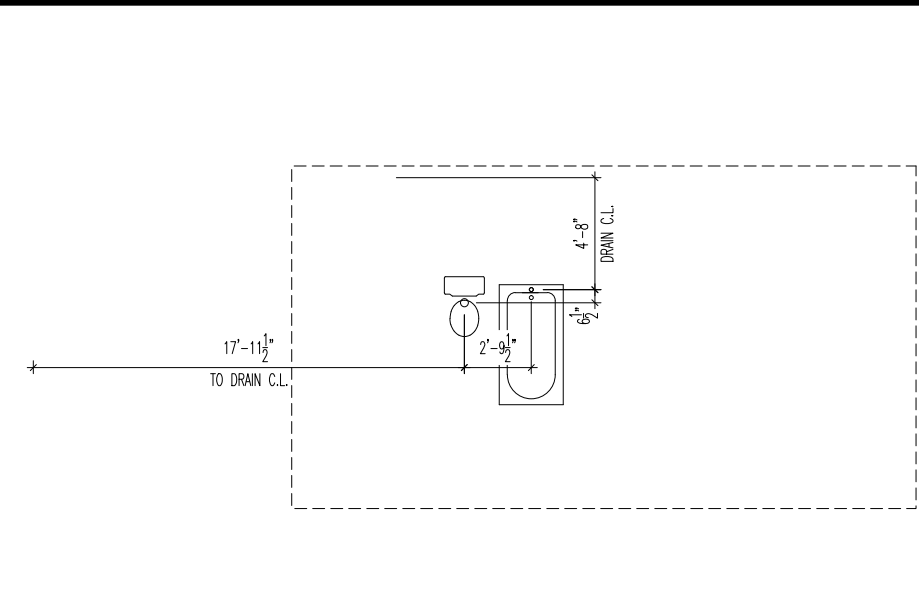
Original Site Specific Dwg. & Effective Change Order Date:  
CON\_DT

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

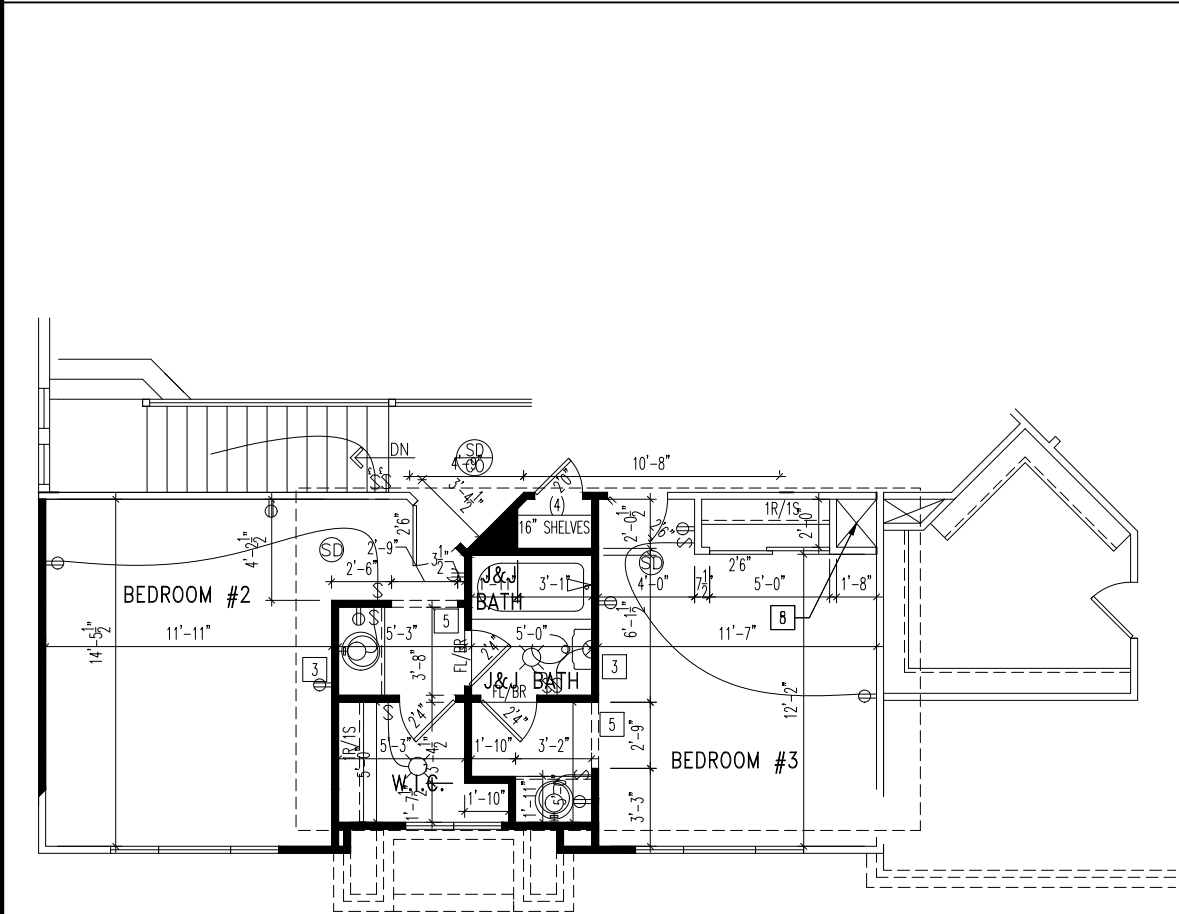
Sheet No.  
8.19



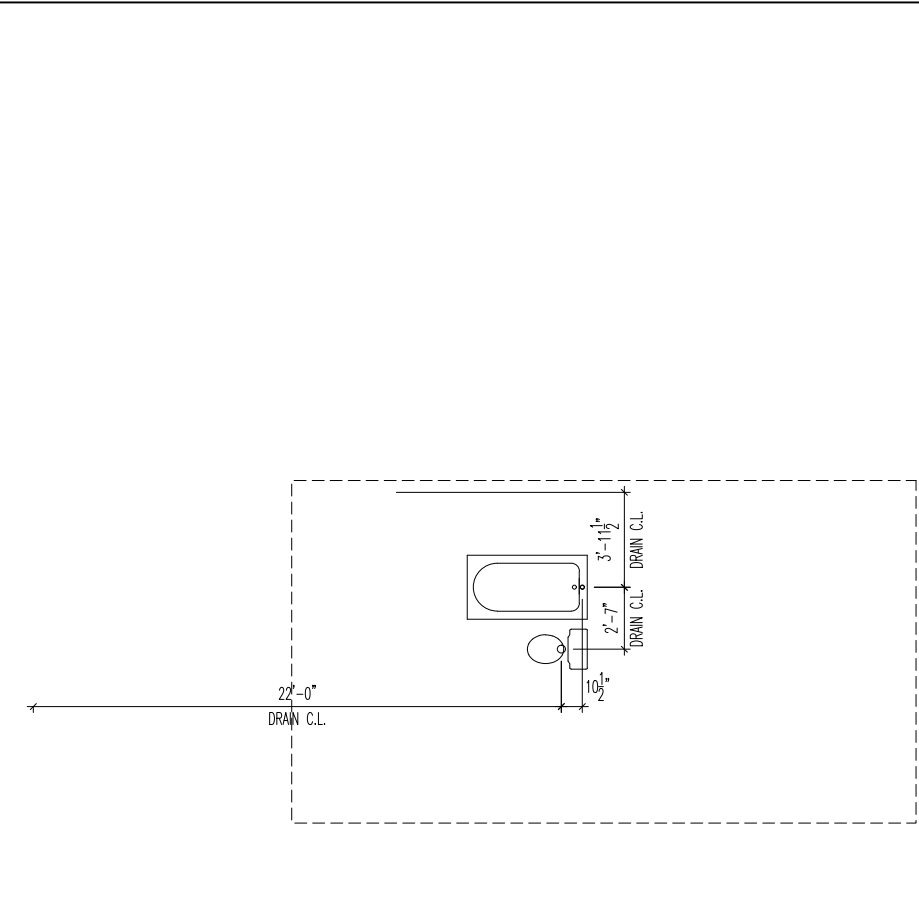
2ND FLOOR PLAN  
16b. BATH AT BEDROOM 2



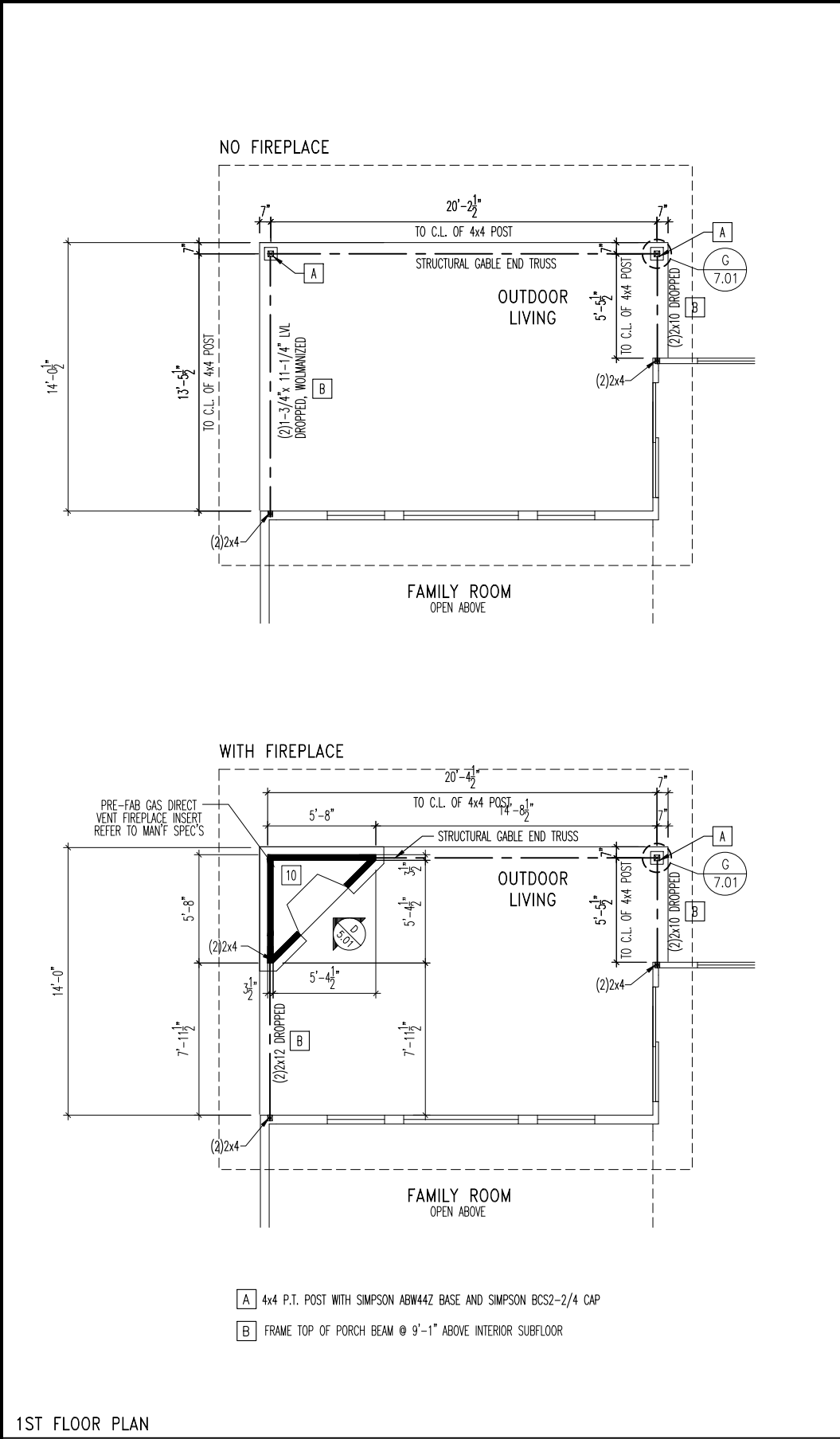
2ND FLOOR SUBFLOOR PLAN



2ND FLOOR PLAN  
16a. JACK AND JILL BATH



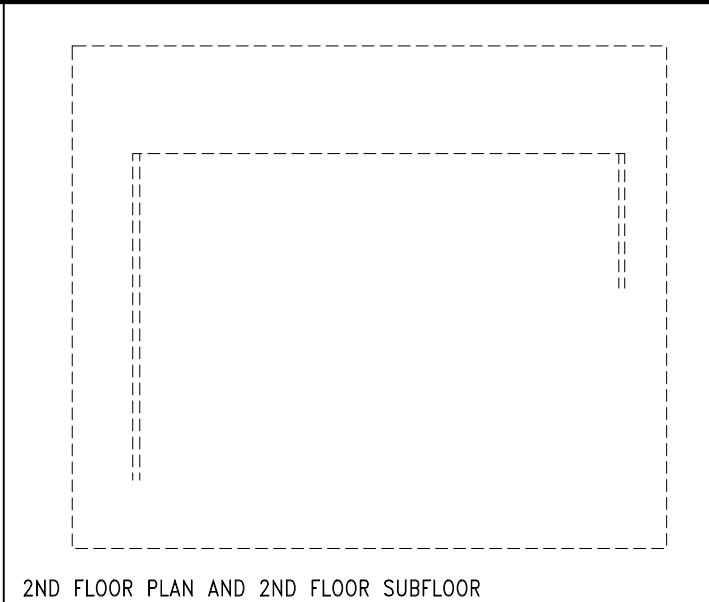
2ND FLOOR SUBFLOOR PLAN



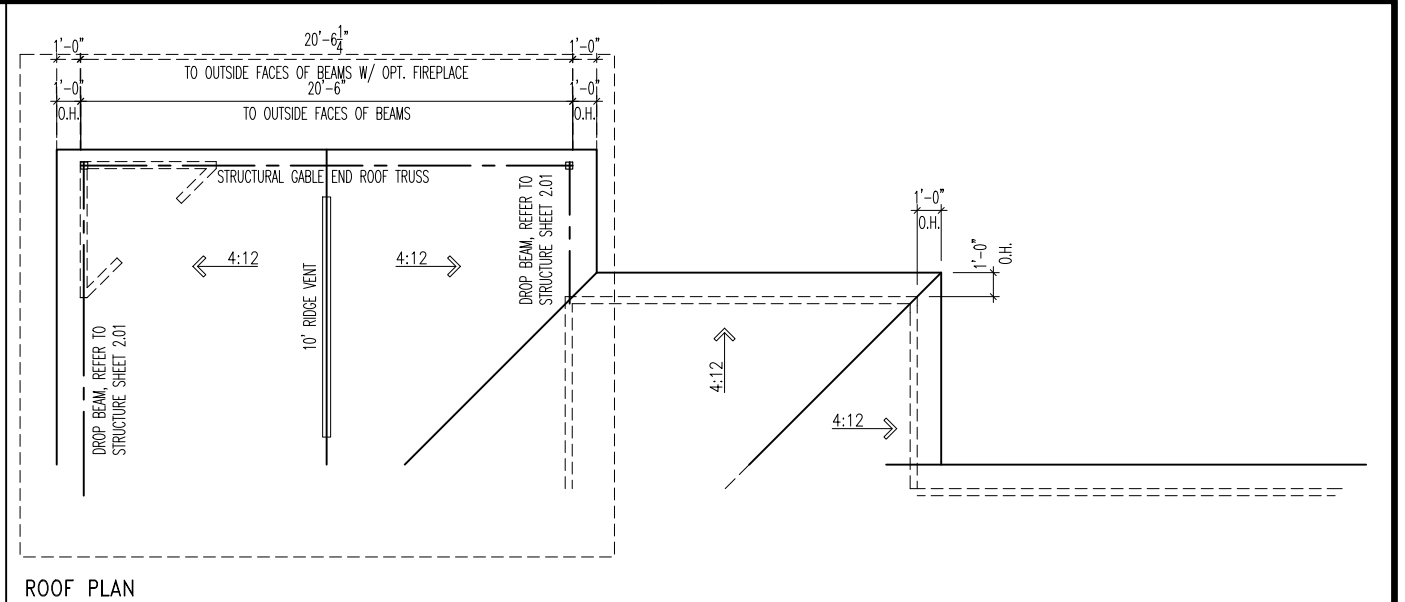
1ST FLOOR PLAN

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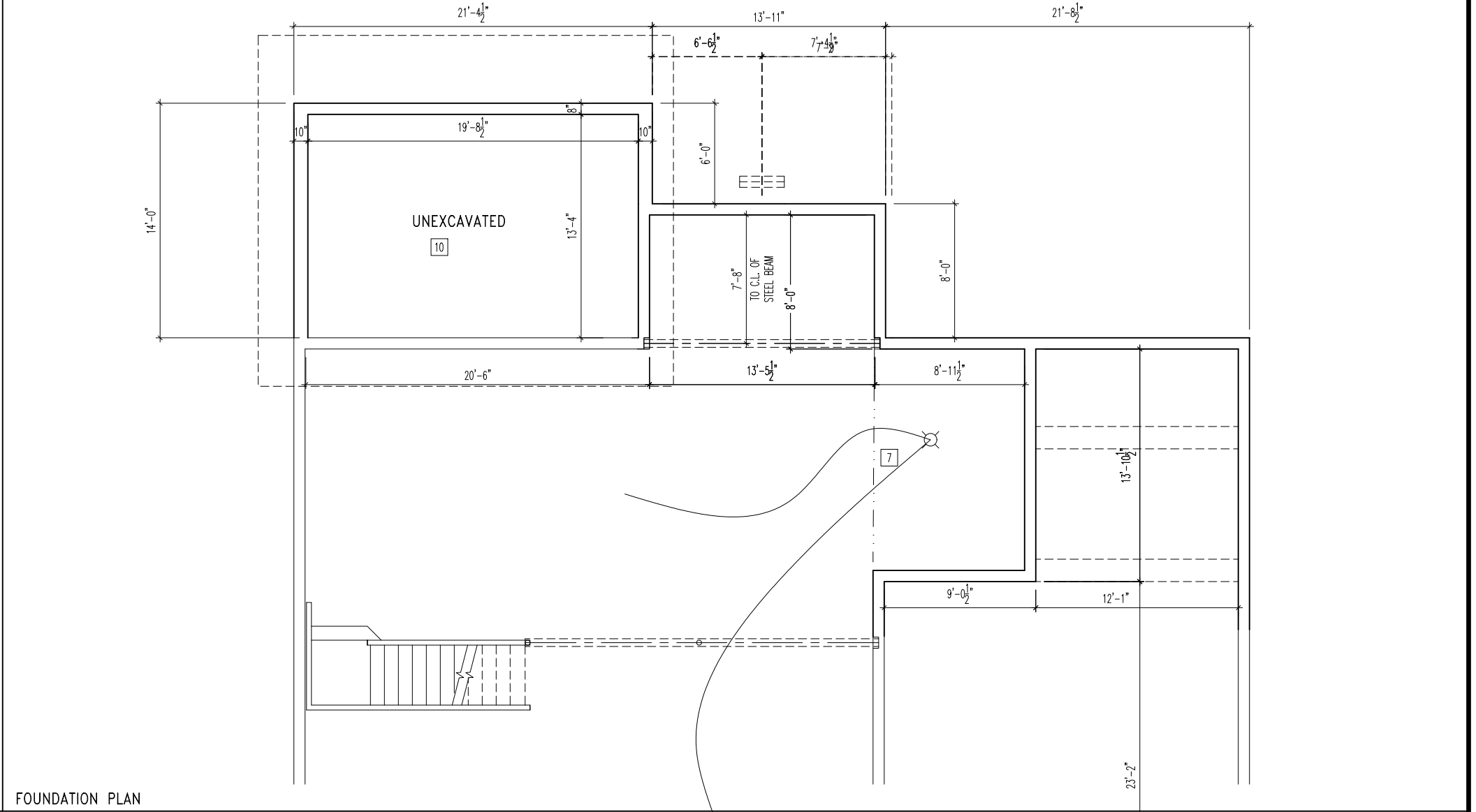
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2ND FLOOR PLAN AND 2ND FLOOR SUBFLOOR

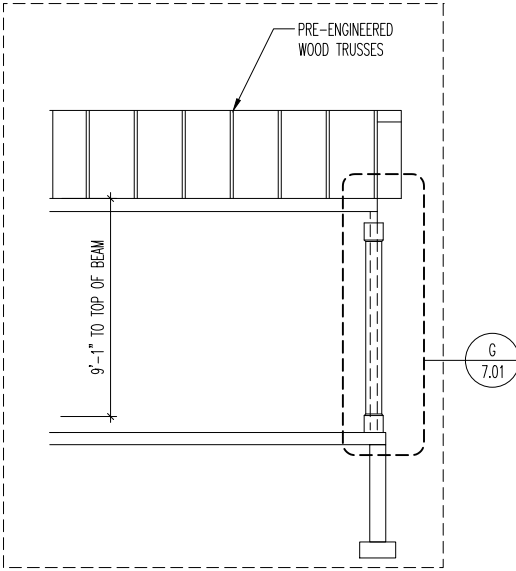


ROOF PLAN



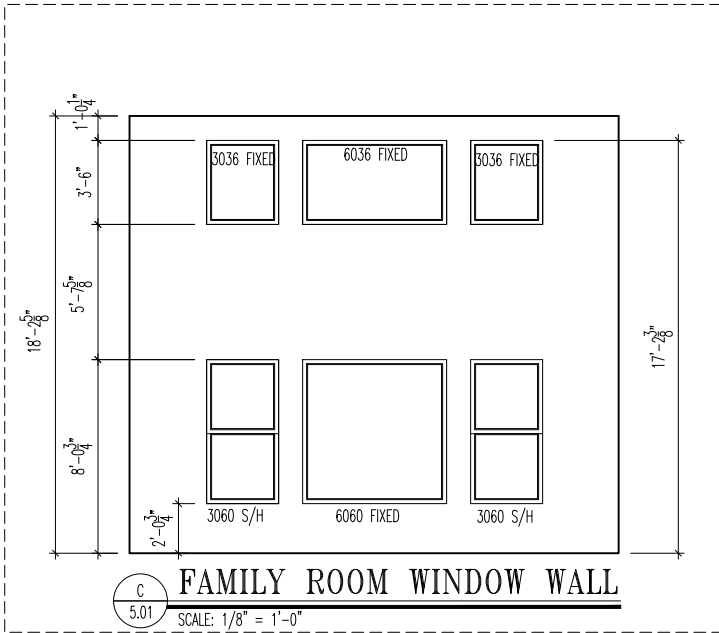
FOUNDATION PLAN

17. OUTDOOR LIVING (CONT.)		House: ASH LAWN		Std. Drawn By: JRT	Sheet Description: OPTIONS SHEET ELEVATION "J"	SCALE: 1/8" = 1'-0"	Contract Drawn By: DWG_BY	Original Site Specific Dwg. & Effective Change Order Date:	Subdivision:	SUB_NM	Sheet No.
				Std. Chk. By: ARC			Phone #:	DWG_PH	Job #:	JOB_NM	8.21
				Std. Date: 9-16-13			Coordinator's Name:	COORD_NM	Customer Name:	CUS_NM	
				Date of Last Rev: 01/03/22 WJS			Coordinator's Phone #:	COORD_PH	Job Address:	JOB_AD	



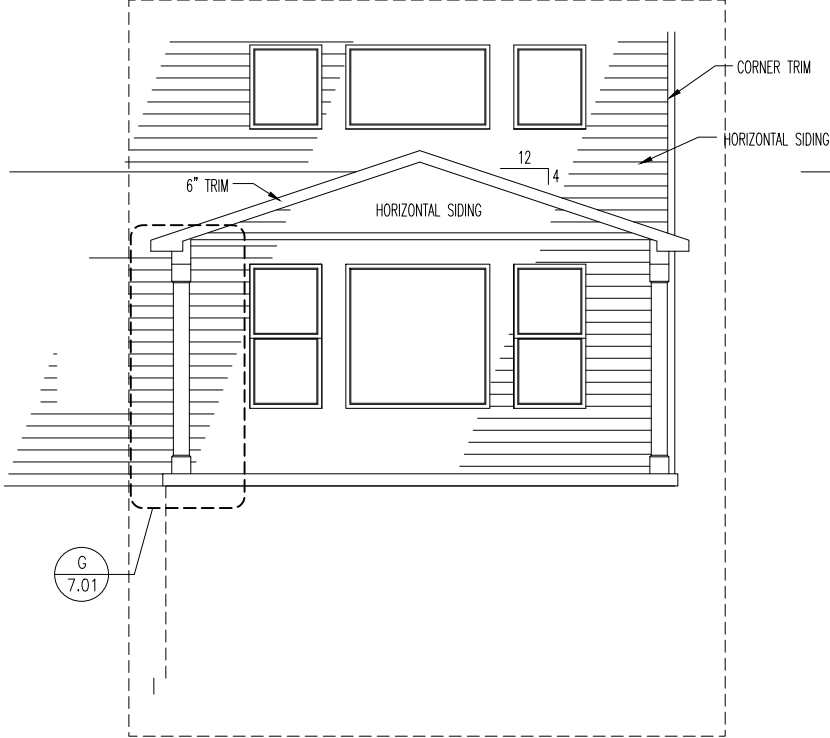
BUILDING SECTION

FOR WINDOW WALL WITH OPT. BEDROOM #6  
OR OPT. GAMEROOM - SEE SHEET 8.17

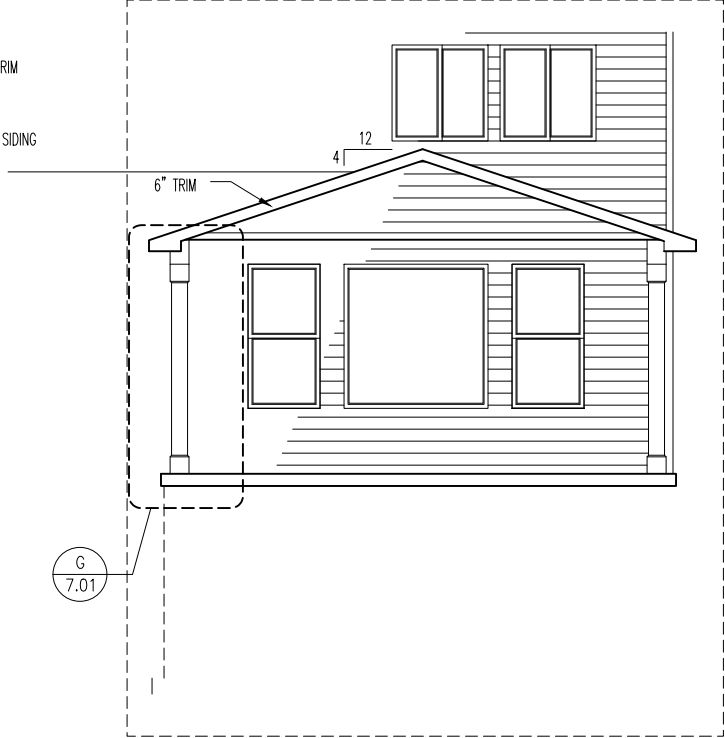


WINDOW WALL

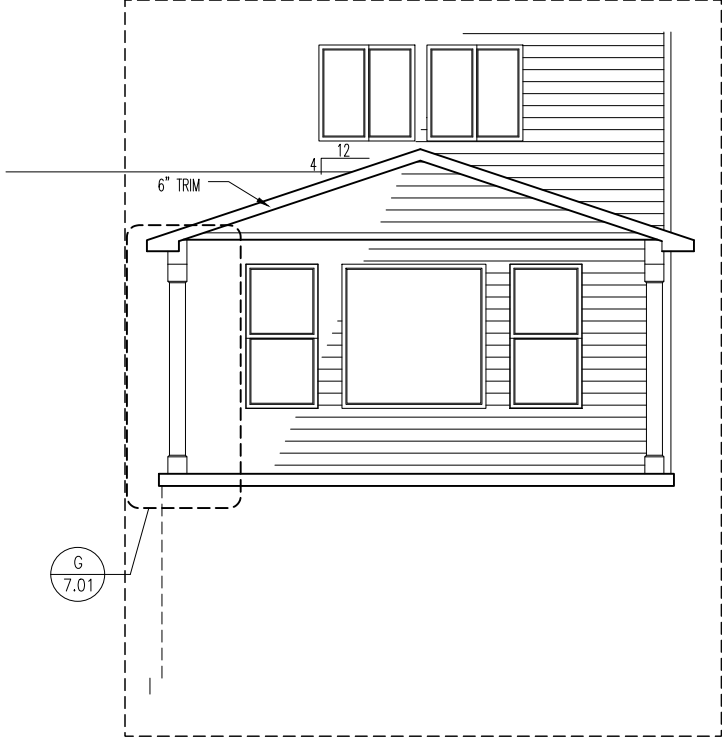
STD. 2-STORY FAMILY ROOM - NO FIREPLACE



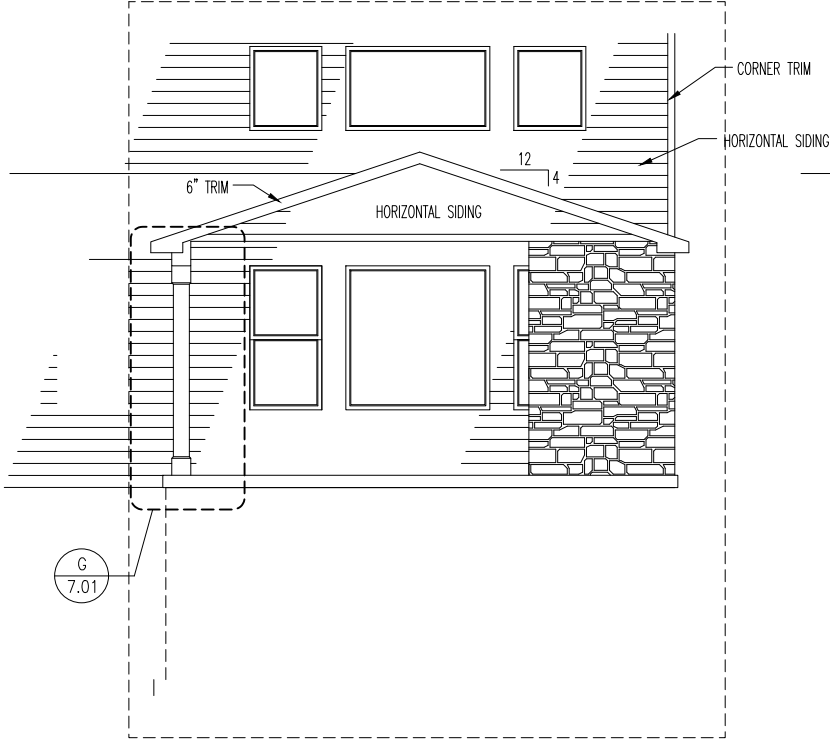
OPT. BEDROOM #6 - NO FIREPLACE



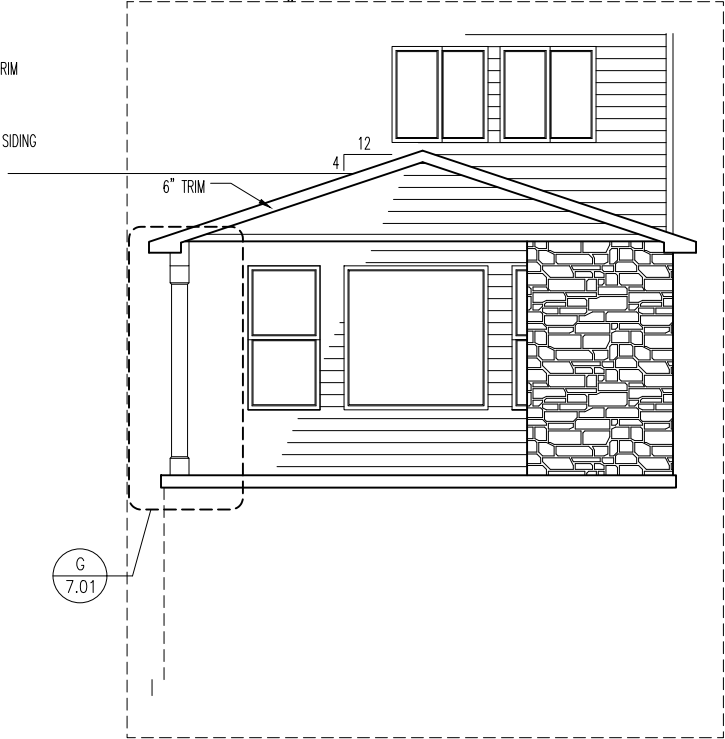
OPT. GAMEROOM - NO FIREPLACE



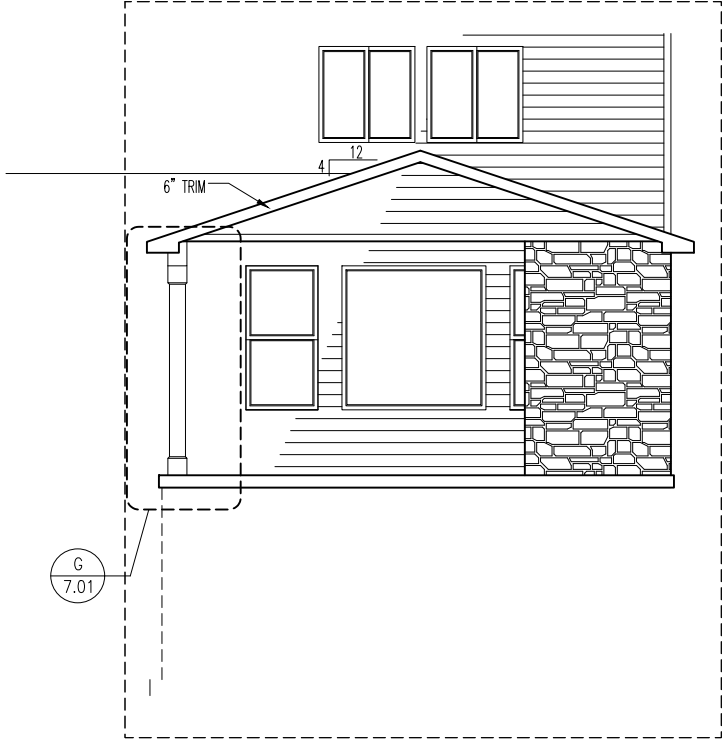
STD. 2-STORY FAMILY ROOM - WITH FIREPLACE



OPT. BEDROOM #6 - WITH FIREPLACE



OPT. GAMEROOM - WITH FIREPLACE



REAR ELEVATION

17. OUTDOOR LIVING



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 10/26/17 WJS

Sheet Description:

OPTIONS SHEET  
ELEVATION "J"

SCALE: 1/8" = 1'-0"

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

CUS\_NM

Job Address:

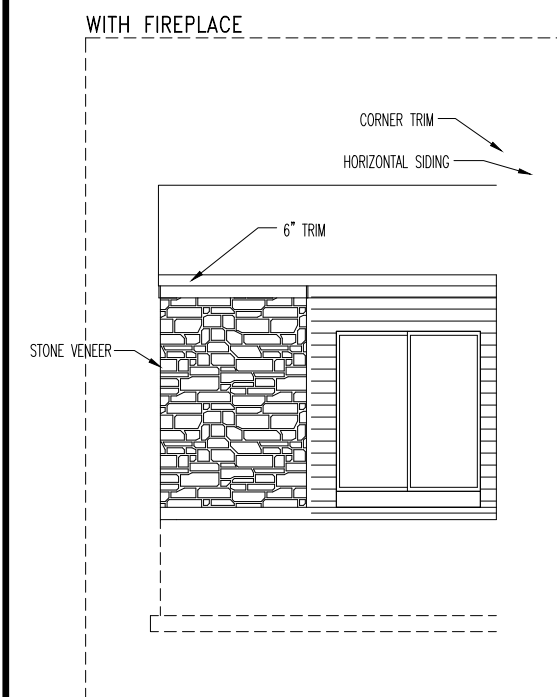
JOB\_AD

Sheet No.

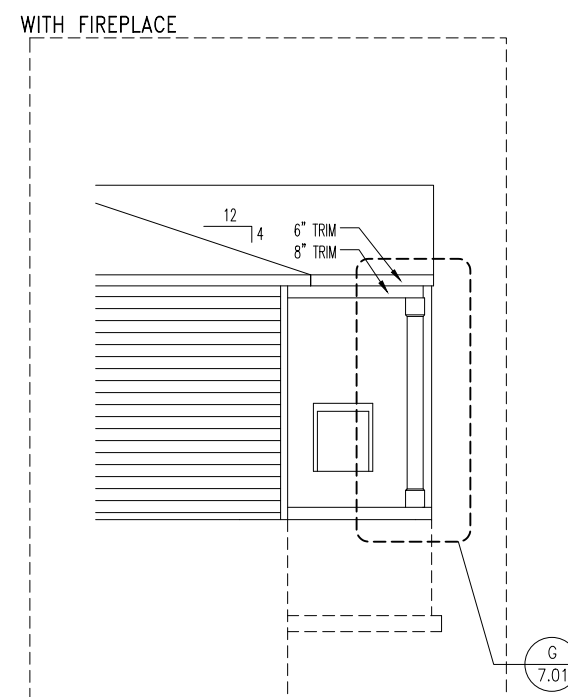
8.22

Ash Lawn - CDs [Elev ] - MWR.dwg Sep 05, 2023 - 12:54pm

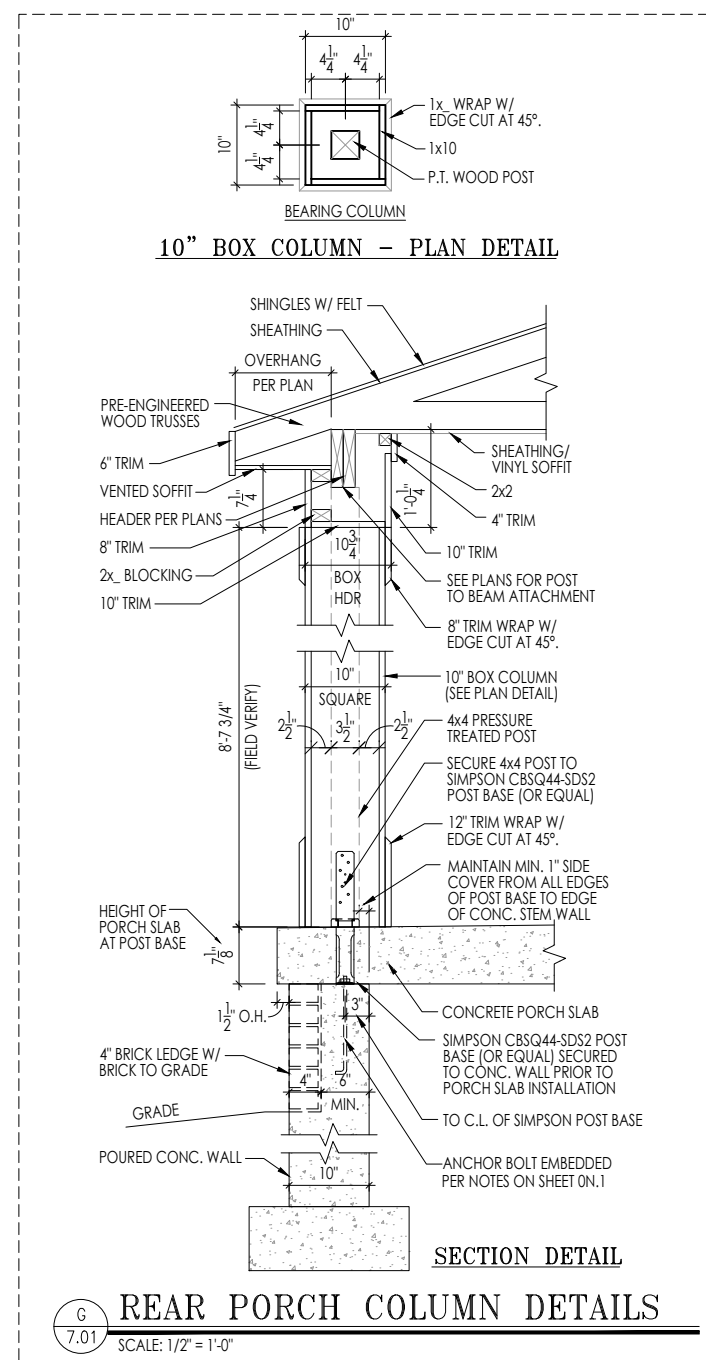




SIDE ELEVATION



GARAGE SIDE ELEVATION



GARAGE SIDE ELEVATION

## 17. OUTDOOR LIVING



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ASH LAWN

Series:

Plan No.:
-----------

Std. Drawn By: JRT

CU1	CU2	D	150
-----	-----	---	-----

Std. Date: 9-16-13

Date of Last Rev: 06/29/21 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By:

DWG BY

Phone #:

DWG BH

Coordinator's Name: \_\_\_\_\_

DWG\_FH

Coordinator's Phone \_\_\_\_\_

COORD\_NM

Y	Original Site Specific Dwg. & Effective Change Order Date:
---	--

CON\_DT

Subdivision:

SIIR NM

Sheet No.

Job #:

SUB\_NM

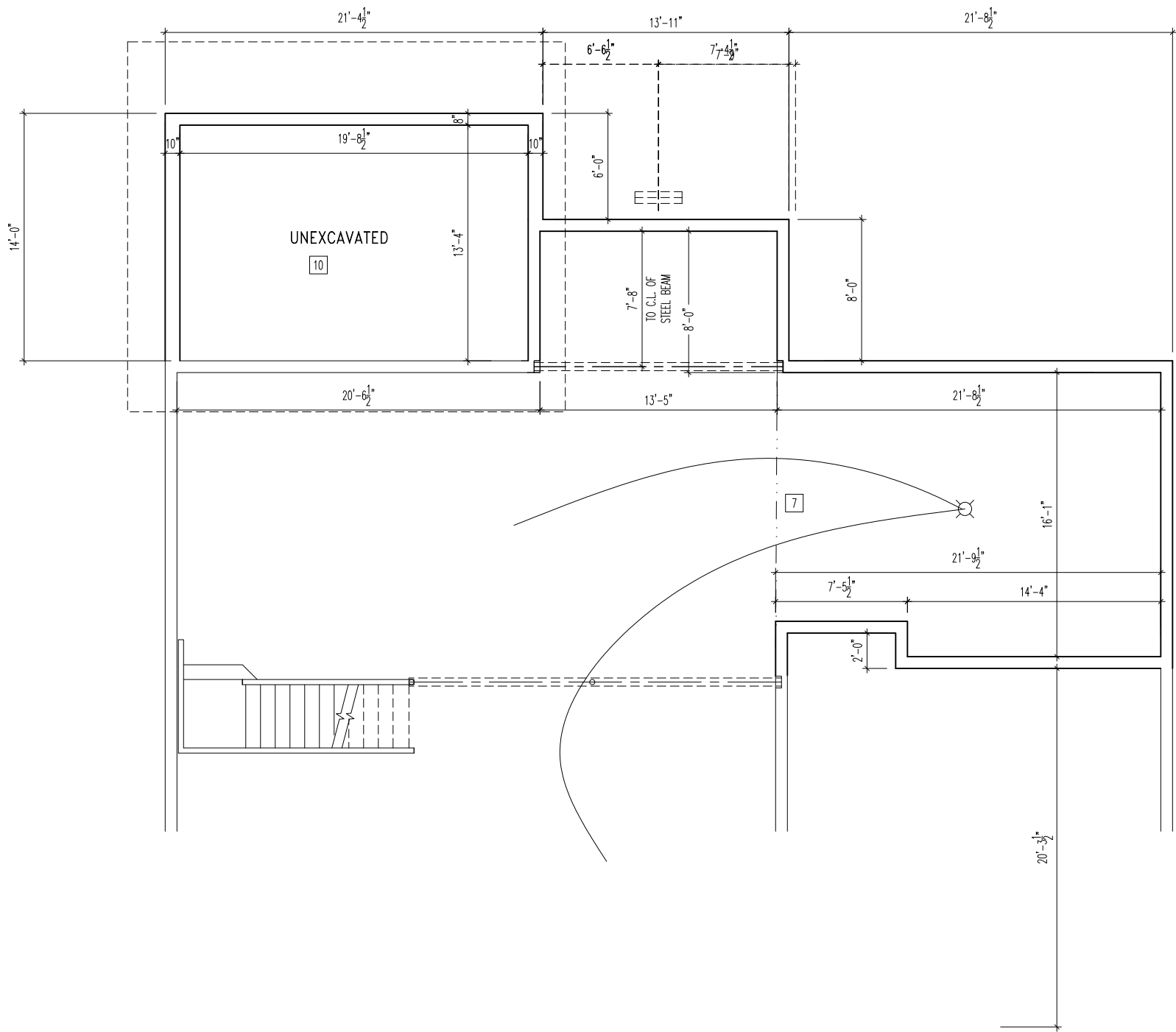
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---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

JOB\_NM

Customer Na

CUS\_NM

8.23



NOTE: WHEN COMBINING  
THESE OPTIONS, USE BLOCKS  
FROM OPT. OUTDOOR LIVING  
AND OPT. BEDROOM #5

FOUNDATION

20. OUTDOOR LIVING WITH OPT. BEDROOM 5



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House:  
ASH LAWN  
Series:  
Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 10/26/17 WJS

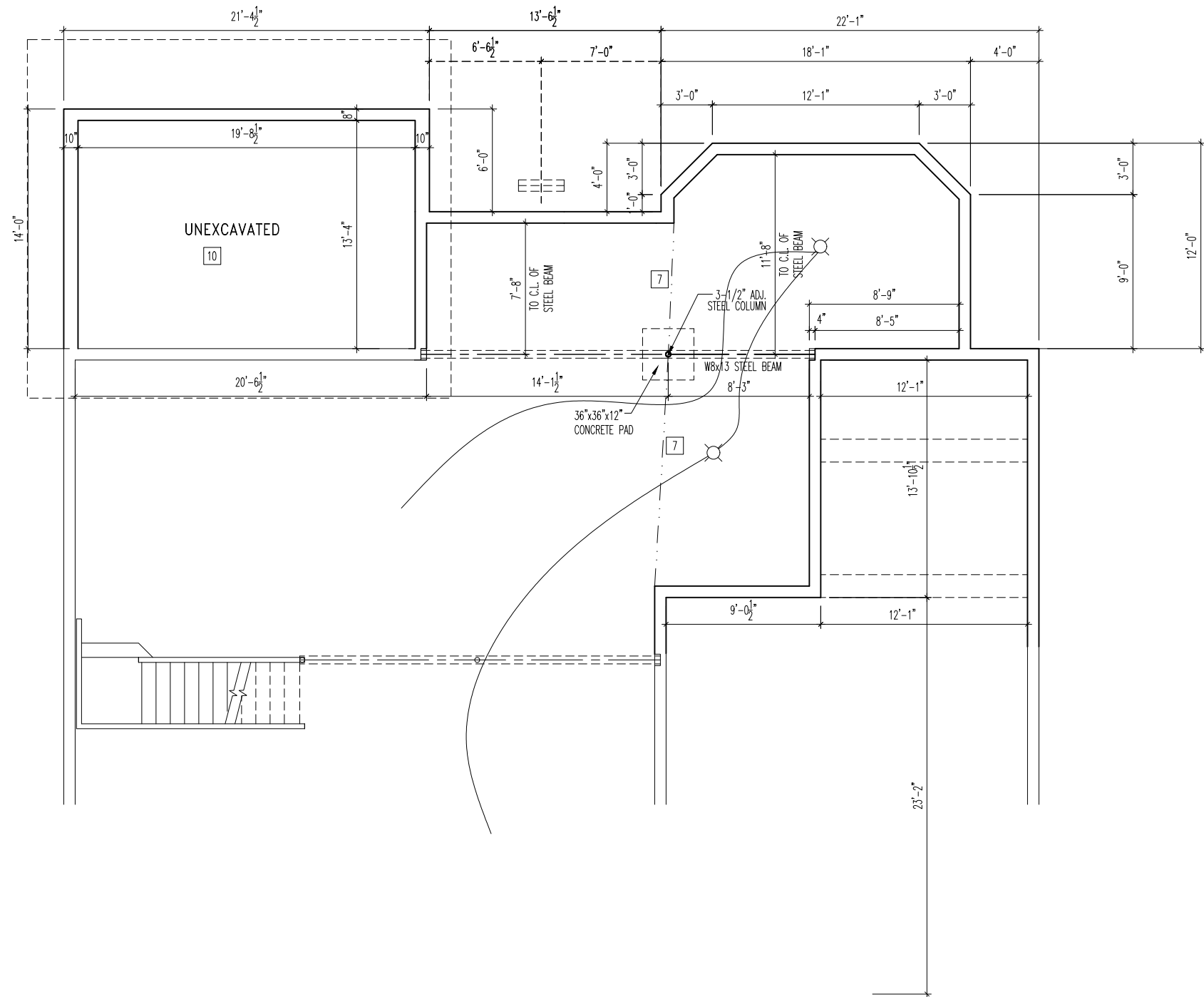
Sheet Description: SCALE: 1/8" = 1'-0"  
OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By: DWG\_BY  
Phone #: DWG\_PH  
Coordinator's Name: COORD\_NM  
Coordinator's Phone #: COORD\_PH

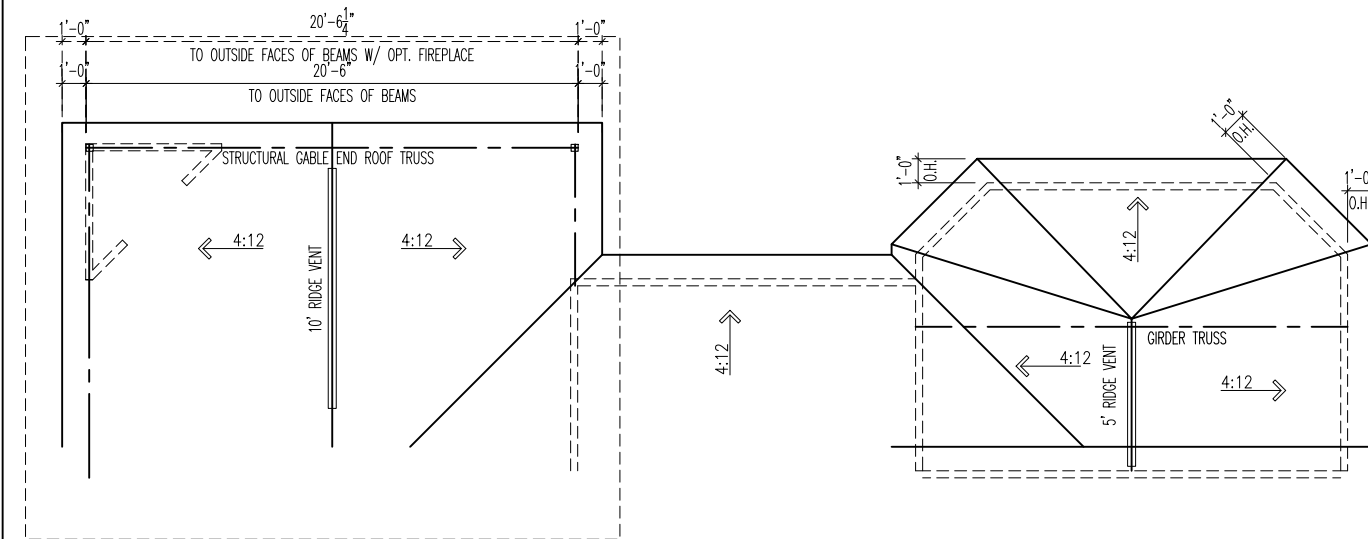
Original Site Specific Dwg. &  
Effective Change Order Date:  
CON\_DT

Subdivision: SUB\_NM  
Job #: JOB\_NM  
Customer Name: CUS\_NM  
Job Address: JOB\_AD

Sheet No.  
8.27



FOUNDATION



ROOF PLAN

NOTE: WHEN COMBINING  
THESE OPTIONS, USE BLOCKS  
FROM OPT. OUTDOOR LIVING  
AND OPT. SUNROOM

21. OUTDOOR LIVING AND SUNROOM



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House:  
**ASH LAWN**

Series: Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 10/26/17 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

CUS\_NM

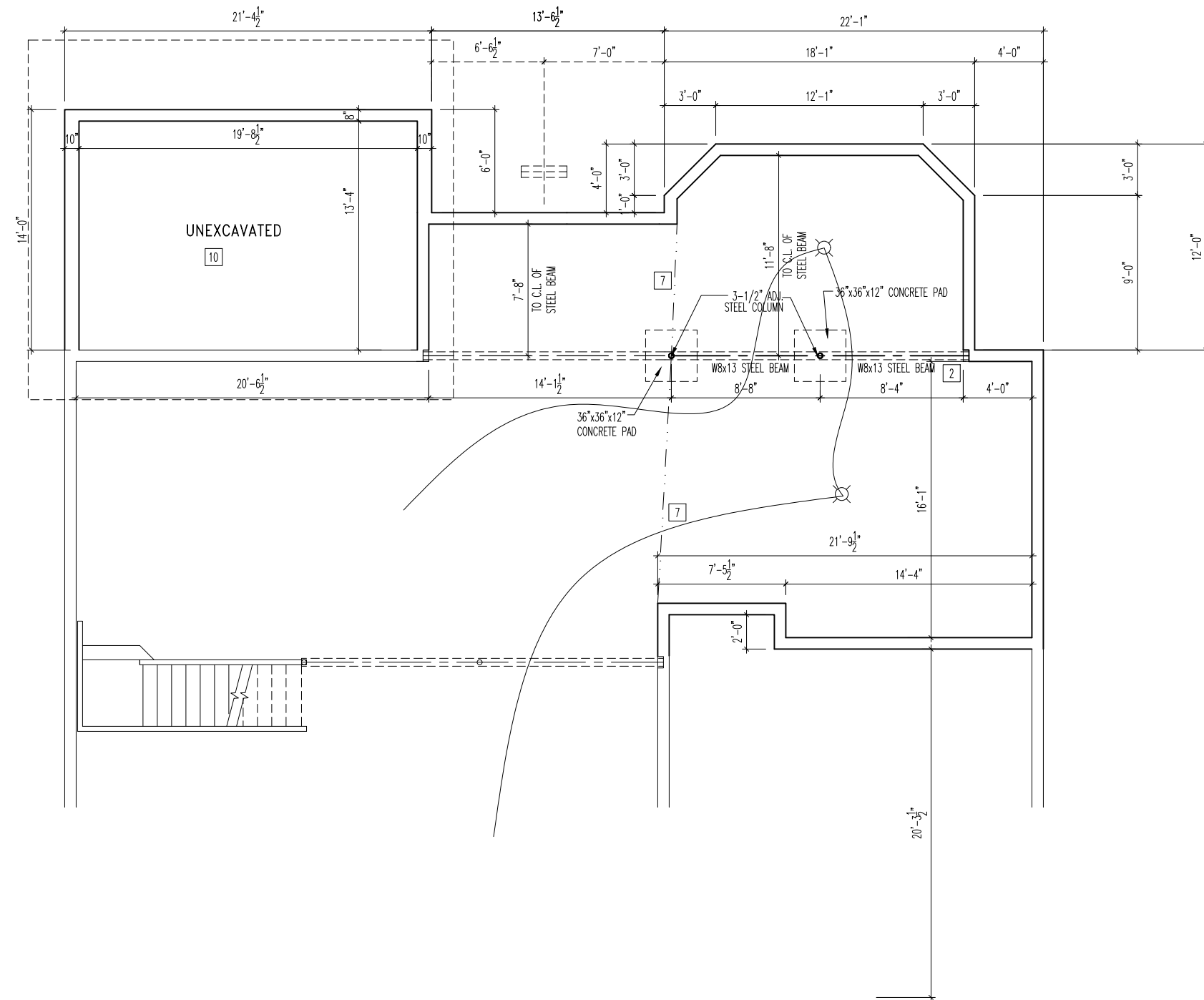
Job Address:

JOB\_AD

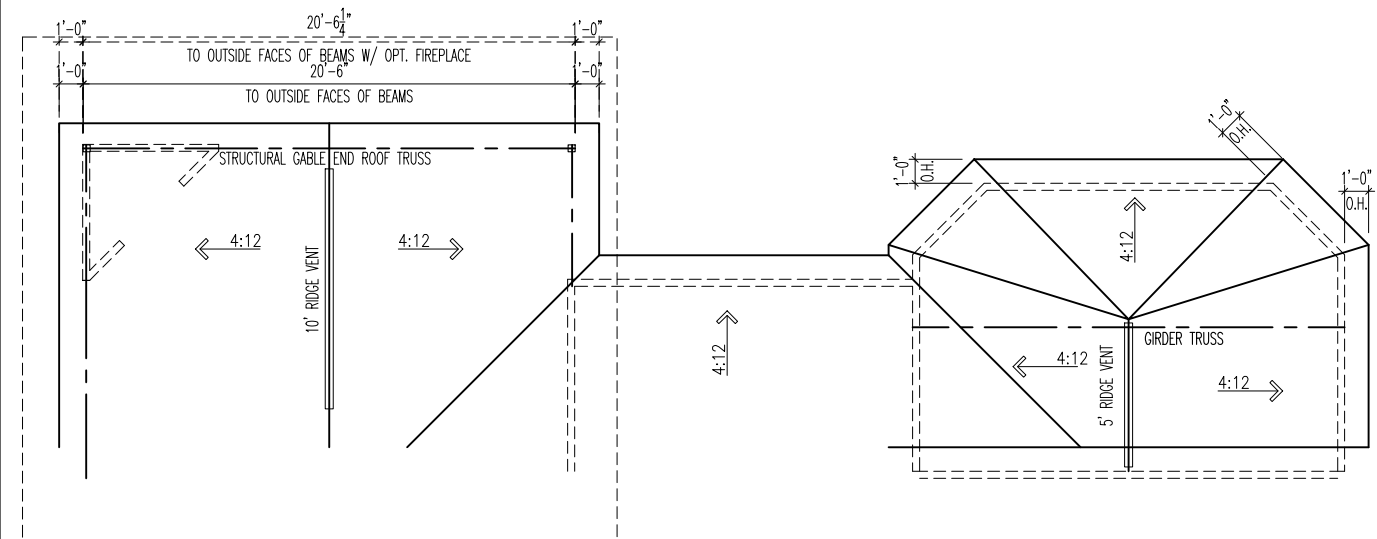
Sheet No.

8.28

Ash Lawn - CDs [Elev. 1] - MWR.dwg Sep 05, 2023 - 12:54pm



FOUNDATION



ROOF PLAN

NOTE: WHEN COMBINING THESE  
OPTIONS, USE BLOCKS FROM OPT.  
OUTDOOR LIVING AND OPT.  
SUNROOM/BEDROOM 5 COMBO

22. OUTDOOR LIVING WITH OPT. SUNROOM AND OPT. BEDROOM 5



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: 10/26/17 WJS

Sheet Description:

SCALE: 1/8" = 1'-0"

OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By:

Phone #:

Coordinator's Name:

Coordinator's Phone #:

DWG BY

DWG\_PH

COORD\_NM

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

Subdivision:

Job #:

Customer Name:

Job Address:

SUB\_NM

JOB\_NM

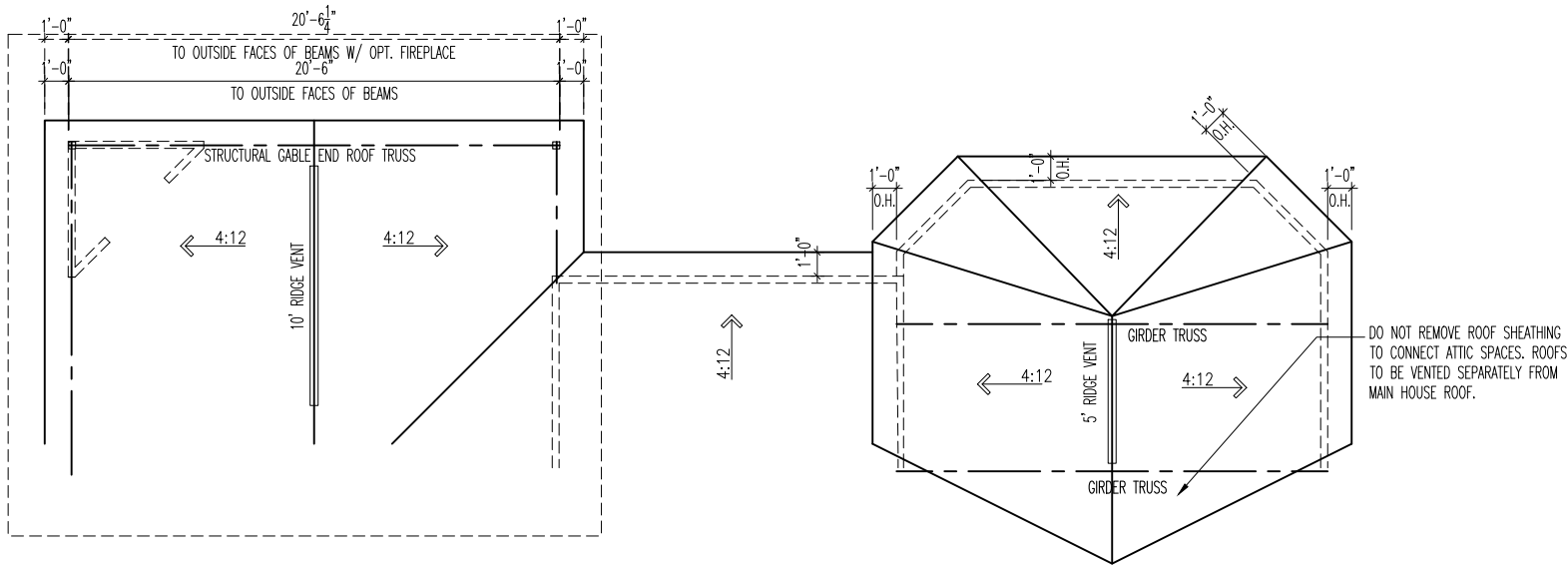
CUS\_NM

JOB\_AD

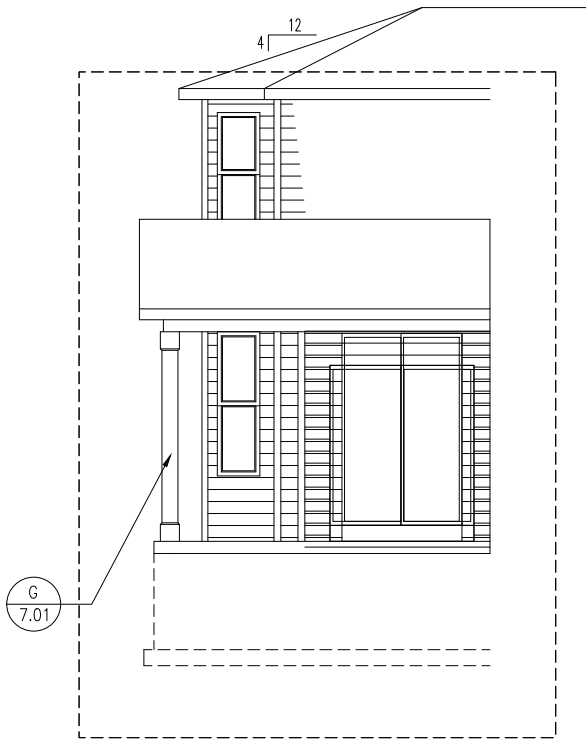
Sheet No.

8.29

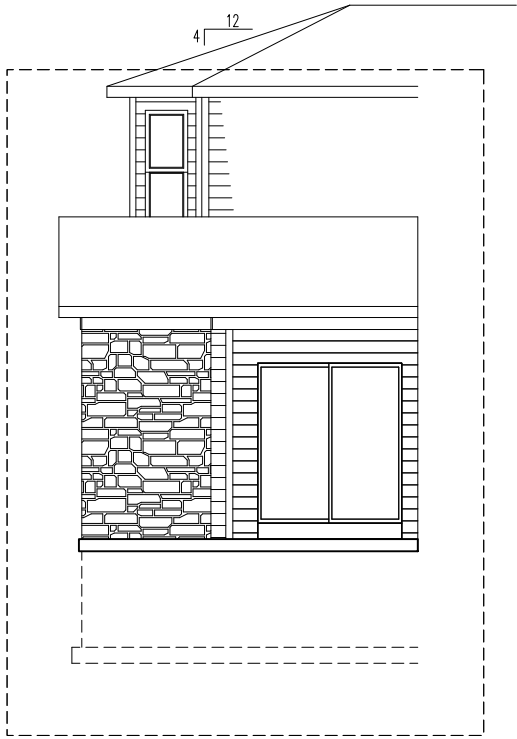
Ash Lawn - CDs Elev 1 - MWR.dwg Sep 05, 2023 - 12:54pm



ROOF PLAN



WITH OUTDOOR LIVING



WITH OUTDOOR LIVING AND FIREPLACE

SIDE ELEVATION

24. OUTDOOR LIVING WITH OPT. SUNROOM AND SITTING ROOM ABOVE

NOTE: WHEN COMBINING THESE  
OPTIONS, USE BLOCKS FROM  
OPT. OUTDOOR LIVING ,OPT.  
SUNROOM AND SITTING ROOM



Drees Homes

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House:  
**ASH LAWN**

Series: Plan No.:

Std. Drawn By: JRT  
Std. Chk. By: ARC  
Std. Date: 9-16-13  
Date of Last Rev: 10/26/17 WJS

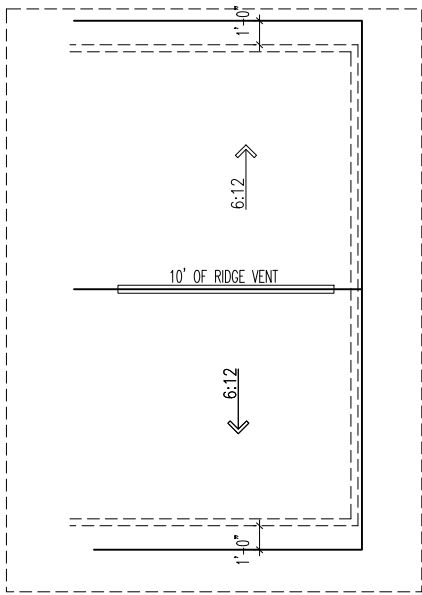
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Phone #: **DWG\_PH**  
Coordinator's Name: **COORD\_NM**  
Coordinator's Phone #: **COORD\_PH**

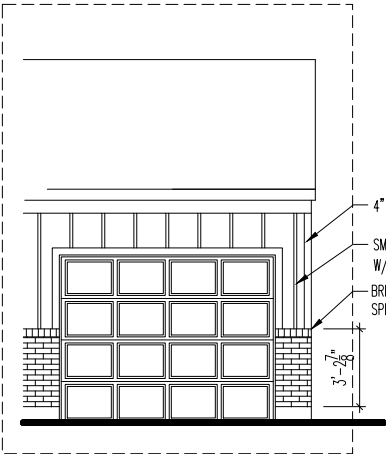
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Effective Change Order Date:  
**CON\_DT**

Subdivision: **SUB\_NM**  
Job #: **JOB\_NM**  
Customer Name: **CUS\_NM**  
Job Address: **JOB\_AD**

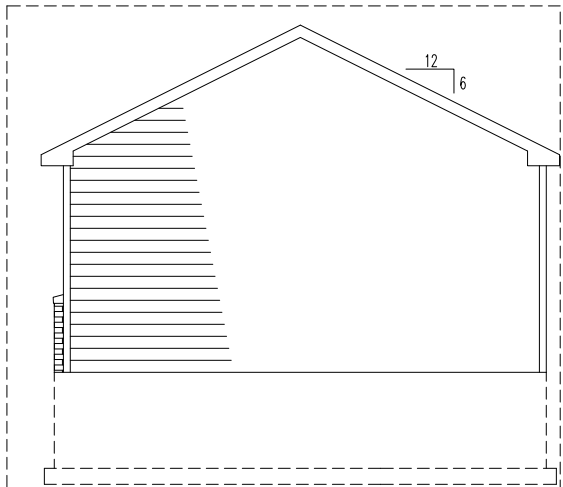
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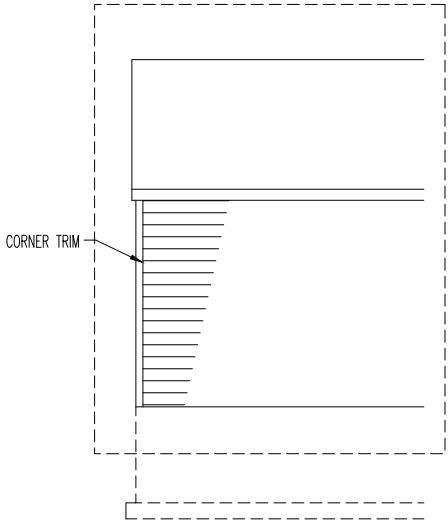
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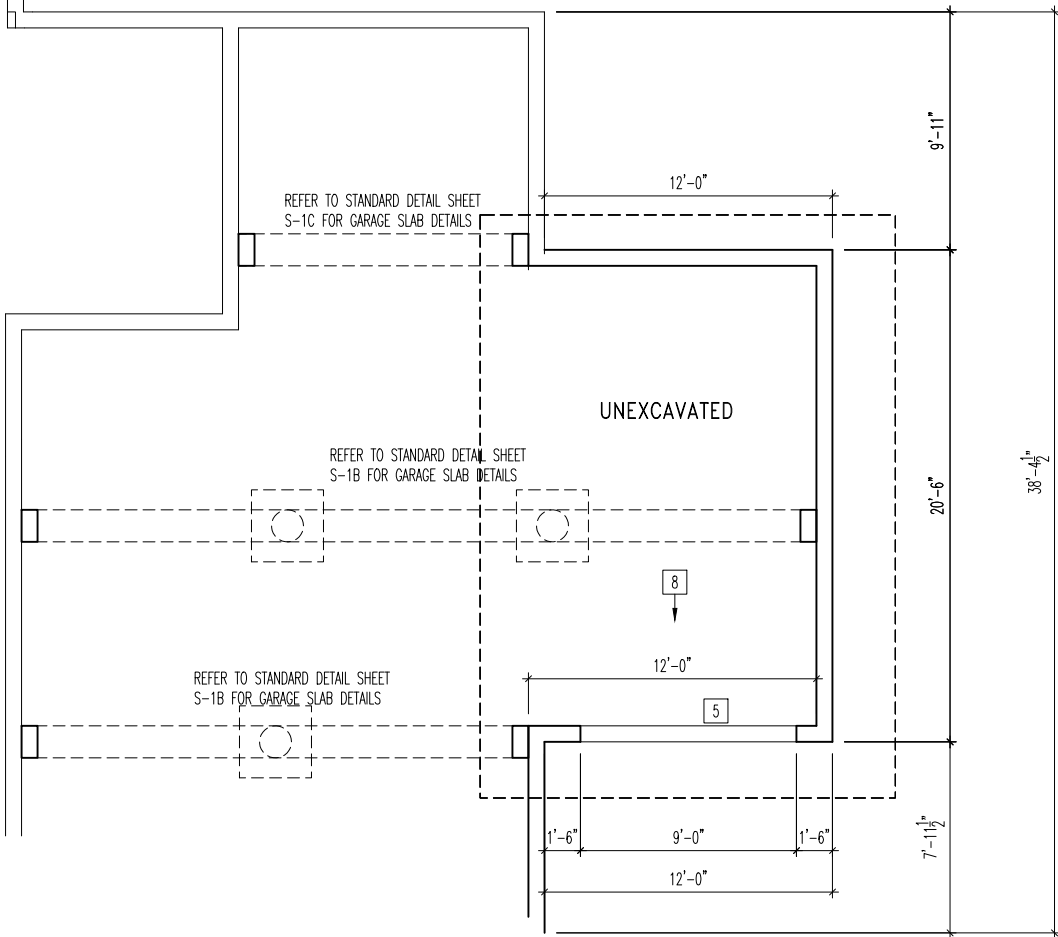
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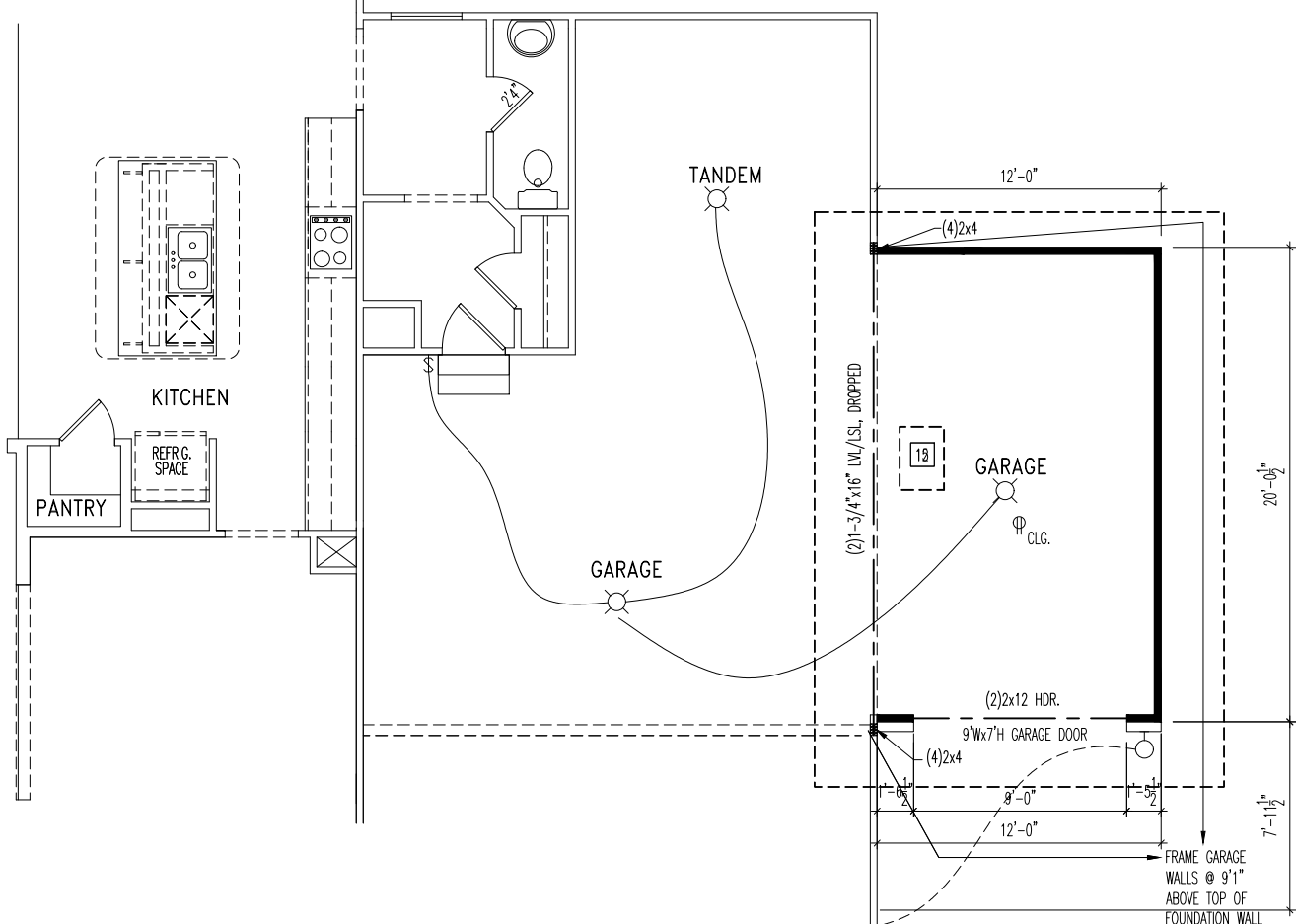
GARAGE SIDE ELEVATION



REAR ELEVATION



FOUNDATION



1ST FLOOR PLAN

25. 3 CAR FRONT ENTRY



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of 06/21/2022 WJS  
Last Rev:

Sheet Description:

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OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. &  
Effective Change Order Date:

CON\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

CUS\_NM

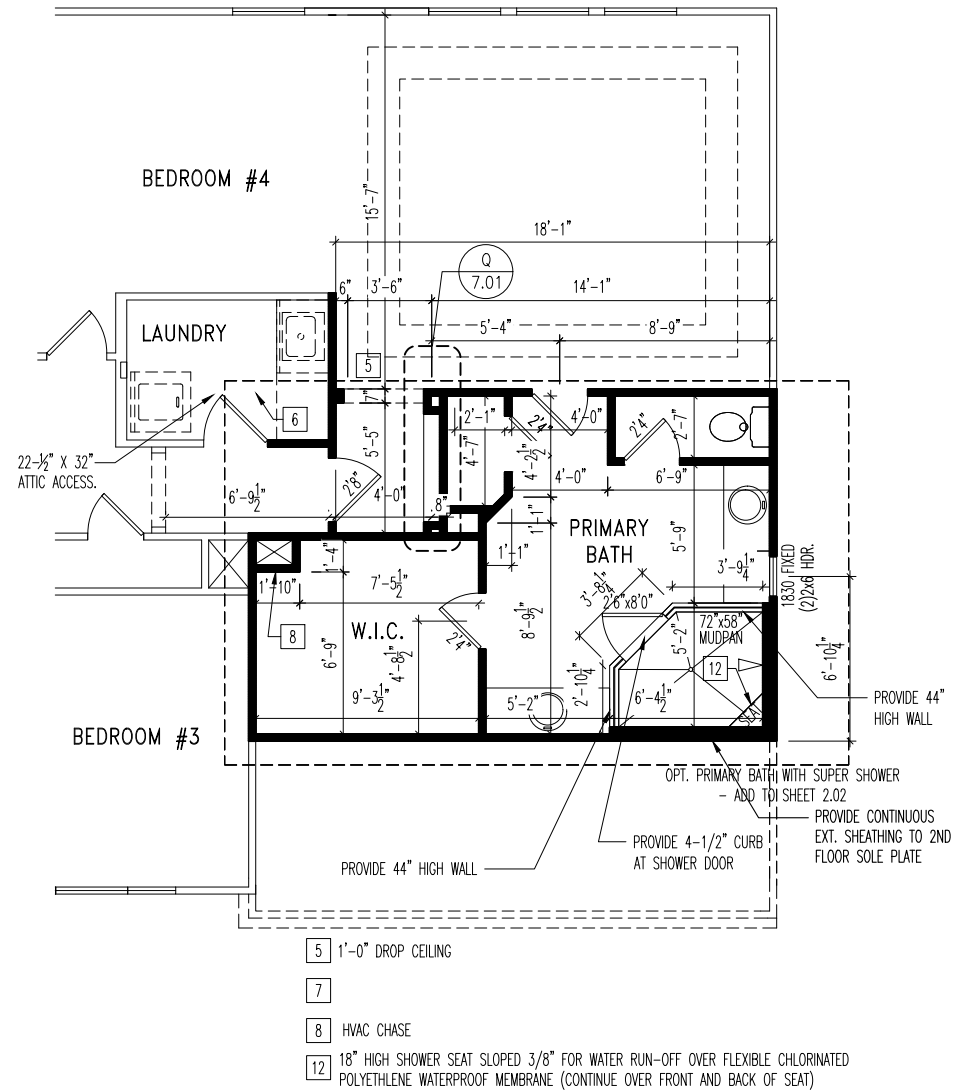
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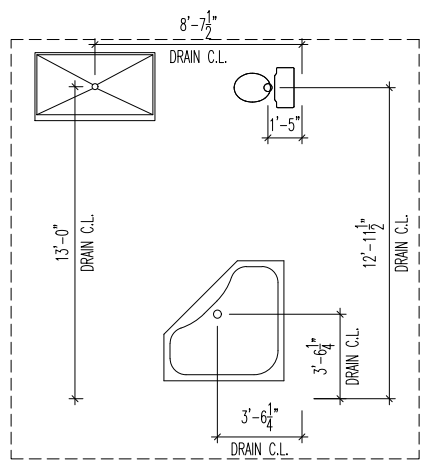
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Ash Lawn - CDs [Elev 1] - MWR.dwg Sep 05, 2023 - 12:54pm



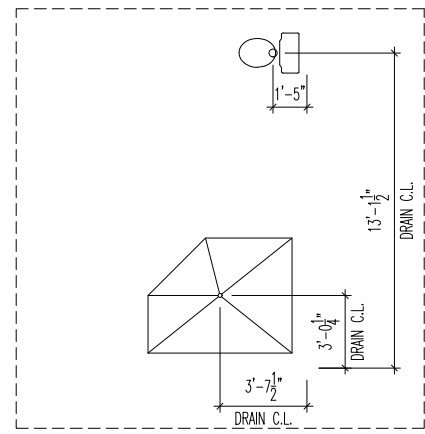
2nd FLOOR PLAN

26. PRIMARY BATH WITH SUPER SHOWER

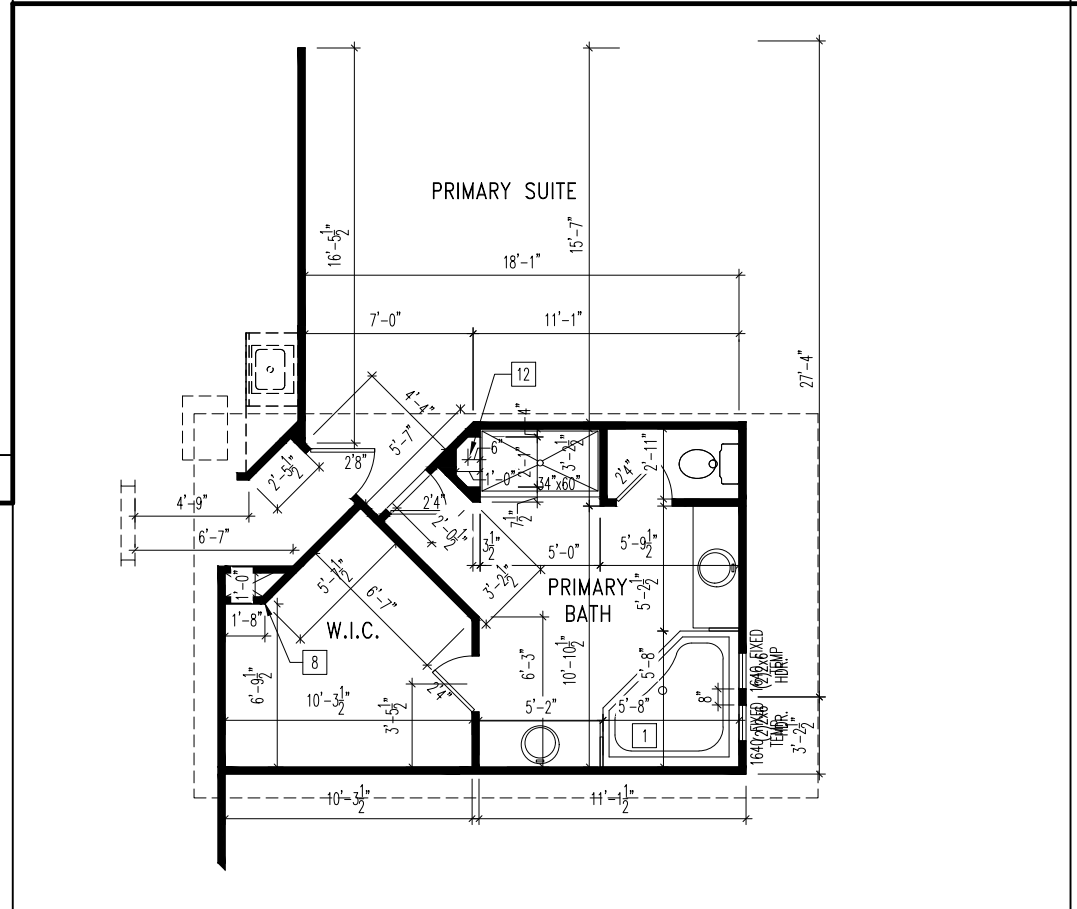


2ND FLOOR SUBFLOOR

27. PRIMARY GARDEN BATH

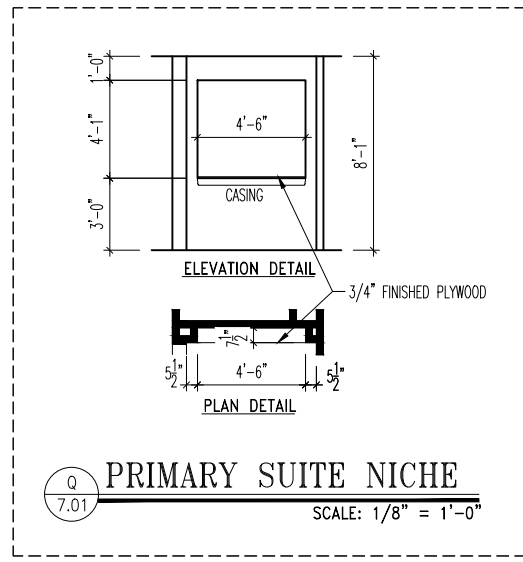


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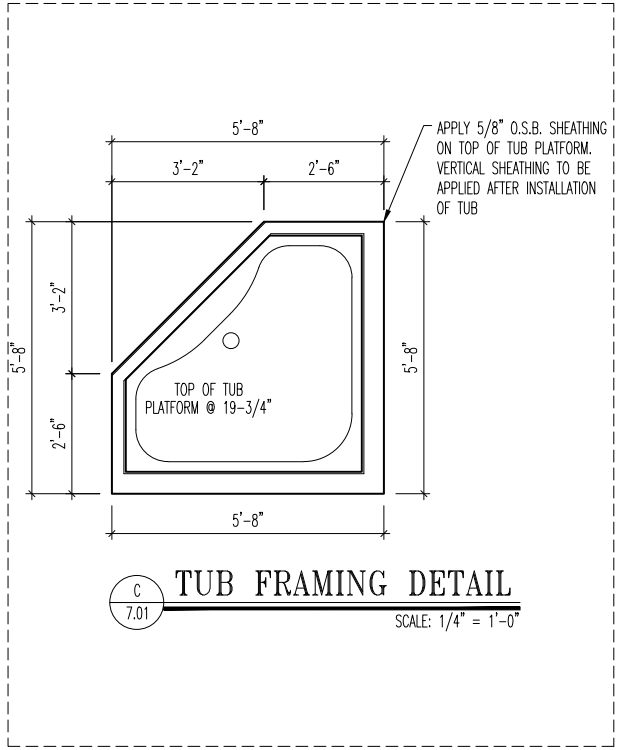


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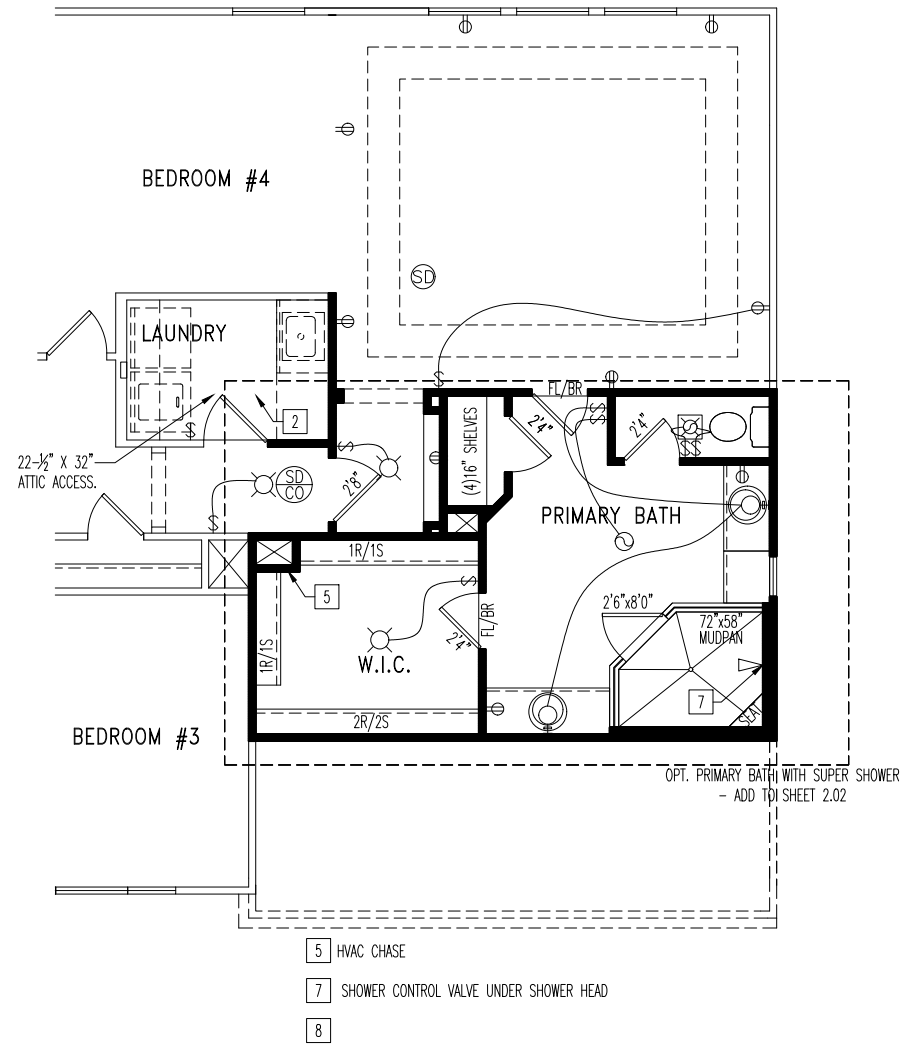
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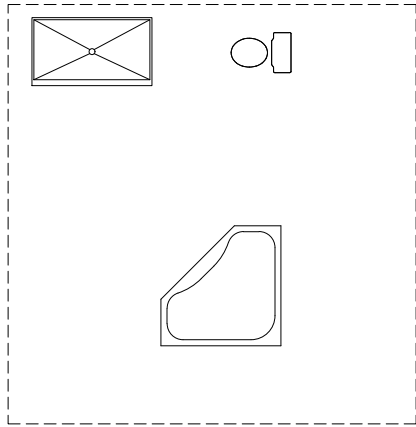
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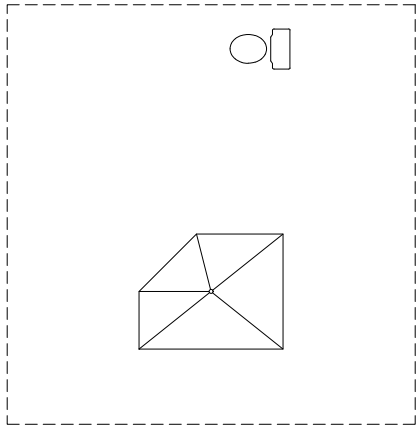
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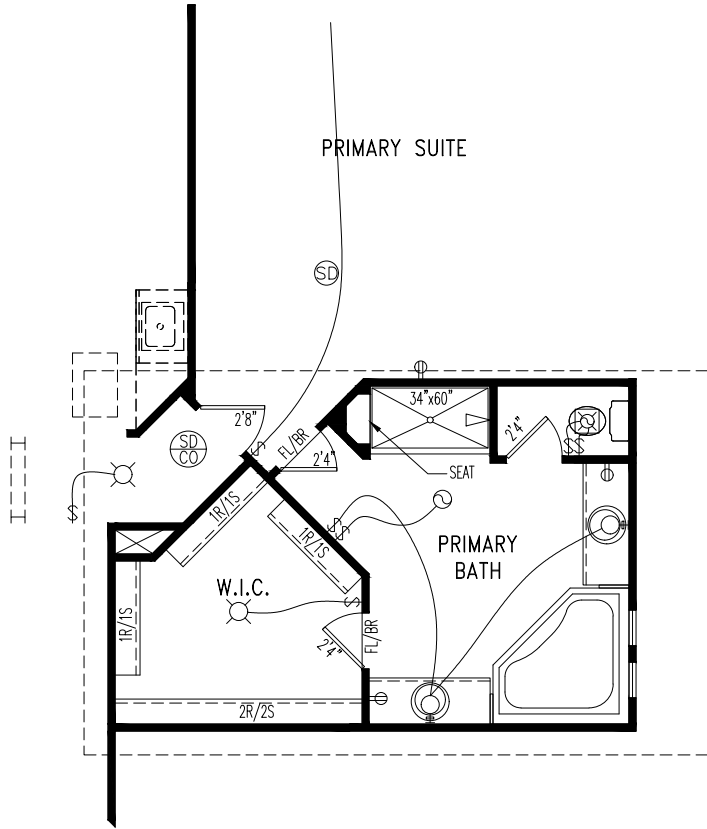
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26. PRIMARY BATH WITH SUPER SHOWER



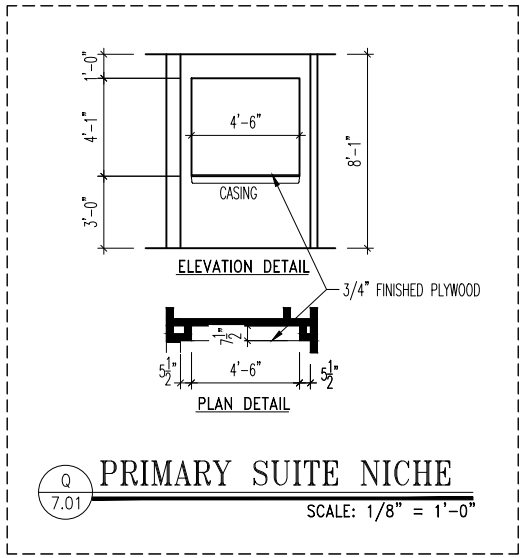
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27. PRIMARY GARDEN BATH



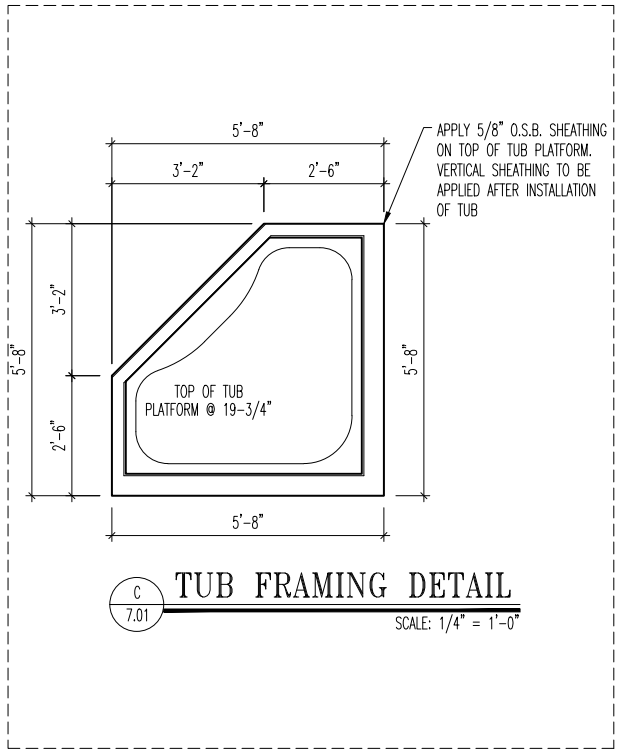
2ND FLOOR SUBFLOOR



2nd FLOOR PLAN

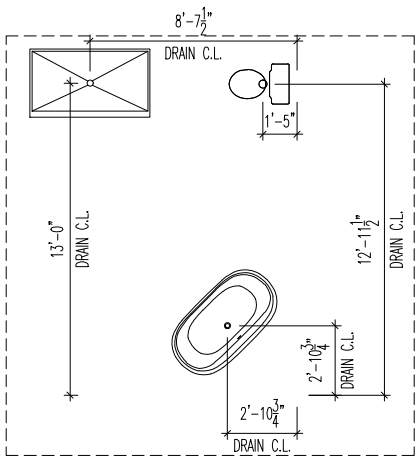
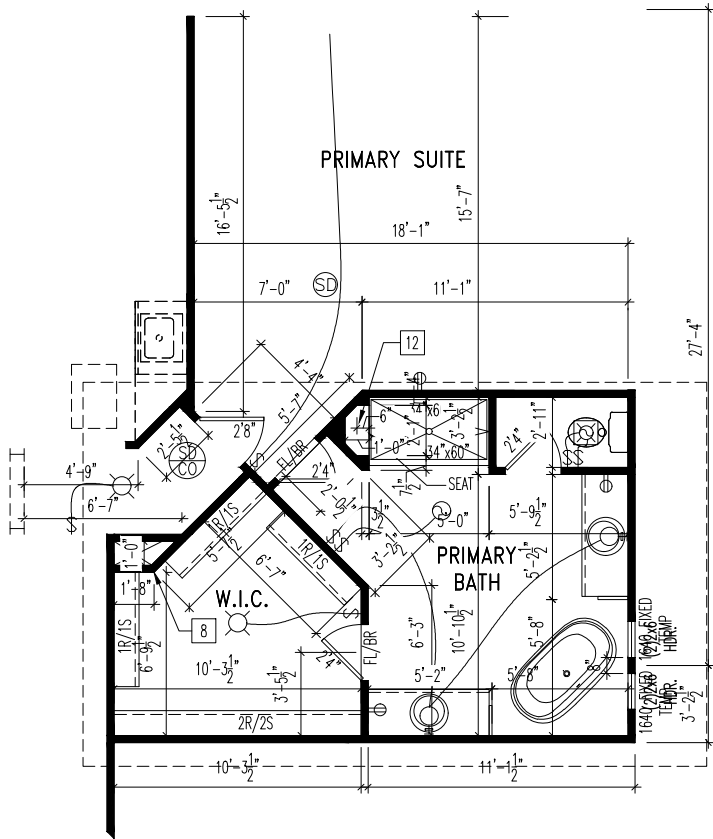


DETAILS



DETAILS





28. PRIMARY GARDEN BATH W/ FREESTANDING TUB



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House:

ASH LAWN

Series:

Plan No.:

Std. Drawn By: JRT

Std. Chk. By: ARC

Std. Date: 9-16-13

Date of Last Rev: REV\_DATE

Sheet Description:

SCALE: 1/8" = 1'-0"

OPTIONS SHEET  
ELEVATION "J"

Contract Drawn By:

DWG\_BY

Phone #:

DWG\_PH

Coordinator's Name:

COORD\_NM

Coordinator's Phone #:

COORD\_PH

Original Site Specific Dwg. & Effective Change Order Date:

CON\_DT

Subdivision:

SUB\_NM

Job #:

JOB\_NM

Customer Name:

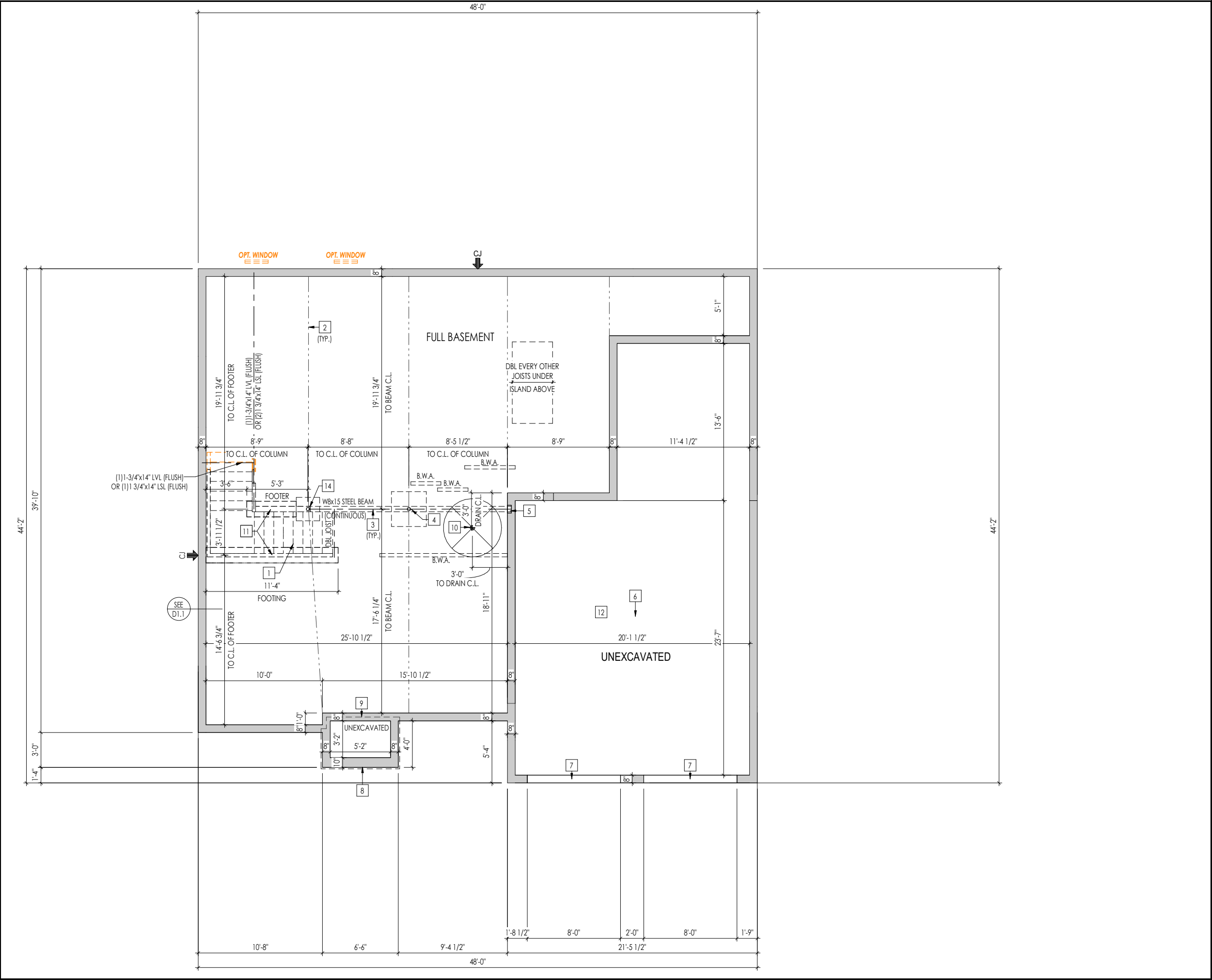
CUS\_NM

Job Address:

JOB\_AD

Sheet No.

8.33



- General Notes:
- REFER TO SHEET ON.1 FOR GENERAL NOTES.
  - ALL FOUNDATION WALLS TO BE 8'-0" TALL AND 8" THICK UNLESS OTHERWISE NOTED.
  - OVERALL FOUNDATION WALL HEIGHT MAY VARY UP TO 1".
  - SEE SHEET ON.1 FOR VERTICAL FOUNDATION WALL CONTROL JOINT LOCATIONS.
- Key Notes:
- OUTLINE OF BASEMENT STAIRS
  - SLAB CONTROL JOINT
  - SLAB CONTROL JOINT LOCATED DIRECTLY UNDER STEEL BEAM
  - STEEL COLUMN PER MANUFACTURER (16.4K MAX) ON 36"x36"x12" CONCRETE PAD
  - 8"W. x 8"H. x 4"D. BEAM POCKET
  - GARAGE SLAB TO BE HELD A MINIMUM OF 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 1/4" PER FOOT TOWARDS GARAGE DOOR
  - CONTINUOUS FOOTING AND FOUNDATION; DROP TO BE FIELD DETERMINED
  - 1-1/2" TYP. OVERHANG AT CONCRETE PORCH SLAB ABOVE
  - LINE OF STUD WALL/PORCH SLAB ABOVE - SEE DETAIL D/7.01 FOR MORE INFORMATION
  - 50" DIA. AREA SLOPED TO DRAIN; 2" LOWER THAN TOP OF SLAB
  - 8" DEEP x 16" WIDE FOOTING AT BEARING WALL
  - REFER TO SHEET S-1A, S-1B, S-1C, S-1D - AS NEEDED FOR GARAGE PILASTER DETAIL
  - BRICK LEDGE - FIELD VERIFY DROPPED BRICK LOCATIONS
  - STEEL COLUMN PER MANUFACTURER (16.4K MAX) ON 24"x24"x12" PLAIN CONCRETE PAD
  - OPT. BSMT WINDOW: HEADER TO BE HELD FLUSH IN SUBFLOOR CONT. END JOIST. OR (1)1-3/4"x14" LSL: LARGER WINDOWS TO USE CONCRETE HEADER
  - OPT. 3-CAR FRONT: PROVIDE CONCRETE STEM WALL W/ CONT. SPREAD FIG. UNDER BEARING WALL ABOVE. HOLD WALL @ SAME HEIGHT AS KEYWAY
  - HOLD WALL @ SAME HEIGHT AS KEYWAY

Space for Architect Seal

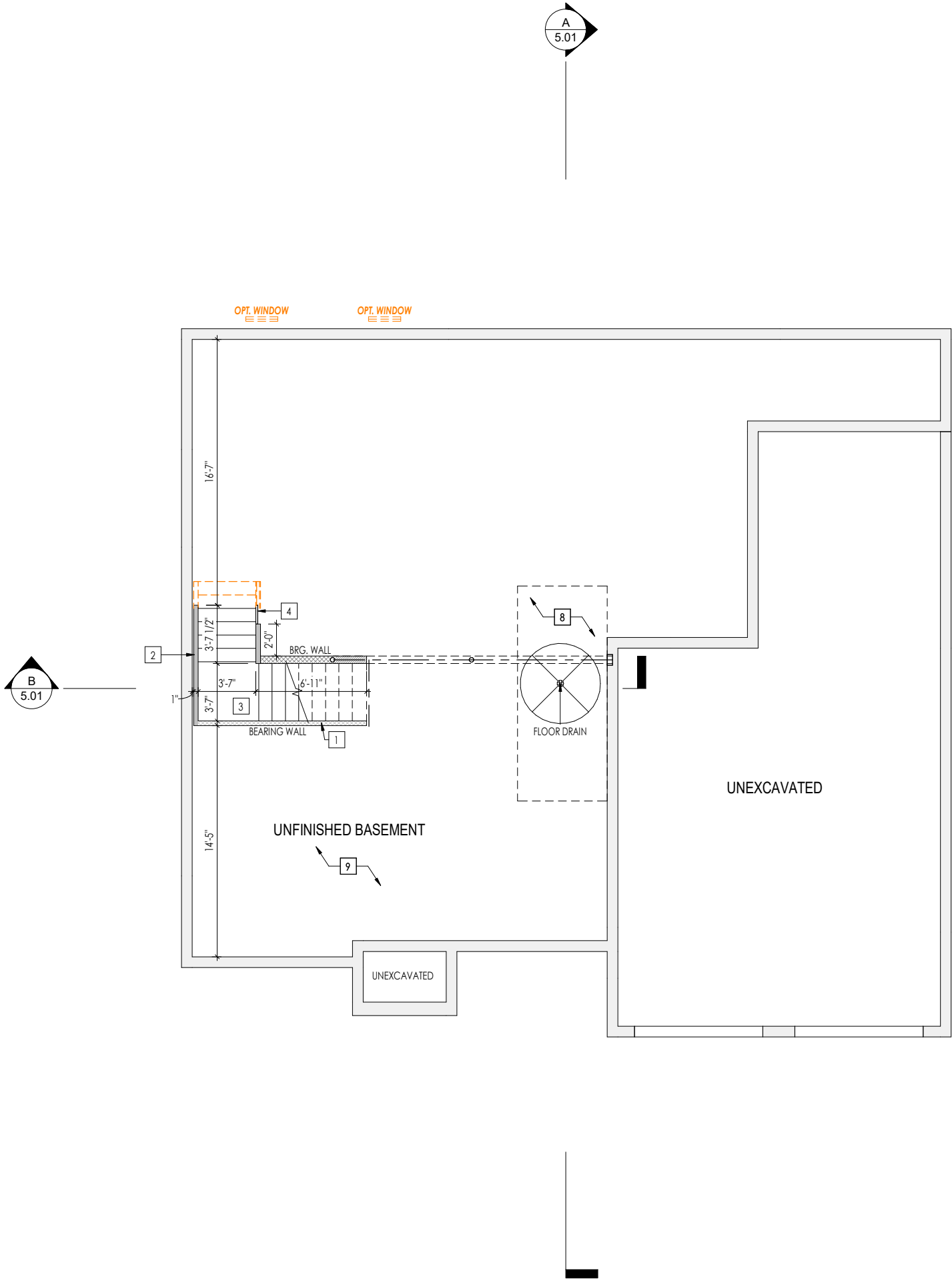
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**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name: the BUCHANAN			Contract Drawn By: XXX
Born on Date: 08/27/2010			Series: SERIES_NM
CDs Drawn By: SSP			Plan No.: PLAN_NM

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Sheet Information

**1.01**  
Foundation Plan  
Elevation "Y"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.  
2. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.

Key Notes:

- 1 STAIRS TO BE ENCLOSED WITH FULL HEIGHT STUDS @ 16" O.C. AND DRYWALLED ON INTERIOR STAIRWELL ONLY TO BOTTOM OF THE RUN  
2 2x4 STUDS HELD 1" FROM FOUNDATION WALL WITH 3-1/2" INSULATION. SEE DETAIL D/7.04  
3 RE: DETAIL B/7.01 FOR BASEMENT STAIR FRAMING DETAILS  
4 CATTLE-RAIL AT STAIRS  
5 OPT. REC ROOM : SLOPE TOP OF WALL ALIGNED WITH STAIR STRINGER - RAILING ABOVE  
6 OPT. REC ROOM : TOP OF OPENING DROPPED 1' BELOW CEILING  
7 OPT. REC ROOM : HALF WALL UNDER STAIRS (FIELD DETERMINED), SLOPED CLG UNDER STAIRS  
8 80 SQFT MAX. AREA OF CEILING, COMPLYING W/ RCO 302.13 EXCEPTION 3.1 & EXCEPTION 3.2, NOT REQUIRED DRYWALL PERIMETER EDGE MUST BE FIREBLOCKED TO KEEP SEPARATE FROM THE REST OF THE FLOOR ASSEMBLY  
9 UNFINISHED BASEMENT CEILING TO BE COVERED IN 1/2" GYPSUM BOARD (WITH THE EXCEPTION OF THE AREA OF KEYNOTE 8) JONTS DO NOT NEED TO BE TAPPED OR MUDDED.  
10 --

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

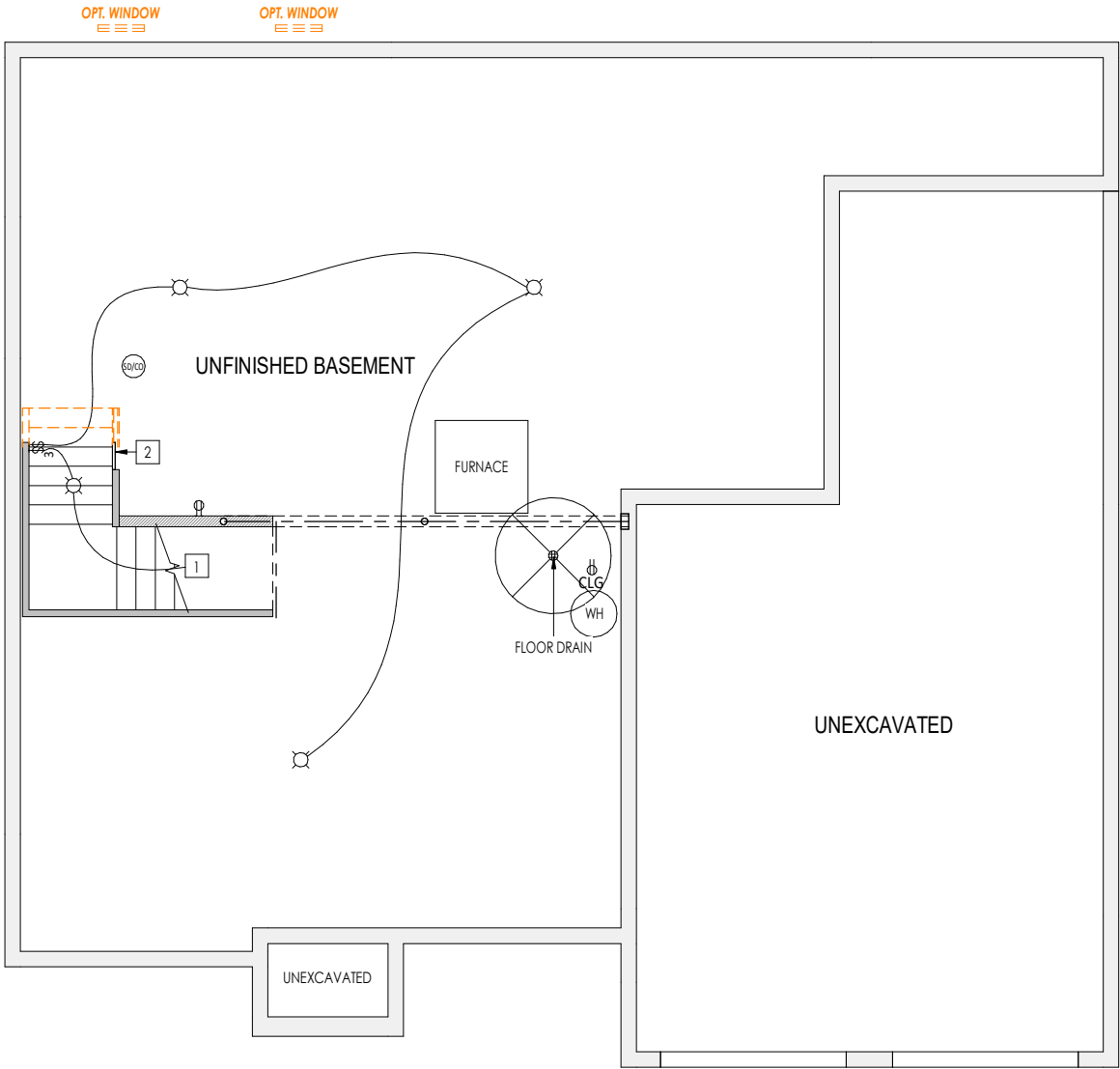
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House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date: 08/27/2010	CDs Drawn By: SSP		



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Sheet Information

1.02  
Lower Level Framing Plan  
Elevation "Y"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

1

TO SWITCH ABOVE

2

CATTLE-RAIL AT STAIRS

3

OPT. REC ROOM II: 30" HIGH WALL WITH WOOD CAP

4

5

--

6

--

7

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8

--

9

--

10

--

Mechanical Legend

◀PHONE JACK

⊖WALL OUTLET

⊖⊖WEATHERPROOF OUTLET

⊖⊖220 VOLT OUTLET

⊖⊖GROUND FAULT OUTLET

⊖FLOOR OUTLET

TVCABLE TELEVISION JACK

↔SINGLE POLE SWITCH

↔↔3-WAY SWITCH

↔↔4-WAY SWITCH

ⓂBLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)

⊗CLG. MOUNTED LIGHT FIXT.

○SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.

○-WALL MOUNTED LIGHT FIXT.

⊕DOUBLE SPOTLIGHT FIXT.

⊙DIRECTIONAL CAN LIGHT

⊙PIN LIGHT

➔WALL SCONCE @ 5'-6" A.F.F.

▬FLUORESCENT LIGHT

▬UNDER CABINET LIGHTING

■STAIR LIGHT

⊕HOSE BIB

◁SHOWER HEAD

⊕GASGAS HOOK UP

⊕FLOOR DRAIN

SD⊖SMOKE DETECTOR

CO⊖CO DETECTOR

SDCO⊖SMOKE DETECTOR/CO DETECTOR COMBINATION

⊖EXHAUST FAN AND LIGHT COMBINATION

⌚CLG. MTD. EXHAUST FAN

Space for Architect Seal

RESIDENCE FOR:  
CUSTOMER NAME  
JOB ADDRESS  
SUBDIVISION NAME

Job Number:  
XXXX-XXXX-XX

Drawing Date:  
XX.XX.XXXX

Coord Name:  
COORD\_NAME

Coord Phone:  
COORD\_PHONE

House Name:  
the BUCHANAN

Drawing Scale: 1/8" = 1'0"

Contract Drawn By:  
XXX

Series:  
SERIES\_NM

Plan No.:  
PLAN\_NM

Born on Date:  
08/27/2010

CDs Drawn By:  
SSP

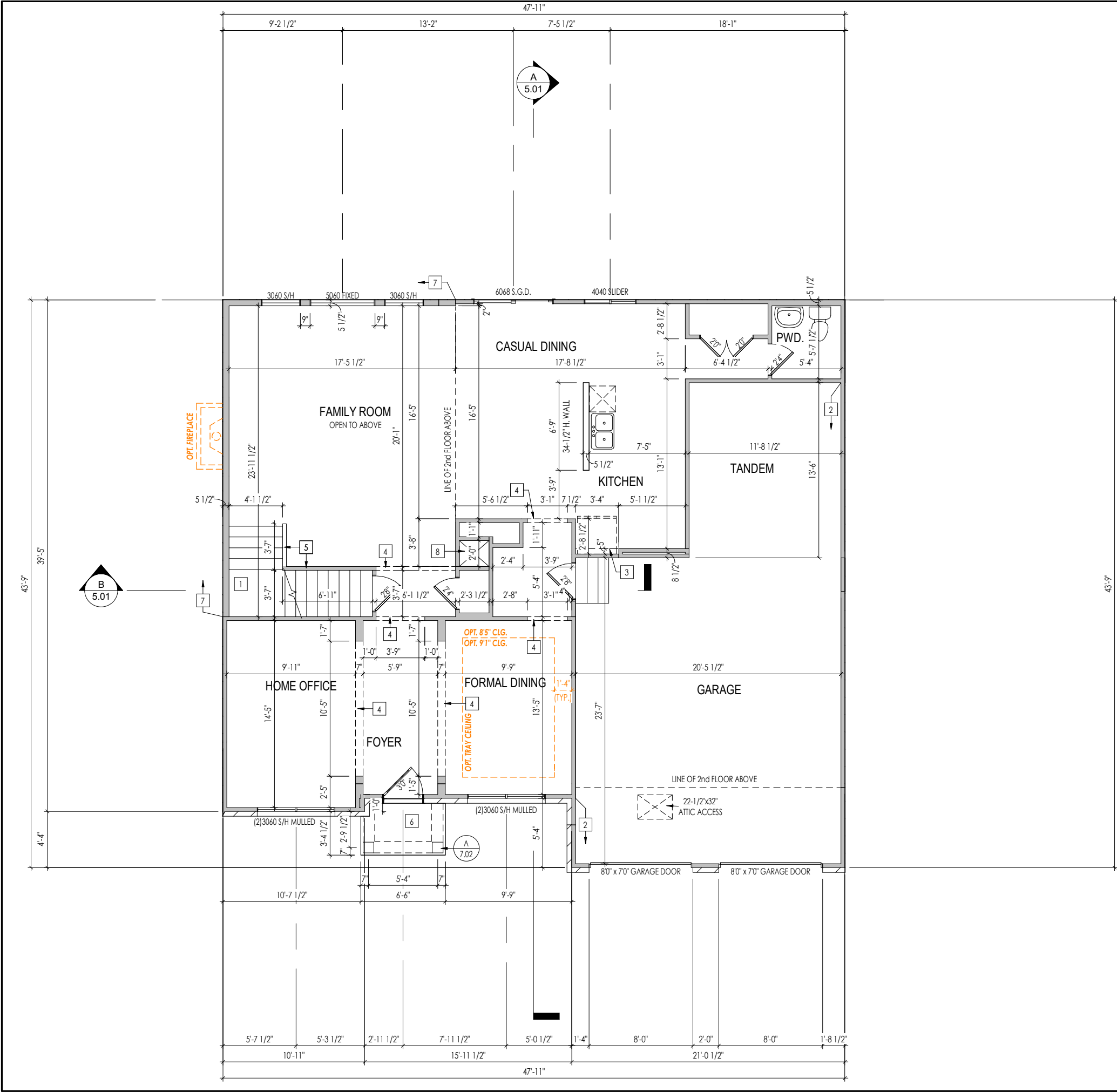
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HOMES<sup>SM</sup>

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Phone: [859] 578-4200

Sheet Information

1.03

Lower Level Mechanical Plan  
Elevation "Y"



### General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ALL FIRST FLOOR CEILINGS TO BE 9'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED
3. FRAME TOP OF ALL WINDOWS AT 1'-0 1/4" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING UNLESS CALCULATIONS REQUIRE LARGER HEADERS.
5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.
6. REFER TO SHEET 2.01S FOR STRUCTURAL INFORMATION.

### Key Notes:

- 1 RE: DETAIL B/7.01 FOR STAIR FRAMING DETAILS
- 2 FRAME GARAGE WALLS AT 10'-5 1/4" WITH 2x4 STUDS AT 12" O.C. FROM TOP OF FOUNDATION WALL; IF ELECTRICAL PANEL LOCATED IN GARAGE, PAD OUT WALL FOR ELECTRICAL PANEL
- 3 REFRIG. HEADER HELD TO 6'-6" A.F.F.
- 4 TOP OF OPENING FRAMED PER GENERAL NOTES ABOVE ON THIS SHEET
- 5 REFER TO SELECTIONS - STD. 36"H. WALL SLOPED W/ STRINGER - OR - W/ OPT. RAIL, HOLD TOP OF WALL EVEN WITH STAIR STRINGER
- 6 DO NOT CENTER JOIST OVER FRONT DOOR TO ALLOW FOR CAN LIGHT INSTALLATION. CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS
- 7 BALLOON FRAME WALL W/ 2x6 STUDS @ 12" O.C.
- 8 HVAC CHASE
- 9 FRAME GARAGE WALLS AT 9'-1" WITH 2x4 STUDS AT 16" O.C. FROM TOP OF FOUNDATION WALL; IF ELECTRICAL PANEL LOCATED IN GARAGE, PAD OUT WALL FOR ELECTRICAL PANEL
- 10 OPT. FIREPLACE: DIRECT VENT FIREPLACE - REFER TO SELECTION SHEET FOR MODEL AND FIREPLACE DETAIL SHEET F-1 FOR FRAMING INFOMATION
- 11
- 12
- 13
- 14
- 15
- 16

Space for Architect Seal

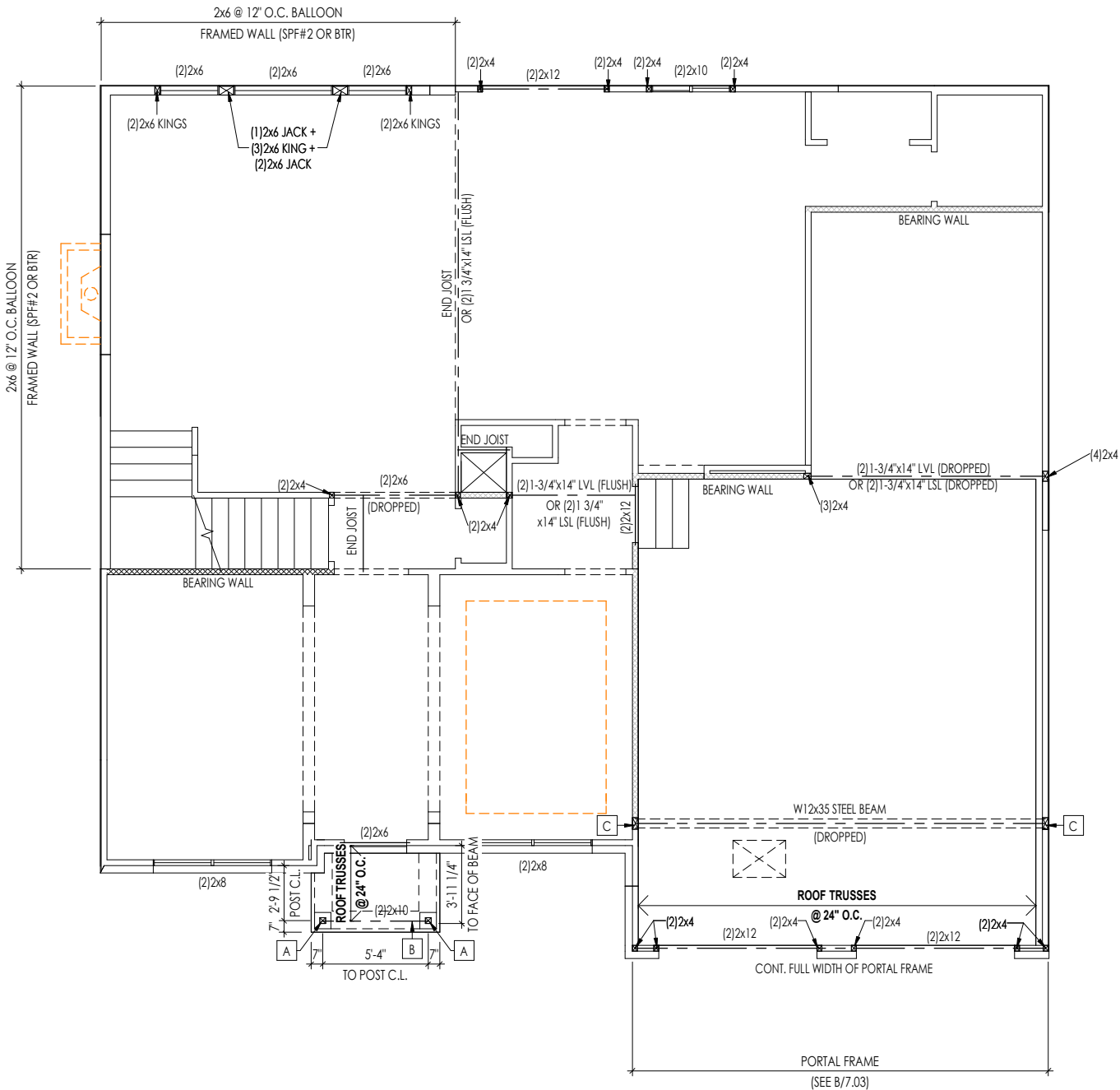
RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM



Sheet Information

**2.01F**  
First Floor Framing Plan  
Elevation "Y"



THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**115 MPH WIND IN 2019 RCO MAP**  
(115 MPH WIND SPEED IN ASCE 7 WIND MAP)  
EXP. B & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2017 OBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2019 RCO. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF SECTION R602.10 WITHIN THE 2019 RCO.

- EXTERIOR WALL SHEATHING SPECIFICATION**
- 7/16" OSB OR 15/32" PLYWOOD; FASTEN SHEATHING w/ 2-3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
  - ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
  - ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
  - ALT. STAPLE CONNECTION SPEC: 1-3/4" 16 GA STAPLES (7/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

- 3" O.C. EDGE NAILING**
- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2-3/8"x0.113 NAILS @ 3" O.C. AND 12" IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- NOTES**
- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
  - DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
  - ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
  - PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING.

▶ INDICATES HOLDOWN

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- A 4x4 P.T. POST W/ SIMPSON BC52-2/4 CAP AND CBSQ44-SDS2 BASE
- B TOP OF BEAM AT 9'1" ABOVE FIRST FLOOR SUBFLOOR
- C 3-1/2" x 7" PSL POST
- D
- E -

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL	
JOIST TO SOLE PLATE	(3) 10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3) 10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3) 10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3) 10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3) 10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10) 10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) 10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

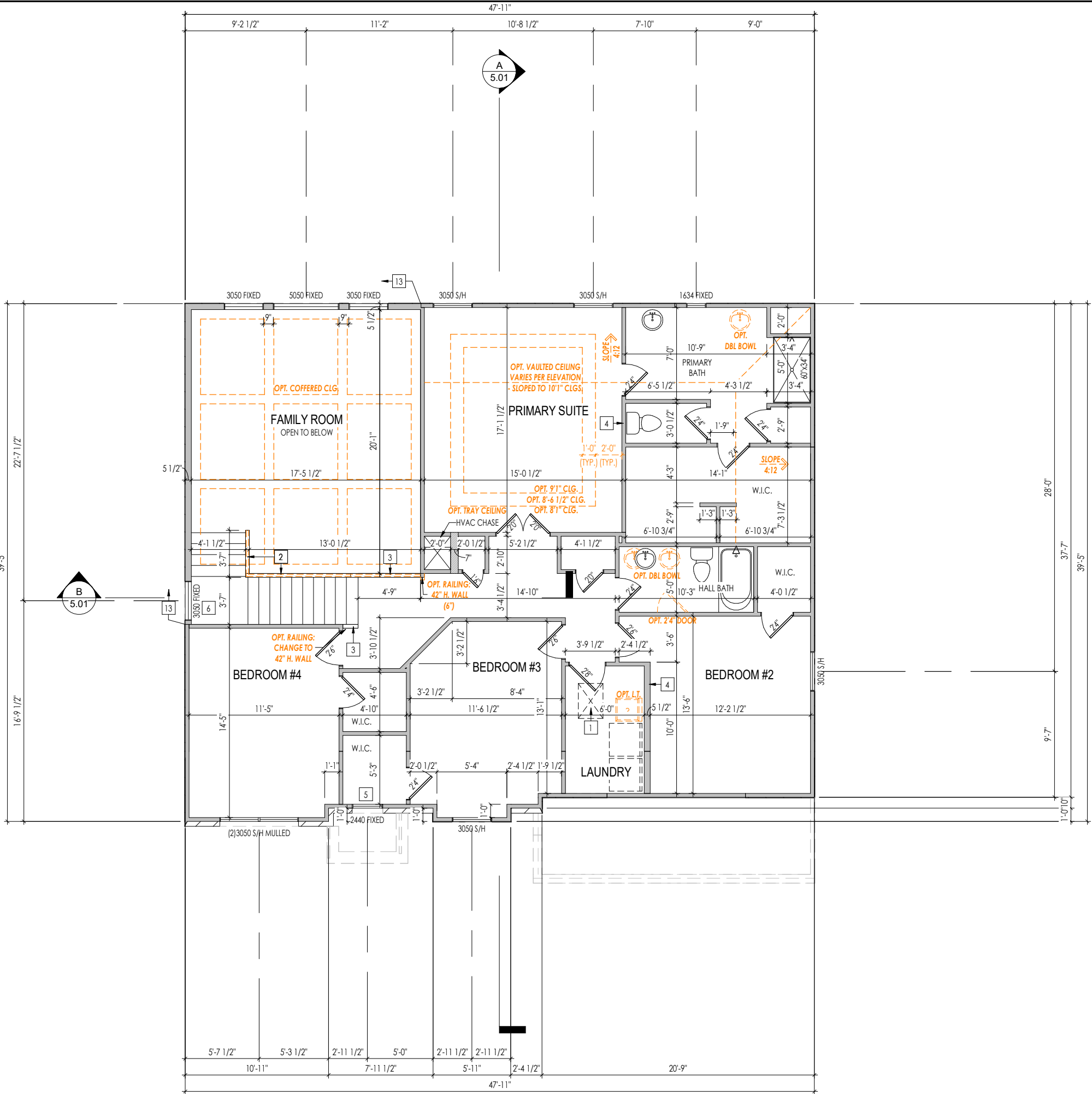
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House Name:			Contract Drawn By: <b>XXX</b>
<b>the BUCHANAN</b>			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>
Born on Date:	08/27/2010	CDs Drawn By:	SSP



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Sheet Information

**2.01S**  
First Floor Structural Plan  
Elevation "Y"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ALL SECOND FLOOR CEILINGS TO BE 8'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.
3. FRAME TOP OF ALL WINDOWS AT 1'-0 1/4" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.
4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING UNLESS CALCULATIONS REQUIRE LARGER HEADERS.
5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.
6. REFER TO SHEET 2.02S FOR STRUCTURAL INFORMATION.

Key Notes:

- 1 22'-1/2' x 32" ATTIC ACCESS
- 2 REFER TO SELECTIONS - STD. 36"H. WALL SLOPED W/ STRINGER - OR - W/ OPT. RAIL, HOLD TOP OF WALL EVEN WITH STAIR STRINGER
- 3 36" HIGH WALL
- 4 DO NOT LOCATE TRUSS ABOVE PLUMBING WALL.
- 5 FRAME TOP OF WINDOW @ 2'-0 1/4" DOWN FROM CEILING.
- 6 TOP OF WINDOW @ 3'-0 1/4" BELOW TOP PLATE
- 7 OPT. BONUS/BED#5: 48" HIGH WALL
- 8 OPT. BONUS/BED#5 & OPT. RAILING: 42" HIGH WALL
- 9 OPT. BONUS/BED#5: (2) RISERS @ 6" HIGH
- 10 OPT. J&J BATH & OPT. OWNER'S EXT: TOP OF OPENING AT 7'1" A.F.F.
- 11 BALLOON FRAME WALL TO UNDERSIDE OF TRUSS W/ 2x4's @ 12" O.C.
- 12 OPT. ARCHED OPENING: TOP OF ARCH 12" BELOW CEILING HEIGHT WITH 12" SPRING
- 13 BALLOON FRAME WALL W/ 2x6's @ 12" O.C.
- 14 OPT. CORNER TUB: RE: B/7.04 FOR TUB PLATFORM DETAIL
- 15 OPT. SUPER SHOWER: 44" HIGH WALL
- 16 OPT. SUPER SHOWER: MUDPAN CURB INSTALLED BY PLUMBING CONTRACTOR

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date: 08/27/2010	CDs Drawn By:	SSP	

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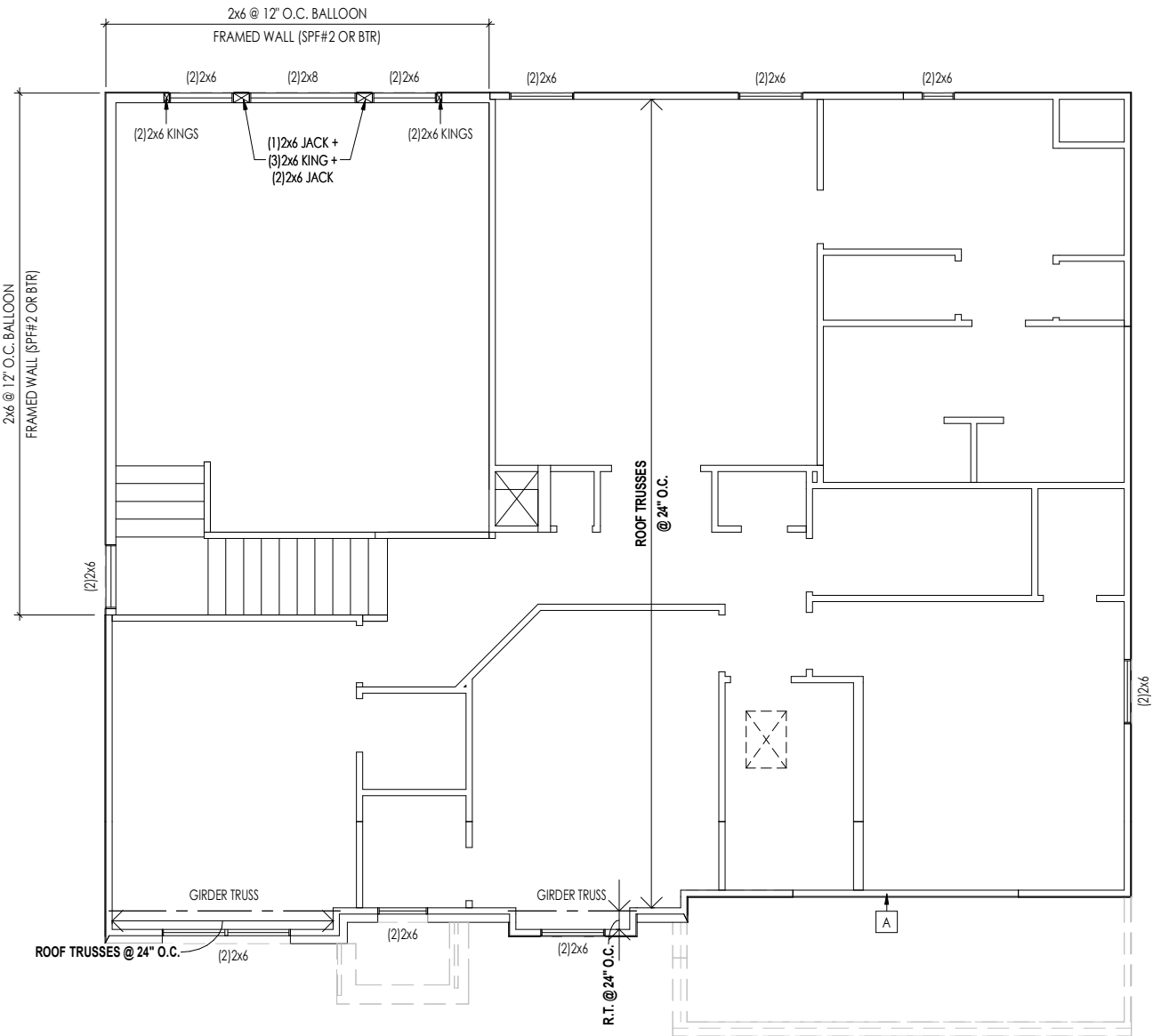
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Sheet Information

2.02F

Second Floor Framing Plan  
Elevation "Y"



THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**115 MPH WIND IN 2019 RCO MAP**  
(115 MPH WIND SPEED IN ASCE 7 WIND MAP)  
EXP. B & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2017 OBC (SECTION 1609) & ASCE 7, AS PERMITTED BY R301.1.3 OF THE 2019 RCO. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE PRESCRIPTIVE PROVISIONS OF SECTION R602.10 WITHIN THE 2019 RCO.

- EXTERIOR WALL SHEATHING SPECIFICATION**
- 7/16" OSB OR 15/32" PLYWOOD:  
FASTEN SHEATHING w/ 2-3/8"x 0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP. U.N.O.)
  - ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
  - ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
  - ALT. STAPLE CONNECTION SPEC: 1-3/4" 16 GA STAPLES (7/16" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C IN FIELD.

- 3" O.C. EDGE NAILING**
- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2-3/8"x 0.113 NAILS @ 3" O.C. AND 12" IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

- NOTES**
- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
  - DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
  - ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
  - PRE-MANUFACTURED PANELIZED WALLS:  
FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

--- INDICATES EXTENT OF INT. OSB SHEARWALL, AND/OR 3" O.C. EDGE NAILING.

► INDICATES HOLDDOWN

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- A EXTEND EXT. WALL SHTG. DOWN TO BOTTOM PLATE
- B --
- C --
- D --
- E --

CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL	
JOIST TO SOLE PLATE	(3)10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3)10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3)10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3)10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3)10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10)10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2)10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>XXX</b>
			Series: <b>SERIES_NM</b>
Born on Date: 08/27/2010			Plan No.: <b>PLAN_NM</b>



Sheet Information

**2.02S**

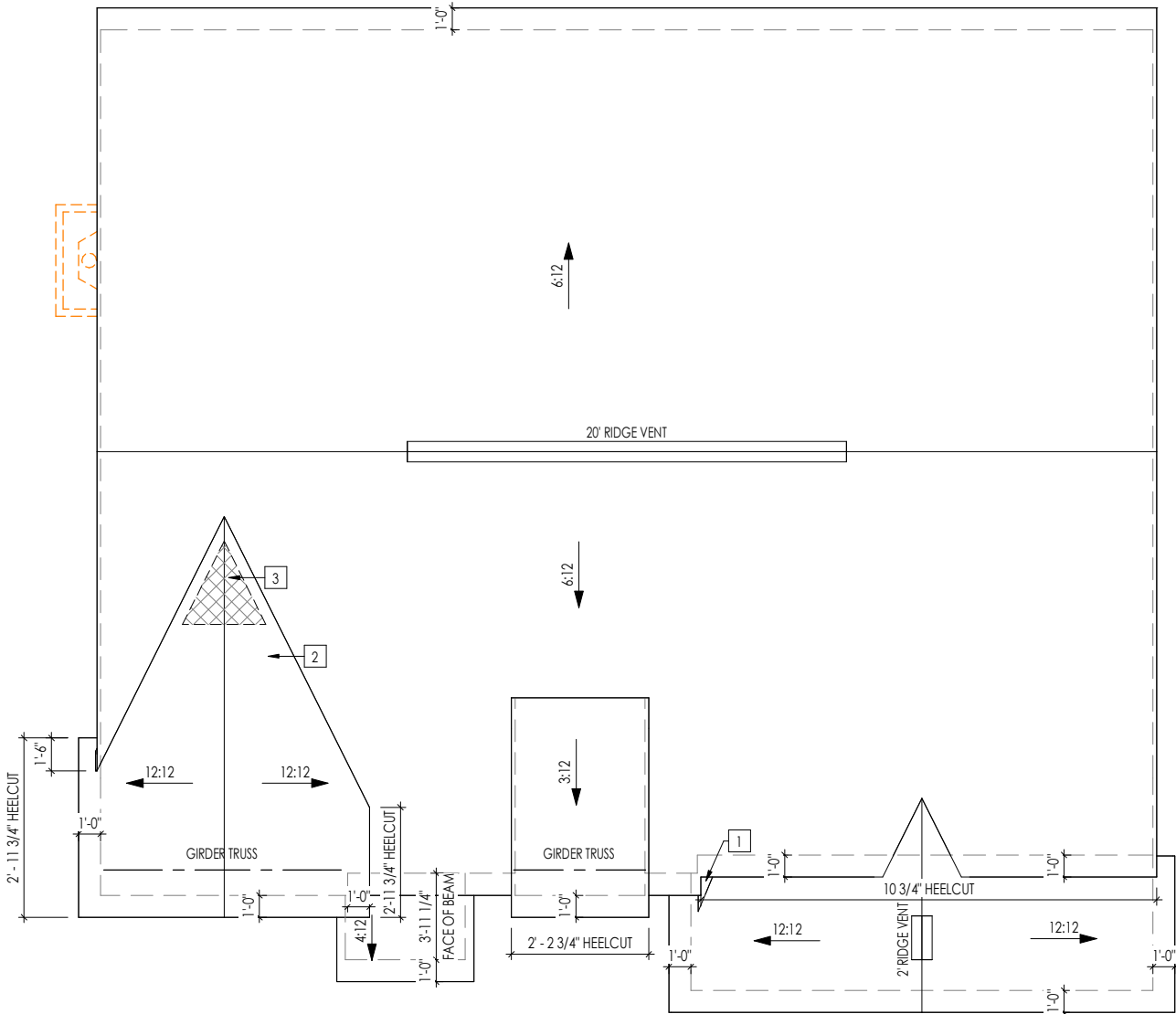
Second Floor Structural Plan  
Elevation "Y"



TRUSS MANUFACTURER TO VERIFY THE FOLLOWING:  
(REFER TO SHEETS 2.01F AND/OR 2.02F)  
1) DO NOT LOCATE ROOF TRUSSES ABOVE PARALLEL PLUMBING WALLS  
OR KITCHEN HOOD WALLS  
2) DO NOT LOCATE ROOF TRUSSES ABOVE HVAC CHASES (OR LEAVE  
A MIN. 22-1/2" WIDE CLEAR SPACE OVER CHASE)

EXTEND OVERHANG  
WITH OPTIONAL  
BRICKWRAP AT GABLES

HEEL CUT STANDARDS			
	OVERHANG		
	1'-0"	2'-0"	
ROOF PITCH	4:12	3-3/4"	7-3/4"
	5:12	4-3/4"	9-3/4"
	6:12	5-3/4"	11-3/4"
	7:12	6-3/4"	13-3/4"
	8:12	7-3/4"	N/A
	9:12	8-3/4"	N/A
	10:12	9-3/4"	N/A
	12:12	11-3/4"	N/A
	14:12	13-3/4"	N/A



General Notes:	
1. REFER TO SHEET ON.1 FOR GENERAL NOTES.	
Key Notes:	
1	SADDLE: MIN 5:12 PITCH EXTENDED 18" PAST FRAME WALL
2	VALLEY TRUSS OVERFRAMING
3	NO ROOF DECKING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION
4	--
5	--
CONNECTION SPECIFICATIONS (TYP. U.N.O.)	
NOTE: 10d NAIL = 3" x 0.131" GUN NAIL	
JOIST TO SOLE PLATE	(3) 10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" o.c.
STUD TO SOLE PLATE	(3) 10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3) 10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" o.c.
BLK'G. BTWN. JOISTS TO TOP PL.	(3) 10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3) 10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" o.c.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. & INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE	10d NAILS @ 24" o.c.
DOUBLE TOP PLATE LAP SPLICE	(10) 10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2) 10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

Space for Architect Seal

RESIDENCE FOR: <b>CUSTOMER NAME</b> JOB ADDRESS SUBDIVISION NAME			
Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name: the BUCHANAN			Contract Drawn By: XXX
			Series: SERIES_NM
Born on Date: 08/27/2010			Plan No.: PLAN_NM

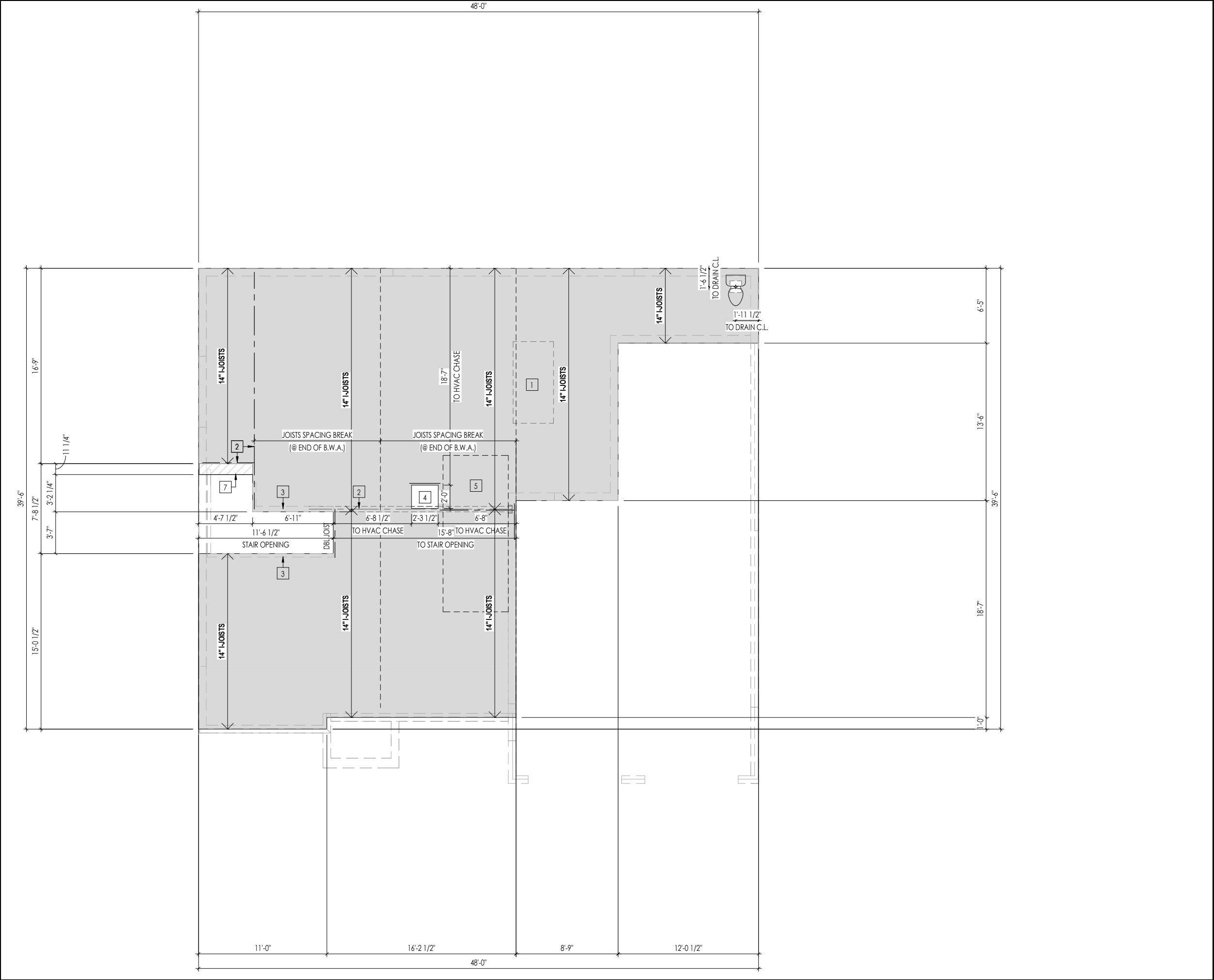


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Sheet Information

# 2.04

Roof Plan  
Elevation "Y"



General Notes:

1.

REFER TO SHEET 0N.1 FOR GENERAL NOTES.

2.

FLOOR JOISTS TO BE 14" LJI 360 SERIES, OR EQUAL, @ 19.2" O.C., UNLESS OTHERWISE NOTED.

3.

JOISTS ARE NOT TO BE PLACE DIRECTLY OVER INTERIOR PARALLEL WALL.  
(TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)

4.

ADD'L JOISTS MAY BE LOCATED UP TO 2" AWAY FROM THE PARTITION WALL ABOVE IN CASES WHERE MECHANICAL PENETRATIONS

Key Notes:

1

DBL EVERY OTHER JOISTS UNDER KITCHEN ISLAND

2

BEAM BELOW - SEE SHEET 1.01 FOR MORE INFO

3

BEARING WALL BELOW

4

HVAC CHASE

5

80 SQFT MAX. AREA OF CEILING, COMPLYING WITH RCO 302.13 EXCEPTION 3.1& EXCEPTION 3.2.  
NOT REQUIRED DRYWALL. PREIMETER EDGE MUST BE FIREBLOCKED TO KEEP SEPARATE FROM THE REST OF THE FLOOR ASSEMBLY

6

7

2x12 FLAT FRAME

8

--

9

--

10

--

Space for Architect Seal

RESIDENCE FOR:

CUSTOMER NAME

JOB ADDRESS

SUBDIVISION NAME

Job Number:	Drawing Date:	Coord Name:	Coord Phone:
XXXX-XXXX-XX	XX.XX.XXXX	COORD_NAME	COORD_PHONE
House Name:			Contract Drawn By:
the BUCHANAN			XXX
			SERIES_NM
Born on Date:	08/27/2010	CDs Drawn By:	PLAN_NM

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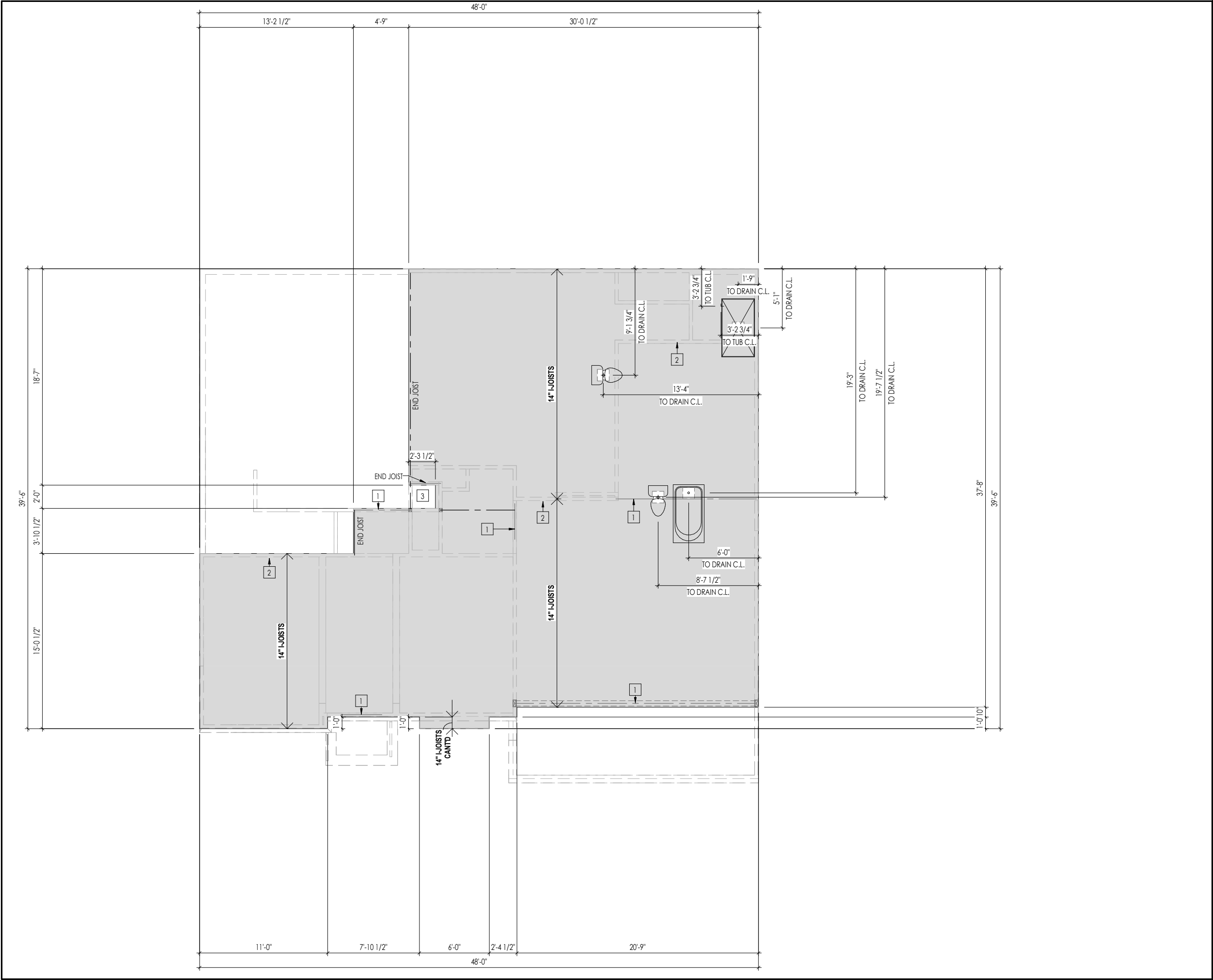
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Sheet Information

3.01

First Floor Subfloor Plan  
Elevation "Y"



General Notes:


1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. FLOOR JOISTS TO BE 14" TJI 210 SERIES, OR EQUAL, @ 19.2" O.C., UNLESS OTHERWISE NOTED.
3. JOISTS ARE NOT TO BE PLACE DIRECTLY OVER INTERIOR PARALLEL WALL. (TO PREVENT UNEVEN FLOOR DEFLECTION FROM OCCURRING)
4. ADD'L JOISTS MAY BE LOCATED UP TO 2" AWAY FROM THE PARTITION WALL ABOVE IN CASES WHERE MECHANICAL PENETRATIONS

- Key Notes:
- 1 BEAM BELOW - SEE SHEET 1.01 FOR MORE INFO
  - 2 BEARING WALL BELOW
  - 3 HVAC CHASE
  - 4 -
  - 5 -
  - 6 -
  - 7 -
  - 8 -
  - 9 -
  - 10 -

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

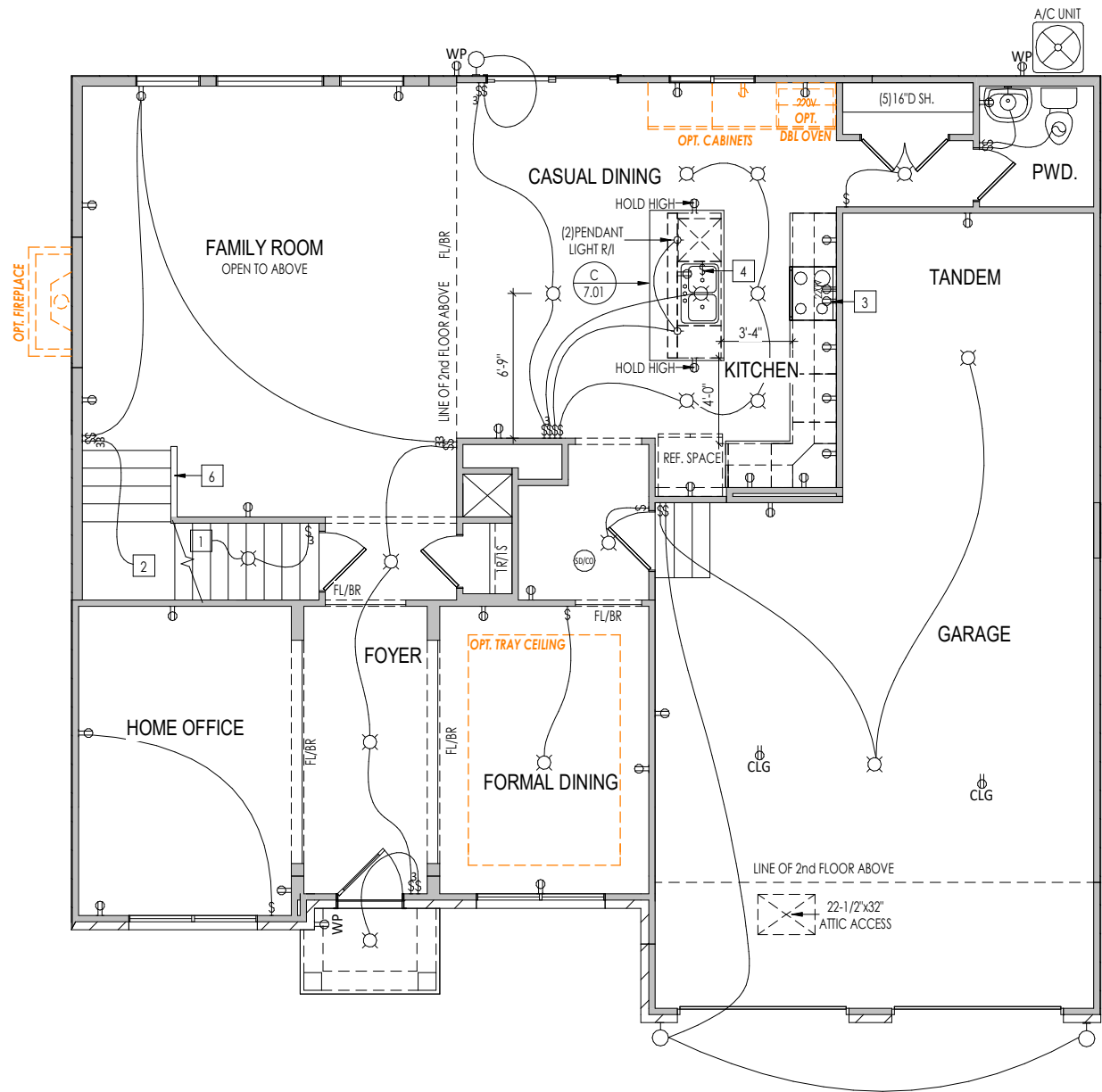
Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
the <b>BUCHANAN</b>			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>
Born on Date: 08/27/2010	CDs Drawn By:	SSP	



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Sheet Information

**3.02**  
Second Floor Subfloor Plan  
Elevation "Y"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- 1
- TO SWITCH OR LIGHT BELOW
- 2
- TO SWITCH OR LIGHT ABOVE
- 3
- OUTLET FOR RANGE HOOD/MICROWAVE HELD HIGH - VENT TO EXTERIOR
- 4
- OUTLET FOR DISHWASHER & SWITCH FOR DISPOSAL LOCATED IN SINK CABINET
- 5
- OPT. FIREPLACE: DIRECT VENT FIREPLACE - REFER TO SELECTION SHEET FOR MODEL AND FIREPLACE DETAIL SHEET F-1 FOR FRAMING INFORMATION
- 6
- 36" HIGH WALL WITH WOOD CAP
- 7
- 
- 8
- 
- 9
- 
- 10
- 

MECHANICAL LEGEND

- ◀ PHONE JACK
- ⊖ WALL OUTLET
- ⊖ WEATHERPROOF OUTLET
- ⊖ 220 VOLT OUTLET
- ⊖ GROUND FAULT OUTLET
- ⊖ FLOOR OUTLET
- ⊖ CABLE TELEVISION JACK
- ⚡ SINGLE POLE SWITCH
- ⚡ 3-WAY SWITCH
- ⚡ 4-WAY SWITCH
- ⊖ CLG. MOUNTED LIGHT FIXT.
- SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.
- WALL MOUNTED LIGHT FIXT.
- ⊖ DOUBLE SPOTLIGHT FIXT.
- ⊖ DIRECTIONAL CAN LIGHT
- ⊖ PIN LIGHT
- ⊖ WALL SCONCE @ 5'-6" A.F.F.
- ⊖ FLUORESCENT LIGHT
- ⊖ UNDER CABINET LIGHTING
- ⊖ STAIR LIGHT
- ⊖ HOSE BIB
- ⊖ SHOWER HEAD
- ⊖ GAS GAS HOOK UP
- ⊖ FLOOR DRAIN
- ⊖ SMOKE DETECTOR
- ⊖ CO DETECTOR
- ⊖ SMOKE DETECTOR/CO DETECTOR COMBINATION
- ⊖ EXHAUST FAN AND LIGHT COMBINATION
- ⊖ CLG. MTD. EXHAUST FAN
- ⊖ BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)

Space for Architect Seal

RESIDENCE FOR:  
CUSTOMER NAME  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name: the BUCHANAN			Contract Drawn By: XXX
			Series: SERIES_NM
Born on Date: 08/27/2010			CDs Drawn By: SSP
			Plan No.: PLAN_NM

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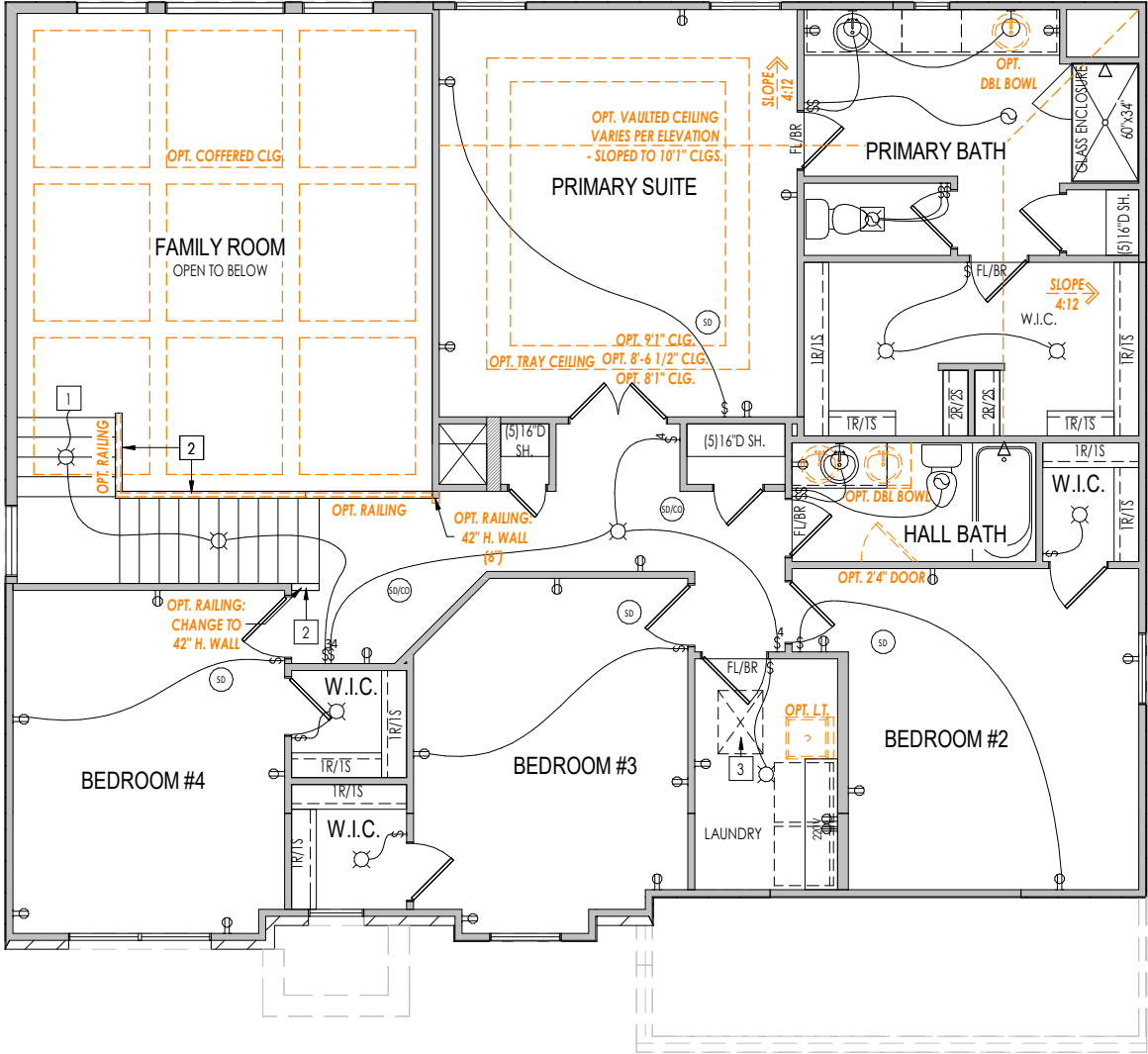
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Sheet Information

4.01

First Floor Mechanical Plan  
Elevation "Y"



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

1

TO LIGHT OR SWITCH BELOW

2

36" HIGH WALL WITH WOOD CAP

3

22-1/2"x32" ATTIC ACCESS

4

5/8" SHELF @ 57" A.F.F.

5

WASHER TO LEFT OF DRYER

6

OPT. BONUS/BED#5: 42" HIGH WALL WITH WOOD CAP

7

OPT. BONUS/BED#5: 48" HIGH WALL WITH WOOD CAP

8

OPT. SUPER SHOWER: 44" HIGH WALL

9

--

10

--

MECHANICAL LEGEND

◀

PHONE JACK

⊖

WALL OUTLET

⊖

WEATHERPROOF OUTLET

⊖

220 VOLT OUTLET

⊖

GROUND FAULT OUTLET

⊖

FLOOR OUTLET

⊖

CABLE TELEVISION JACK

⊖

SINGLE POLE SWITCH

⊖

3-WAY SWITCH

⊖

4-WAY SWITCH

⊖

BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)

○

CLG. MOUNTED LIGHT FIXT.

○

SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.

○

WALL MOUNTED LIGHT FIXT.

○

DOUBLE SPOTLIGHT FIXT.

○

DIRECTIONAL CAN LIGHT

○

PIN LIGHT

○

WALL SCONCE @ 5'-6" A.F.F.

○

FLUORESCENT LIGHT

○

UNDER CABINET LIGHTING

⬮

STAIR LIGHT

+

HOSE BIB

⬮

SHOWER HEAD

⬮

GAS HOOK UP

⬮

FLOOR DRAIN

⬮

SMOKE DETECTOR

⬮

CO DETECTOR

⬮

SMOKE DETECTOR/CO DETECTOR COMBINATION

⬮

EXHAUST FAN AND LIGHT COMBINATION

⬮

CLG. MTD. EXHAUST FAN

Space for Architect Seal

RESIDENCE FOR:  
CUSTOMER NAME  
JOB ADDRESS  
SUBDIVISION NAME

Job Number:  
XXXX-XXXX-XX

Drawing Date:  
XX.XX.XXXX

Coord Name:  
COORD\_NAME

Coord Phone:  
COORD\_PHONE

House Name:

the BUCHANAN

Drawing Scale: 1/8" = 1'0"

Contract Drawn By:  
XXX

Series:  
SERIES\_NM

Plan No.:  
PLAN\_NM

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HOMES

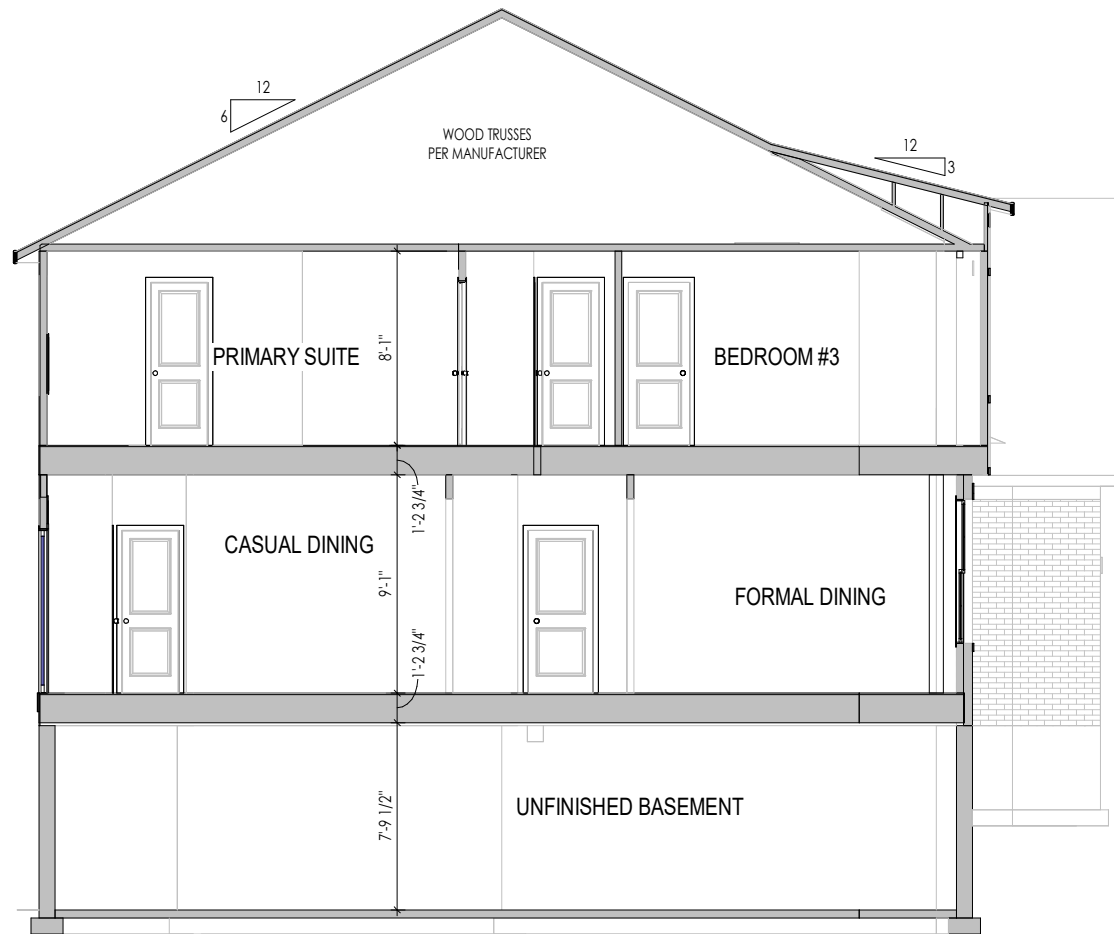
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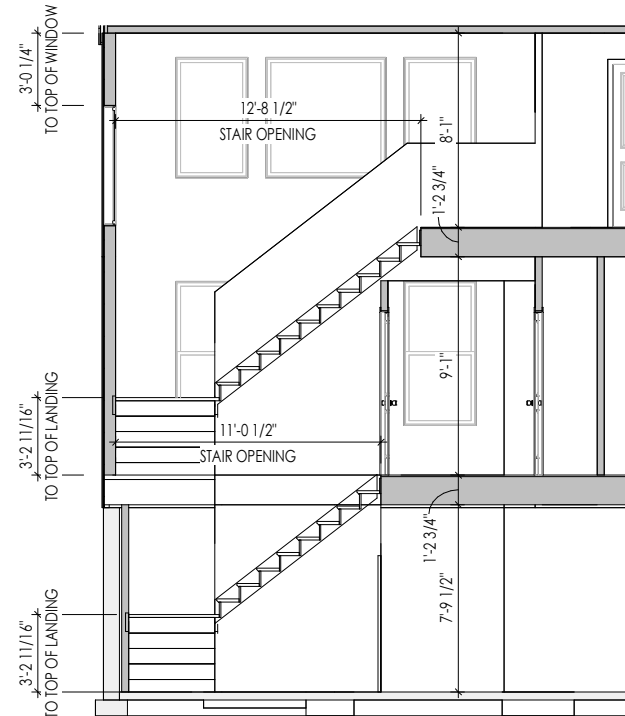
Sheet Information

4.02

Second Floor Mechanical Plan  
Elevation "Y"



A  
5.01 **BUILDING SECTION THRU FOYER**  
1/8" = 1'-0"



B  
5.01 **STAIR SECTION**  
1/8" = 1'-0"

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

Key Notes:

- 1 -
- 2 -
- 3 -
- 4 -
- 5 -
- 6 -
- 7 -
- 8 -
- 9 -
- 10 -

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM

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Sheet Information

**5.01**  
Building Section  
Elevation "Y"

TYPICAL TRIM:

6" FASCIA  
(ALL SIDES)

8" FRIEZE  
(FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.  
2. ROOFING MATERIAL PER SELECTIONS.

Key Notes:

- 1 -  
2 -  
3 -  
4 -  
5 -

BRICK and STONE LINTEL SCHEDULE

	SPAN	36" HIGH	48" HIGH	LINTEL SIZE	WINDOW ABOVE
*BRICK	Up to 6'-0"	----	----	L3 1/2 x 3 1/2 x 1/4	----
	Up to 8'-3"	----	----	L5 x 3 1/2 x 5/16	----
	Up to 9'-3"	----	----	L6 x 4 x 5/16	L7 x 4 x 3/8
	Up to 16'-3"	L7 x 4 x 3/8	L8 x 4 x 1/2	L8 x 4 x 1/2	**per Design
*STONE	Up to 6'-0"	----	----	L4 x 3 1/2 x 1/4	----
	Up to 8'-3"	----	----	L5 x 3 1/2 x 5/16	----
	Up to 9'-3"	----	L6 x 4 x 3/8	L7 x 4 x 3/8	**per Design
	Up to 16'-3"	----	L8 x 4 x 1/2	**per Design	**per Design

All Lintels: 4" Minimum bearing required each end  
\*Brick is based on 40psf and Stone is based on 60psf  
\*\* Any lintels not described by the above parameters shall be specifically designed.

Space for Architect Seal

RESIDENCE FOR:  
CUSTOMER NAME  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date: 08/27/2010	CDs Drawn By: SSP		

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Sheet Information

6.01  
Front Elevation  
Elevation "Y"



ELEVATION Y



TYPICAL TRIM:
<b>6" FASCIA</b> (ALL SIDES)
<b>8" FRIEZE</b> (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date: 08/27/2010	CDs Drawn By: SSP		

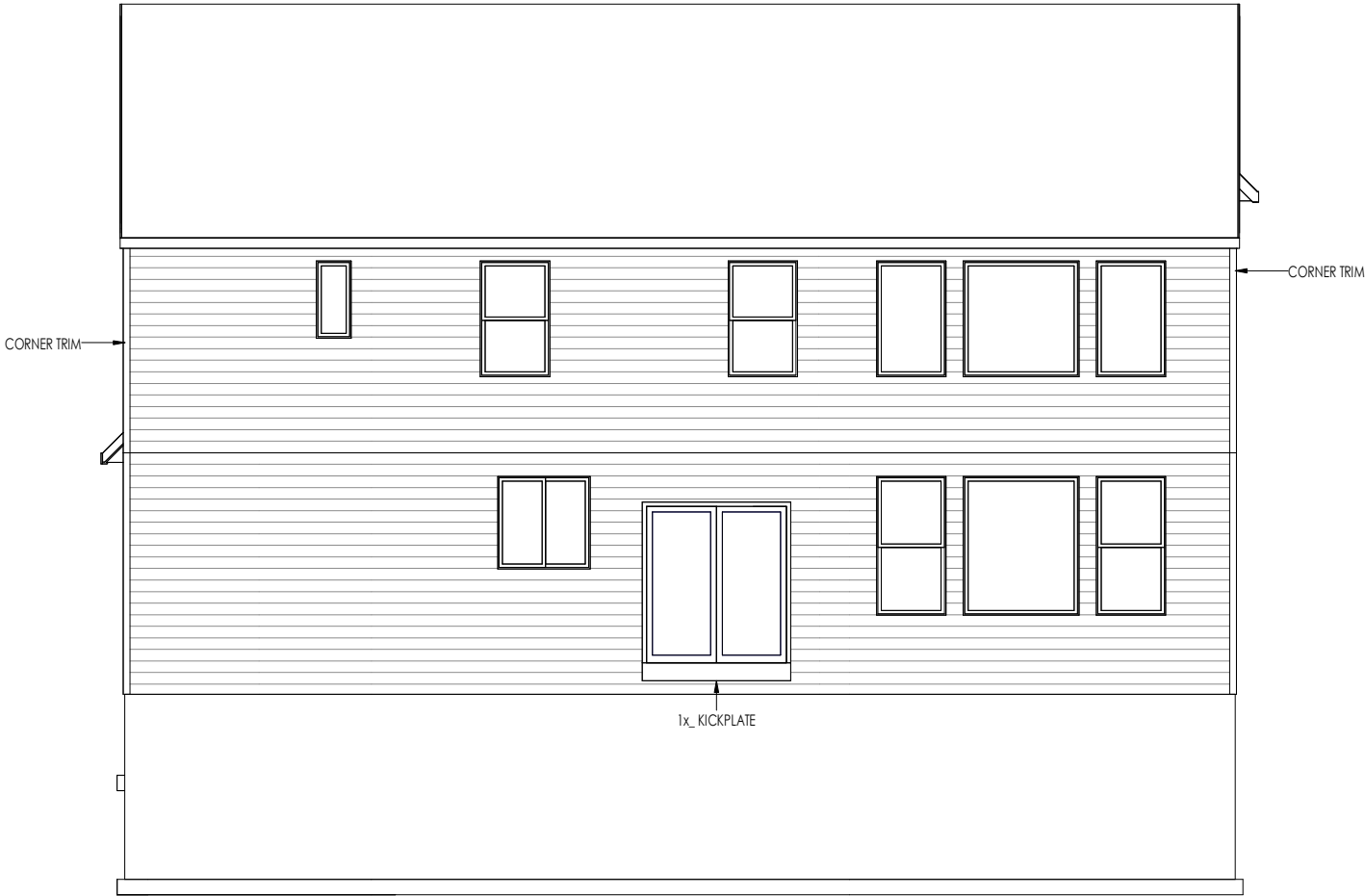


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Sheet Information

**6.02**  
Garage Side Elevation  
Elevation "Y"





<b>TYPICAL TRIM:</b>
<b>6" FASCIA</b> (ALL SIDES)
<b>8" FRIEZE</b> (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:

- 1
- 2
- 3
- 4
- 5

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM



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Sheet Information

**6.03**  
Rear Elevation  
Elevation "Y"



TYPICAL TRIM:
<b>6" FASCIA</b> (ALL SIDES)
<b>8" FRIEZE</b> (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.

Key Notes:

- 1 --
- 2 --
- 3 --
- 4 --
- 5 --

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

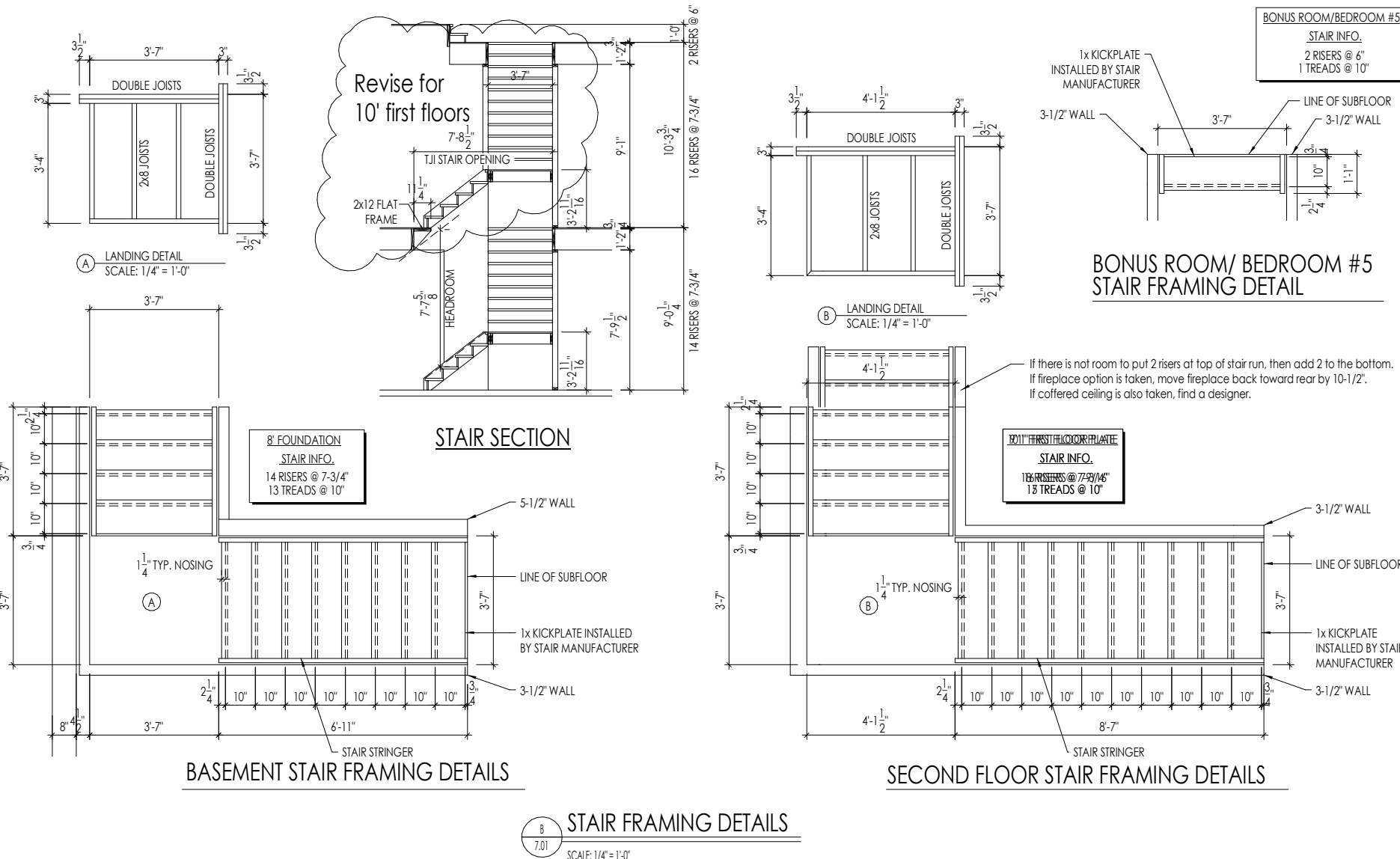
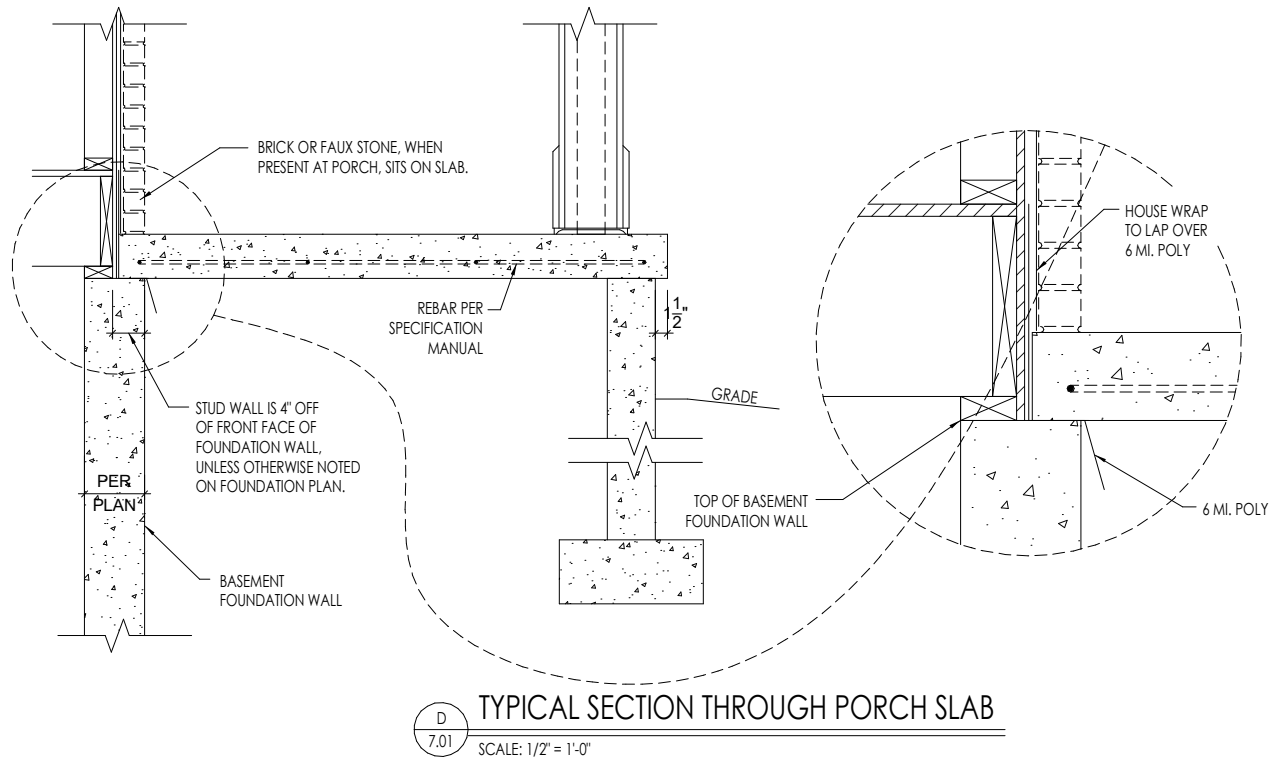
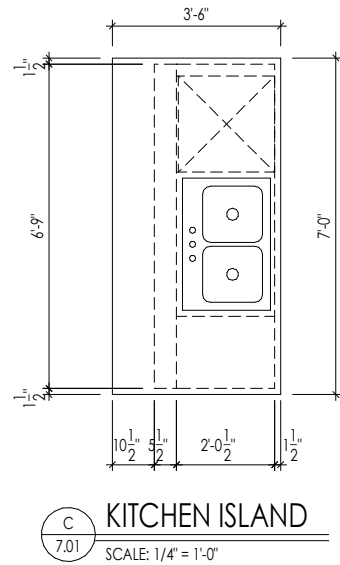
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House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
			Plan No.: PLAN_NM



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Sheet Information

**6.04**  
Side Elevation  
Elevation "Y"



Space for Architect Seal

RESIDENCE FOR:			
<b>CUSTOMER NAME</b>			
<b>JOB ADDRESS</b>			
<b>SUBDIVISION NAME</b>			
Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: XXX
<b>the BUCHANAN</b>			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date: 08/27/2010	CDs Drawn By:	SSP	

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---	-------------------	--



B  
7.02

## FRONT PORCH COLUMN

SCALE: 1/2" = 1'-0"



**EXTERIOR SIDE**

1'-0"

$\frac{1}{2}"$   $\frac{5\frac{1}{2}"}{2}$   $\frac{1}{2}"$

6" TRIM

PRE-ENGINEERED WOOD TRUSSES

SHEATHING

4" W x 8" H ROUND TOP CUT-OUTS

EXTERIOR PANEL SHEATHING

PAD GABLE OUT WITH 2x6 BLOCKING

8" TRIM

2x6 BLOCKING

EXTERIOR BRACKET D2

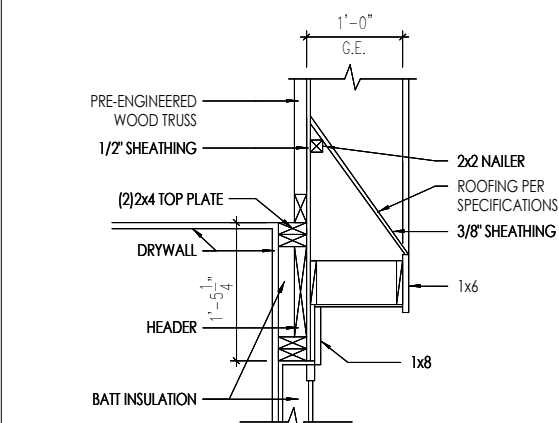
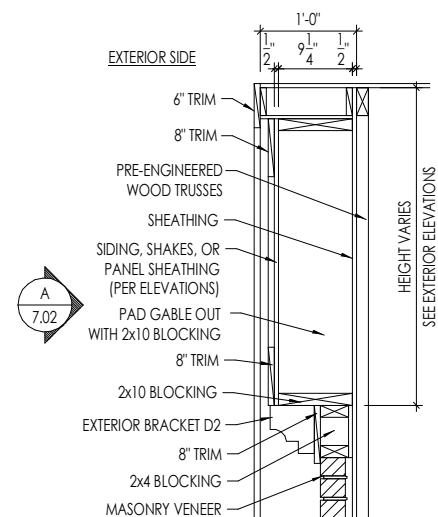
8" TRIM

SIDING, SHAKES, OR PANEL SHEATHING (PER ELEVATIONS)

HEIGHT VARIES  
SEE EXTERIOR ELEVATIONS

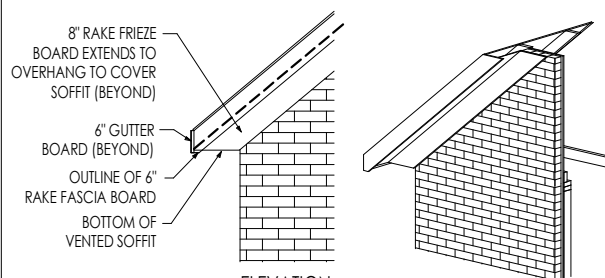
### SECTION AT GABLE TRIM WITH CUT-OUTS

SCALE: 1/2" = 1'-0"



### GABLE RETURN DETAIL

SCALE: 1/2" = 1'-0"



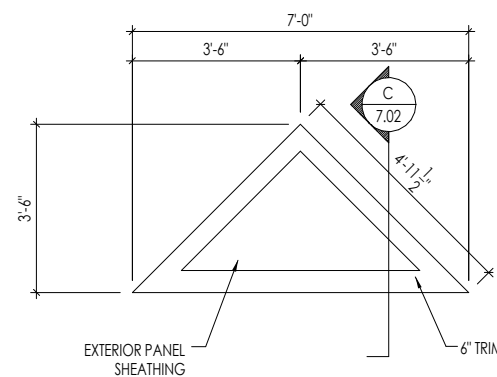
ELEVATION

3D VIEW



## RAFTER TAIL DETAIL

SCALE: 1/4" = 1'-0"



EXTERIOR PANEL  
SHEATHING

## GABLE TRIM WITH CUT-OUTS

SCALE: 1/4" = 1'-0"

A  
7.02

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:  <b>the BUCHANAN</b>		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: XXX
			Series: SERIES_NM
Born on Date: 08/27/2010		CDs Drawn By: SSP	Plan No.: PLAN_NM

# the BUCHANAN



**Drees**  
**HOMES**<sup>SM</sup>

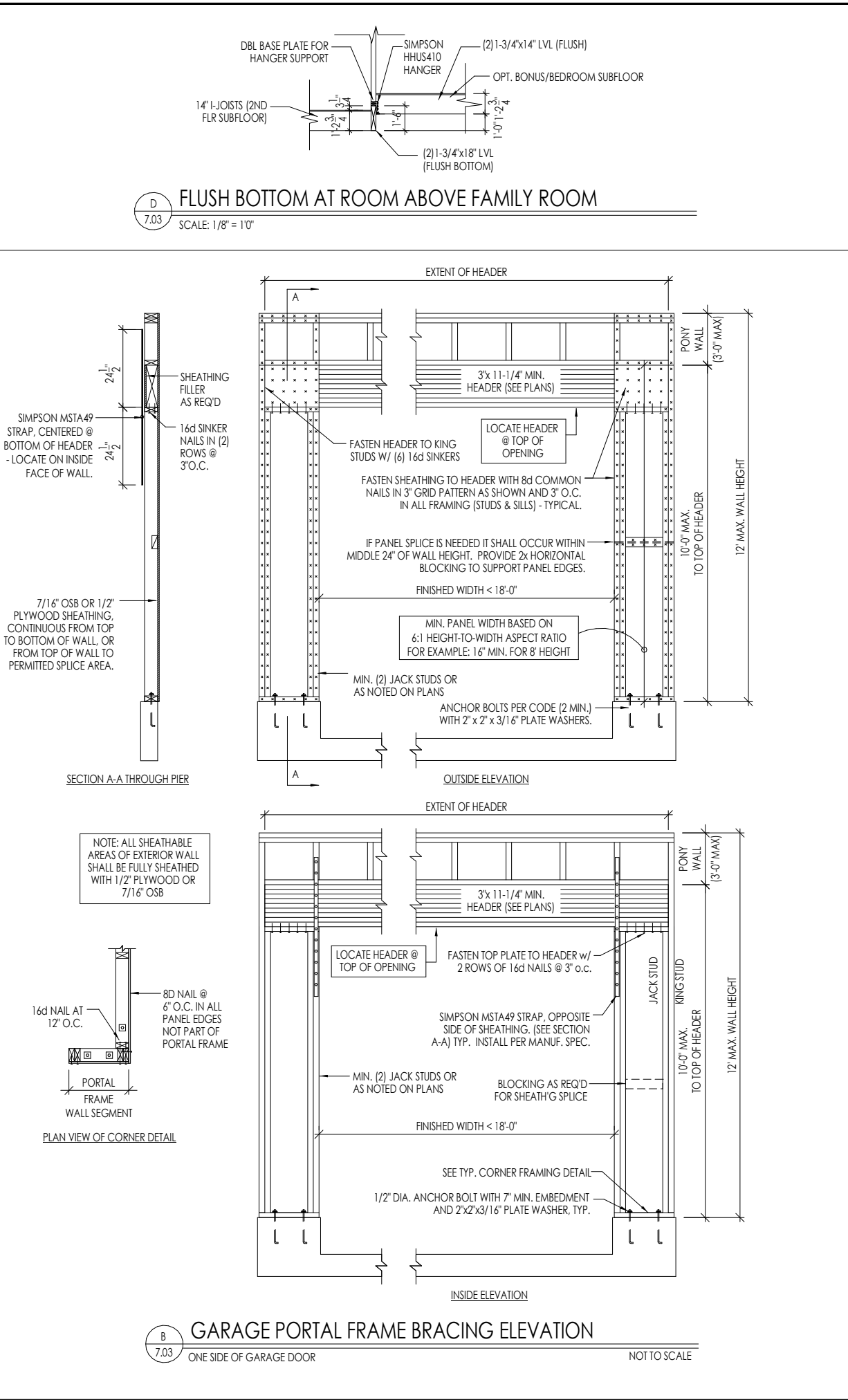
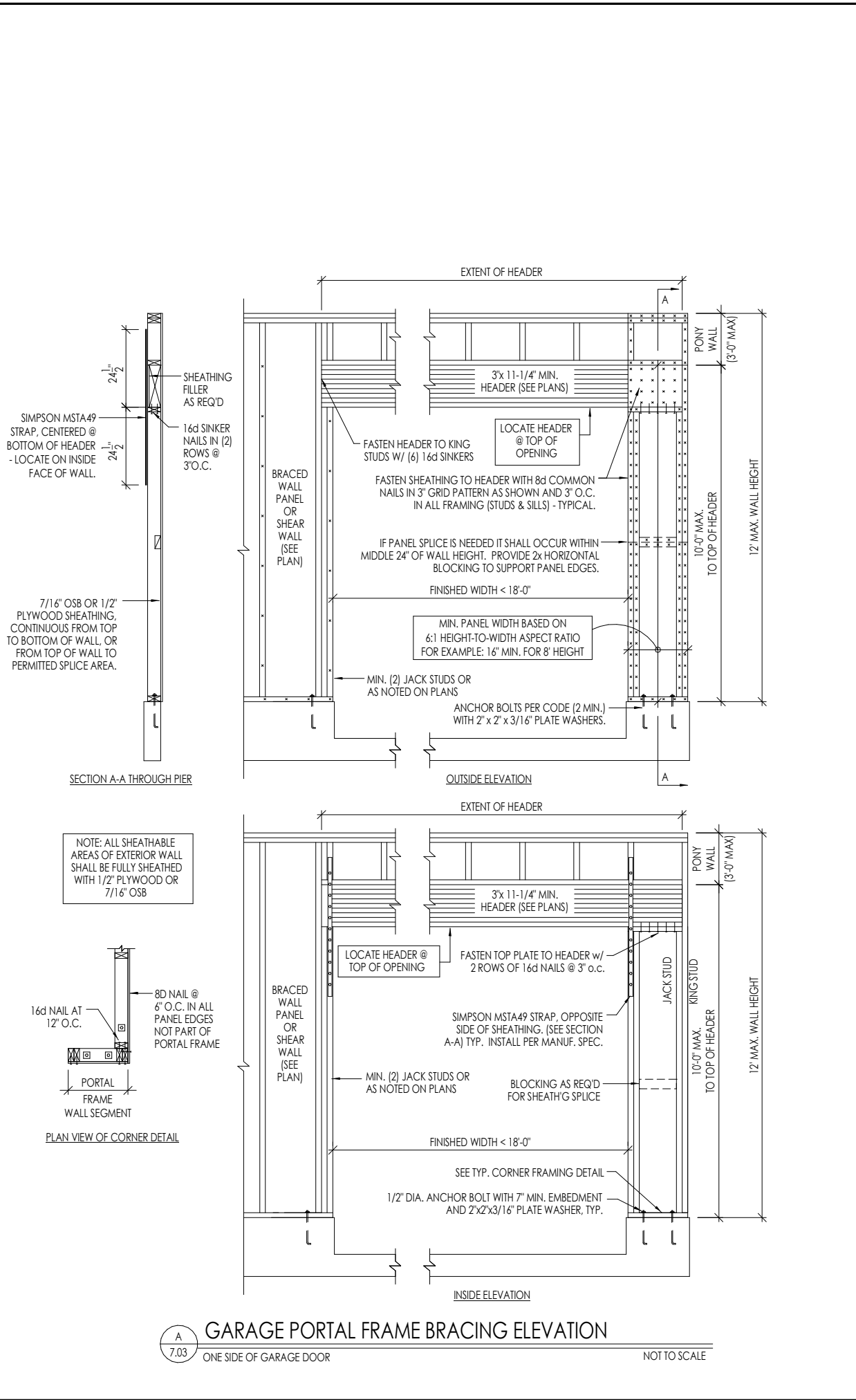
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Sheet Information

## 7.02

House Specific Details

Elevation "Y"



Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>XXX</b>
Born on Date: <b>08/27/2010</b>			CDs Drawn By: <b>SSP</b>

Series:  
**SERIES\_NM**

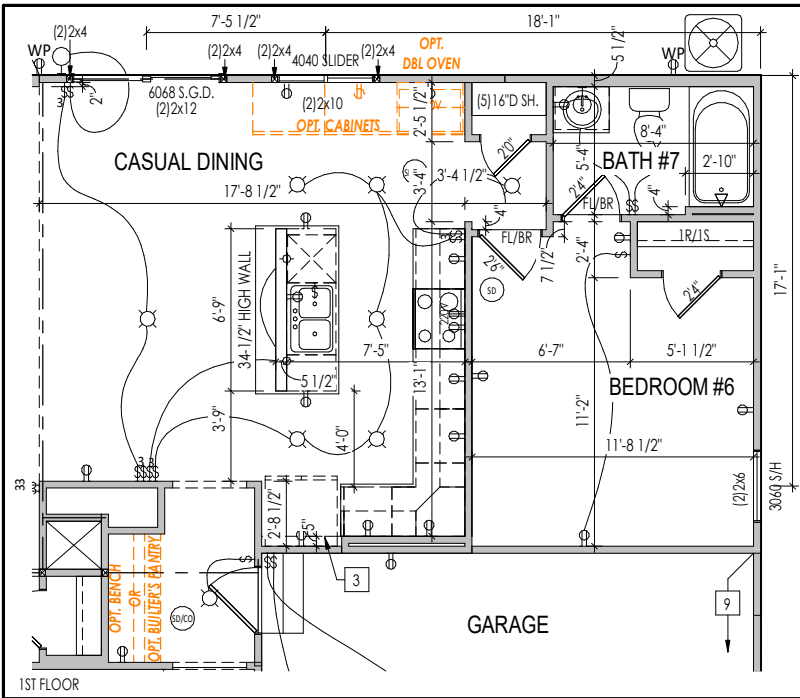
Plan No.:  
**PLAN\_NM**

**Drees HOMES**  
SM  
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Phone: [859] 578-4200

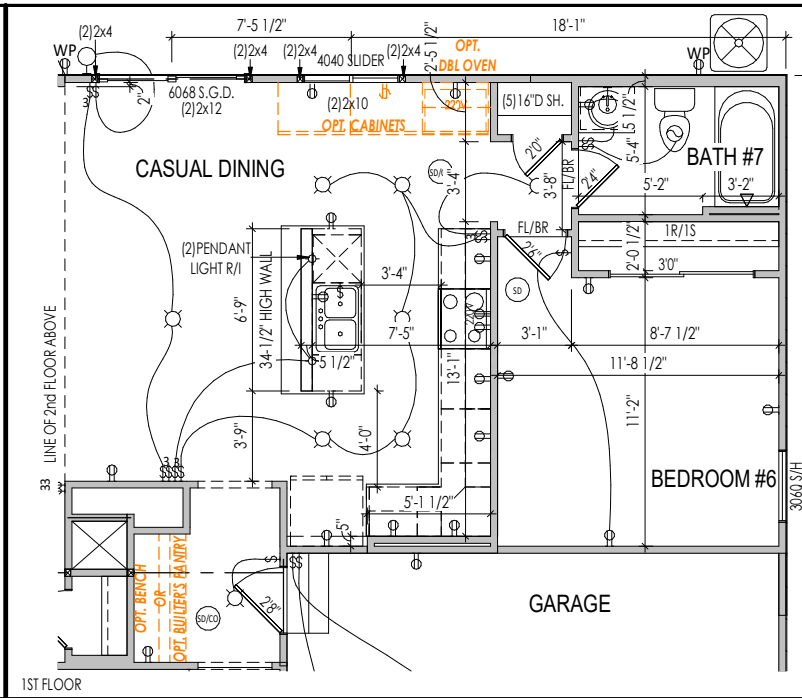
**7.03**  
House Specific Details  
Elevation "Y"



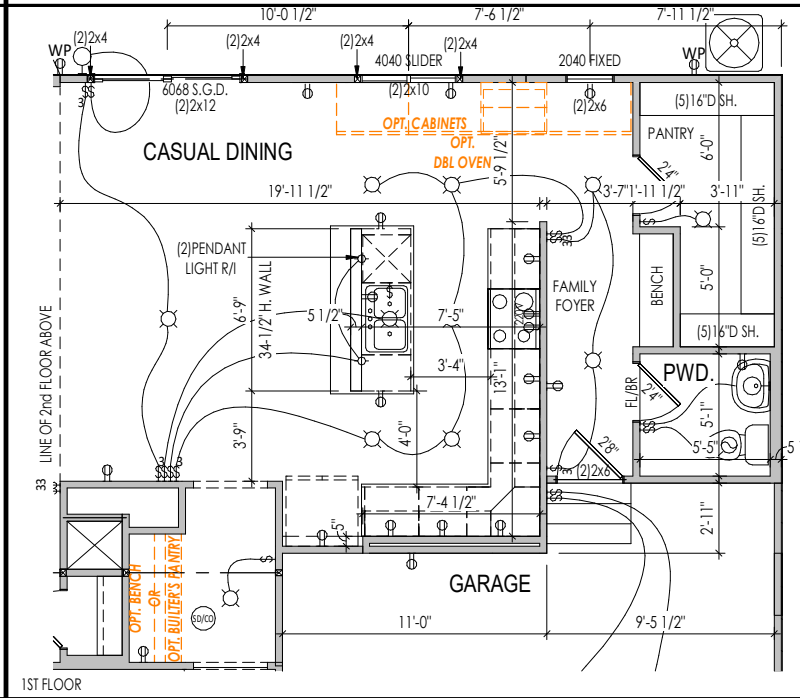




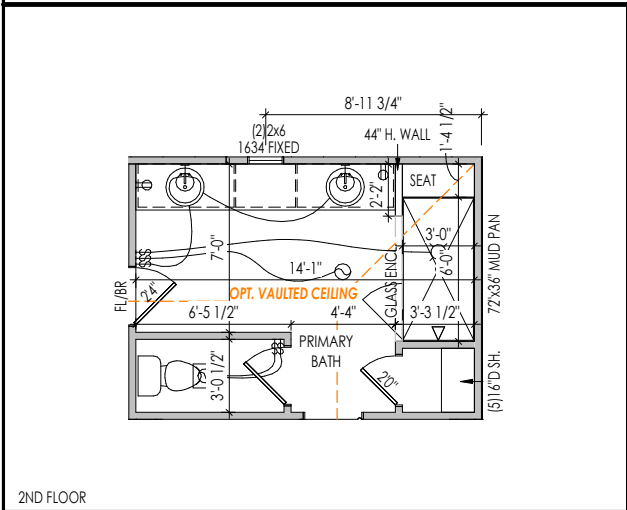
1. OPT. BEDROOM #6 WITH PRIVATE BATH



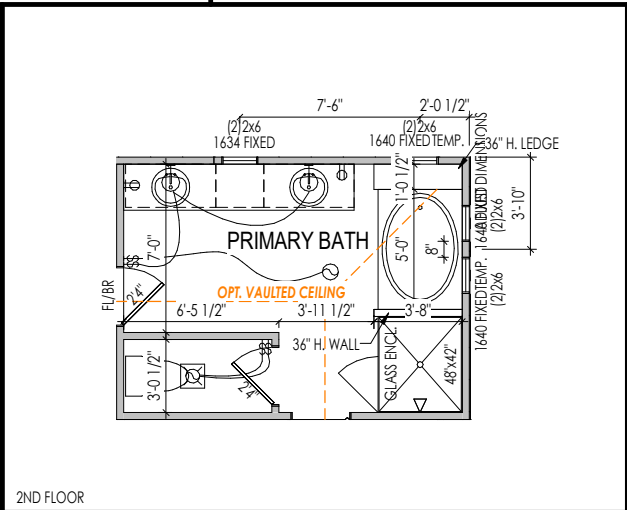
2. OPT. BEDROOM #6



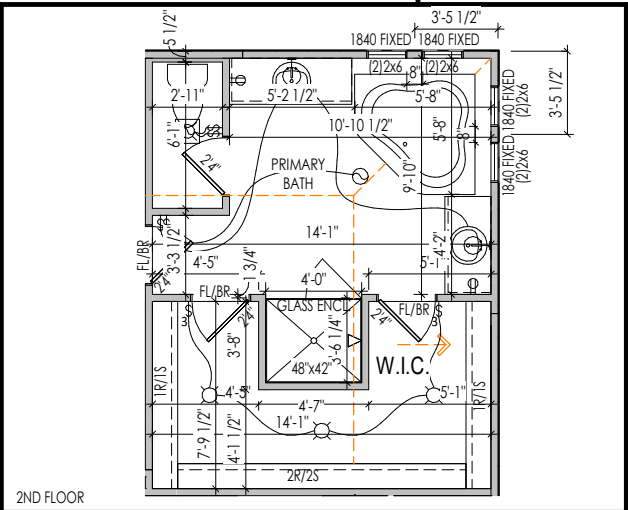
3. OPT. FAMILY FOYER



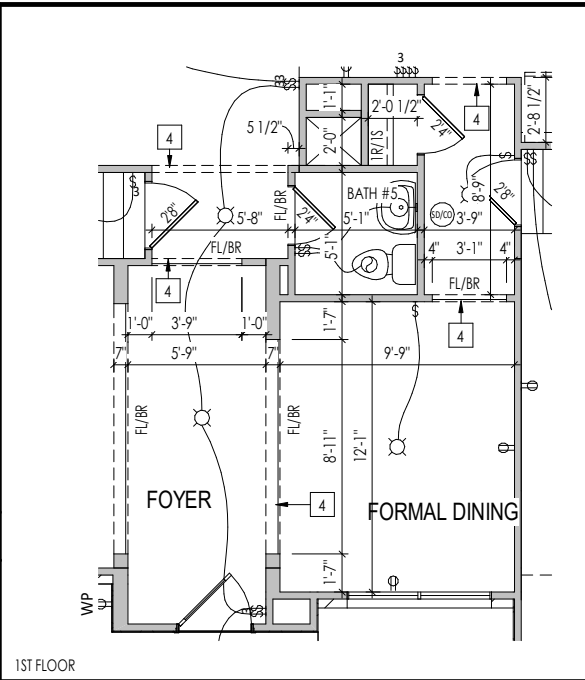
4. OPT. SUPER SHOWER



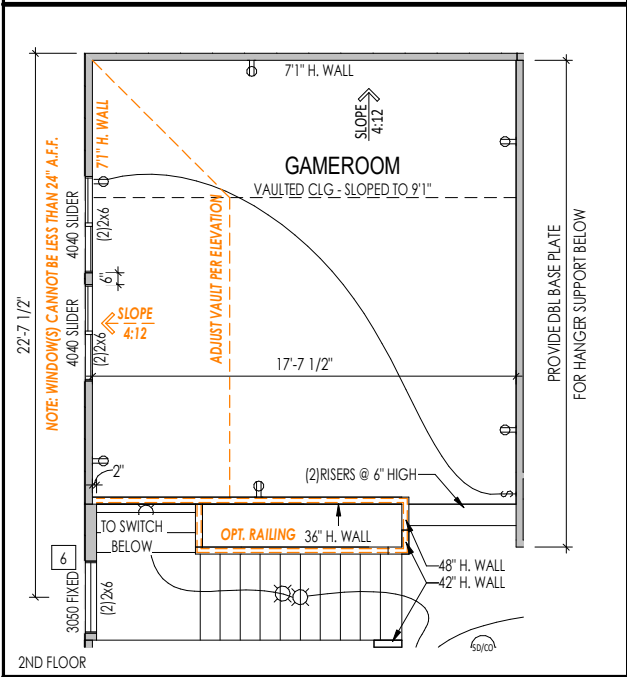
5. OPT. GARDEN BATH



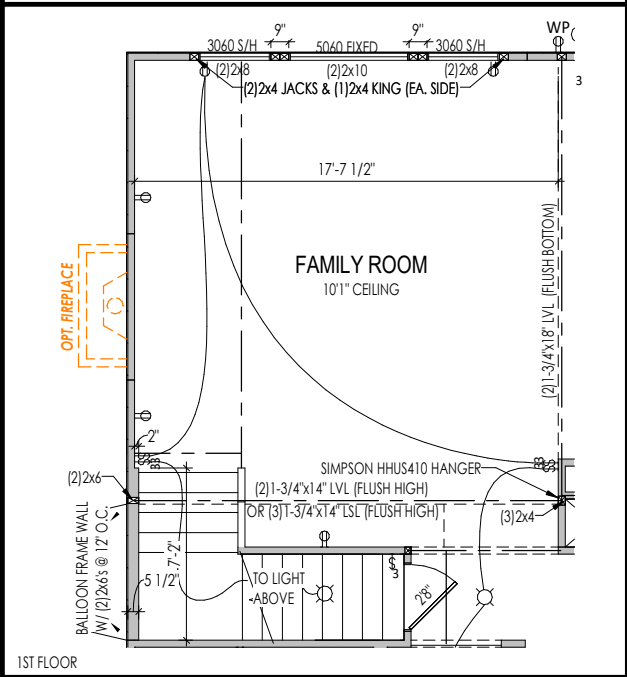
6. OPT. CORNER TUB



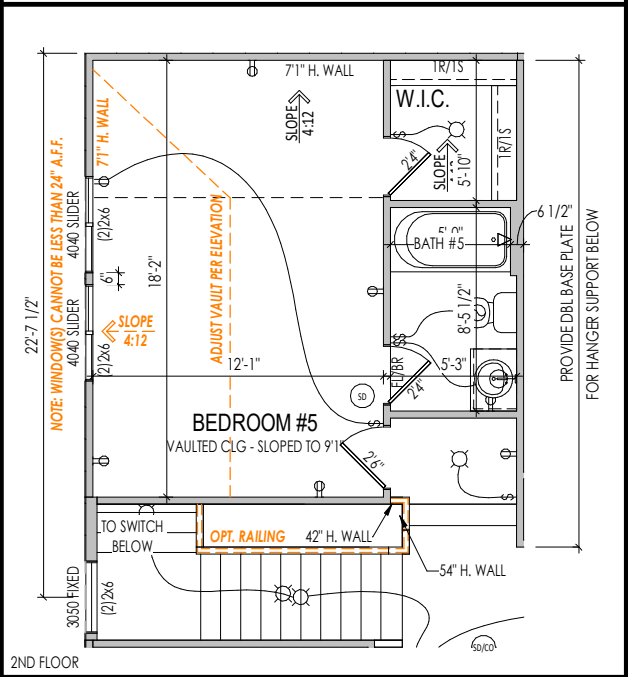
7. OPT. BATH#5



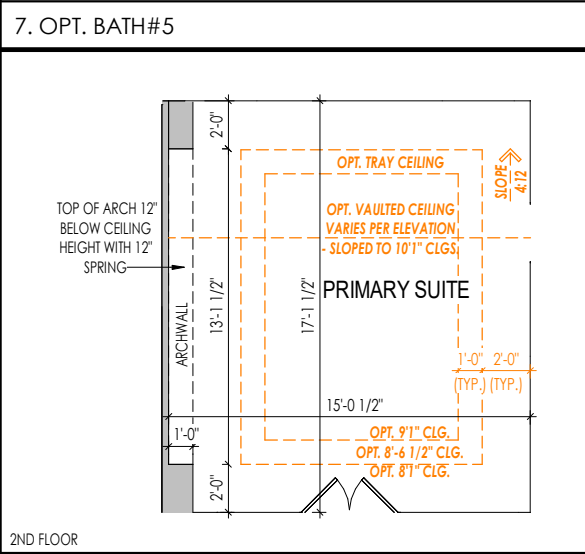
8. OPT. BONUS ROOM



8/9. OPT. BONUS ROOM/BEDROOM #5



9. OPT. BEDROOM #5



10. OPT. OWNER'S BEDWALL ARCH

## OPTION LIST

OPTION	SHEET#
1. OPT. BEDROOM #6 WITH PRIVATE BATH	8.01
2. OPT. BEDROOM #6 (WITH BATH #7)	8.01
3. OPT. FAMILY FOYER	8.01
4. OPT. SUPER SHOWER	8.01
5. OPT. GARDEN BATH	8.01
6. OPT. CORNER TUB	8.01
7. OPT. BATH #5	8.01
8. OPT. BONUS ROOM	8.01
9. OPT. BEDROOM #5	8.01
10. OPT. OWNER'S BEDWALL ARCH	8.01
11. OPT. OUTDOOR LIVING	8.02
12. OPT. SUNROOM	8.02
13. OPT. SUNROOM W/ OWNER'S EXTENSION	8.02
14. OPT. OUTDOOR LIVING W/ SUNROOM	8.03
15. OPT. ODL W/ SUNROOM + OWNER'S EXT.	8.03
16. OPT. RECREATION ROOM	8.04
17. OPT. FULL BATH	8.04
18. OPT. HALF BATH	8.04
19. OPT. ENTERTAINMENT ENCLAVE	8.04
20. OPT. BEDROOM #7 WITH FULL BATH	8.04
21. OPT. BATHROOM #4	8.04
22. OPT. JACK & JILL BATHROOM	8.04
23. OPT. 2-CAR SIDE GARAGE ENTRY	8.05-8.06
24. OPT. 3-CAR SIDE GARAGE ENTRY	8.05-8.06
25. OPT. 3-CAR FRONT GARAGE ENTRY	8.07-8.09
26. OPT. 4' GARAGE SIDE EXTENSION	8.10-8.11
27. OPT. CARRIAGE GARAGE	8.12
28. OPT. FREESTANDING TUB	8.12

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number:  
XXXX-XXXX-XX

Drawing Date:  
XX.XX.XXXX

Coord Name:  
COORD\_NAME

Coord Phone:  
COORD\_PHONE

House Name:

Drawing Scale: 1/8" = 1'0"

Contract Drawn By:  
XXX

the BUCHANAN

Born on Date: 08/27/2010 | CDs Drawn By: SSP

Series:  
SERIES\_NM

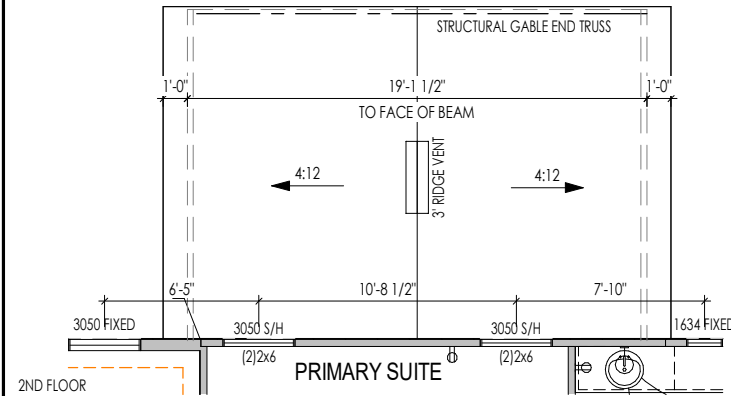
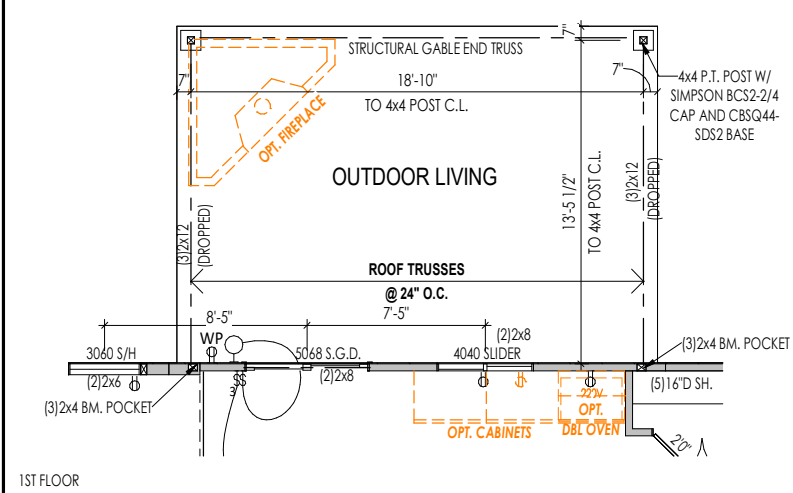
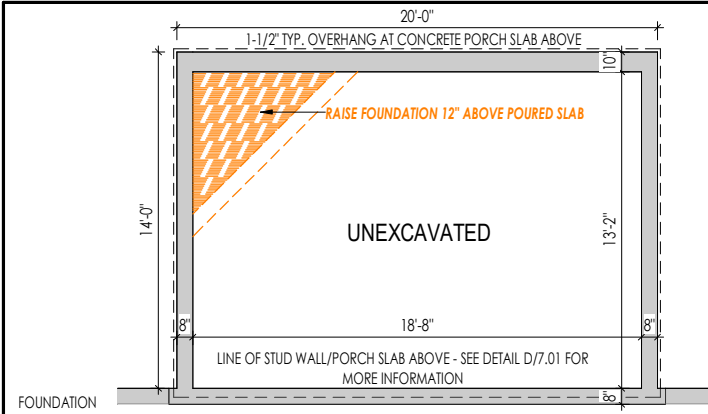
Plan No.:  
PLAN\_NM

Drees HOMES SM

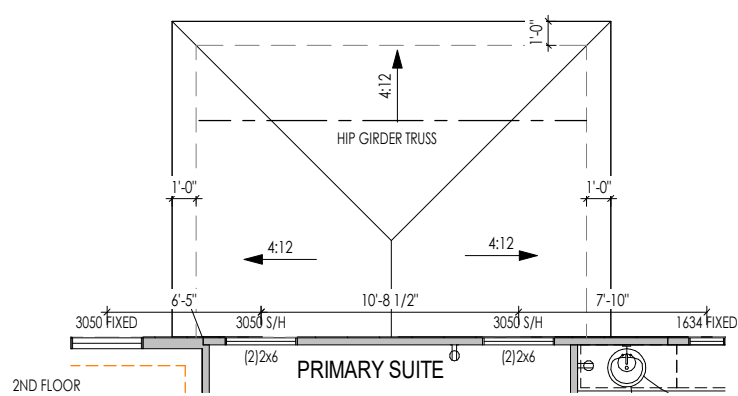
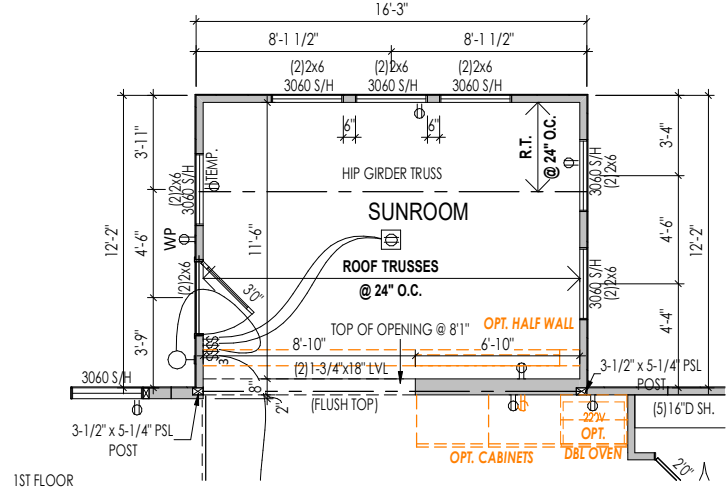
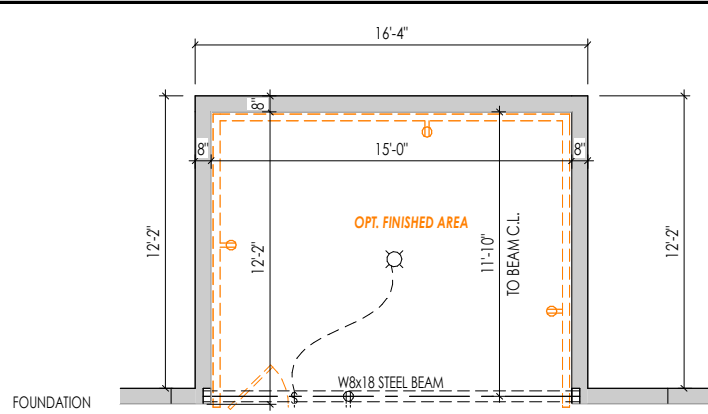
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Sheet Information

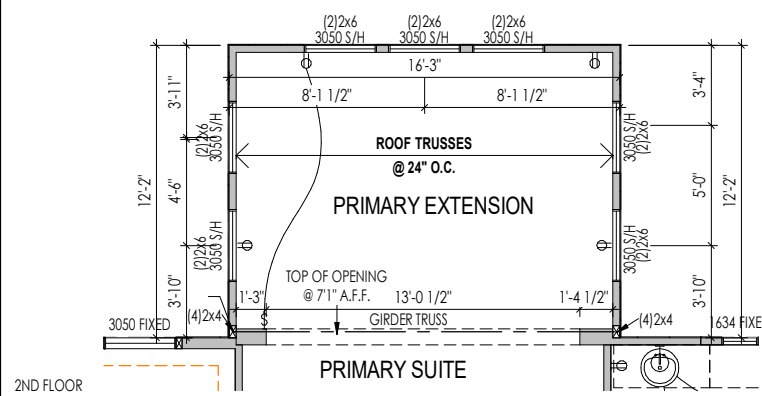
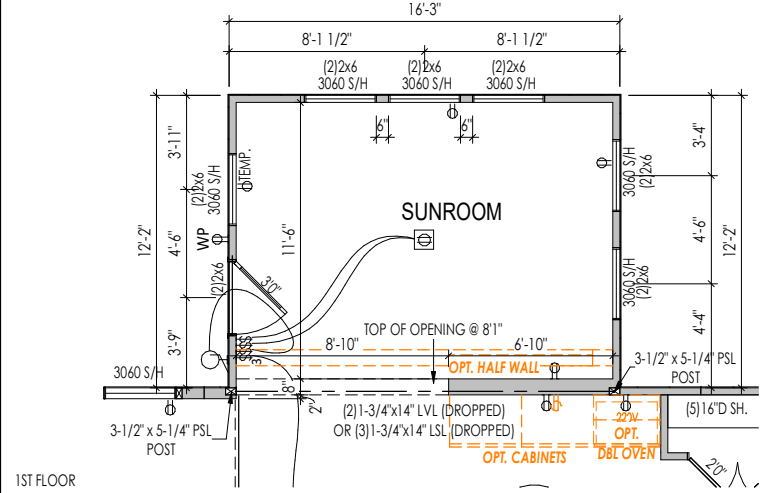
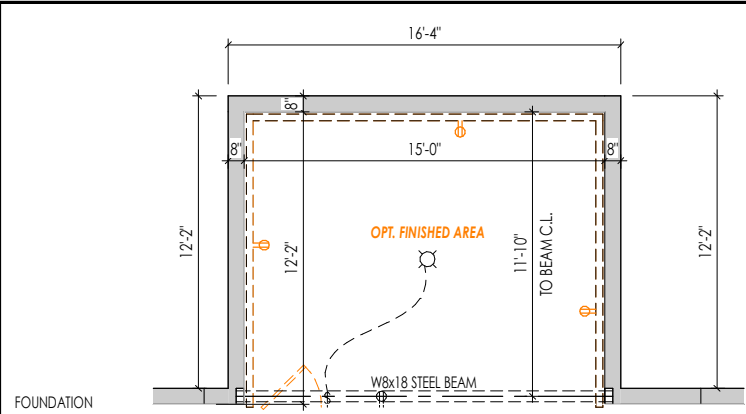
8.01  
Option Sheet



11. OPT. OUTDOOR LIVING



12. OPT. SUNROOM



13. OPT. SUNROOM W/ PRIMARY EXTENSION

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>XXX</b>
Born on Date: <b>08/27/2010</b>			CDs Drawn By: <b>SSP</b>

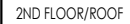
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Sheet Information

**8.02**  
Option Sheet




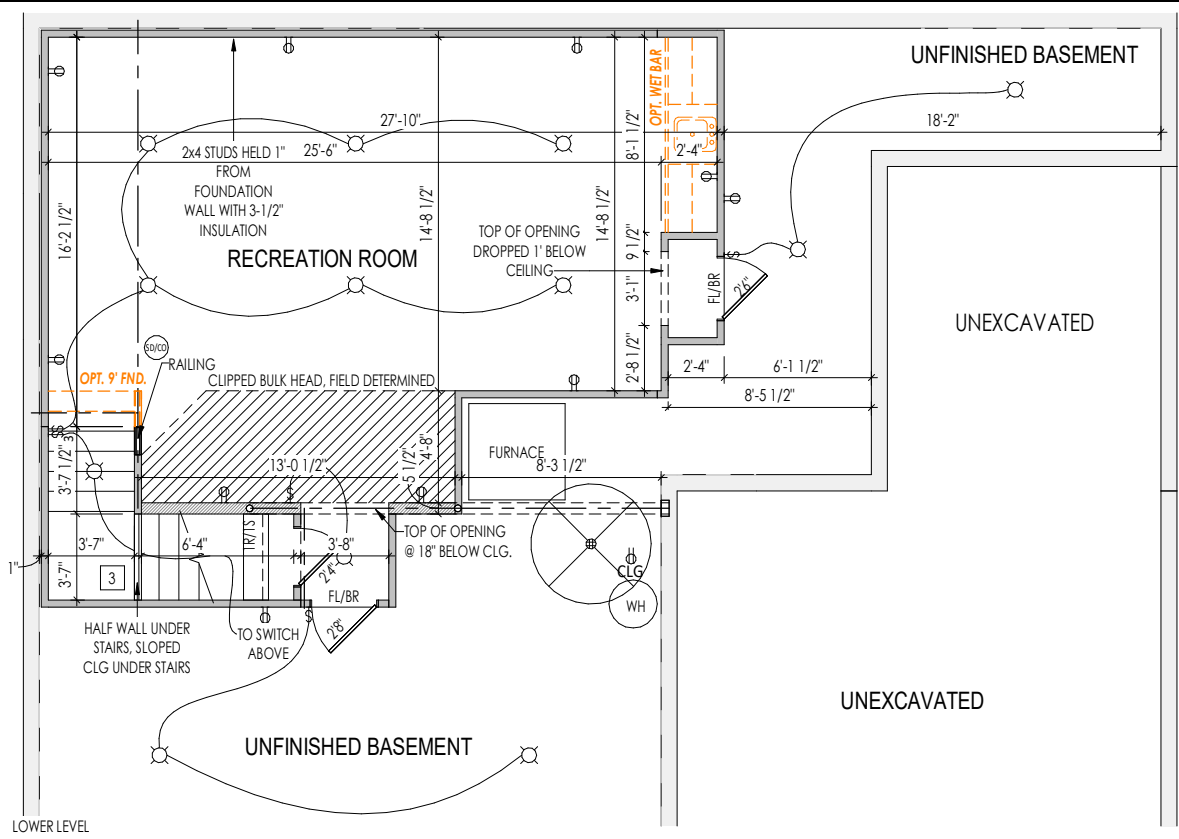


14. OPT. OUTDOOR LIVING W/ SUNROOM

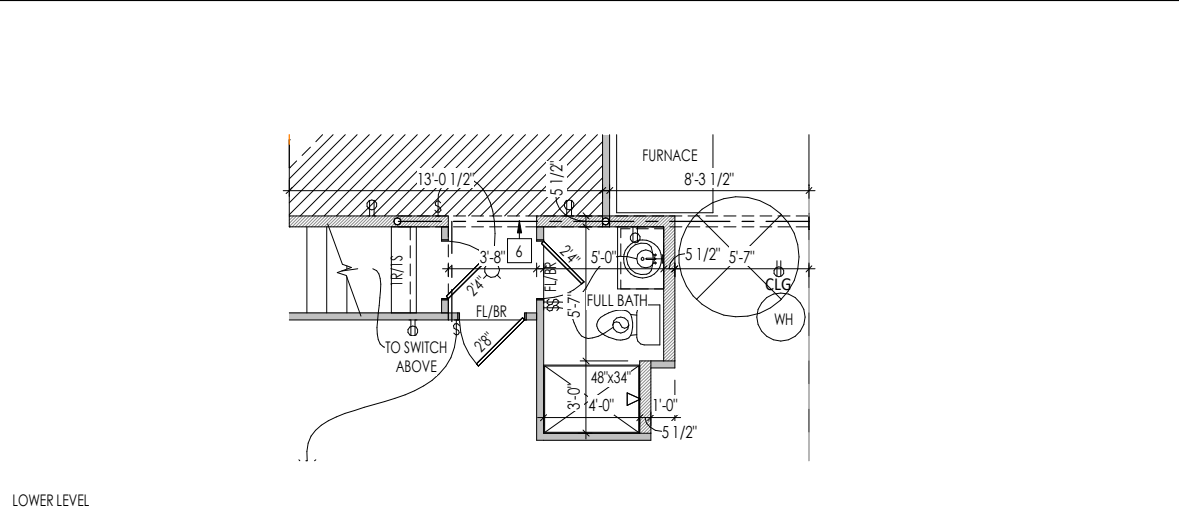


15. OPT. OUTDOOR LIVING W/ SUNROOM + PRIMARY EXT.

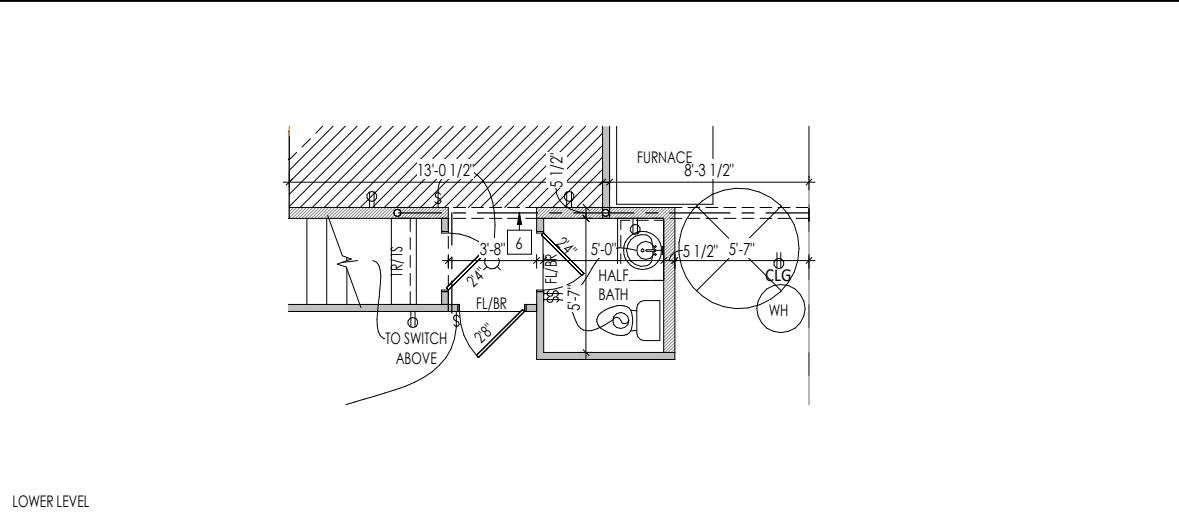
RESIDENCE FOR:			
<b>CUSTOMER NAME</b>			
<b>JOB ADDRESS</b>			
<b>SUBDIVISION NAME</b>			
Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: <b>XXX</b>
<b>the BUCHANAN</b>		Series:	<b>SERIES_NM</b>
		Plan No.:	<b>PLAN_NM</b>
Born on Date:	08/27/2010	CDs Drawn By:	SSP
 <b>Drees</b> <b>HOMES</b> <sup>SM</sup>		Sheet Information	<b>8.03</b> Option Sheet
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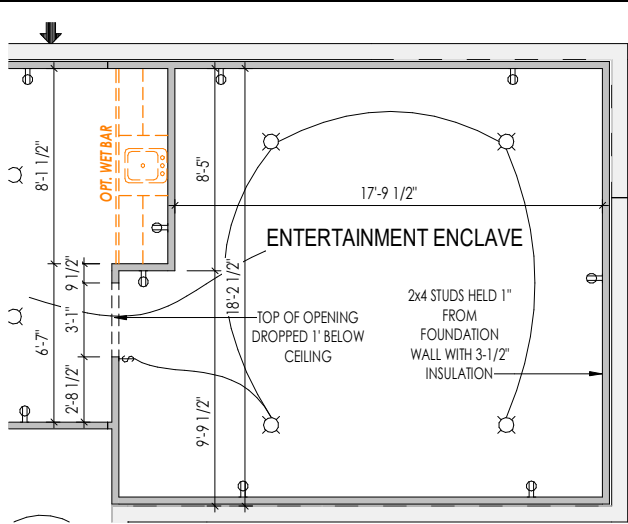
16. OPT. RECREATION ROOM



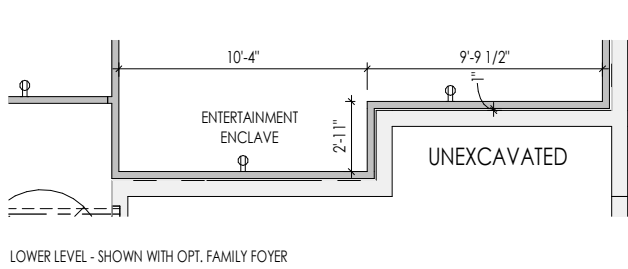
17. OPT. FULL BATH



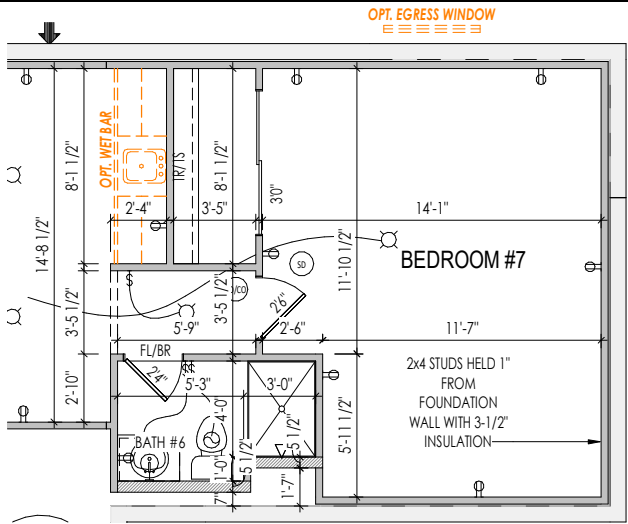
18. OPT. HALF BATH



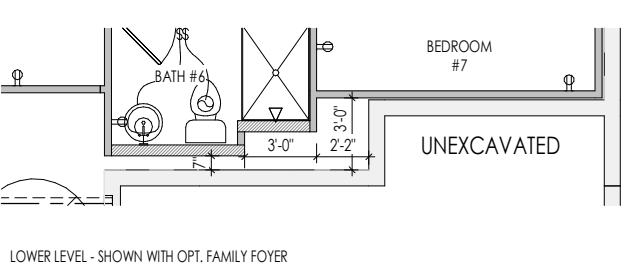
LOWER LEVEL - SHOWN WITH OPT. HOME OFFICE & OPT. BEDROOM #6



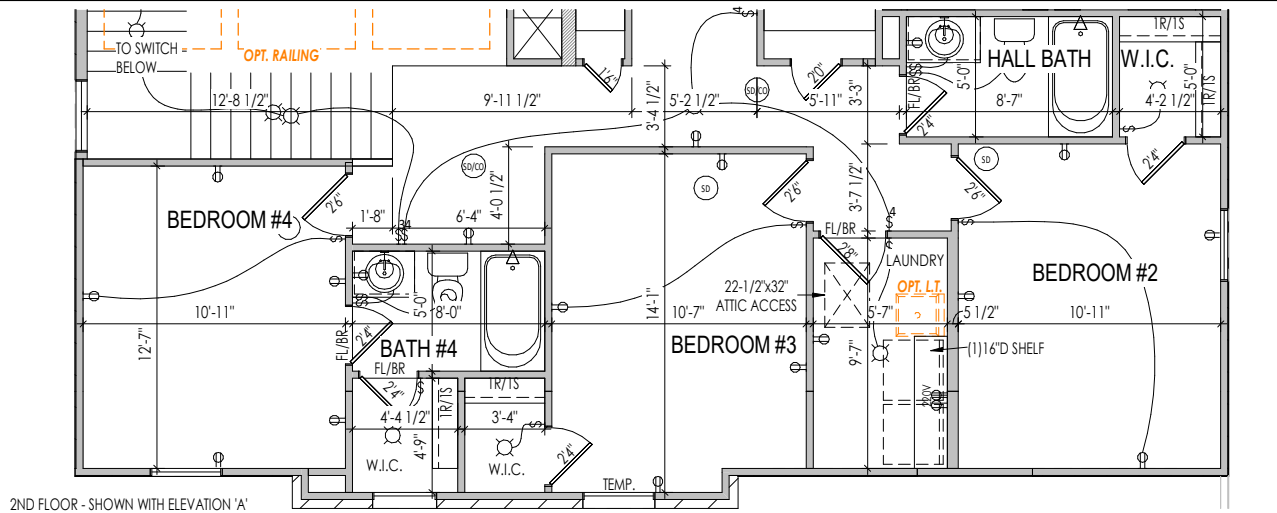
19. OPT. ENTERTAINMENT ENCLAVE



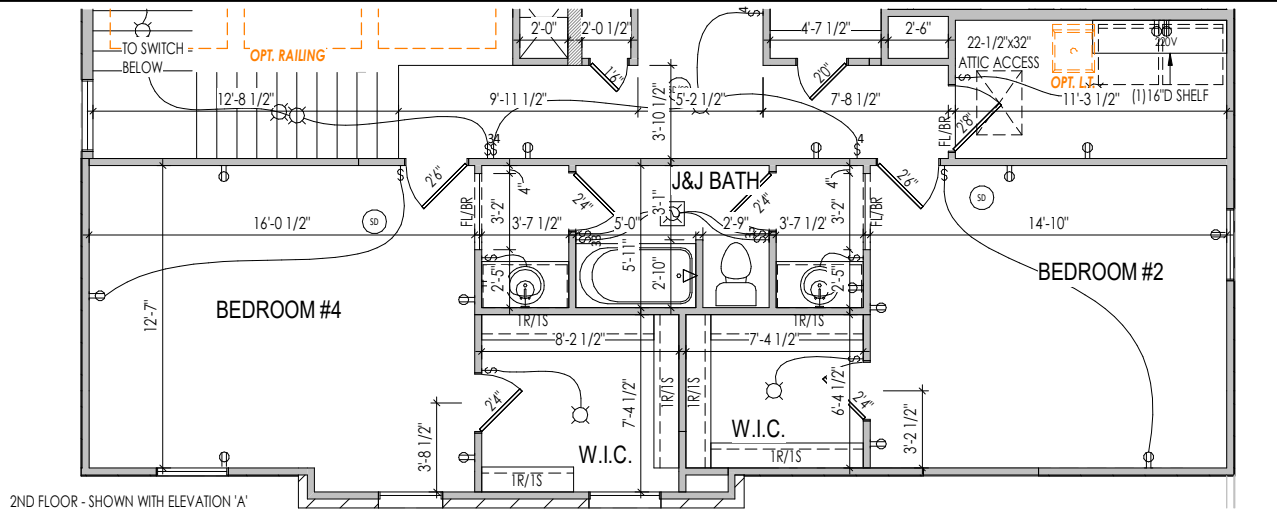
LOWER LEVEL - SHOWN WITH OPT. HOME OFFICE & BEDROOM #7



20. OPT. BEDROOM #7 W/ FULL BATH



21. OPT. BATHROOM #4



22. OPT. JACK & JILL BATHROOM

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

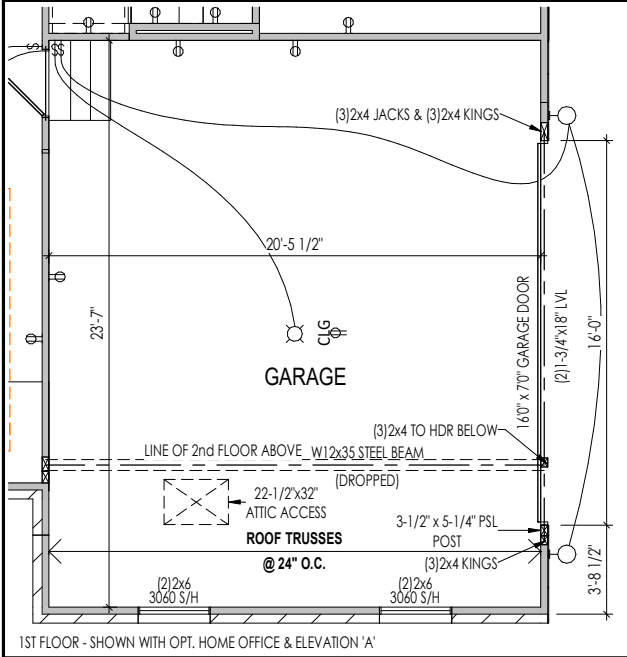
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House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>XXX</b>
Born on Date: <b>08/27/2010</b>			CDs Drawn By: <b>SSP</b>

**Drees**  
HOMES<sup>SM</sup>

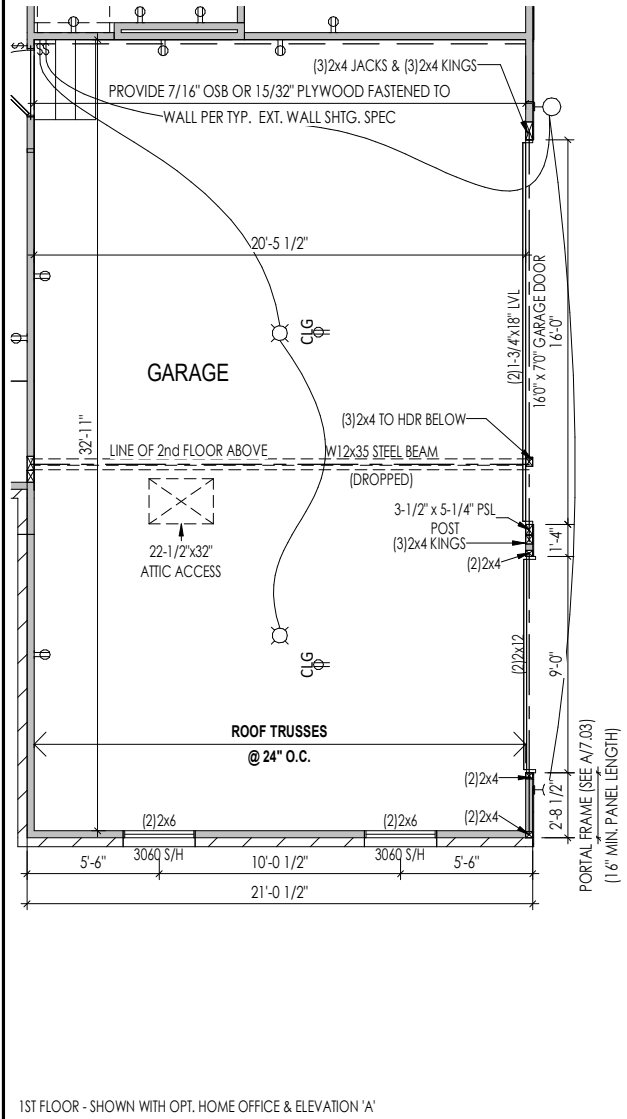
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Sheet Information

**8.04**  
Option Sheet



23. OPT. 2-CAR SIDE GARAGE ENTRY



24. OPT. 3-CAR SIDE GARAGE ENTRY



FRONT ELEVATION 'A' - INDY



FRONT ELEVATION 'B' - CIN/NKY



FRONT ELEVATION 'C' - CIN/NKY



FRONT ELEVATION 'D' - CIN/NKY



FRONT ELEVATION 'G' - CIN/NKY, CLEV



FRONT ELEVATION 'H' - CIN/NKY



FRONT ELEVATION 'L' - INDY



FRONT ELEVATION 'M' - CLEV (SHOWN W/ 2-CAR SIDE ENTRY)



FRONT ELEVATION 'M' - CLEV (SHOWN W/ 3-CAR SIDE ENTRY)

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

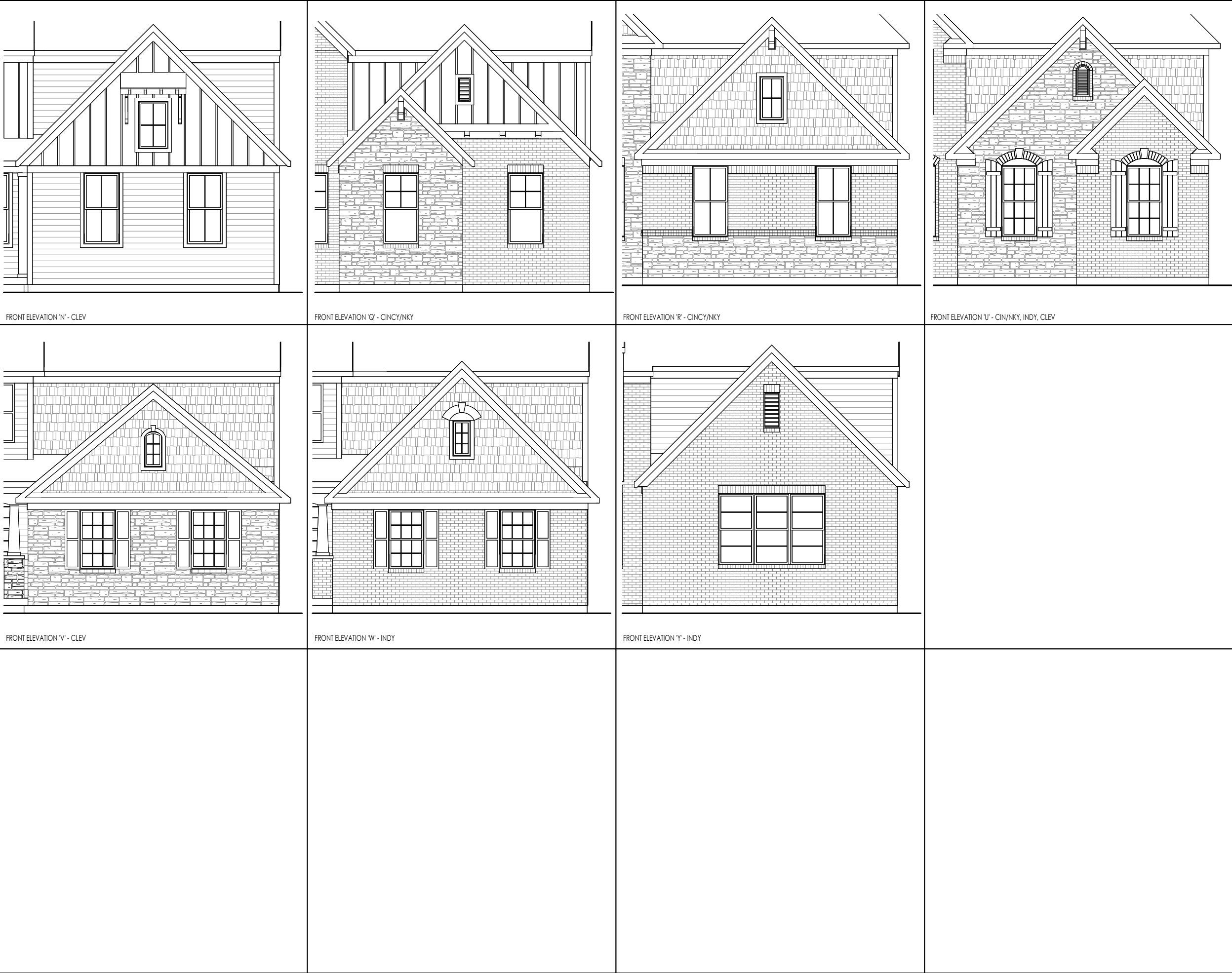
Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
			Series: <b>SERIES_NM</b>
Born on Date: 08/27/2010			Plan No.: <b>PLAN_NM</b>

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Sheet Information

**8.05**  
Option Sheet



FRONT ELEVATION 'N' - CLEV

FRONT ELEVATION 'Q' - CINC/NKY

FRONT ELEVATION 'R' - CINC/NKY


FRONT ELEVATION 'U' - CIN/NKY, INDY, CLEV

FRONT ELEVATION 'V' - CLEV

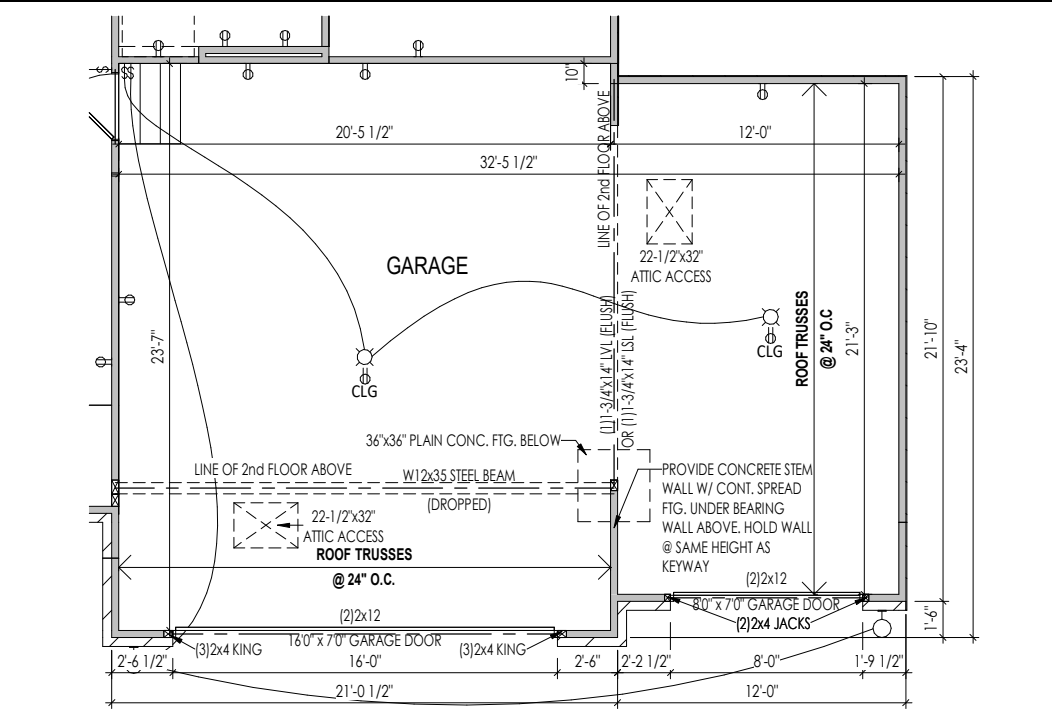
FRONT ELEVATION 'W' - INDY

FRONT ELEVATION 'Y' - INDY

23/24. OPT. SIDE GARAGE ENTRY

RESIDENCE FOR: <b>CUSTOMER NAME</b> JOB ADDRESS SUBDIVISION NAME			
Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
the <b>BUCHANAN</b>			Series: <b>SERIES_NM</b>
Born on Date: 08/27/2010			Plan No.: <b>PLAN_NM</b>
<div><div>Copyright © 2010 ( 2019 ) The Drees Company. All Rights Reserved. 211 Grandview Drive, Fort Mitchell, KY 41017 Phone: [859] 578-4200</div></div>			<div>Sheet Information</div> <div><b>8.06</b> Option Sheet</div>





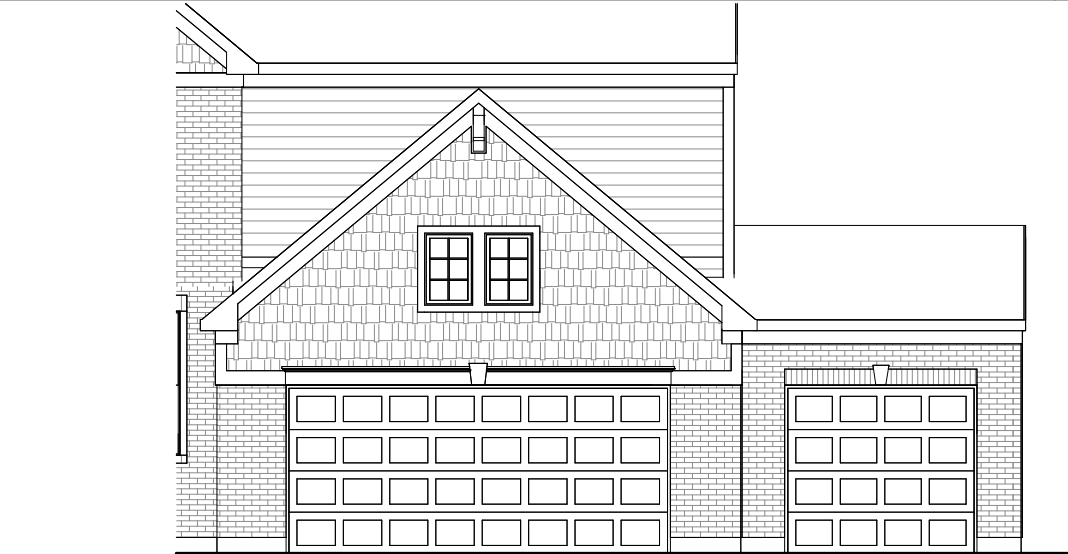
1ST FLOOR - SHOWN WITH OPT. HOME OFFICE & ELEVATION 'A'



FRONT ELEVATION 'A' - INDY



FRONT ELEVATION 'B' - CIN/NKY



FRONT ELEVATION 'C' - CIN/NKY



FRONT ELEVATION 'D' - CIN/NKY




FRONT ELEVATION 'G' - CIN/NKY, CLEV



FRONT ELEVATION 'H' - CIN/NKY

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

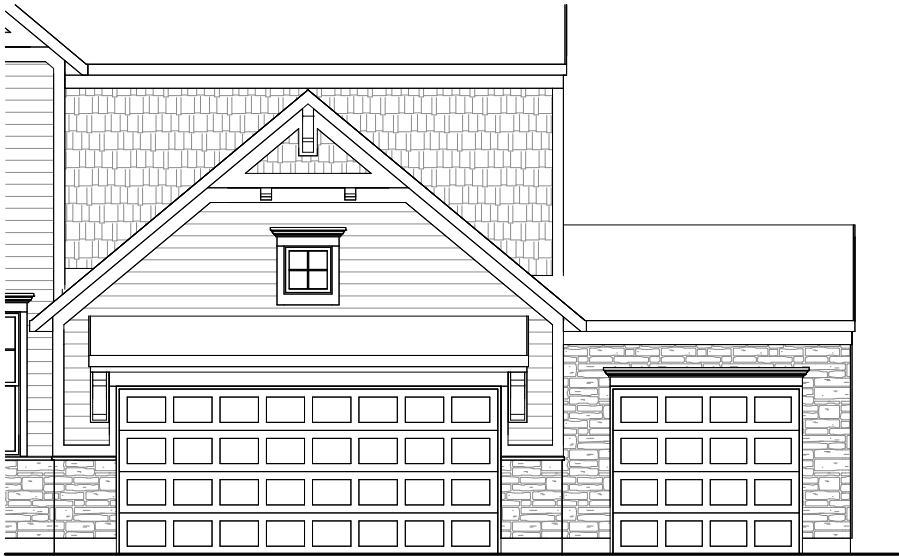
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House Name:			Drawing Scale: 1/8" = 1'0"
Contract Drawn By: <b>XXX</b>			Series: <b>SERIES_NM</b>
Born on Date: 08/27/2010			CDs Drawn By: SSP



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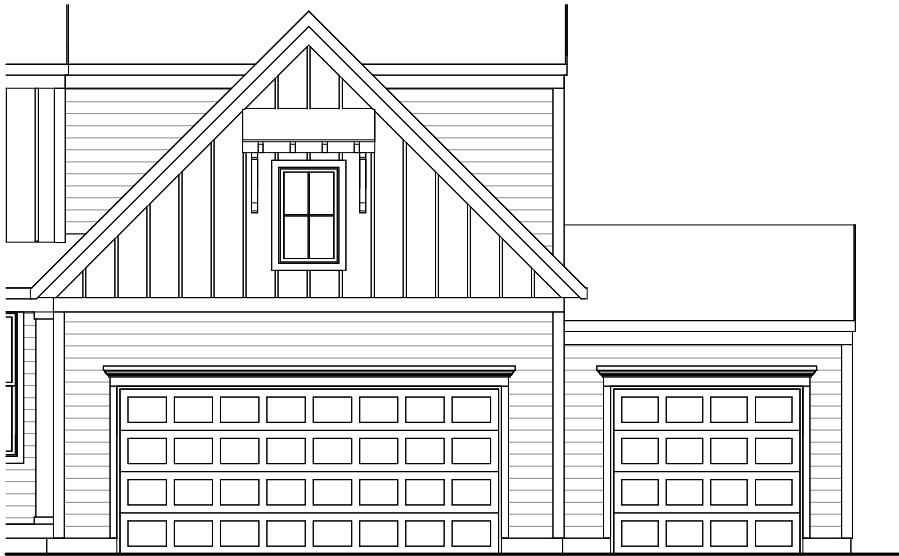
**8.07**  
Option Sheet



FRONT ELEVATION 'L' - INDY



FRONT ELEVATION 'M' - CLEV



FRONT ELEVATION 'N' - CLEV



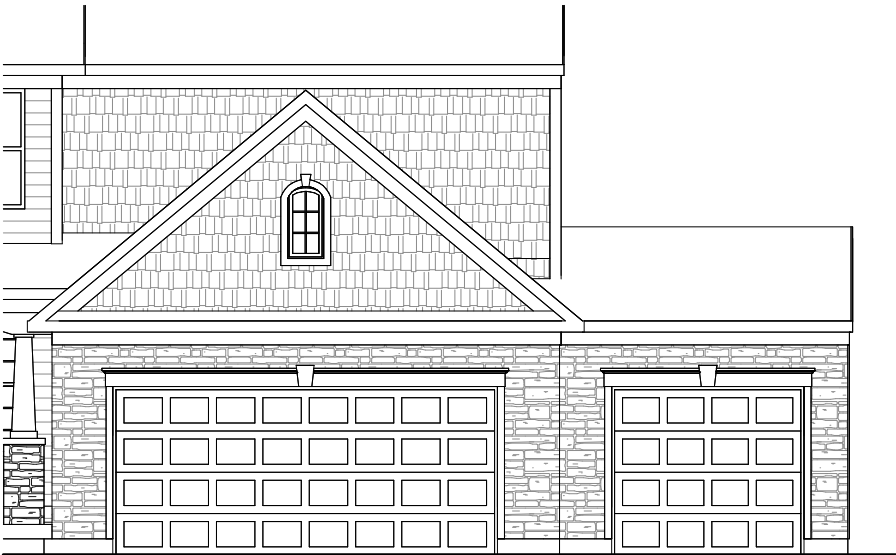
FRONT ELEVATION 'Q' - CIN/NKY



FRONT ELEVATION 'R' - CIN/NKY




FRONT ELEVATION 'U' - CIN/NKY, INDY, CLEV



FRONT ELEVATION 'V' - CLEV

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

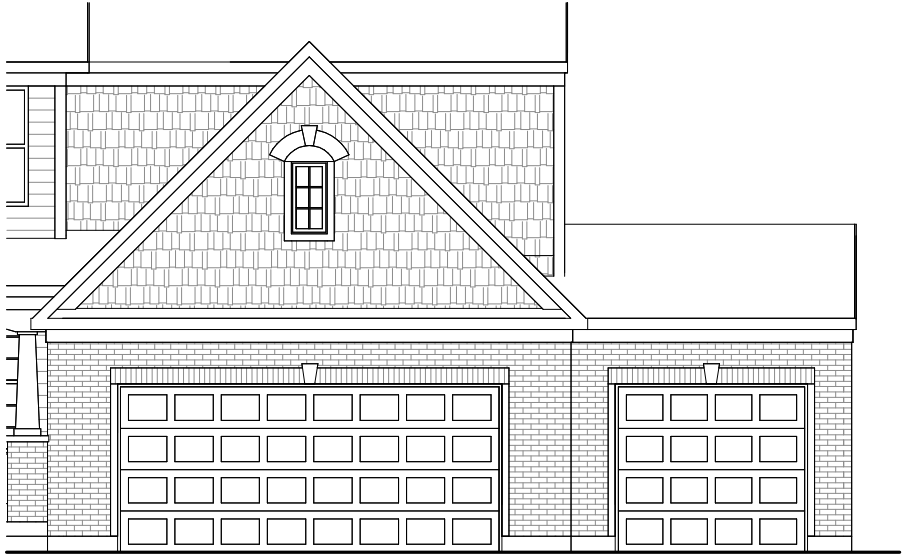
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House Name: <b>the BUCHANAN</b>			Contract Drawn By: <b>XXX</b>
Born on Date: 08/27/2010			CDs Drawn By: SSP



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Sheet Information

**8.08**  
Option Sheet



FRONT ELEVATION 'W' - INDY




FRONT ELEVATION 'Y' - INDY

25. OPT. 3-CAR FRONT GARAGE ENTRY

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

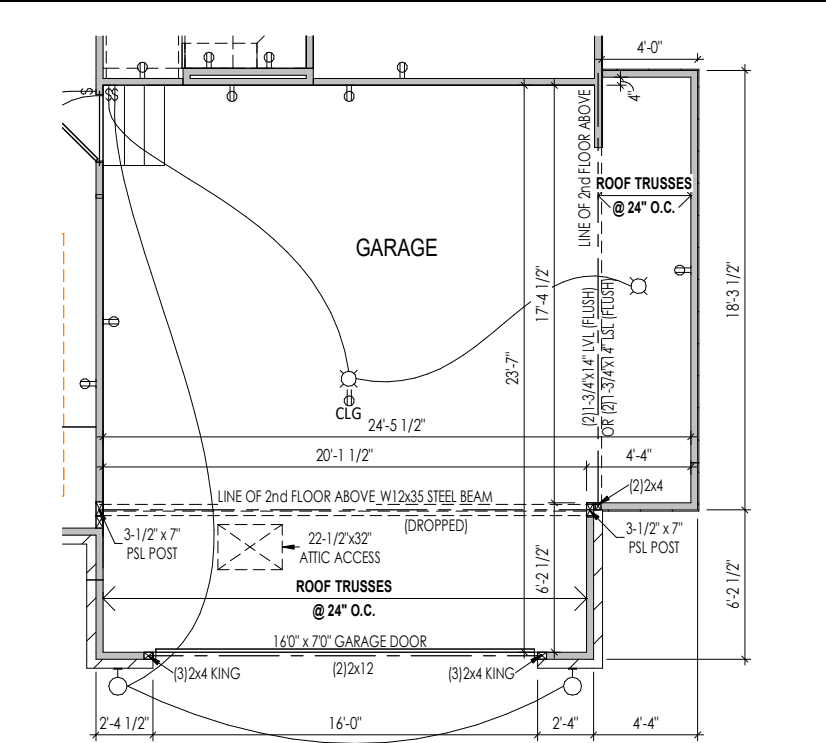
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House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
Born on Date: 08/27/2010	CDs Drawn By:	SSP	Plan No.: PLAN_NM



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Sheet Information

8.09  
Option Sheet



1ST FLOOR - SHOWN WITH OPT. HOME OFFICE & ELEVATION 'A'



FRONT ELEVATION 'A' - INDY



FRONT ELEVATION 'B' - CIN/NKY



FRONT ELEVATION 'C' - CIN/NKY



FRONT ELEVATION 'D' - CIN/NKY



FRONT ELEVATION 'G' - CIN/NKY, CLEV



FRONT ELEVATION 'H' - CIN/NKY



FRONT ELEVATION 'I' - INDY



FRONT ELEVATION 'M' - CLEV



FRONT ELEVATION 'N' - CLEV

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
Series: <b>SERIES_NM</b>			Plan No.: <b>PLAN_NM</b>

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Sheet Information

**8.10**  
Option Sheet





FRONT ELEVATION 'Q' - CIN/NKY



FRONT ELEVATION 'R' - CIN/NKY



FRONT ELEVATION 'U' - CIN/NKY, INY, CLEV



FRONT ELEVATION 'W' - INDY




FRONT ELEVATION 'V' - CLEV



FRONT ELEVATION 'Y' - IND

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

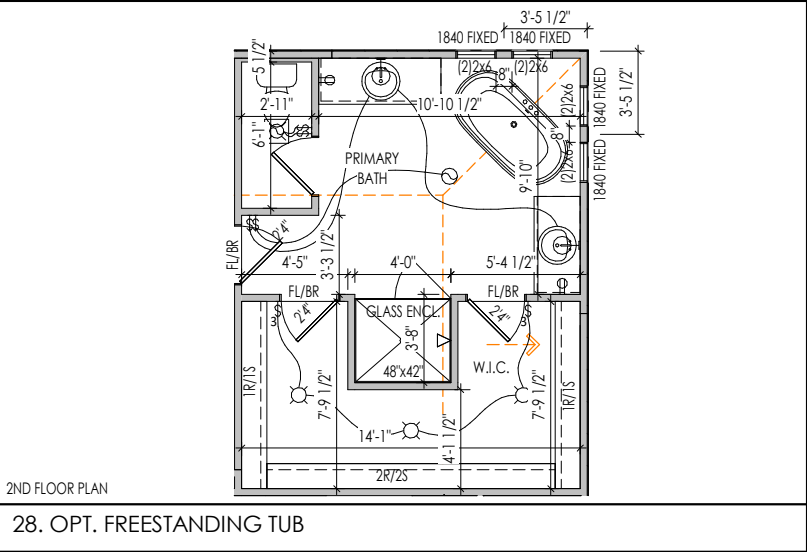
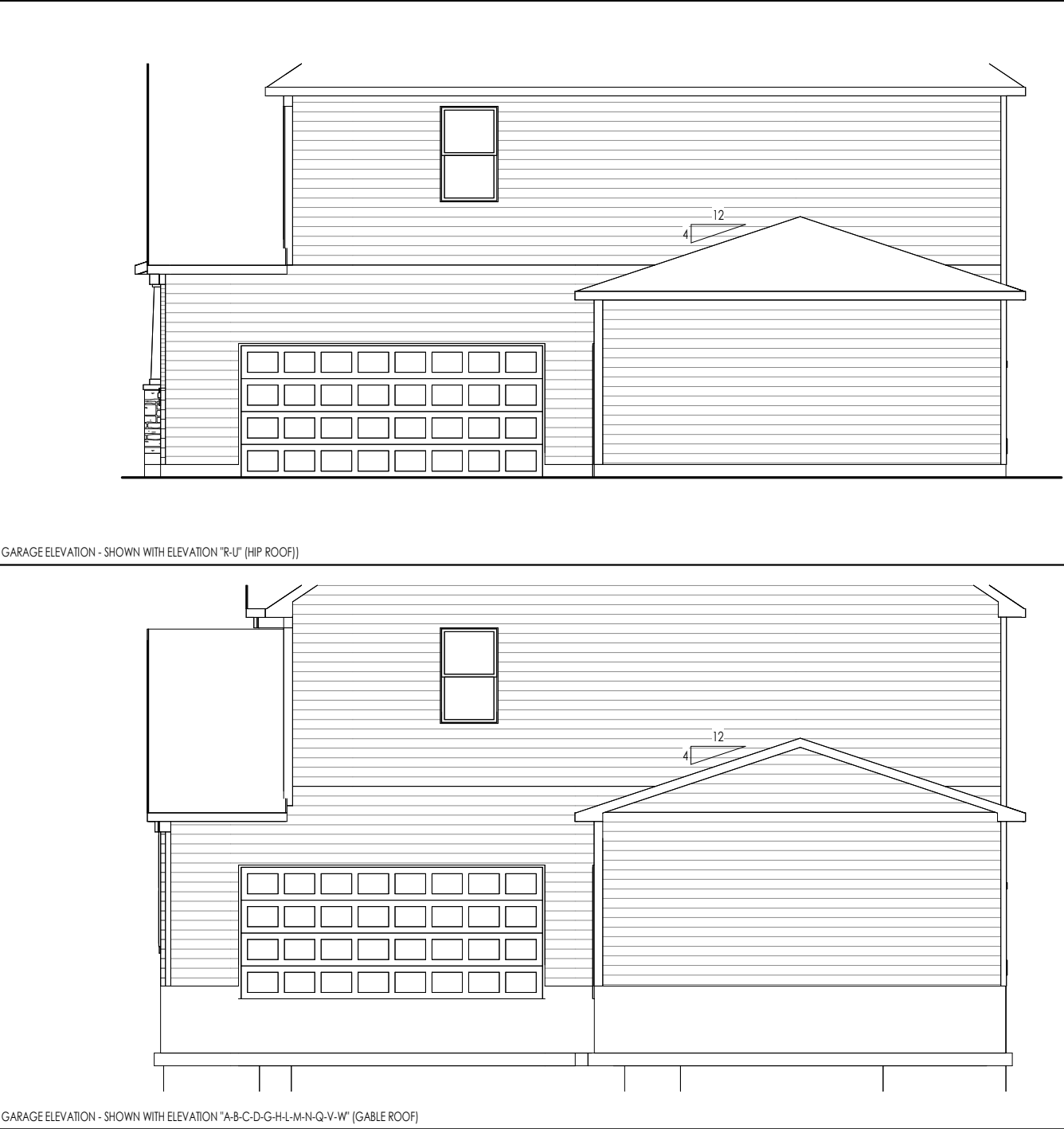
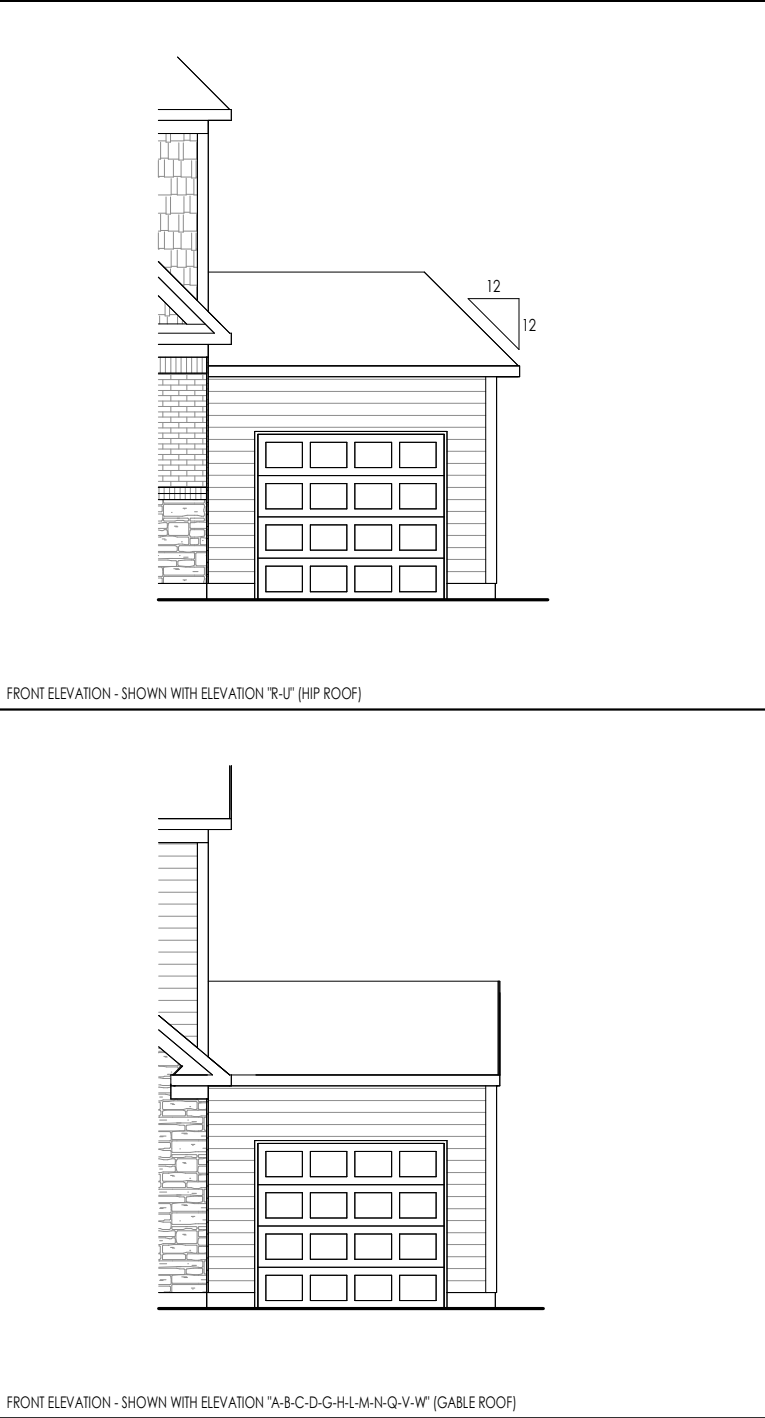
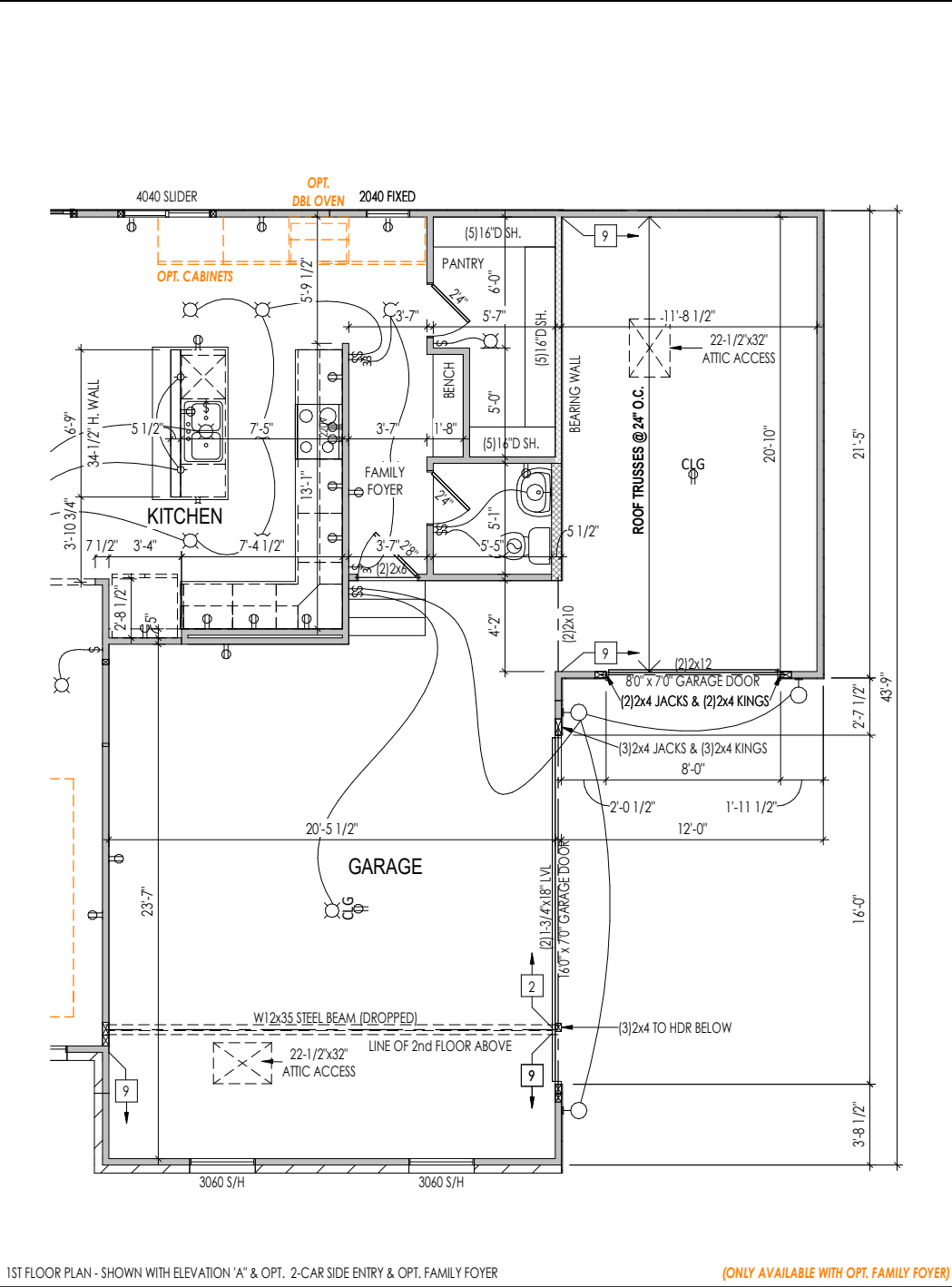
Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
<b>the BUCHANAN</b>			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>
Born on Date: 08/27/2010	CDs Drawn By:	SSP	



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Sheet Information

**8.11**  
Option Sheet



RESIDENCE FOR:

CUSTOMER NAME

JOB ADDRESS

SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the BUCHANAN			Series: SERIES_NM
Born on Date: 08/27/2010			CDs Drawn By: SSP PLAN_NM

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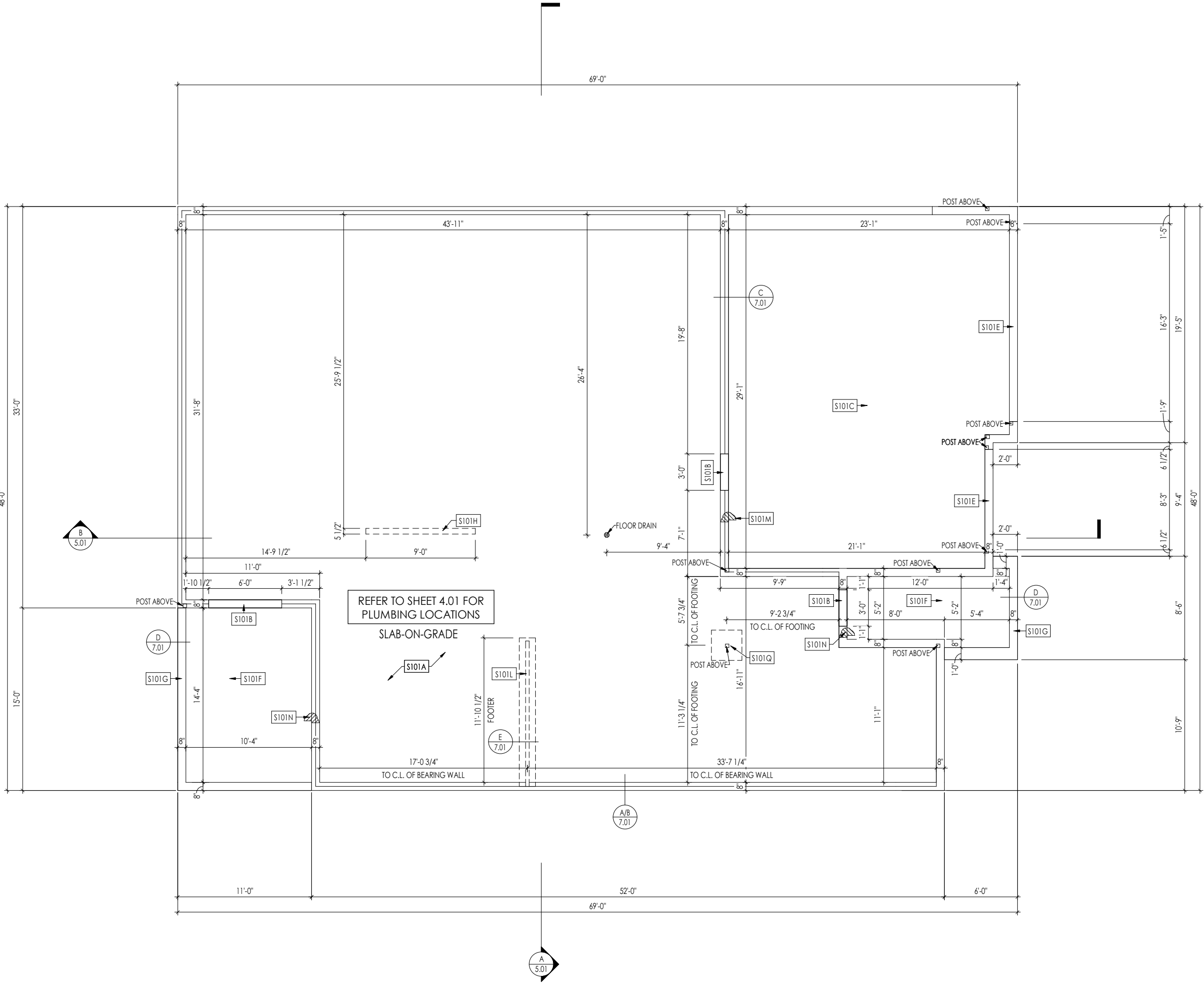
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Phone: [859] 578-4200

Sheet Information

8.12

Option Sheet



General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

2. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION

Key Notes:

S101A4" CONCRETE W/ 6 MIL. POLYETHYLENE VAPOR BARRIER W/ 4" PEA GRAVEL

S101BNO ANCHOR BOLTS OR STRAPS IN AREA OF DOOR

S101CGARAGE SLAB TO BE HELD 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 4" TOWARDS GARAGE DOOR

S101ECONTINUOUS FOOTING AND FOUNDATION; DROP TO BE FIELD DETERMINED

S101FPORCH SLAB TO BE HELD 3" BELOW TOP OF FOUNDATION AND IS TO SLOPE 3" TOWARD EXTERIOR

S101GOUTLINE OF CONCRETE PORCH/PATIO SLAB - (1) COURSE BLOCK (FIELD DETERMINE)

S101HINSTALL PVC PIPE IN SLAB FOR CONDUIT LINE TO PROVIDE ELECTRIC TO KITCHEN ISLAND

S101LDROP SLAB 4" @ GARAGE

S101NDROP SLAB 3" @ PORCH

S101QPOST ABOVE ON 30"x30"x12" PLAIN CONCRETE FOOTING UNDER POST ABOVE

Space for Architect Seal

RESIDENCE FOR:

CUSTOMER NAME

JOB ADDRESS

SUBDIVISION NAME

Job Number:

XXXX-XXXX-XX

Drawing Date:

XX.XX.XXXX

Coord Name:

COORD\_NAME

Coord Phone:

COORD\_PHONE

House Name:

the PARKETTE

Drawing Scale: 1/8" = 1'-0"

Contract Drawn By:

XXX

Series:

SERIES\_NM

Plan No.:

PLAN\_NM

Born on Date:

08/30/19

CDs Drawn By:

CLM

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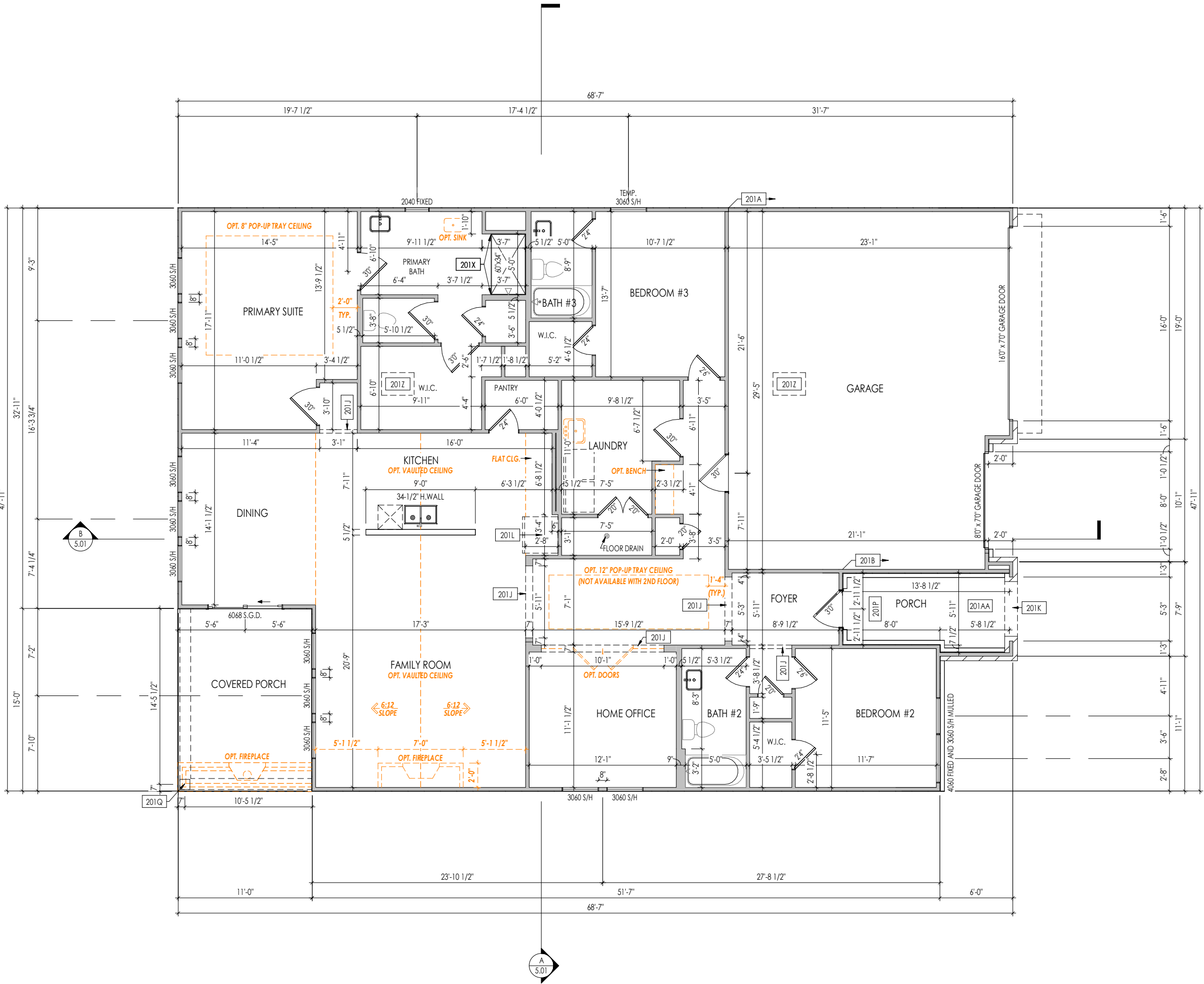
Sheet Information

1.01S

Foundation Plan

Elevation "F"

1062023 01811.MAI



General Notes:	
1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.	
2. ALL FIRST FLOOR CEILINGS TO BE 9'-1" ABOVE SUBFLOOR UNLESS OTHERWISE NOTED.	
3. FRAME TOP OF ALL WINDOWS AT 1'-0-1/4" BELOW TOP OF PLATE UNLESS OTHERWISE NOTED.	
4. ALL DROPPED, INTERIOR HEADERS (FALSE AND BEARING) ARE DROPPED 1'-0" FROM CEILING.	
5. REFER TO SELECTION SHEETS FOR FLOORING MATERIAL PRIOR TO CONSTRUCTING STAIRS TO DETERMINE RISER HEIGHTS.	
6. REFER TO SHEET 2.01S FOR STRUCTURAL INFORMATION.	
7. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION	
Key Notes:	
201A	FRAME GARAGE WALL FULL HEIGHT STUDS AT 9'-1" WITH 2x4 STUDS AT 16" O.C. FROM TOP OF FOUNDATION WALL (SLAB); IF ELECTRICAL PANEL LOCATED IN GARAGE, PAD OUT WALL FOR ELECTRICAL PANEL
201AA	SEE DETAIL D/7.01 FOR PORCH FRAMING DETAIL
201B	FRAME GARAGE WALL FULL HEIGHT STUDS AT 10'-5 1/4" WITH 2x4 STUDS AT 16" O.C. FROM TOP OF FOUNDATION WALL (BSMT); IF ELECTRICAL PANEL LOCATED IN GARAGE, PAD OUT WALL FOR ELECTRICAL PANEL
201J	FRAME TOP OF OPENING AT HEIGHT SPECIFIED IN GENERAL NOTES ON THIS SHEET
201K	FRAME TOP OF OPENING AT 7'-7" A.F.F.
201L	FRAME TOP OF OPENING AT REFRIGERATOR AT 6'-8" A.F.F.
201P	CARPENTER TO DROP ELECTRICAL WIRE THROUGH PORCH CEILING FOR LIGHTS
201Q	10"x10" BOX COLUMN - SEE DETAIL B/7.02
201X	PROVIDE BLOCKING FOR SHOWER DOOR/ENCLOSURE
201Z	22-1/2" x 32" ATTIC ACCESS

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the PARKETTE			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date:	08/30/19	CDs Drawn By:	CLM



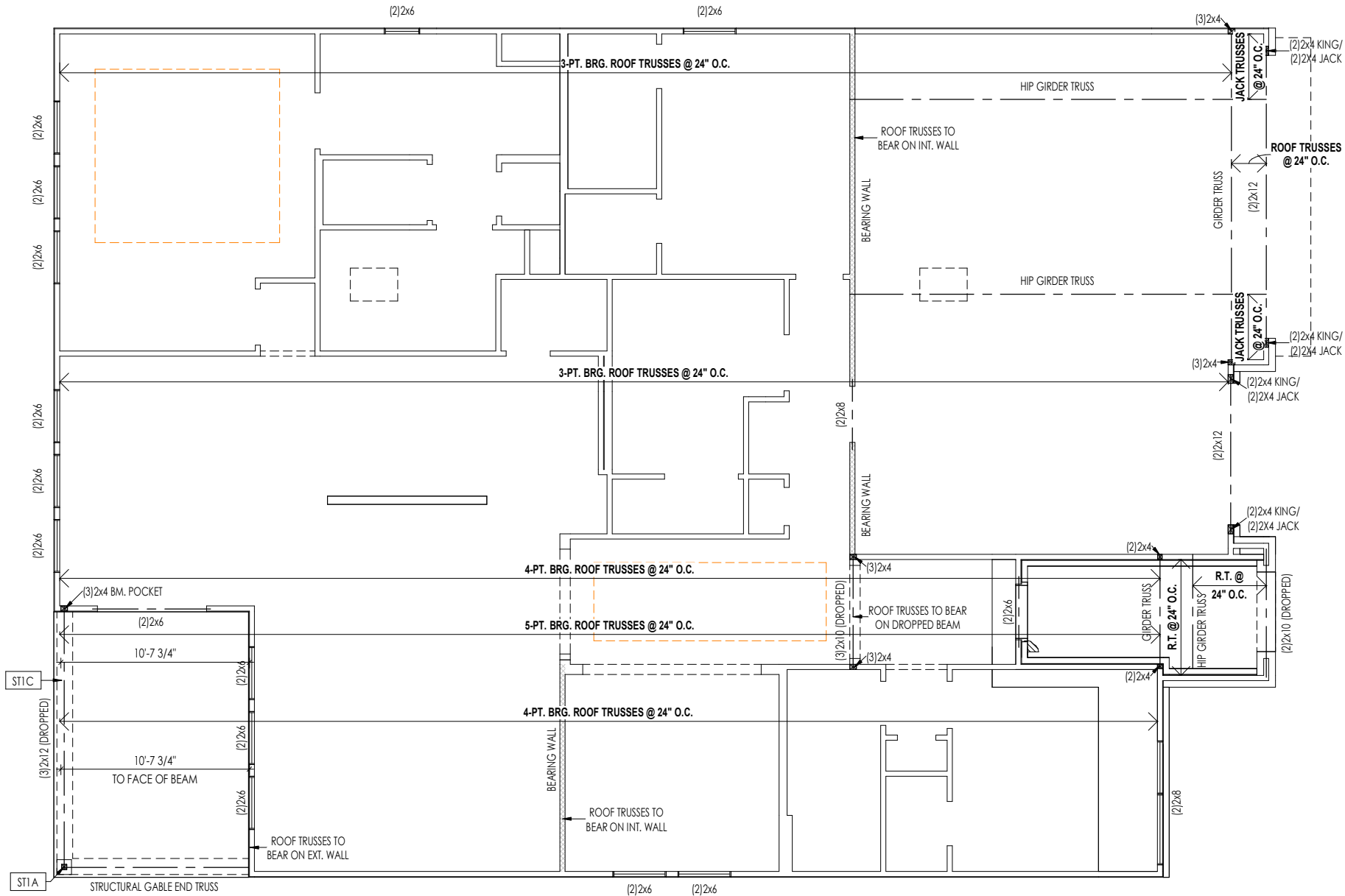
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Sheet Information

2.01F

First Floor Framing Plan  
Elevation "F"

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General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION

Key Notes:

ST1A	4x4 P.T. WOOD POST WITH SIMPSON ABW44Z POST BASE AND SIMPSON BCS2-2/4 CAP-SLAB
ST1C	FRAME TOP OF BEAM AT 9'-1" ABOVE INTERIOR FIRST FLOOR SUBFLOOR/SLAB

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
the PARKETTE			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>

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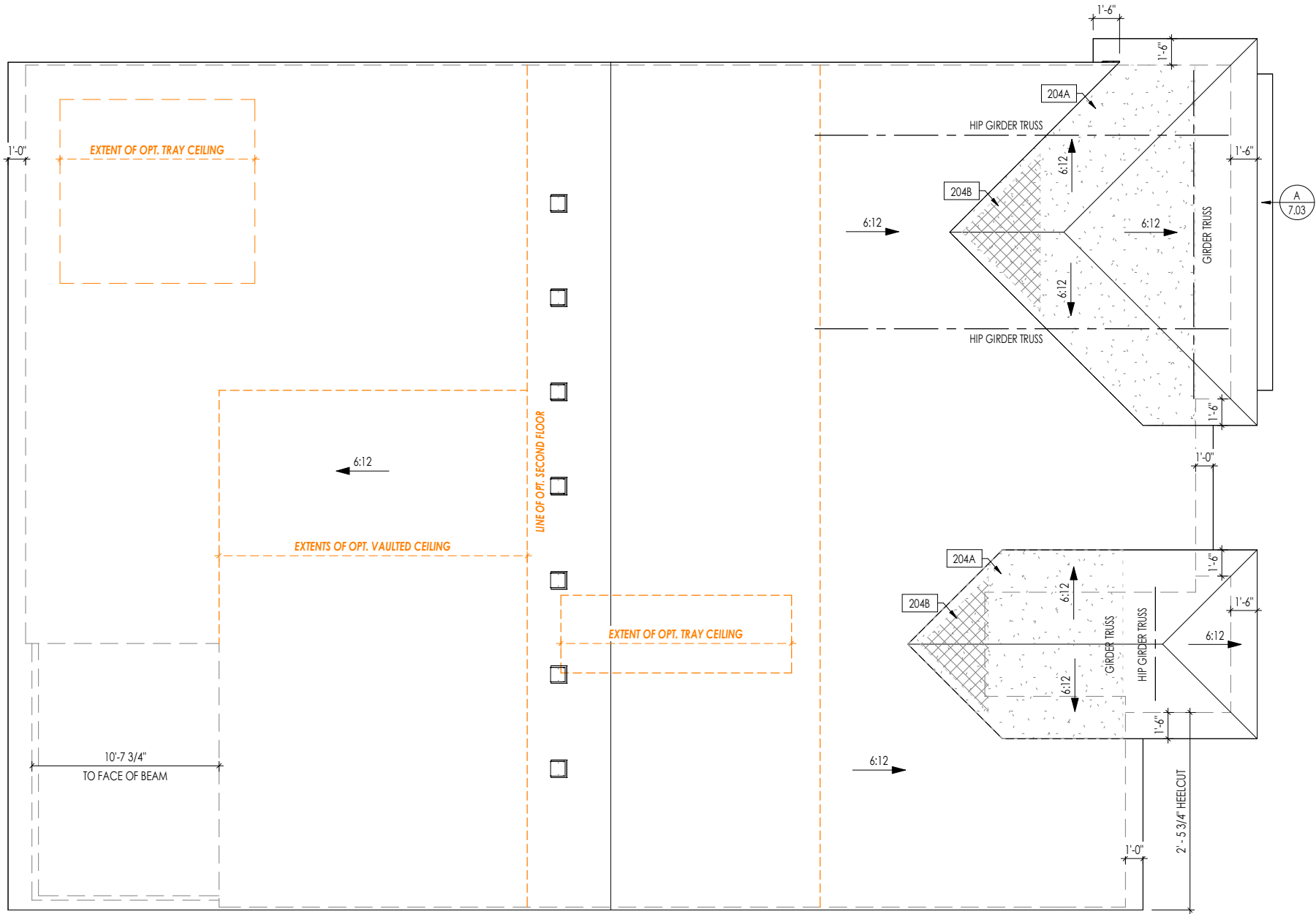
Sheet Information

2.01S

First Floor Structural Plan  
Elevation "F"

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HEEL CUT STANDARDS			
		OVERHANG	
		1'-0"	2'-0"
ROOF PITCH	4:12	3-3/4"	7-3/4"
	5:12	4-3/4"	9-3/4"
	6:12	5-3/4"	11-3/4"
	7:12	6-3/4"	13-3/4"
	8:12	7-3/4"	N/A
	9:12	8-3/4"	N/A
	10:12	9-3/4"	N/A
	12:12	11-3/4"	N/A
	14:12	13-3/4"	N/A

General Notes:	
1. REFER TO SHEET ON.1 FOR GENERAL NOTES. 2. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION	
Key Notes:	
204A	VALLEY TRUSS OVER-FRAMING @ 24" O.C.
204B	NO ROOF DECKING UNDER OVER-FRAMING IN THIS AREA TO ALLOW FOR PROPER ATTIC VENTILATION

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
<b>the PARKETTE</b>			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>
Born on Date: 08/30/19	CDs Drawn By:	CLM	

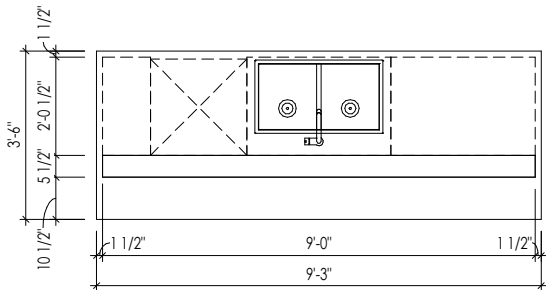
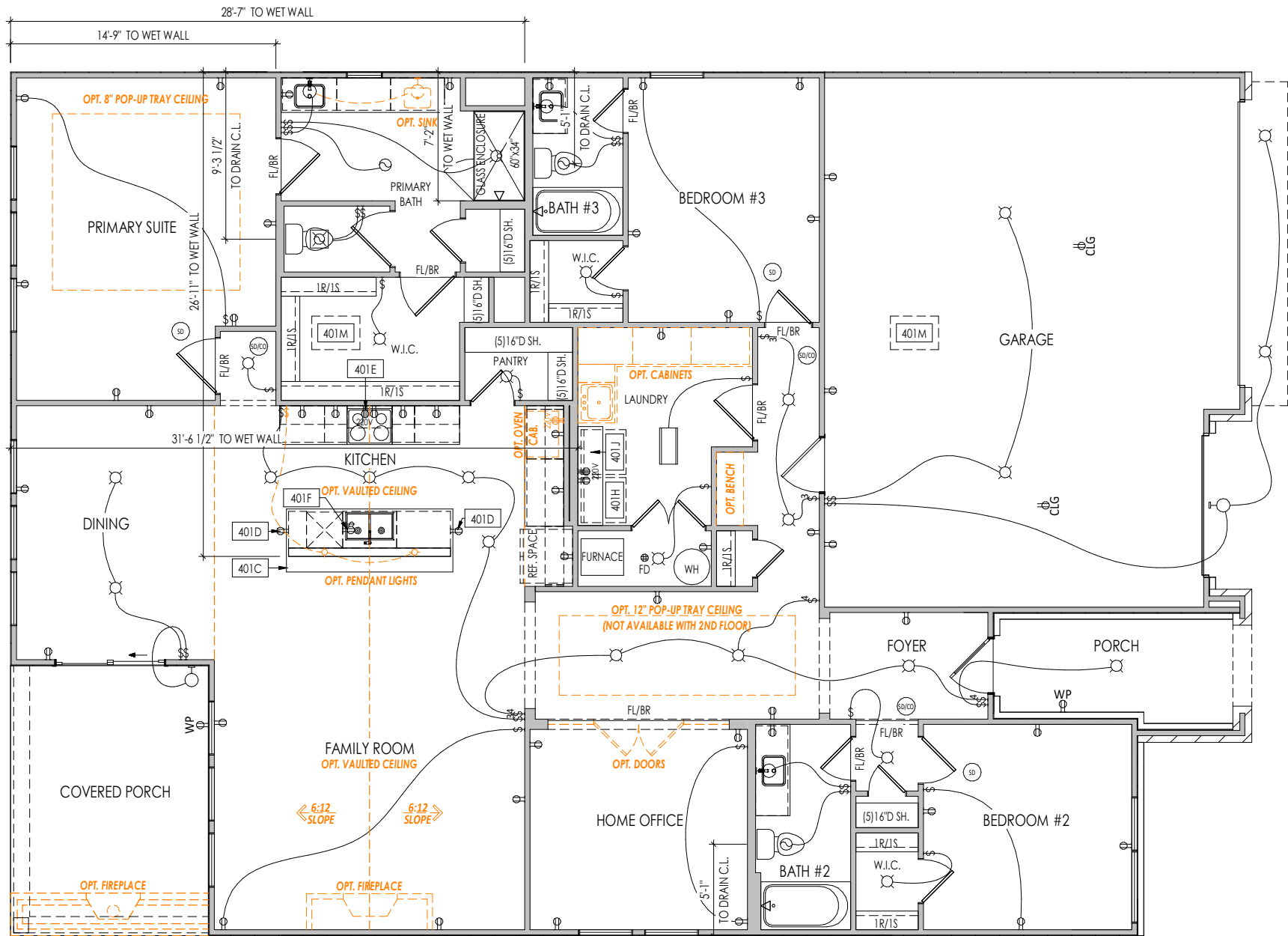
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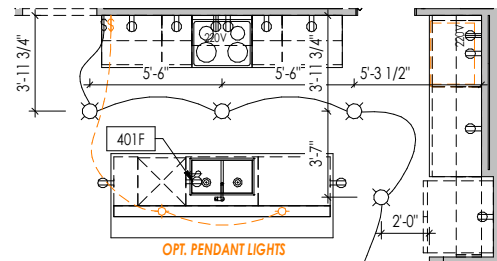
**2.04**  
Roof Plan  
Elevation "F"

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A  
4.01  
KITCHEN ISLAND DETAIL  
1/4" = 1'-0"



B  
4.01  
KITCHEN LIGHTING DETAIL  
1/8" = 1'-0"

#### General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.

#### Key Notes:

401C	SEE DETAIL A/4.01 FOR KITCHEN ISLAND COUNTERTOP DIMENSIONS
401D	HOLD OUTLET HIGH ON ISLAND
401E	OUTLET FOR RANGE HOOD/MICROWAVE HELD HIGH - VENT TO EXTERIOR
401F	OUTLET FOR DISHWASHER LOCATED IN SINK CABINET
401H	LOCATE WASHER TO LEFT OF DRYER
401J	UPPER WALL CABINETS OR 16" DEEP x 5'-6" LONG SHELF HELD AT 5'-7" A.F.F. - REFER TO SELECTIONS
401M	22-1/2" x 32" ATTIC ACCESS PANEL IN CEILING

#### MECHANICAL LEGEND

◀ DATA JACK	CLG. MOUNTED LIGHT FIXT.	STAIR LIGHT
WALL OUTLET	SURFACE MOUNT DISC LIGHT OR RECESSED CEILING LIGHT, PER SPECS.	HOSE BIB
WEATHERPROOF GFCI OUTLET	WALL MOUNTED LIGHT FIXT.	SHOWER HEAD
220 VOLT OUTLET	DOUBLE SPOTLIGHT FIXT.	GAS HOOK UP
GFCI OUTLET	DIRECTIONAL CAN LIGHT	FLOOR DRAIN
FLOOR OUTLET	PIN LIGHT	SMOKE DETECTOR
CABLE TELEVISION JACK	WALL SCONCE @ 5'-6" A.F.F.	SMOKE DETECTOR/CO DETECTOR COMBINATION
SINGLE POLE SWITCH	FLUORESCENT LIGHT	EXHAUST FAN AND LIGHT COMBINATION
3-WAY SWITCH	UNDER CABINET LIGHTING	CLG. MTD. EXHAUST FAN
4-WAY SWITCH		
BLOCK, MOUNT, & SWITCH FOR FUTURE FAN/LIGHT COMBINATION (CENTER, UNLESS OTHERWISE NOTED)		

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:		Drawing Scale: 1/8" = 1'-0"	
<b>the PARKETTE</b>		Contract Drawn By: <b>XXX</b>	
		Series: <b>SERIES_NM</b>	
Born on Date: 08/30/19		CDs Drawn By: CLM	
		Plan No.: <b>PLAN_NM</b>	

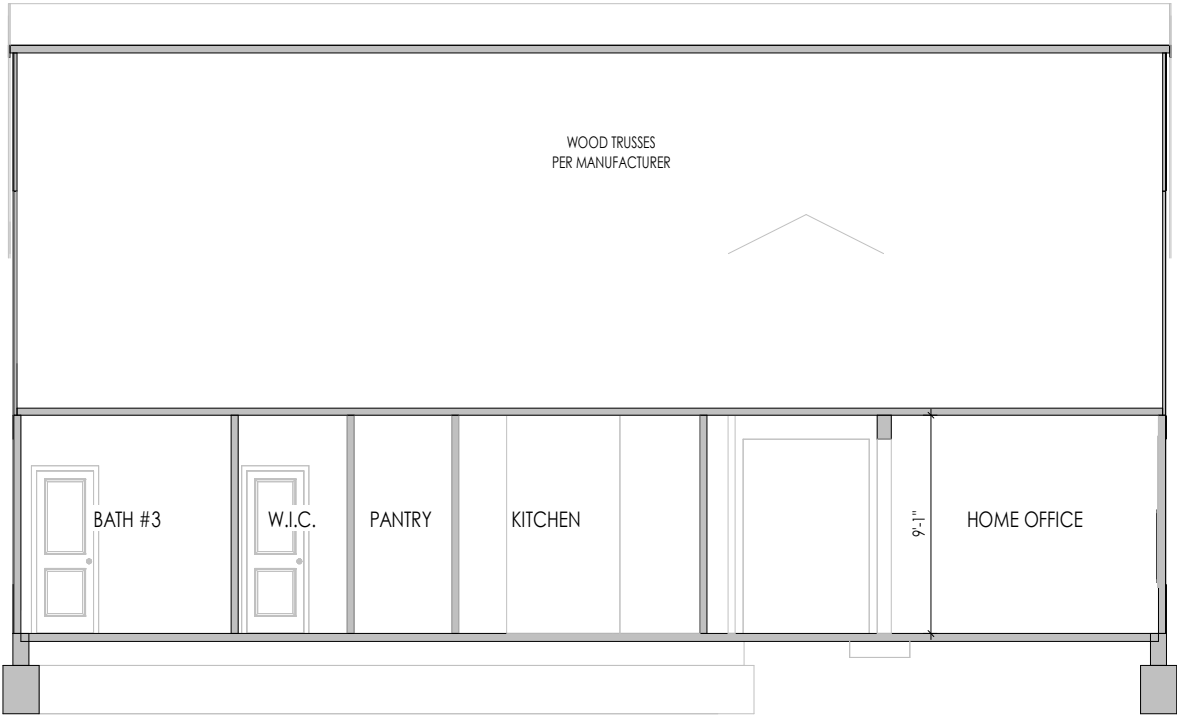
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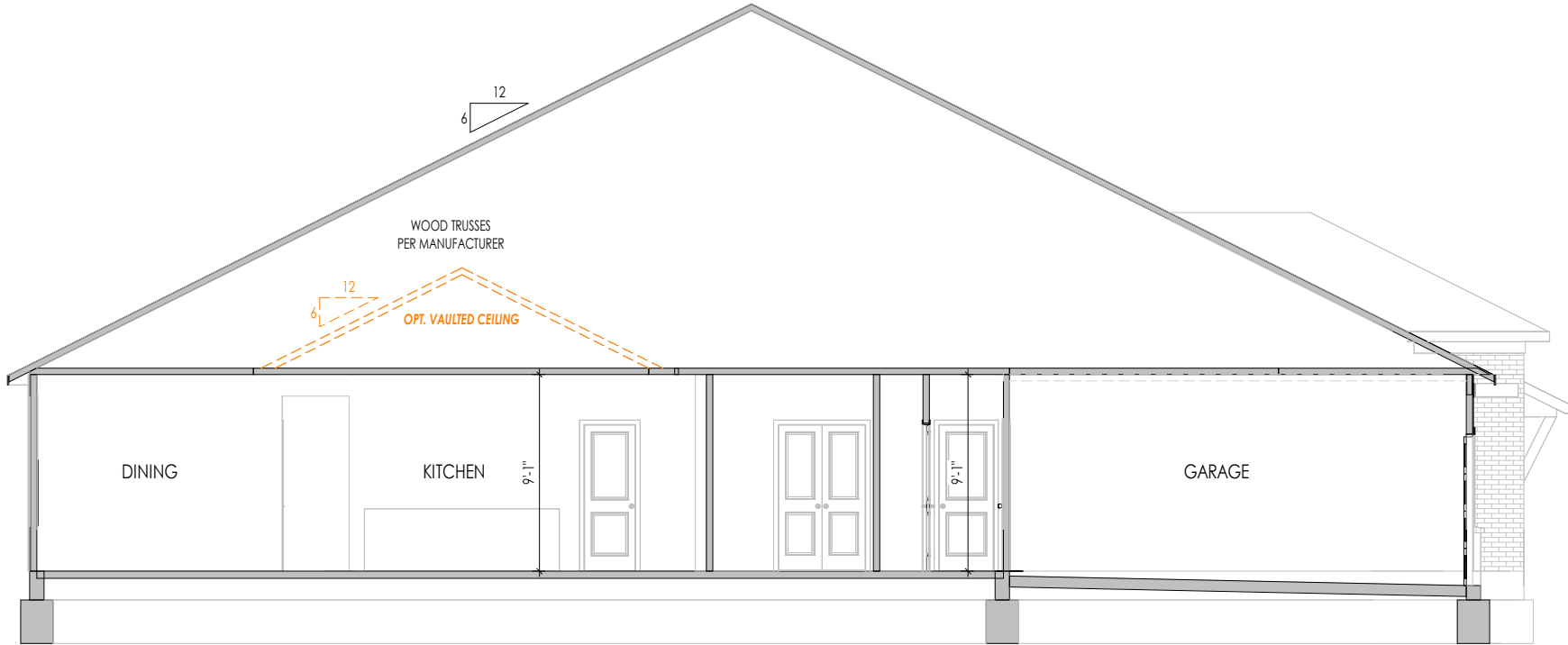
**4.01**  
First Floor Mechanical Plan  
Elevation "F"

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A  
5.01  
BUILDING SECTION THRU FAMILY ROOM  
1/8" = 1'-0"



B  
5.01  
BUILDING SECTION THRU GARAGE  
1/8" = 1'-0"

General Notes:  
1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.  
2. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION

Key Notes:

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
the PARKETTE			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>
Born on Date: 08/30/19	CDs Drawn By: CLM		

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Sheet Information

**5.01**  
Building Section  
Elevation "F"

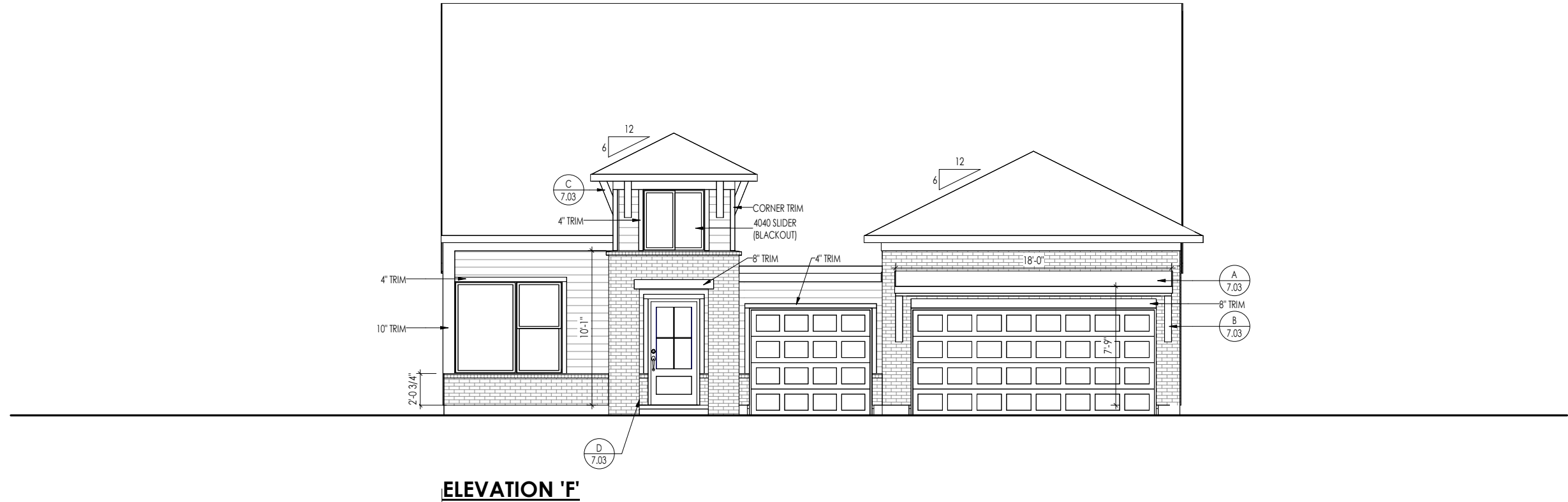


TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

- General Notes:
1. REFER TO SHEET 0N.1 FOR GENERAL NOTES.
  2. ROOFING MATERIAL PER SELECTIONS.
  3. CONTACT M&K ENGINEERING FOR HEADER SIZE/BRICK SUPPORT IF GRADE DROPS AND THE AMOUNT OF BRICK OVER GARAGE DOOR SHOWN ON CURRENT ELEVATION IS NO LONGER ACCURATE
  4. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION

Key Notes:

Space for Architect Seal



RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the PARKETTE			Series: SERIES_NM
			Plan No.: PLAN_NM

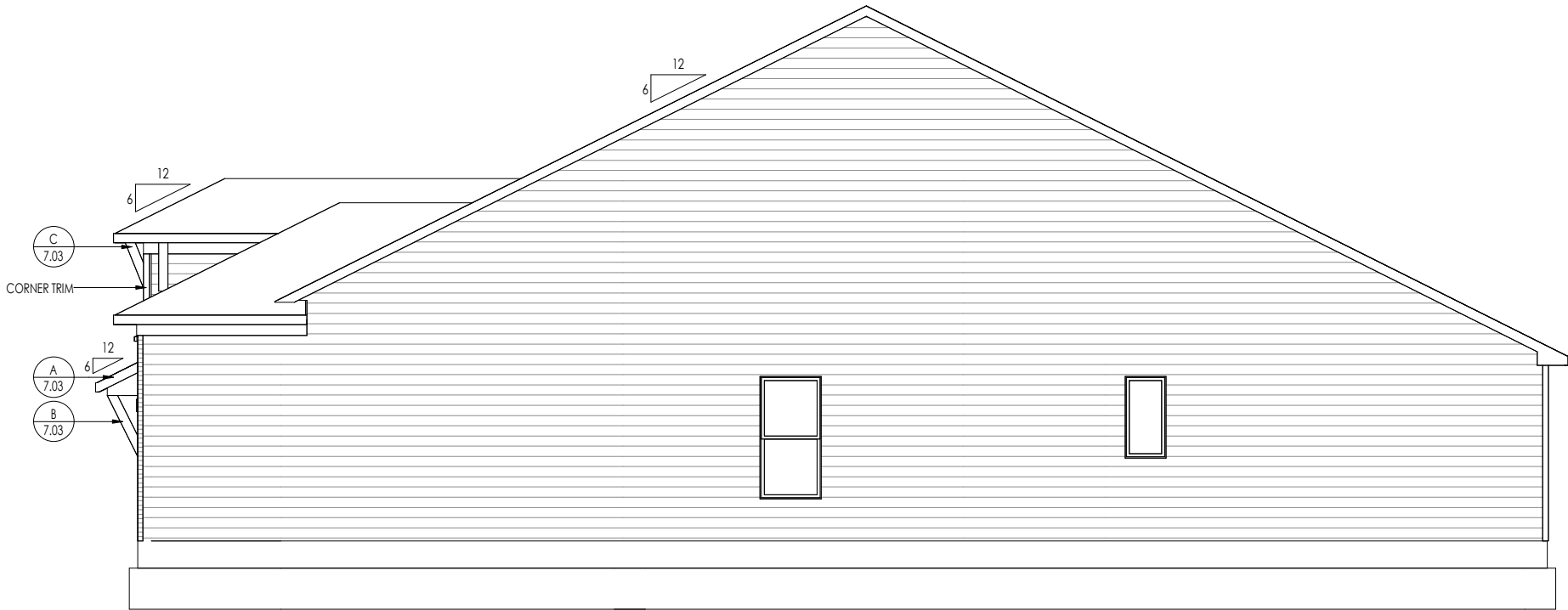


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Sheet Information

6.01  
Front Elevation  
Elevation "F"

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#### TYPICAL TRIM:

6" FASCIA  
(ALL SIDES)

8" FRIEZE  
(FRONT ONLY, UNLESS OTHERWISE NOTED)

#### General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.
4. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION

#### Key Notes:

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the PARKETTE			Series: SERIES_NM
			Plan No.: PLAN_NM



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Sheet Information

# 6.02

Garage Side Elevation  
Elevation "F"

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TYPICAL TRIM:

6" FASCIA  
(ALL SIDES)

8" FRIEZE  
(FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:

1. REFER TO SHEET ON.1 FOR GENERAL NOTES.
2. ROOFING MATERIAL PER SELECTIONS.
3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.
4. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION

Key Notes:

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
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House Name:	Drawing Scale: 1/8" = 1'0"	Contract Drawn By: <b>XXX</b>
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<b>the PARKETTE</b>	Series: <b>SERIES_NM</b>
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Plan No.:	<b>PLAN_NM</b>
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TYPICAL TRIM:
6" FASCIA (ALL SIDES)
8" FRIEZE (FRONT ONLY, UNLESS OTHERWISE NOTED)

General Notes:


1. REFER TO SHEET ON.1 FOR GENERAL NOTES.  
2. ROOFING MATERIAL PER SELECTIONS.  
3. REFER TO LINTEL SCHEDULE AS NEEDED ON SHEET 6.01.  
4. REFER TO SHEET S-0 FOR STRUCTURAL DETAILS AND INFORMATION

Key Notes:

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name: <b>the PARKETTE</b>			Contract Drawn By: <b>XXX</b>
			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>

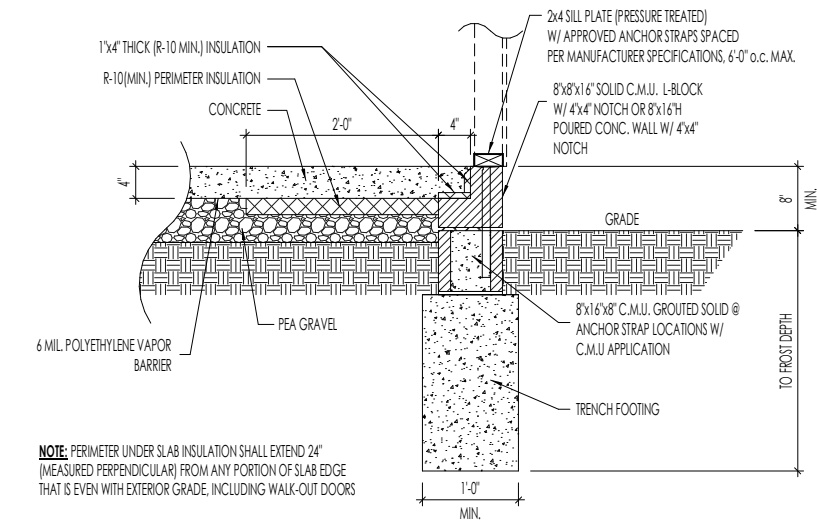


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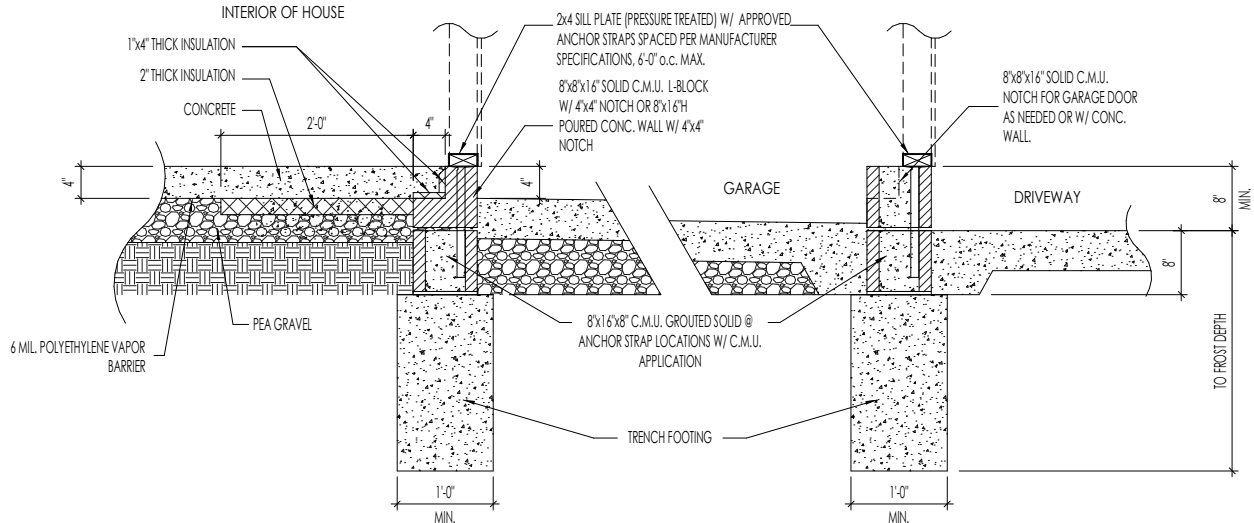
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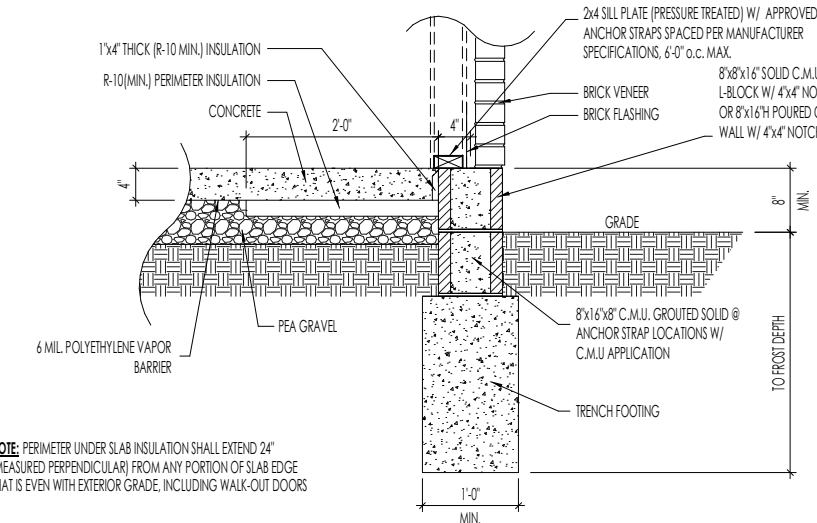
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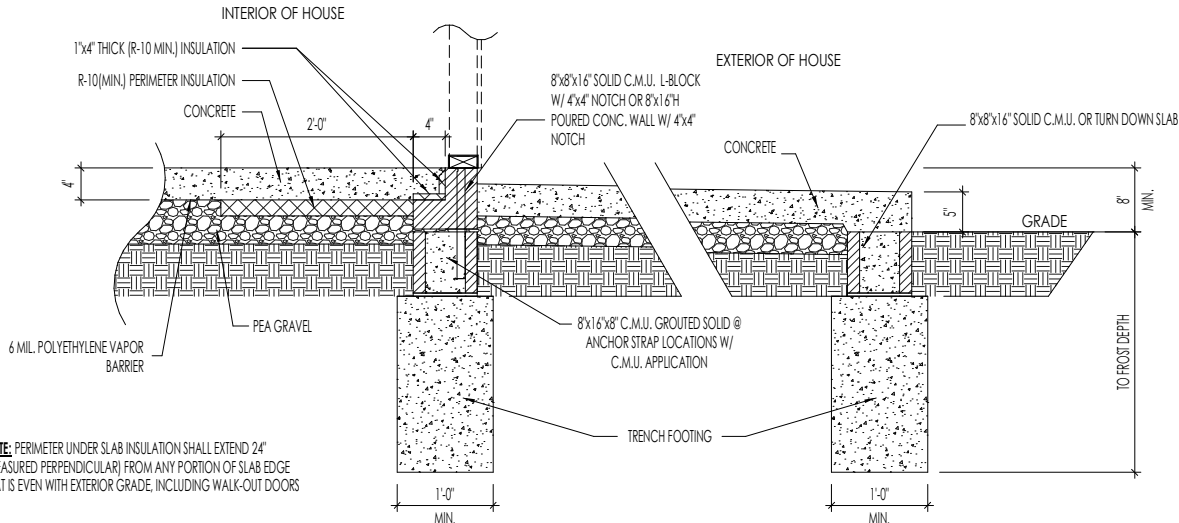
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7.01  
SLAB ON GRADE FOUNDATION W/ FRAMEWRAP  
SCALE: 1/2" = 1'-0"



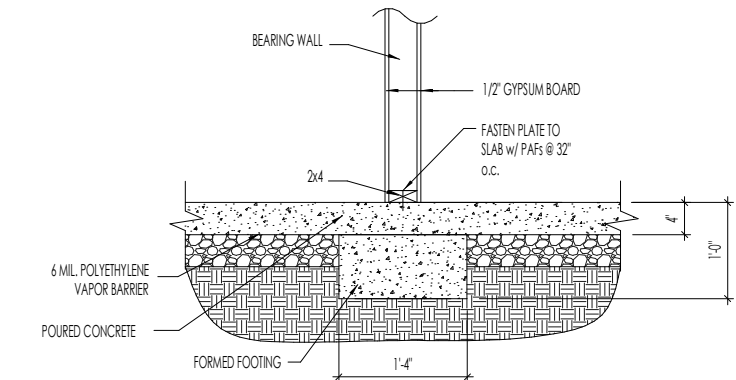
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7.01  
SLAB ON GRADE FOUNDATION AT GARAGE  
SCALE: 1/2" = 1'-0"



**B**  
7.01  
SLAB ON GRADE FOUNDATION W/ BRICKWRAP  
SCALE: 1/2" = 1'-0"



**D**  
7.01  
SLAB ON GRADE FOUNDATION AT PORCH  
SCALE: 1/2" = 1'-0"



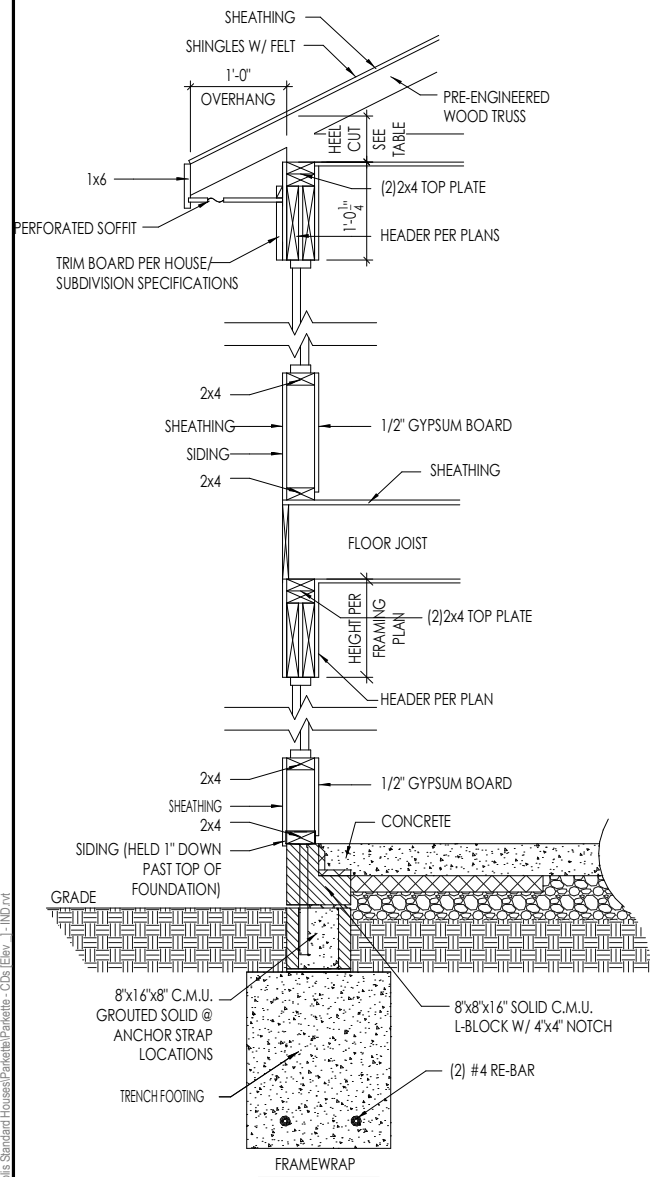
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7.01  
SLAB ON GRADE FOUNDATION AT  
INTERIOR BEARING WALL  
SCALE: 1/2" = 1'-0"

Space for Architect Seal

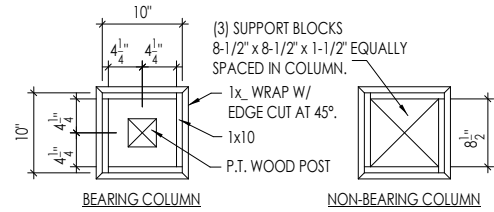
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**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the PARKETTE			Series: SERIES_NM
			Plan No.: PLAN_NM

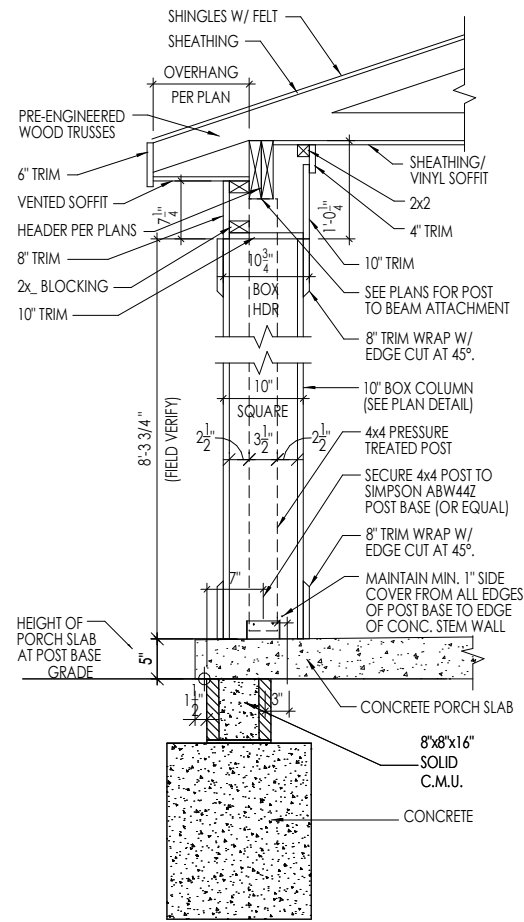
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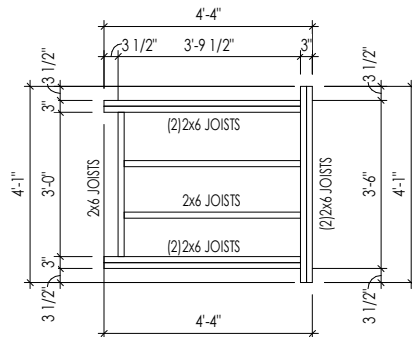
**A** WALL SECTION  
7.02 SCALE: 1/2" = 1'-0"



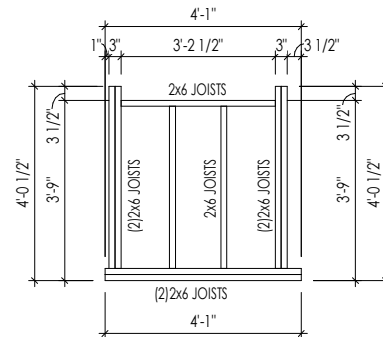
**10" BOX COLUMN - PLAN DETAIL**



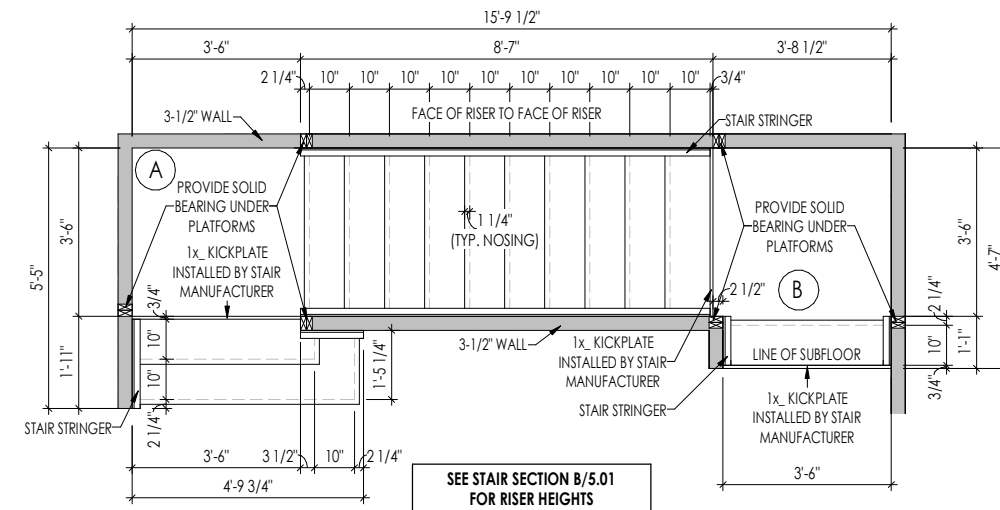
**B** 10" BOX COLUMN DETAILS  
7.02 SCALE: 1/2" = 1'-0"



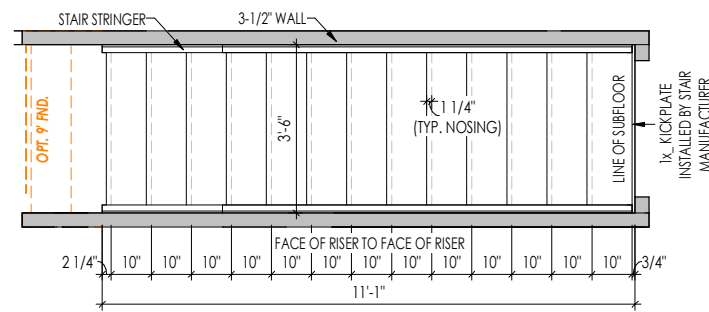
**A** LANDING DETAIL A  
1/4" = 1'-0"



**B** LANDING DETAIL B  
1/4" = 1'-0"



**C** 2ND FLOOR STAIR DETAIL  
7.02 1/4" = 1'-0"



**D** BASEMENT STAIR DETAIL  
7.02 1/4" = 1'-0"

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the PARKETTE			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date:	08/30/19	CDs Drawn By:	CLM

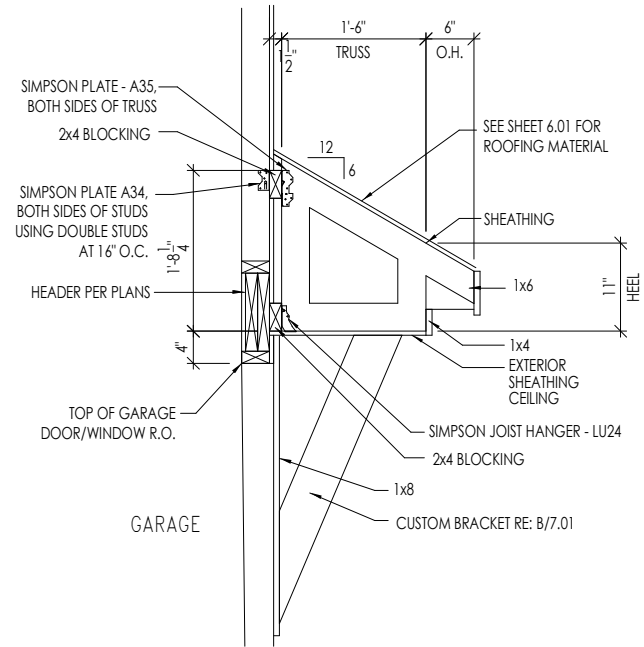
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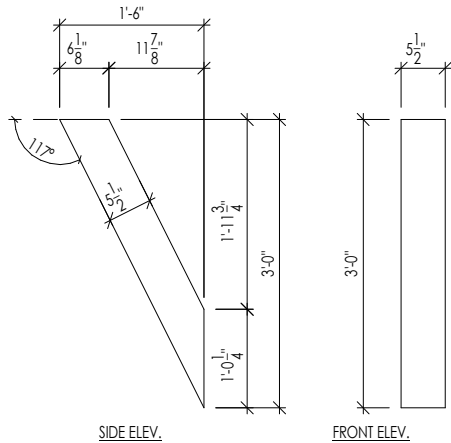
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House Specific Details  
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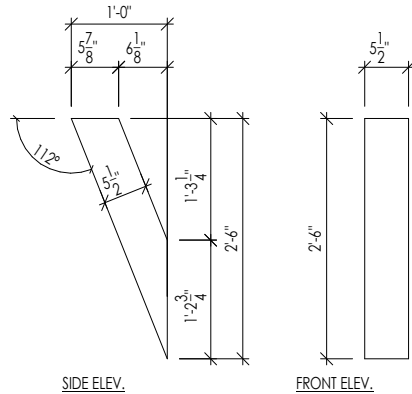
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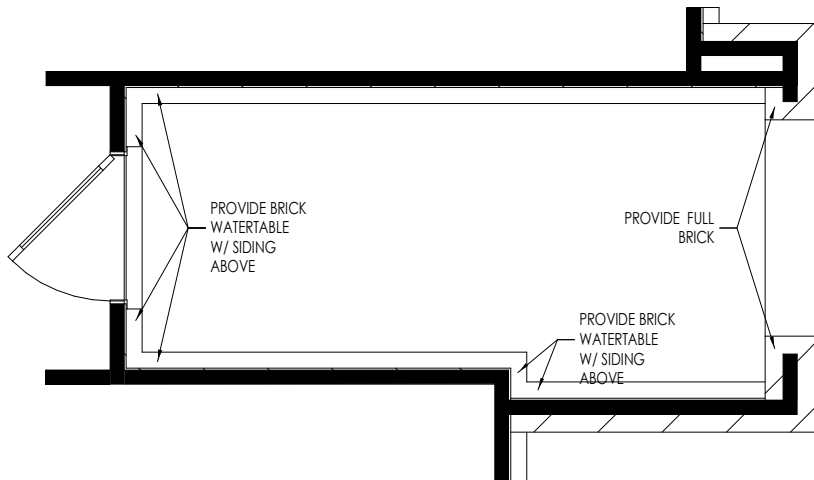
**A**  
7.03  
**GARAGE SHED ROOF DETAIL**  
SCALE: 1/2" = 1'-0"



**B**  
7.03  
**CUSTOM BRACKET DETAIL**  
SCALE: 1/2" = 1'-0"



**C**  
7.03  
**CUSTOM BRACKET DETAIL**  
SCALE: 1/2" = 1'-0"



**D**  
7.03  
**RECESSED ENTRY DETAIL**  
SCALE: 1/4" = 1'-0"

Space for Architect Seal

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the PARKETTE			Series: SERIES_NM
			Plan No.: PLAN_NM

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**7.03**  
House Specific Details  
Elevation "F"

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CONNECTION SPECIFICATIONS (TYP. U.N.O.)

NOTE: 10d NAIL = 3" x 0.131" GUN NAIL	
JOIST TO SOLE PLATE	(3)10d TOENAILS
SOLE PLATE TO JOIST/BLK'G.	10d NAILS @ 6" O.C.
STUD TO SOLE PLATE	(3)10d TOENAILS
TOP OR SOLE PLATE TO STUD	(3)10d NAILS
RIM TO TOP PLATE	10d TOENAILS @ 6" O.C.
BLK'G. BTWN. JOISTS TO TOP PL.	(3)10d TOENAILS
RAFTER/TRUSS TO TOP PLATE	(3)10d TOENAILS + (1) SIMPSON H2.5A
GAB. END TRUSS TO DBL. TOP PL.	10d TOENAILS @ 8" O.C.
R.T. w/ HEEL HT. 9 1/4" TO 12"	2x10 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. 12" TO 16"	2x12 BLK EVERY 3RD BAY FASTENED TO DBL. TOP PLATE w/ 10d TOENAILS @ 6" O.C.
R.T. w/ HEEL HT. UP TO 24"	LAP WALL SHTG. w/ DBL. TOP PL. # INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C.
R.T. w/ HEEL HT. 24" TO 48"	LAP WALL SHTG. w/ DBL. TOP PL. # INSTALL ON TRUSS VERT. - FASTEN w/ 8d NAILS @ 6" O.C. PROVIDE 2x BLK @ EA. BAY AT TOP OF HEEL
DOUBLE STUD	10d NAILS @ 24" O.C.
DOUBLE TOP PLATE	10d NAILS @ 24" O.C.
DOUBLE TOP PLATE LAP SPICE	(10)10d NAILS IN LAPPED AREA
TOP PLATE LAP @ CORNERS & INTERSECTING WALLS	(2)10d NAILS
WALL TO FOUNDATION	WALL SHTG. LAP w/ SILL PL. & FASTENED PER SHEAR WALL FASTENING SPEC.

GARAGE SLAB

4" CONC. SLAB w/ 6x6-WI.4xWI.4  
WVF ON 6 MIL VAPOR BARRIER  
ON 4" MIN. GRANULAR FILL ON 95%  
COMPACTED FILL/VIRGIN SOIL

PORCH SLAB

4" CONC. SLAB w/ 6x6-WI.4xWI.4 WVF ON  
95% COMPACTED FILL/VIRGIN SOIL

BASEMENT SLAB

4" CONC. SLAB ON 6 MIL VAPOR BARRIER  
ON 4" MIN. GRANULAR FILL ON  
95% COMPACTED FILL/VIRGIN SOIL

SLAB ON GRADE

4" CONC. SLAB w/ 6x6-WI.4xWI.4 WVF ON 6  
MIL VAPOR BARRIER ON 4" MIN. GRANULAR  
FILL ON 95% COMPACTED FILL/VIRGIN SOIL

VENEER LINTEL SCHEDULE

SPAN (MAX)	HEIGHT OF VENEER ABOVE LINTEL	STEEL ANGLE SIZE
3'-0"	20 FT. MAX	L4"x3"x1/2"
6'-0"	3 FT. MAX	L4"x3"x1/2"
	16 FT. MAX	L5"x3"x3/8"
8'-0"	6 FT. MAX	L5"x3"x3/8"
9'-6"	3 FT. MAX	L5"x3"x3/8"
12'-0"	2 FT. MAX	L5"x3"x3/8"
ALL LINTELS: - SHALL SUPPORT 2 3/4" - 3 1/2" VENEER w/ 40 psf MAXIMUM HEIGHT. - 10" SHALL HAVE 4" MIN. BEARING - 12" SHALL HAVE 8" MIN. BEARING - 12" SHALL NOT BE FASTENED BACK TO HEADER. - 12" SHALL BE FASTENED BACK TO WOOD HEADER IN WALL @48" O.C. w/ 3/4" DIA. x 3 1/2" LONG LAG SCREWS IN 2" LONG VERTICALLY SLOTTED HOLES. - MAX. VENEER HT. APPLIES TO ANY PORTION OF BRICK OVER THE OPENING. - ALL LINTELS SHALL BE LONG LBS VERTICAL. - ALL LINTELS SHALL BE MADE OF 36 YSI STEEL. - WHEN SUPPORTING VENEER < 3" HIDE THE EXTERIOR TOE OF THE HORIZONTAL LBS MAY BE CUT IN THE FIELD TO BE 3 1/2" WIDE OVER THE BEARING LENGTH ONLY. THIS IS TO ALLOW FOR VERTICAL JOINT FINISHING. - SEE STRUCTURAL PLANS FOR ANY LINTEL CONDITION NOT ENCOMPASSED BY THE ABOVE PARAMETERS. MKG STD. - MAY 2016		

LEGEND

- INTERIOR BEARING WALL
- BEARING WALL ABOVE
- BEAM / HEADER
- EXTENT OF OVERFRAMING
- METAL HANGER
- 

GENERAL STRUCTURAL NOTES

FOUNDATION

- DESIGN IS BASED ON 2020 INDIANA RESIDENTIAL BUILDING CODE
- FOOTING DESIGN - 1500 PSF NET ALLOWABLE SOIL BEARING PRESSURE IS ASSUMED. BUILDER/CONTRACTOR MUST VERIFY.
- FASTEN 2x6 SILL PLATES TO CONC FND WITH A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAX. FROM PLATE ENDS - UTILIZING:
  - 1/2" DIA. ANCHOR BOLTS @ 6'-0" O.C., 1" MIN. EMBEDMENT
  - SIMPSON MAB STRAPS @ 32" O.C.
  - SIMPSON MASA ANCHOR STRAPS @ 6'-0" O.C.
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ PERIMETER FOUNDATION SHALL BE PRESERVATIVE TREATED SOUTHERN PINE #2.
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORD.
- FOUNDATION WALLS & FOOTINGS SHALL BE PLAIN CONCRETE, U.N.O.

- CONCRETE DESIGN BASED ON ACI 318. CONCRETE SHALL ATTAIN THE FOLLOWING MIN. COMPRESSIVE STRENGTHS IN 28 DAYS, U.N.O.:
  - f'c = 4,000 psi: ..... FOUNDATION WALLS
  - 3,000 psi: ..... FOOTINGS & INTERIOR SLABS ON GRADE
  - 3,500 psi: ..... GARAGE & EXTERIOR SLABS ON GRADE
  - fy = 60,000 psi

- BASEMENT FOUNDATION WALL DESIGN BASED ON:
  - 8' OR 9' HEIGHT (AS NOTED ON PLANS)
  - TALLER WALLS MUST BE ENGINEERED.
  - NOMINAL WIDTH (8" FOR 8' WALL, 10" FOR 10' WALL).
- BASEMENT WALL DESIGN IS BASED ON 30 OR 45 PCF BACKFILL SOIL TYPE CLASSIFICATIONS:
  - 30 PCF TYPE (GM, GP, SM, SP)
  - 45 PCF TYPE (GM, GC, SM, SM-SC, ML)
  - IMPORTANT - IF 60 PCF SOIL TYPE (SC, ML-CL, OR CL) IS UTILIZED FOR BACKFILL, CONTACT MULHERN & KULP FOR FURTHER EVALUATION OF FOUNDATION DESIGN.

- BASEMENT WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY ADEQUATE TEMPORARY BRACING OR INSTALL 1st FLOOR DECK.
- PROVIDE (2) #5 BARS AROUND ALL SIDES OF OPENINGS IN CONCRETE BSMT. FND. WALL WITH 2" CLEAR. REINFORCEMENT SHALL EXTEND 12" PAST CORNER OF OPENING IN ALL DIRECTIONS.
  - FOR OPENINGS UP TO 36", PROVIDE MINIMUM 10" CONCRETE DEPTH OVER OPENING OR (3)2x10 w/(2)2x6 JACK STUDS, U.N.O.
  - LARGER OPENINGS SHALL BE PER PLAN.

- ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.
- ALL FOOTINGS SHALL BEAR BELOW FROST LINE (TYP.) OR 12" MIN IN REGIONS WHERE CODE FROST DEPTH IS NOT APPLICABLE. CONSULT SOILS REPORT OR BUILDING DEPT. FOR MINIMUM DEPTH BELOW GRADE.
- FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR 95% COMPACTED FILL.

- PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY TO DEVELOP.
  - JOINTS SHALL BE LOCATED @ 10'-0" O.C. (RECOMMENDED) OR 15'-0" O.C. (MAXIMUM)
  - JOINT GRID PATTERN SHALL BE AS CLOSE TO SQUARES AS POSSIBLE (1:1 RATIO), WITH A MAXIMUM OF 1:1.5 RATIO
  - CONTROL JOINTS SHALL NOT BE INSTALLED IN STRUCTURAL SLABS
- TYPICAL REINFORCEMENT DETAILS: PROVIDE 3" MIN. CLEAR COVER WHERE CAST AGAINST EARTH, 1 1/2" MIN. CLEAR COVER AGAINST FORMS. LAP ALL REBAR 48 BAR DIAMETERS MIN. (24" FOR #4 BARS) & BEND BARS AND LAP AT CORNERS. PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT.
- DIMENSIONS BY OTHERS, BUILDER TO VERIFY.

MKG STD. - MAY 2012

LATERAL/WALL BRACING & WALL SHEATHING SPECIFICATIONS

THIS MODEL HAS BEEN DESIGNED TO RESIST LATERAL FORCES RESULTING FROM:  
**115 MPH WIND IN 2020 INDYRC MAP**  
(115 MPH WIND SPEED IN ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) EXP. B, RISK CAT. 2 & SEISMIC CAT. A/B.

THE DESIGN WAS COMPLETED PER 2014 INDYRC (SECTION I609) & ASCE 7-10, AS PERMITTED BY R301.1.3 OF THE 2020 INDYRC, OR THE SIMPLIFIED PRESCRIPTIVE PROCEDURE IN ACCORDANCE WITH THE 2020 INDYRC IF THE PARAMETERS OF SECTION R602.1.2 COMPLY. ACCORDINGLY, THIS MODEL, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES.

EXT. WALL SHEATHING SPECIFICATION

- 7/16" OSB OR 15/32" PLYWOOD:
  - FASTEN SHEATHING w/ 2 3/8"x0.113 NAILS @ 6" O.C. AT EDGES & @ 12" O.C. IN THE PANEL FIELD. (TYP, U.N.O.)
- ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUDS) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT ALL UNSUPPORTED PANEL EDGES & EDGE FASTENING.
- ALL EXT. WALLS SHALL BE CONTINUOUSLY SHEATHED AND ARE CONSIDERED SHEAR WALLS.
- ALT. STAPLE CONNECTION SPEC: 1 3/4" 16 GA STAPLES (1/8" CROWN) @ 3" O.C. AT EDGES & @ 6" O.C. IN FIELD.

3" O.C. EDGE NAILING

- AT DESIGNATED AREAS - FASTEN PANEL EDGES OF WOOD STRUCTURAL WALL SHEATHING TO FRAMING w/ 2 3/8" x 0.113" NAILS @ 3" O.C. AND 12" O.C. IN THE PANEL FIELD. NO STAPLE ALTERNATIVE AVAILABLE AT THIS SPEC. ALL SHEATHING PANELS SHALL BE ORIENTED VERTICALLY (LONG DIRECTION PARALLEL TO STUD) AND INSTALLED FULL HEIGHT OF SHEAR WALL - OR - 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT UNSUPPORTED PANEL EDGES AND 3" O.C. EDGE FASTENING.

NOTES

- SEE CONNECTION SPECIFICATIONS CHART FOR STANDARD SHEAR TRANSFER DETAILING. IF ADDITIONAL CAPACITY IS REQUIRED BY DESIGN, IT WILL BE SPECIFICALLY NOTED ON PLAN.
- DESIGN ASSUMES 16" O.C. MAX. STUD SPACING, U.N.O.
- ALL STRUCTURAL PANELS ARE TO BE DIRECTLY APPLIED TO STUD FRAMING.
- PRE-MANUFACTURED PANELIZED WALLS: FASTEN TOGETHER END STUDS OF WALL PANELS SHEATHED w/ OSB OR PLYWOOD w/ 10d NAILS @ 4" O.C. (THRU ONE SIDE ONLY)

MKG STD. - OCT. 2015

ADDITIONAL NOTES FOR TRUSS & I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO MK& FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION. TRUSSES/JOISTS SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES/JOISTS OR GIRDER TRUSSES/FLUSH BEAMS DO NOT EXCEED THE FOLLOWING:  
A. ROOF TRUSSES:  
1/4" DEAD LOAD  
B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:  
1/8" DEAD LOAD  
ABSOLUTE DEAD LOAD DEFLECTION OF FLOOR TRUSSES/ATTIC TRUSSES WHEN ADJACENT TO FLOOR FRAMING BY OTHERS SHALL BE LIMITED TO 3/16". (NOT DIFFERENTIAL DEFLECTION)

GENERAL STRUCTURAL NOTES

FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA. (EXCLUDES STONE/MARBLE OR MET BED CONSTRUCTED FLOORS - CONTACT MK& FOR EXCLUDED FLOOR DESIGNS)
- PER THE GUIDELINES OF THE TILE COUNCIL OF NORTH AMERICA (TCNA HANDBOOK), IT SHALL BE THE FLOOR FINISH INSTALLER'S RESPONSIBILITY TO VERIFY THAT THE FINISHES TO BE INSTALLED MATCH THE DESIGN CRITERIA NOTED ABOVE (UNDER "DESIGN LOADS").
- AT I-JOIST FLOORS, PROVIDE 1 1/8" MIN. OSB RIM BOARD.
- METAL HANGERS SHALL BE SPECIFIED BY MANUFACTURER, U.N.O.
- I-JOIST/TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH. & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C. EXPOSURE 1 (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS w/ GLUE AND
  - 2 1/4" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.
  - 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
  - 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. IN FIELD.

ROOF FRAMING

- ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE 1 (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS
  - w/ 2 1/4" x 0.131" NAILS @ 6" O.C. @ PANEL EDGES & @ 12" O.C. FIELD.
  - w/ 2 3/8" x 0.120" NAILS @ 4" O.C. @ PANEL EDGES & @ 8" O.C. FIELD.
  - w/ 2 3/8" x 0.113" NAILS @ 3" O.C. @ PANEL EDGES & @ 6" O.C. FIELD.
- WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPs FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- FASTEN EACH ROOF TRUSS TO TOP PLATE w/ SIMPSON H2.5A CLIP (OR APPROVED EQUAL) @ ALL BEARING POINTS. PROVIDE (2) H2.5A CLIPS AT 2-PLY GIRDER TRUSSES, (3) H2.5A CLIPS AT 3-PLY GIRDER TRUSSES & ROOF BEAMS - AT ALL BEARING POINTS.
- METAL HANGERS SHALL BE SPECIFIED BY THE MANUFACTURER, U.N.O.
- ROOF TRUSS SHOP DWGS. SHALL BE SUBMITTED TO ARCH & ENG. FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ERECT AND INSTALL ROOF TRUSSES PER MTCA & TPIS BC511 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- SUPPORT SHORT SPAN ROOF TRUSSES w/2x4 LEDGER FASTENED TO FRAMING w/(2) 3" x 0.120" NAILS @ 16" O.C. (UP TO 7' SPAN).

MKG STD. - MAR 2016

MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.



**MULHERN+KULP**  
RESIDENTIAL STRUCTURAL ENGINEERING

300 Brookside Ave, Building 4 • Ambler, PA 19002  
p 215-646-8001 • mulhernkulp.com

GENERAL STRUCTURAL NOTES

- DESIGN IS BASED ON 2020 INDIANA RESIDENTIAL BUILDING CODE.
- WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.
- DESIGN LOADS:

ROOF	LIVE = 20 PSF (18 PSF REDUCED) DEAD = 7 PSF T.C., 10 PSF B.C. LOAD DURATION FACTOR = 1.15
FLOOR	LIVE = 40 PSF (30 PSF @ SLEEPING AREAS) DEAD = 10 PSF (1-JOISTS & SOLID SAWN) ADD'L 10 PSF @ CERAMIC TILE IN KITCHEN, BATHS, SUNROOM, & LAUND.
SOIL	1500 PSF ASSUMED ALLOWABLE BEARING PRESSURE (TO BE VERIFIED BY BUILDER)

GENERAL FRAMING

- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN STANDARD CONNECTIONS TABLE (IRC TABLE R602.3.11) OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- EXT. & INT. BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. SPF "STUD" GRADE LUMBER, OR BETTER, U.N.O.
  - WALLS OVER 10' TALL SHALL BE PER PLAN.
- ALL INTERIOR BEARING WALLS ARE ASSUMED TO BE SHEATHED w/ GYP WALL BOARD (ONE SIDE MIN) OR PROVIDE MID HT. BLOCKING.
- ALL 2x8, 2x10, & 2x12 HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE HEM-FIR #2 (HF) LUMBER, OR BETTER.
- ALL 2x6 HEADERS, BEAMS & OTHER STRUCTURAL MEMBERS SHALL BE SPF "STUD" GRADE LUMBER, OR BETTER.
- SUPPORT ALL HEADERS/ BEAMS w/ (1)2x JACK STUD & (1)2x KING STUD, MINIMUM.
  - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x "STUD" GRADE MEMBERS SPACED @ 24" O.C. (MAX, U.N.O.)
  - HEADERS IN NON-LOAD BEARING WALLS SHALL BE: (1)2x4/6 FLAT @ OPENINGS UP TO 4'; (2)2x4/6 FLAT UP TO 8'.
- ALL FRAMING LUMBER SHALL BE DRIED TO 15% MC (KD-15).
- ENGINEERED LUMBER BEAMS TO MEET OR EXCEED THE FOLLOWING:
  - 'LSL' - Fb=2325 psi; Fv=310 psi; E=1.55x10<sup>9</sup> psi
  - 'LVL' - Fb=2600 psi; Fv=285 psi; E=2.0x10<sup>9</sup> psi
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING:
  - 'LVL' - Fb=2400 psi; FcII=2500 psi; E=1.8x10<sup>9</sup> psi
- FOR 2 & 3 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 3"x0.120" NAILS @ 8" O/C OR 2 ROWS 1/4"x3/8" SIMPSON SDS SCREWS (OR 3/8" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES FOR 3-PLY CONDITION. LOCATE TOP & BOTTOM NAILS/SCREWS 2" FROM EDGE. SOLID 3 1/2" OR 5 1/4" BEAMS ARE ACCEPTABLE. USE 2 ROWS OF NAILS FOR 2x6 & 2x8 MEMBERS.
- FOR 4 PLY BEAMS OF EQUAL 1 3/4" MAX. WIDTH, FASTEN PLIES TOGETHER WITH 3 ROWS OF 1/4"x6" SIMPSON SDS SCREWS (OR 6 3/4" TRUSSLOK SCREWS) @ 16" O/C. USE A MINIMUM OF 4 ROWS FOR BEAM DEPTHS OF 14" OR GREATER. APPLY FASTENING AT BOTH FACES (ONE SIDE ONLY FOR TRUSSLOK SCREWS). LOCATE TOP AND BOTTOM SCREWS 2" FROM EDGE. A SOLID 7" BEAM IS ACCEPTABLE.
- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS CONTINUOUS TO FND/BEARING. BLOCKING TO MATCH POST ABOVE.
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS WITH P.A.F.s (HILTI) XU PINS OR EQUAL) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C. STAGGERED.
- STEEL PIPE COLUMN "ASD CAPACITIES" SHALL MEET OR EXCEED THE LOADS PROVIDED AT EACH STEEL PIPE COLUMN LOCATION ON PLAN. COLUMNS ARE TO BE INSTALLED PER THE MANUFACTURER'S REQUIREMENT THAT ACHIEVES THE RATED CAPACITY USED, INCLUDING BUT NOT LIMITED TO POSITIVE CONNECTIONS AT THE TOP AND BOTTOM OF THE COLUMN. TWO COLUMNS MAY BE USED UNDER CONTINUOUS BEAMS TO ACHIEVE THE FULL PLAN SPECIFIED REQUIRED CAPACITY IF INSTALLED CENTERED ON THE EXISTING FOOTING/ PLAN SPECIFIED SINGLE COLUMN LOCATION.

seal:



**drees**  
HOMES<sup>SM</sup>

Mulhern+Kulp project number:

085-20015

project mgr:

BSM

drawn by:

CNV

issue date:

04-25-23

REVISIONS:

date:

initial:

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STRUCTURAL NOTES

PARKETTE MODEL

INDIANA

sheet:

S-0



Mulhern+Kulp project number:

085-20015

project mgr:

BSM

drawn by:

CNV

issue date:

04-25-23

## REVISIONS

date:

initial:

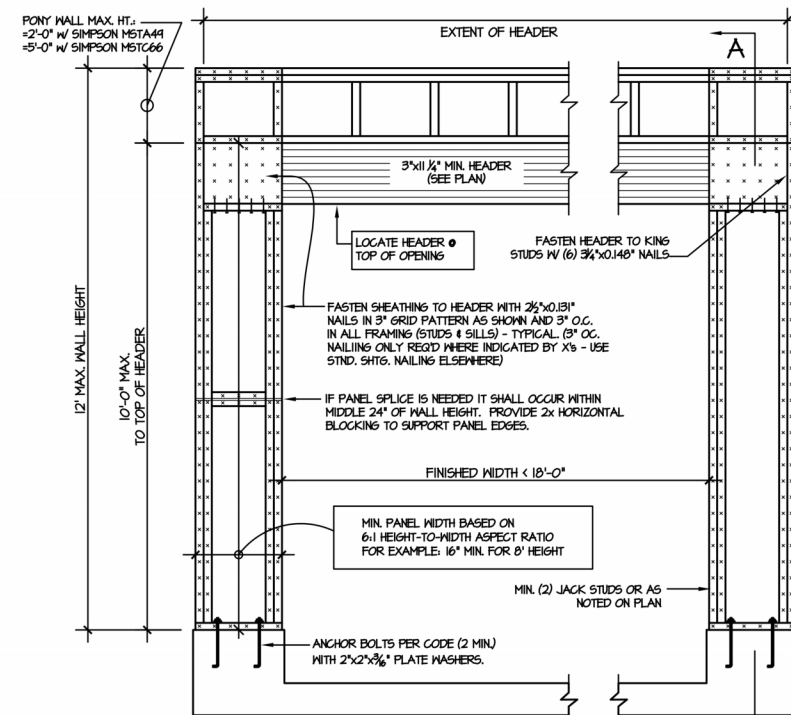


# STRUCTURAL NOTES PARKETTE MODEL

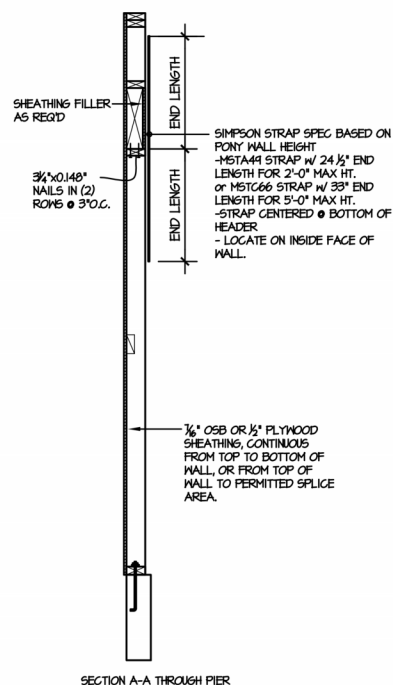
MID-WEST

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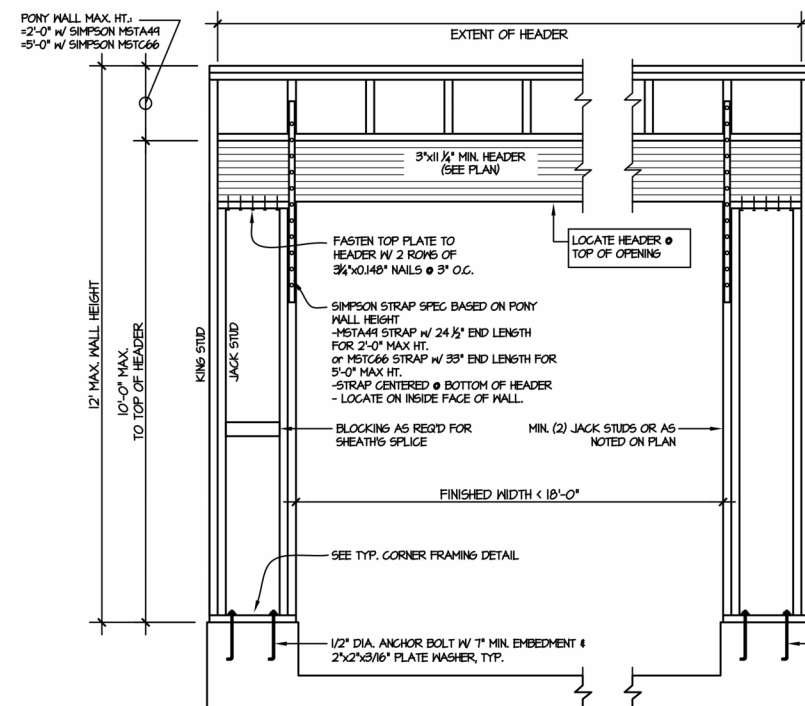
SD-1



OUTSIDE ELEVATION



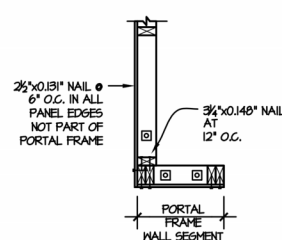
SECTION A-A THROUGH PIER



INSIDE ELEVATION

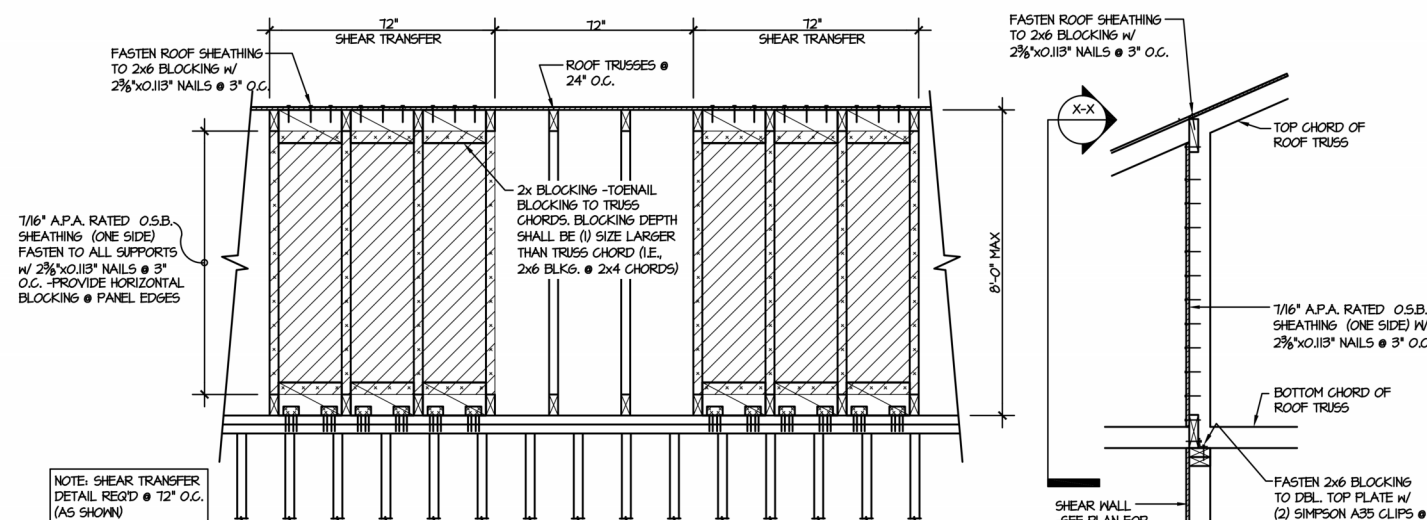
NOTE: ALL SHEATHABLE AREAS OF EXTERIOR WALL SHALL BE FULLY SHEATHED WITH  $\frac{1}{2}$ " PLYWOOD OR  $\frac{3}{8}$ " OSB

WALL FRAMING SPECIFICATION:  
 2x4 WALL: USE HF #2 GRADE  
 STUDS (OR BETTER)  
 2x6 WALL: USE SPF 'STUD'  
 GRADE STUDS (OR BETTER)



PLAN VIEW OF CORNER DETAIL

ALTERNATIVES TO 1/2" DIA. ANCHOR BOLT:  
1) 1/2" DIA. x 6" LONG SIMPSON TITEN HD  
2) 1/2" DIA. THREADED ROD EPOXY SET w/4 1/2" EMBED (MIN) UTILIZING HILTI HY200 EPOXY ANCHORING SYSTEM (OR EQUAL)



NOTE: SHEAR TRANSFER  
DETAIL REQ'D @ 72" O.C.  
(AS SHOWN)

### TYPICAL SHEAR TRANSFER DETAIL

**(X-X) @ INTERIOR SHEARWALL**  
SCALE: 3/4"=1'-0"  
3/8"=1'-0" (1bd7)

### TYPICAL SHEAR TRANSFER DETAIL

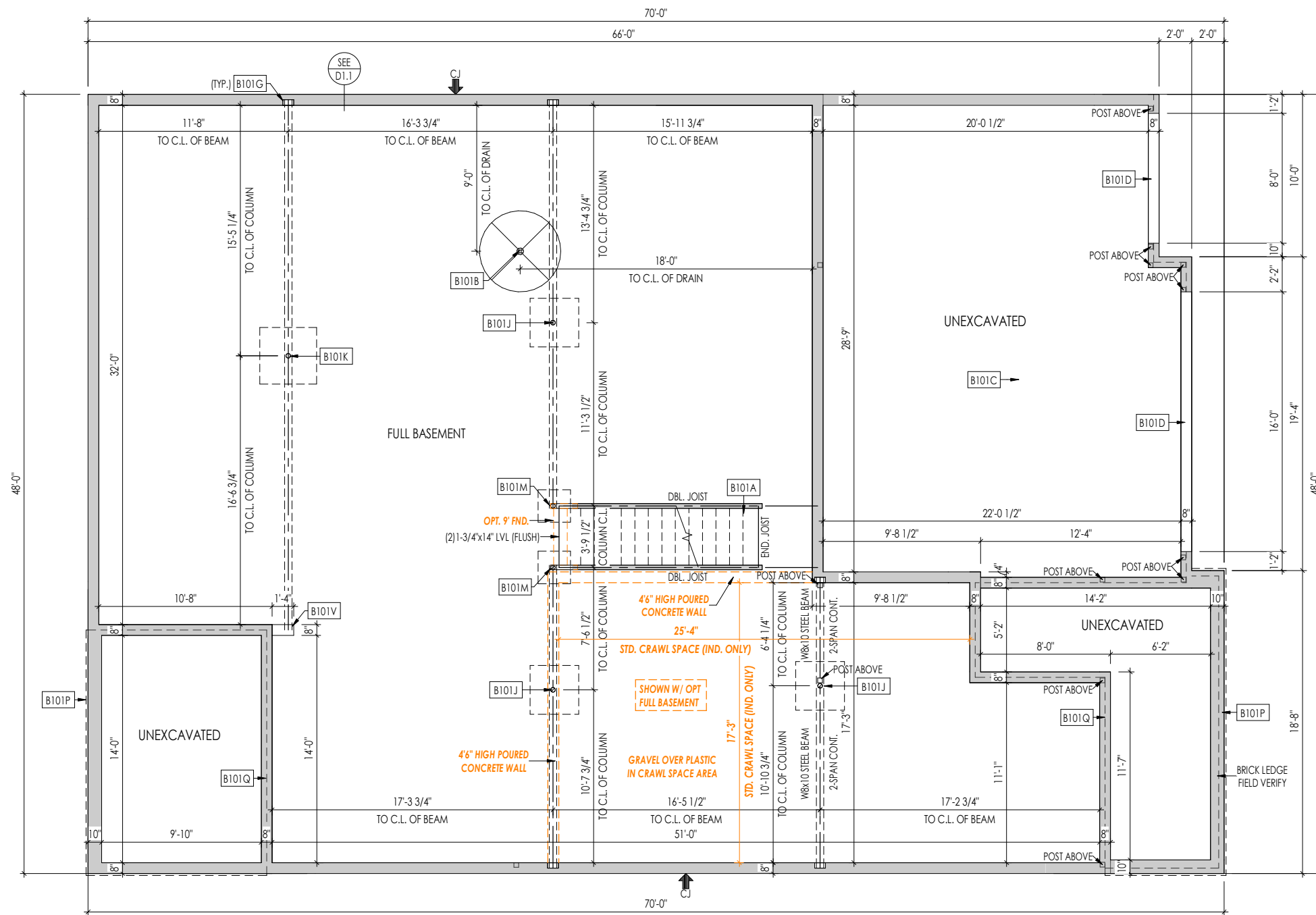
14 @ INTERIOR SHEARWALL  
SCALE: 3/4"=1'-0"  
3/8"=1'-0" (1bd7)

# GARAGE PORTAL FRAME BRACING ELEVATION

SCALE: N.T.S.

BOTH SIDES OF GARAGE DOOR  
115 MPH WIND SPEED (ULT)

OPTION SHEET KEYNOTES	
B101A	OUTLINE OF BASEMENT STAIRS
B101B	5'-0" DIA. AREA SLOPED TO DRAIN; 2" LOWER THAN TOP OF SLAB
B101C	GARAGE SLAB TO BE HELD A MINIMUM OF 4" BELOW TOP OF FOUNDATION AND IS TO SLOPE 1/4" PER FOOT TOWARDS GARAGE DOOR
B101D	CONTINUOUS FOOTING AND FOUNDATION; DROP TO BE FIELD DETERMINED
B101G	8"W x 8"H x 4"D BEAM POCKET
B101J	3 1/2" ADJ. STEEL PIPE COL. w/ 13.5K MIN. CAP. (ASD) ON A 36"x36"x12" PLAIN CONC. FTG.
B101K	3 1/2" ADJ. STEEL PIPE COL. w/ 18.0K MIN. CAP. (ASD) ON A 42"x42"x12" CONC. FTG. w/ #4 BOTTOM BARS @ 12" O.C. EA. WAY
B101M	3 1/2" ADJ. STEEL PIPE COL. w/ 6.0 K MIN. CAP. (ASD) ON A 24"x24"x8" PLAIN CONC. FTG.
B101P	1-1/2" TYP. OVERHANG AT CONCRETE PORCH SLAB ABOVE - SEE SPECIFICATION MANUAL FOR FRONT PORCH CONSTRUCTION
B101Q	OUTLINE OF STUD WALL / PORCH SLAB ABOVE
B101V	DROP TOP OF FOUNDATION WALL 8" FOR STEEL BEAM SUPPORT



## OPTION LIST

OPTION	SHEET#
1. OPT. BASEMENT	8.01-8.03
2. OPT. RECREATION ROOM	8.02
3. OPT. LOWER LEVEL FULL BATH	8.02
4. OPT. LOWER LEVEL HALF BATH	8.02
5. OPT. BEDROOM #5	8.02
6. OPT. DEN	8.02
7. OPT. DECK	8.02
8. OPT. 2ND FLOOR	8.03-8.04
9. OPT. BEDROOM #4	8.04
10. OPT. GARDEN BATH	8.05
11. OPT. SUPER SHOWER	8.05

RESIDENCE FOR:			
CUSTOMER NAME			
JOB ADDRESS			
SUBDIVISION NAME			
Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:		Drawing Scale: 1/8" = 1'0"	Contract Drawn By: XXX
the PARKETTE			Series: SERIES_NM
			Plan No.: PLAN_NM
Born on Date: 08/30/19	CDs Drawn By:	CLM	



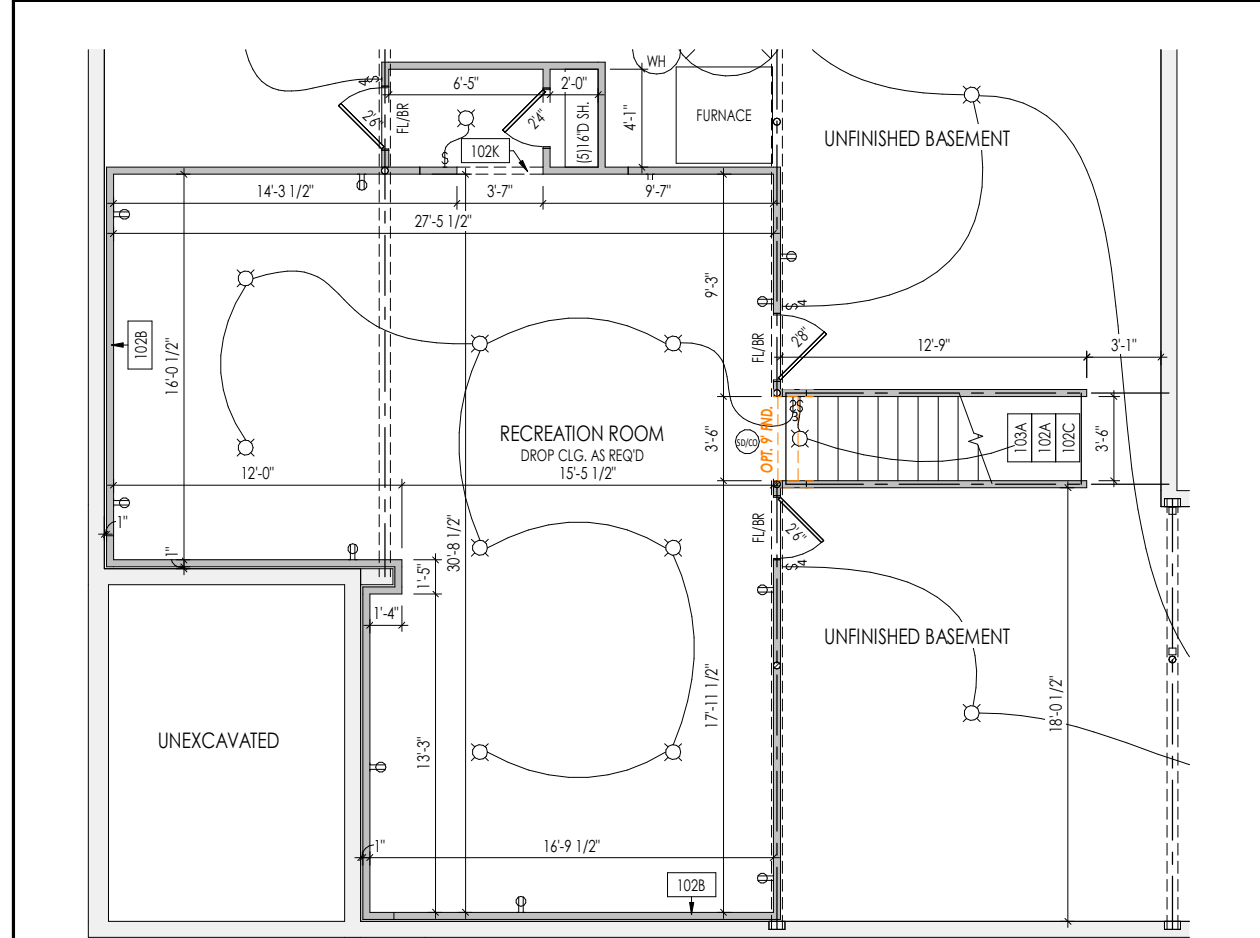
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FOUNDATION PLAN

1. OPT. BASEMENT - SHOWN WITH ELEVATION A

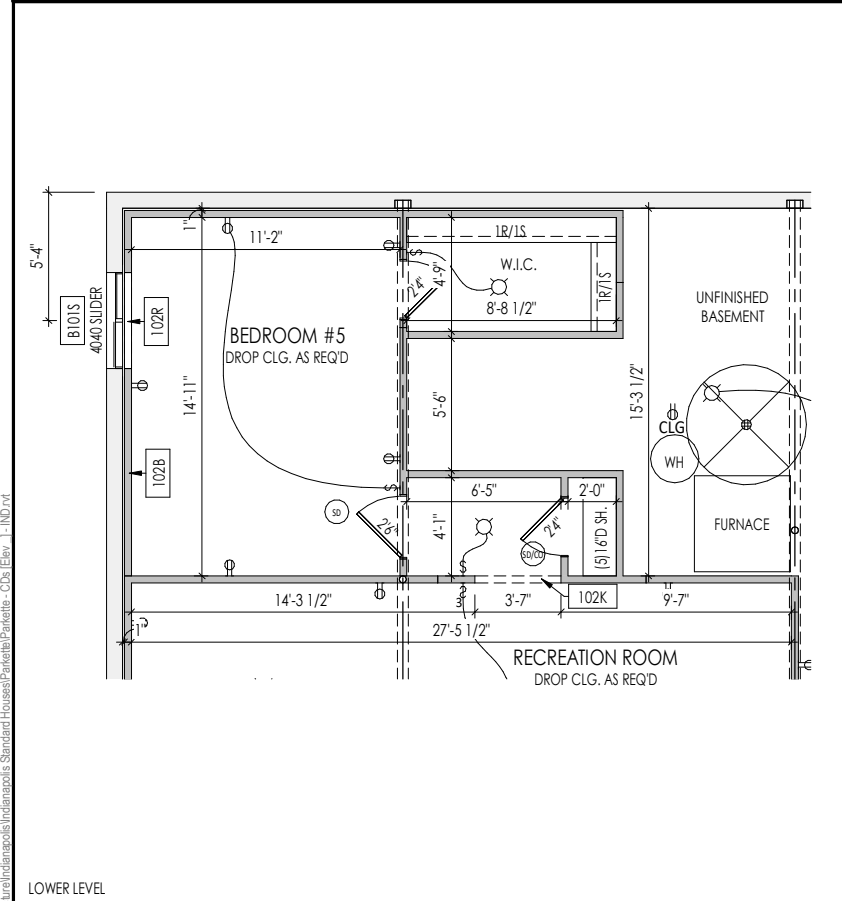
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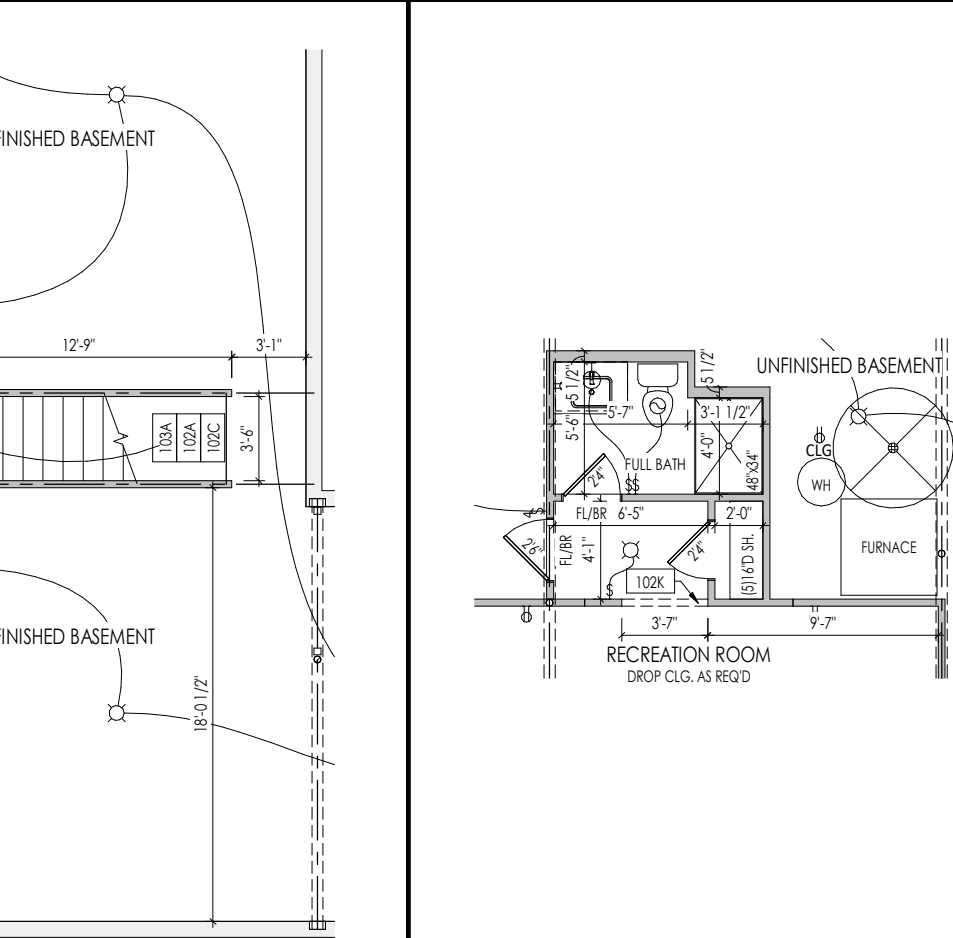
LOWER LEVEL

2. OPT. RECREATION ROOM



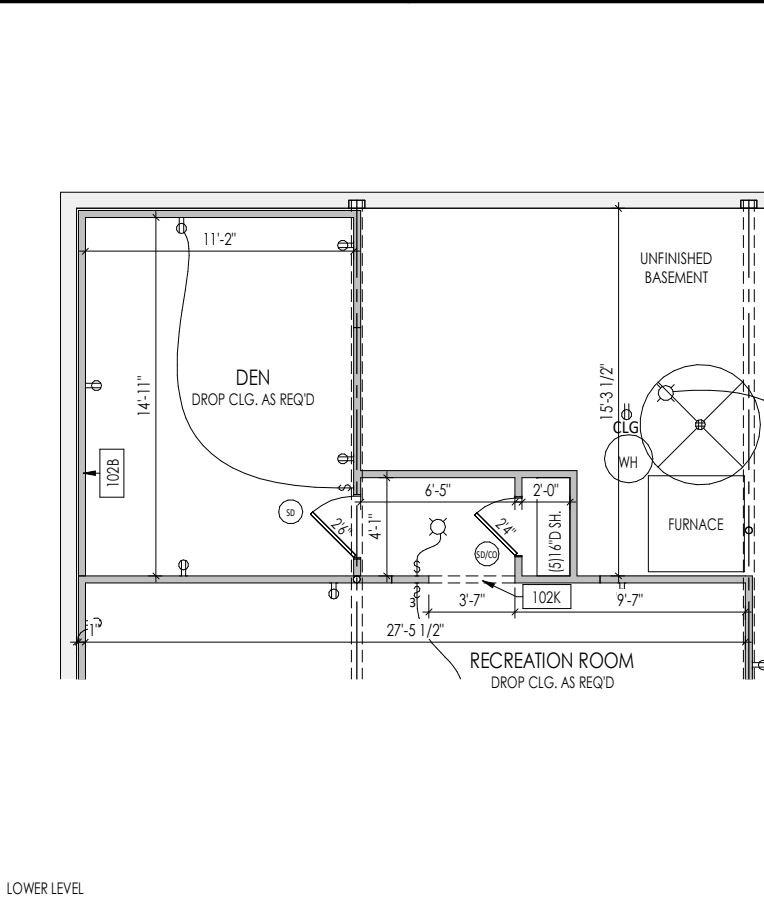
LOWER LEVEL

5. OPT. BEDROOM #5



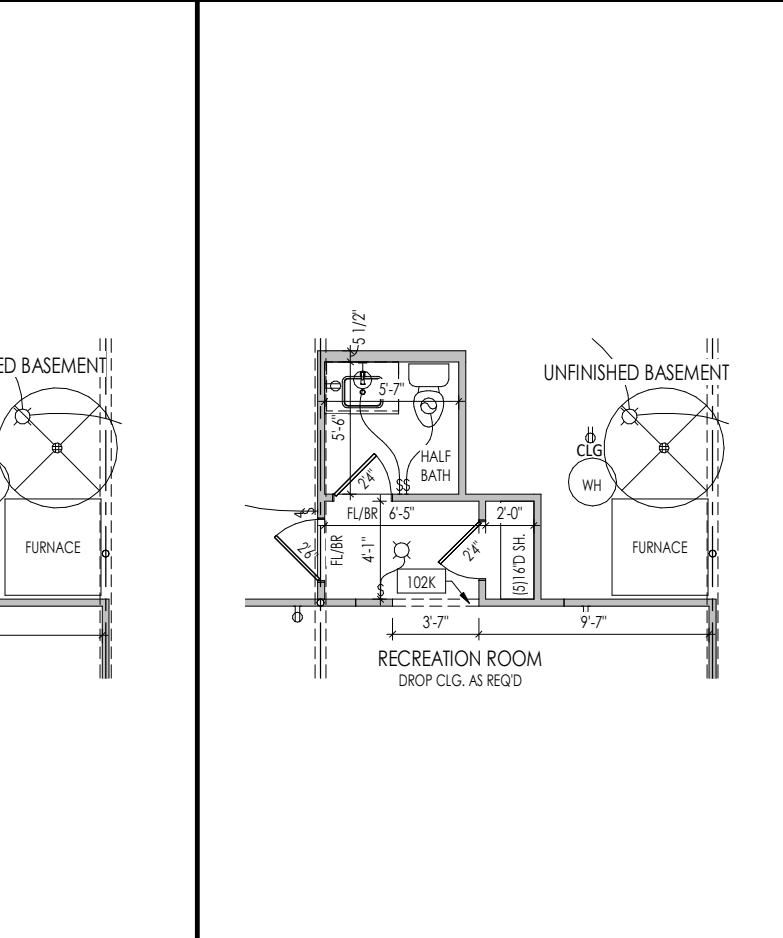
LOWER LEVEL

3. OPT. LOWER LEVEL FULL BATH



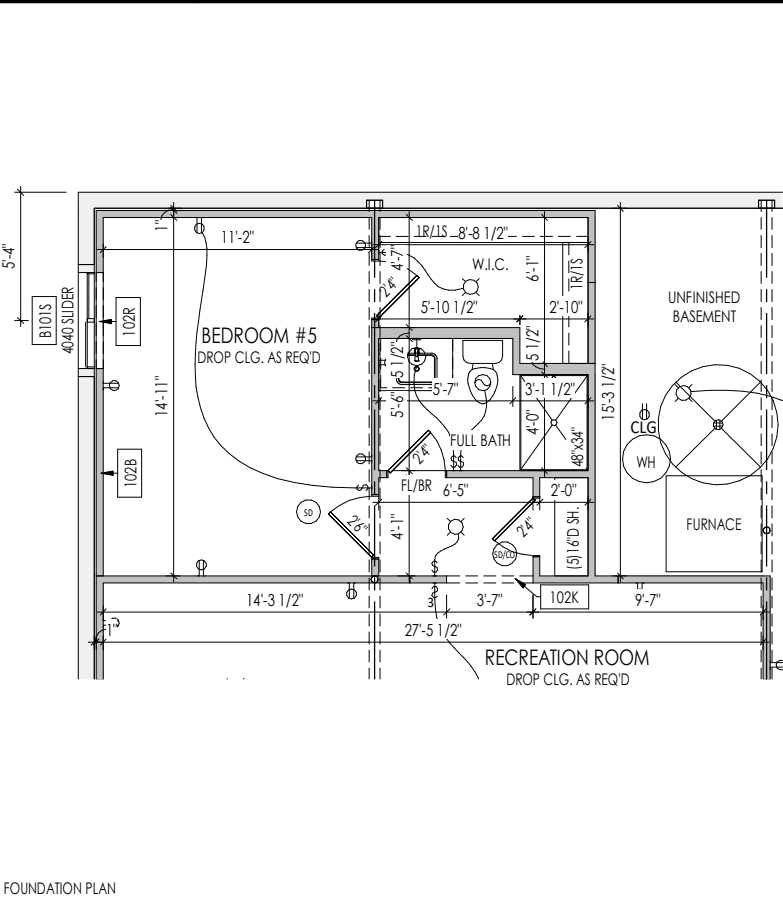
LOWER LEVEL

6. OPT. DEN



LOWER LEVEL

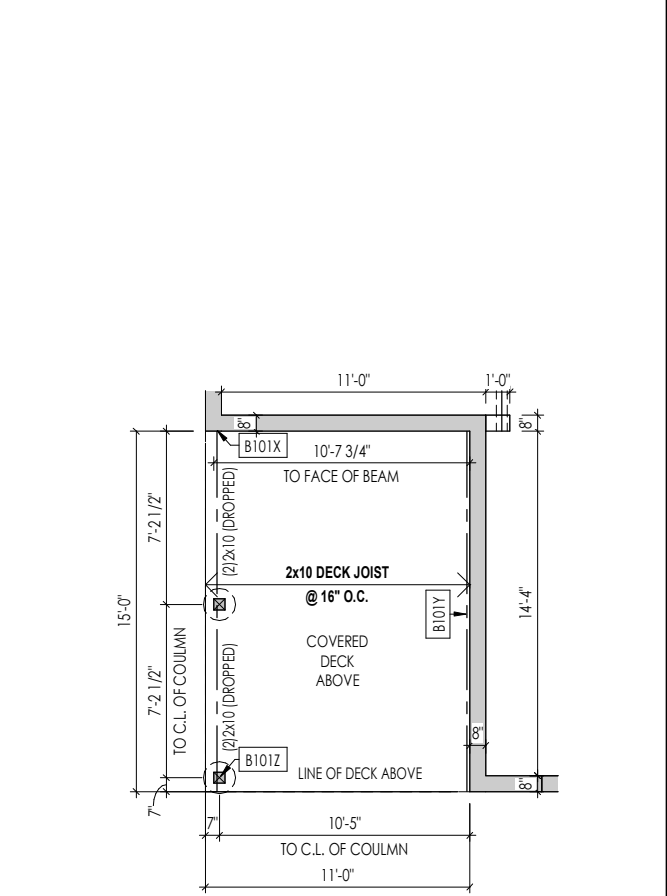
4. OPT. LOWER LEVEL HALF BATH



FOUNDATION PLAN

3. AND 5. OPT. LOWER LEVEL FULL BATH 5. AND OPT. BEDROOM #5

OPTION SHEET KEYNOTES	
102A	STAIRS TO BE ENCLOSED WITH FULL HEIGHT STUDS @ 16" O.C. AND DRYWALLED ON INTERIOR STAIRWELL ONLY TO BOTTOM OF THE RUN
102B	2x4 STUDS HELD 1" FROM FOUNDATION WALL WITH 3-1/2" INSULATION
102C	SEE DETAIL D/7.02 FOR BASEMENT STAIR FRAMING DETAILS
102K	FRAME TOP OF OPENING AT 1'-0" DOWN FROM FIRST FLOOR SUBFLOOR
102R	RIPPED 1x WOOD SILL
103A	TO LIGHT/SWITCH ABOVE
B101S	LARGER BSMT WINDOW(S) TO USE CONCRETE HEADER. BOTTOM OF WINDOW SILL 40" MAX. ABOVE FINISHED FLOOR AS REQ'D. FOR EGRESS
B101X	STD FND: FASTEN DROPPED BEAM TO FOUNDATION WALL w/ SIMPSON MASONRY HU210-2 HANGER w/ STAINLESS STEEL SIMPSON TITEN HD SCREWS ; OPT. BRICK TO GRADE: SIMPSON HUC21_-2 HANGER FASTENED TO BANDBOARD/FLUSH BEAM RE: D7.6 FOR DECK ATTACHMENT DETAIL
B101Y	STD FND: 2x10 P.T. LEDGER FASTENED TO RIM. w/ (3) 1/4x3 1/2" SIMPSON SDS SCREWS @ 16" O.C.; OPT. BRICK TO GRADE: 2x BAND BOARD W/ MAINE DECK BRACKETS RE: D7.6 FOR DECK ATTACHMENT DETAIL
B101Z	4x4 P.T. POST w/ SIMPSON BCS2-2/4 CAP AND ABW44Z BASE ON A 16" DIA. SONOTUBE FTG. TO FROST (TYP. 2)



FOUNDATION PLAN

7. OPT. DECK

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

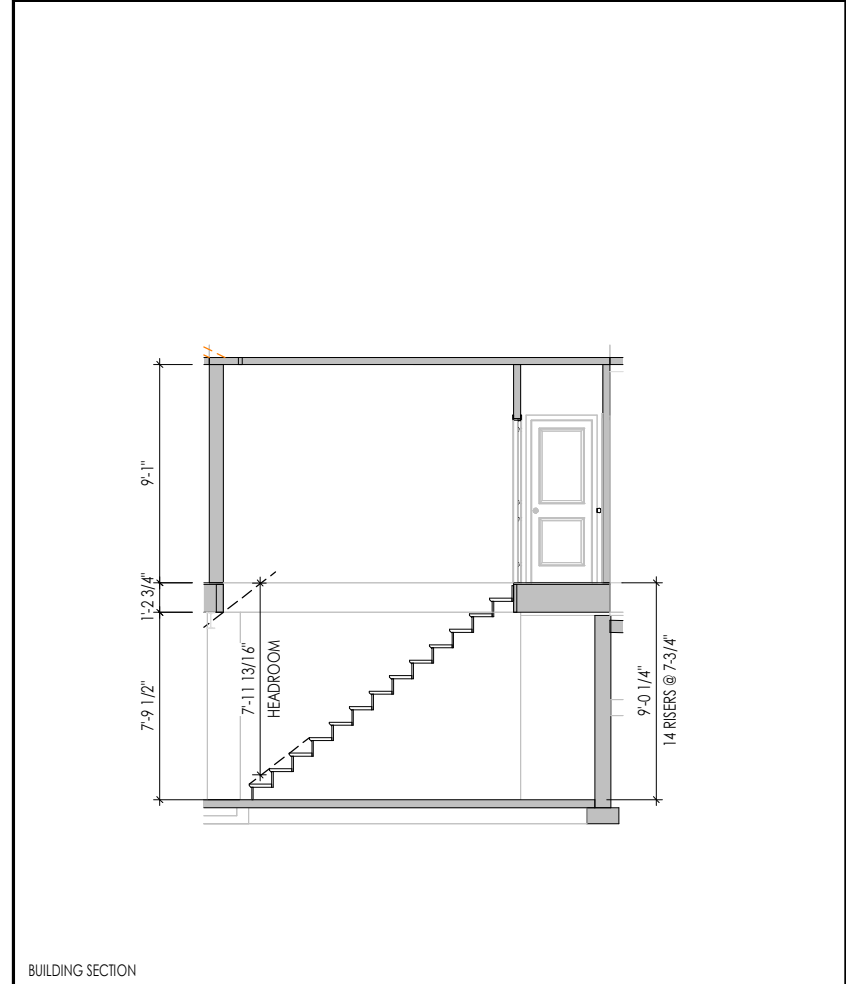
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House Name: <b>the PARKETTE</b>			Contract Drawn By: <b>XXX</b>
Born on Date: <b>08/30/19</b>			Series: <b>SERIES_NM</b>
CDs Drawn By: <b>CLM</b>			Plan No.: <b>PLAN_NM</b>

**Drees**  
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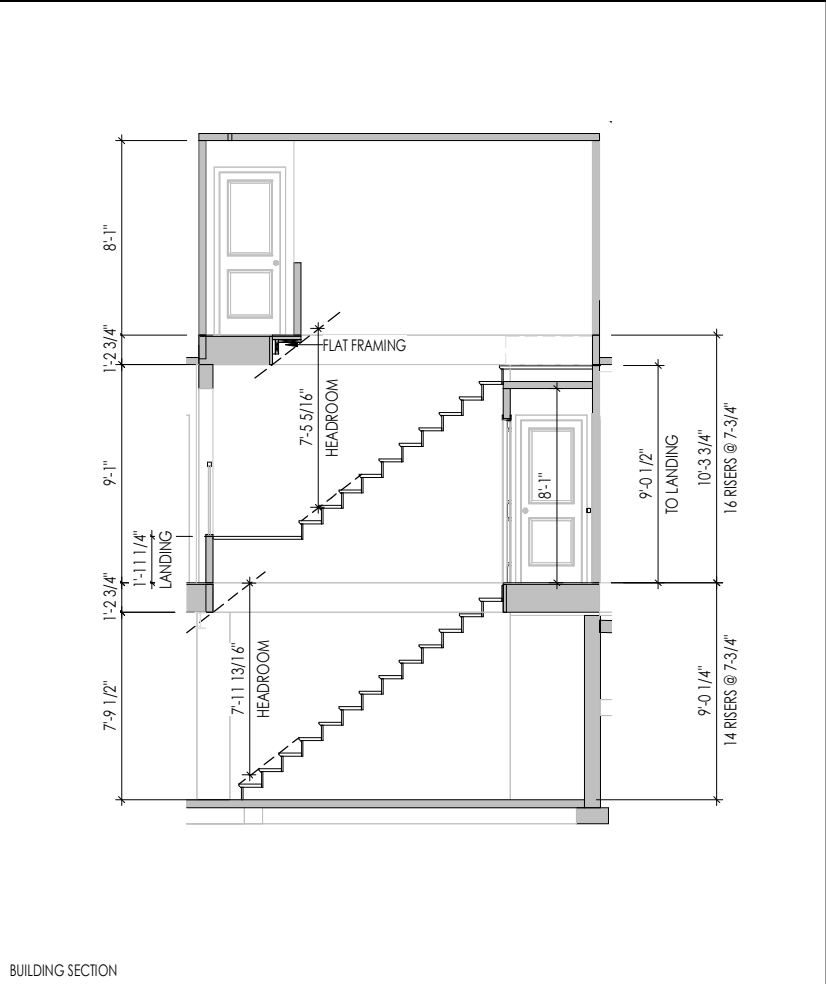
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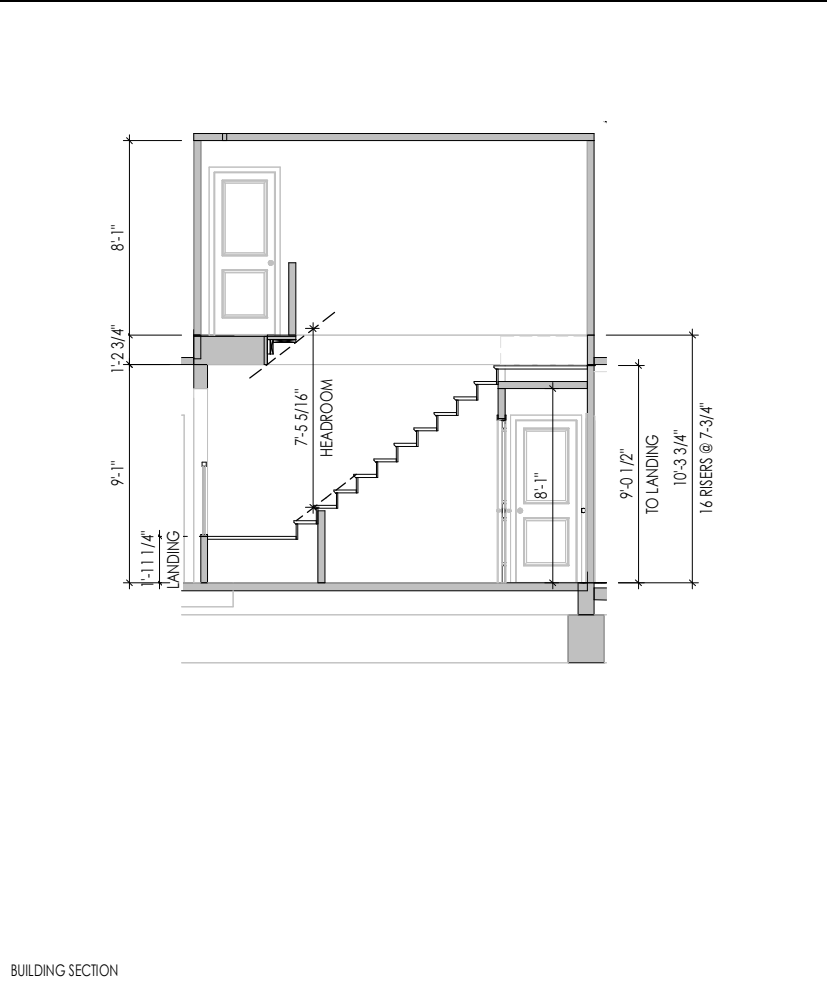
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Option Sheet



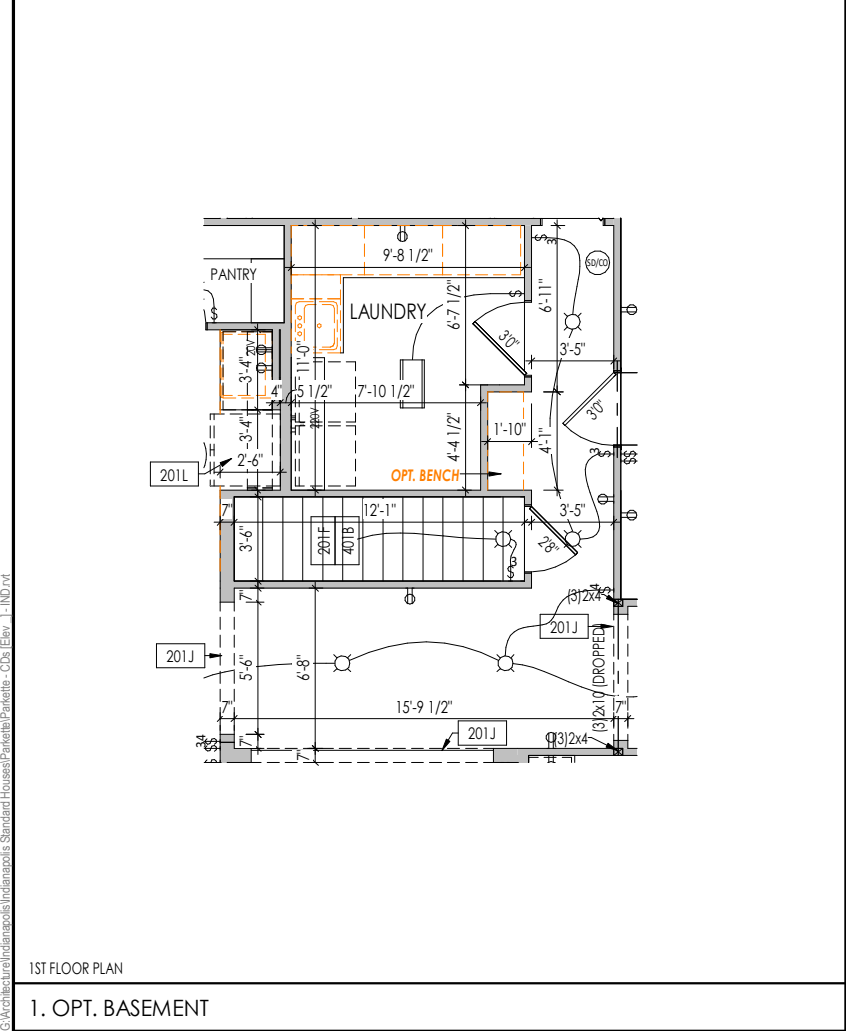
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BUILDING SECTION

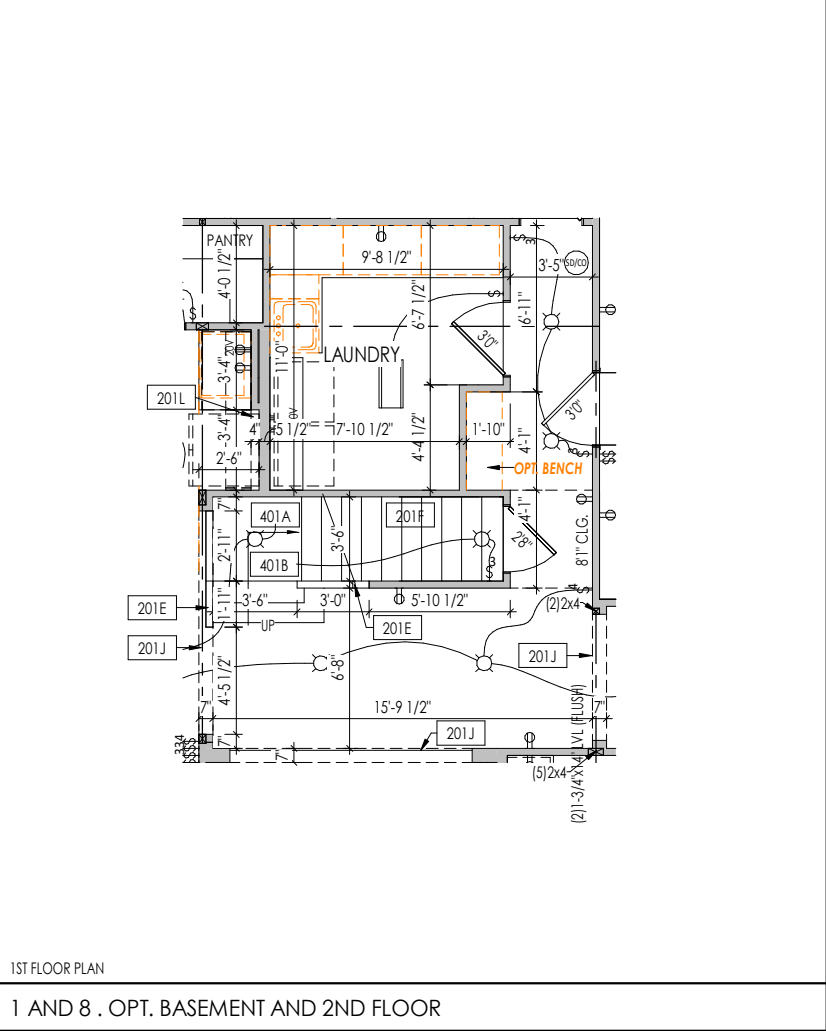


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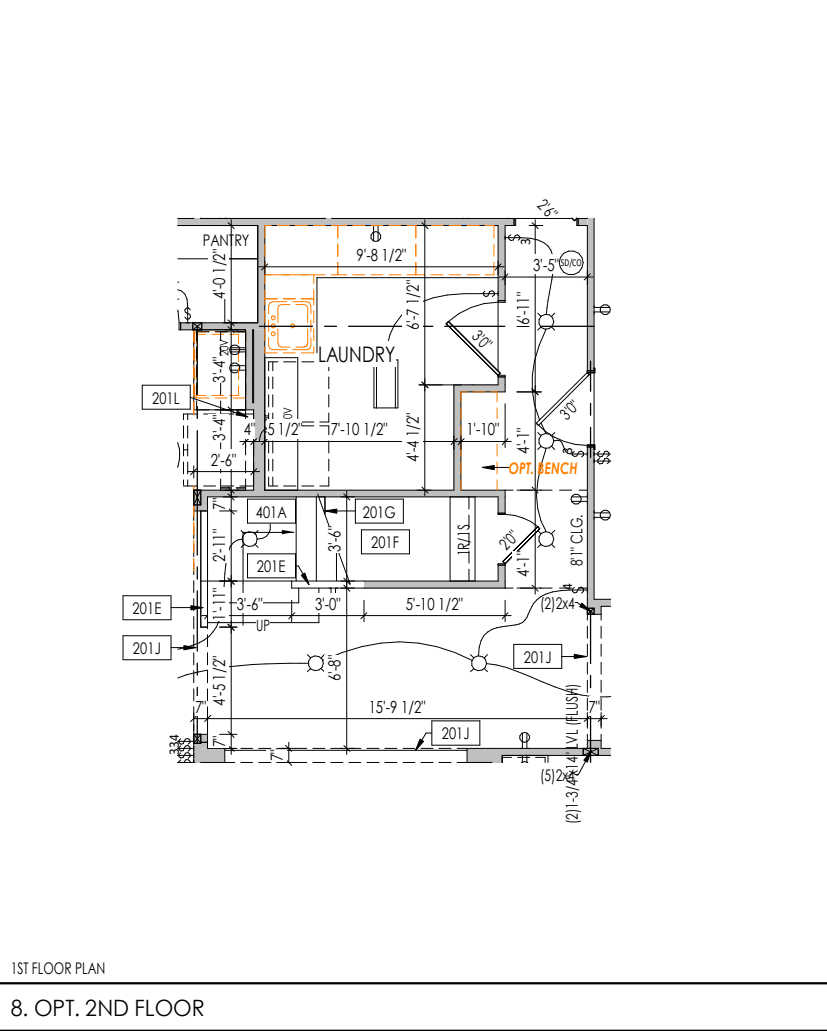
1ST FLOOR PLAN

1. OPT. BASEMENT



1ST FLOOR PLAN

1 AND 8 . OPT. BASEMENT AND 2ND FLOOR



1ST FLOOR PLAN

8. OPT. 2ND FLOOR

OPTION SHEET KEYNOTES

201E	SLOPE WALL EVEN WITH TOP OF STAIR STRINGER, RAILING ABOVE
201F	SEE DETAIL C/7.02 OR D/7.02 FOR STAIR FRAMING DETAILS
201G	APPROX. LOCATION OF 36" HIGH WALL UNDER STAIRS (FIELD VERIFY)
201J	FRAME TOP OF OPENING AT HEIGHT SPECIFIED IN GENERAL NOTES ON THIS SHEET
201L	FRAME TOP OF OPENING AT REFRIGERATOR AT 6'-8" A.F.F.
401A	TO SWITCH OR LIGHT ABOVE
401B	TO SWITCH OR LIGHT BELOW

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: XXXX-XXXX-XX	Drawing Date: XX.XX.XXXX	Coord Name: COORD_NAME	Coord Phone: COORD_PHONE
House Name:			Contract Drawn By: XXX
the PARKETTE			Series: SERIES_NM
Born on Date: 08/30/19			Plan No.: PLAN_NM

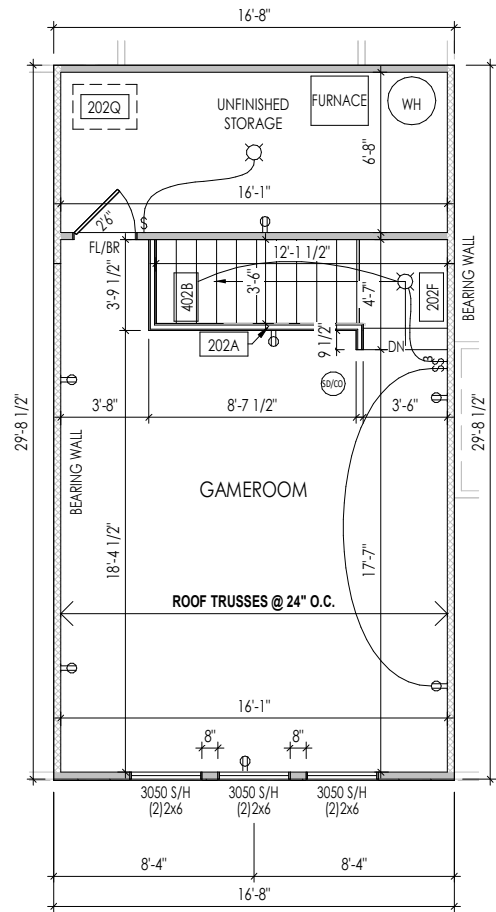
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Sheet Information

**8.03**  
Option Sheet

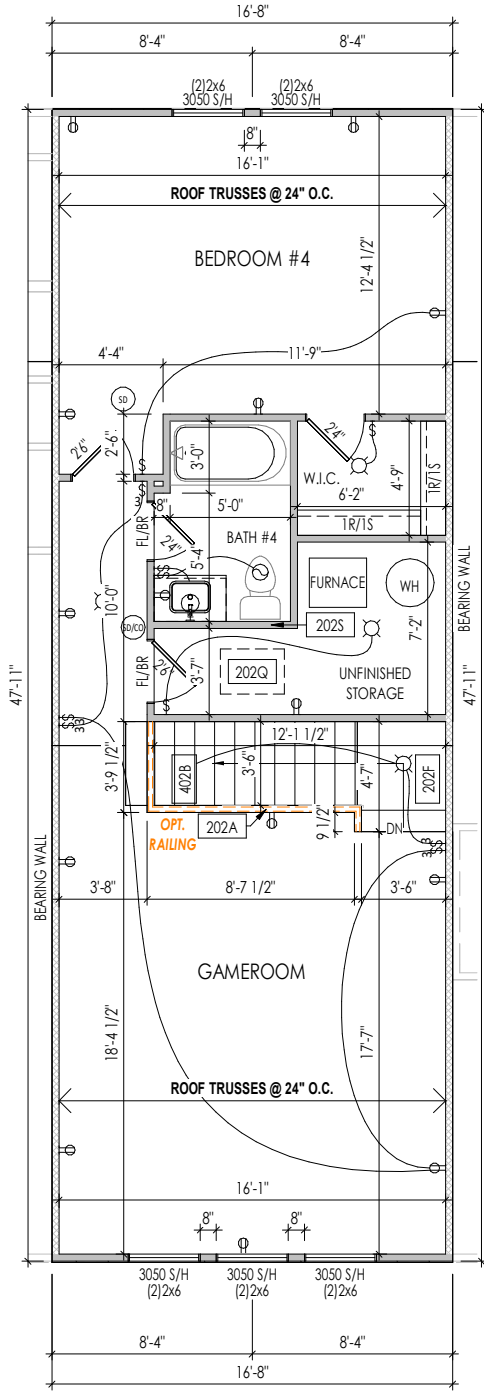


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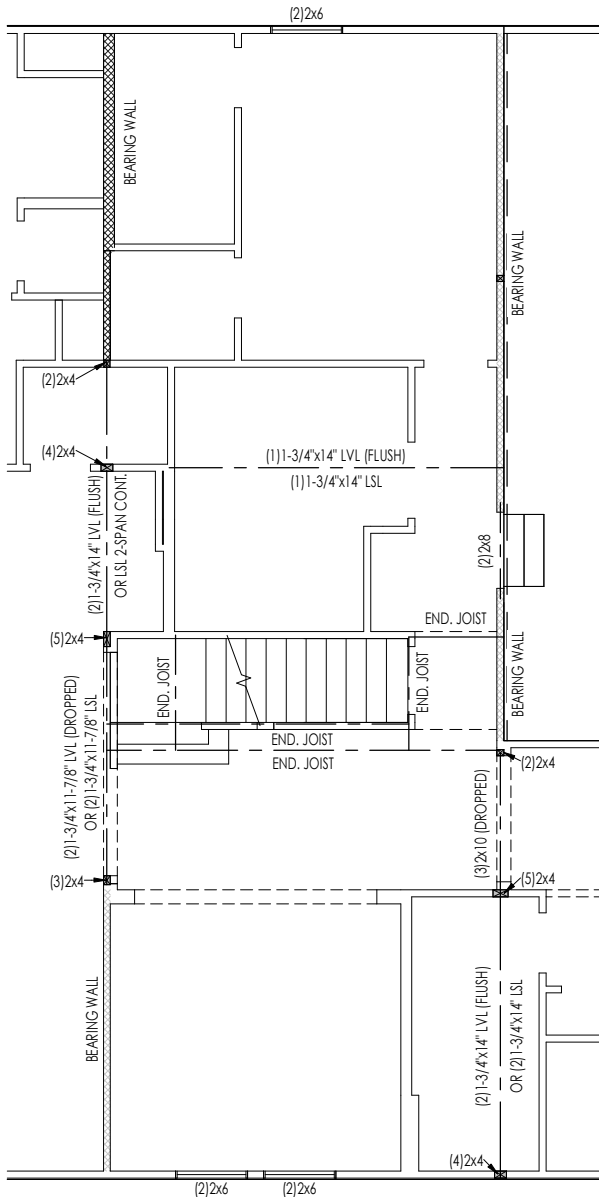
2ND FLOOR PLAN

8. OPT. 2ND FLOOR

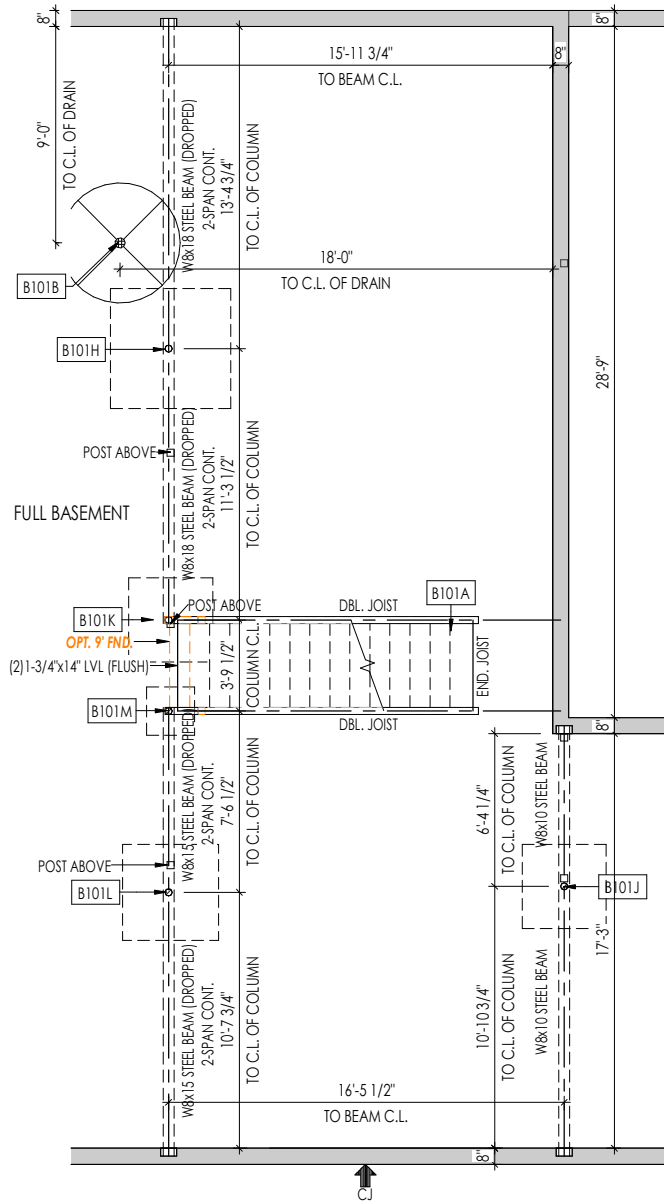


2ND FLOOR PLAN

9. OPT. BEDROOM #4



1ST FLOOR STRUCTURE PLAN



FOUNDATION PLAN

OPTION SHEET KEYNOTES

202A	36" HIGH WALL
202F	SEE DETAIL C/7.02 FOR STAIR FRAMING DETAILS
202Q	22-1/2" x 32" ATTIC ACCESS
202S	DO NOT LOCATE TRUSS ABOVE PLUMBING WALL
402B	TO SWITCH OR LIGHT BELOW
B101A	OUTLINE OF BASEMENT STAIRS
B101B	5'-0" DIA. AREA SLOPED TO DRAIN; 2" LOWER THAN TOP OF SLAB
B101H	3 1/2" SCHD. 40 STND. STEEL PIPE COL. w/ 32.0K MIN. CAP. (ASD) 60"x60"x12" CONC. FTG. w/ #4 BOTTOM BARS @ 8" O.C. EA. WAY
B101J	3 1/2" ADJ. STEEL PIPE COL. w/ 13.5K MIN. CAP. (ASD) ON A 36"x36"x12" PLAIN CONC. FTG.
B101K	3 1/2" ADJ. STEEL PIPE COL. w/ 18.0K MIN. CAP. (ASD) ON A 42"x42"x12" CONC. FTG. w/ #4 BOTTOM BARS @ 12" O.C. EA. WAY
B101L	3 1/2" ADJ. STEEL PIPE COL. w/ 19.4 K MIN. CAP. (ASD) ON A 48"x48"x12" CONC. FTG. w/ #4 BOTTOM BARS @ 12" O.C. EA. WAY
B101M	3 1/2" ADJ. STEEL PIPE COL. w/ 6.0 K MIN. CAP. (ASD) ON A 24"x24"x8" PLAIN CONC. FTG.

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

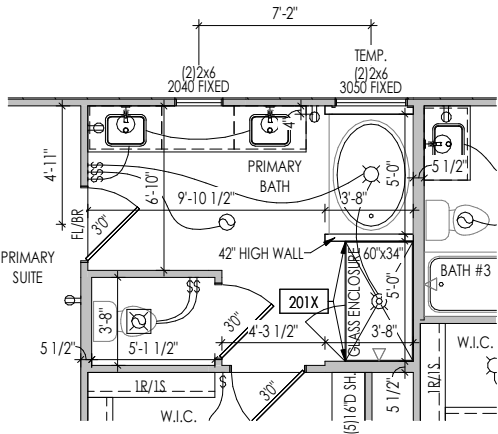
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House Name:			Contract Drawn By: <b>XXX</b>
<b>the PARKETTE</b>			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>
Born on Date:	08/30/19	CDs Drawn By:	CLM



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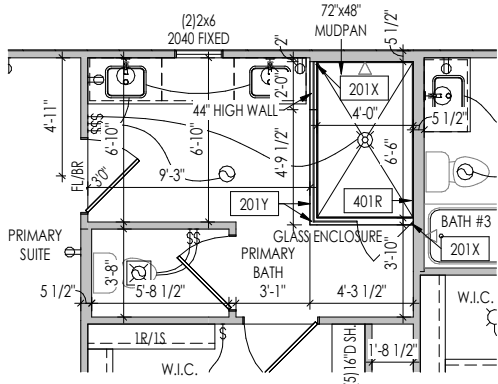
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1ST FLOOR PLAN

10. OPT. GARDEN BATH



1ST FLOOR PLAN

11. OPT. SUPER SHOWER

OPTION SHEET KEYNOTES

201X	PROVIDE BLOCKING FOR SHOWER DOOR/ENCLOSURE
201Y	PROVIDE 4-1/2" SHOWER CURB
401R	LOCATE SHOWER CONTROLS HERE

RESIDENCE FOR:  
**CUSTOMER NAME**  
JOB ADDRESS  
SUBDIVISION NAME

Job Number: <b>XXXX-XXXX-XX</b>	Drawing Date: <b>XX.XX.XXXX</b>	Coord Name: <b>COORD_NAME</b>	Coord Phone: <b>COORD_PHONE</b>
House Name:			Contract Drawn By: <b>XXX</b>
<b>the PARKETTE</b>			Series: <b>SERIES_NM</b>
			Plan No.: <b>PLAN_NM</b>
Born on Date:	08/30/19	CDs Drawn By:	CLM



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Sheet Information

**8.05**  
Option Sheet