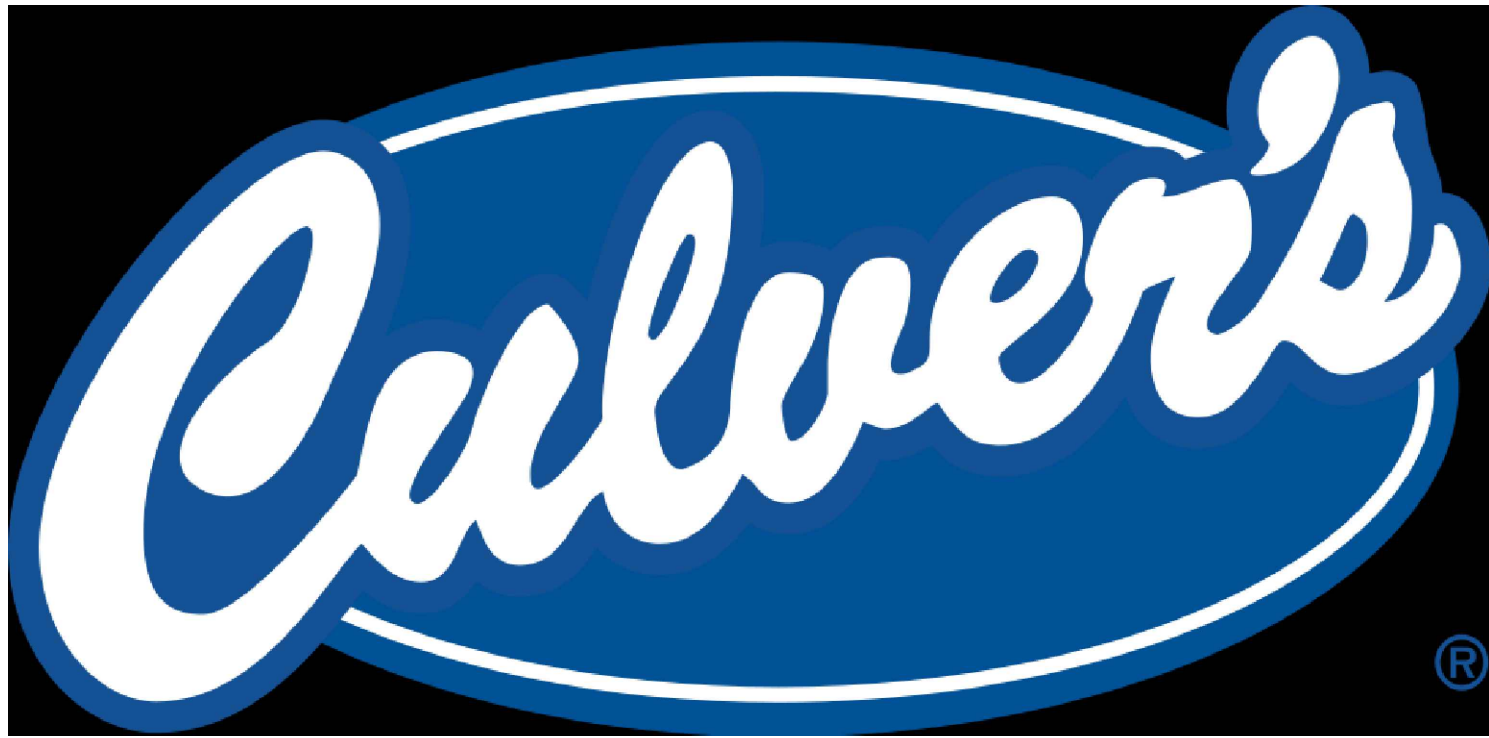
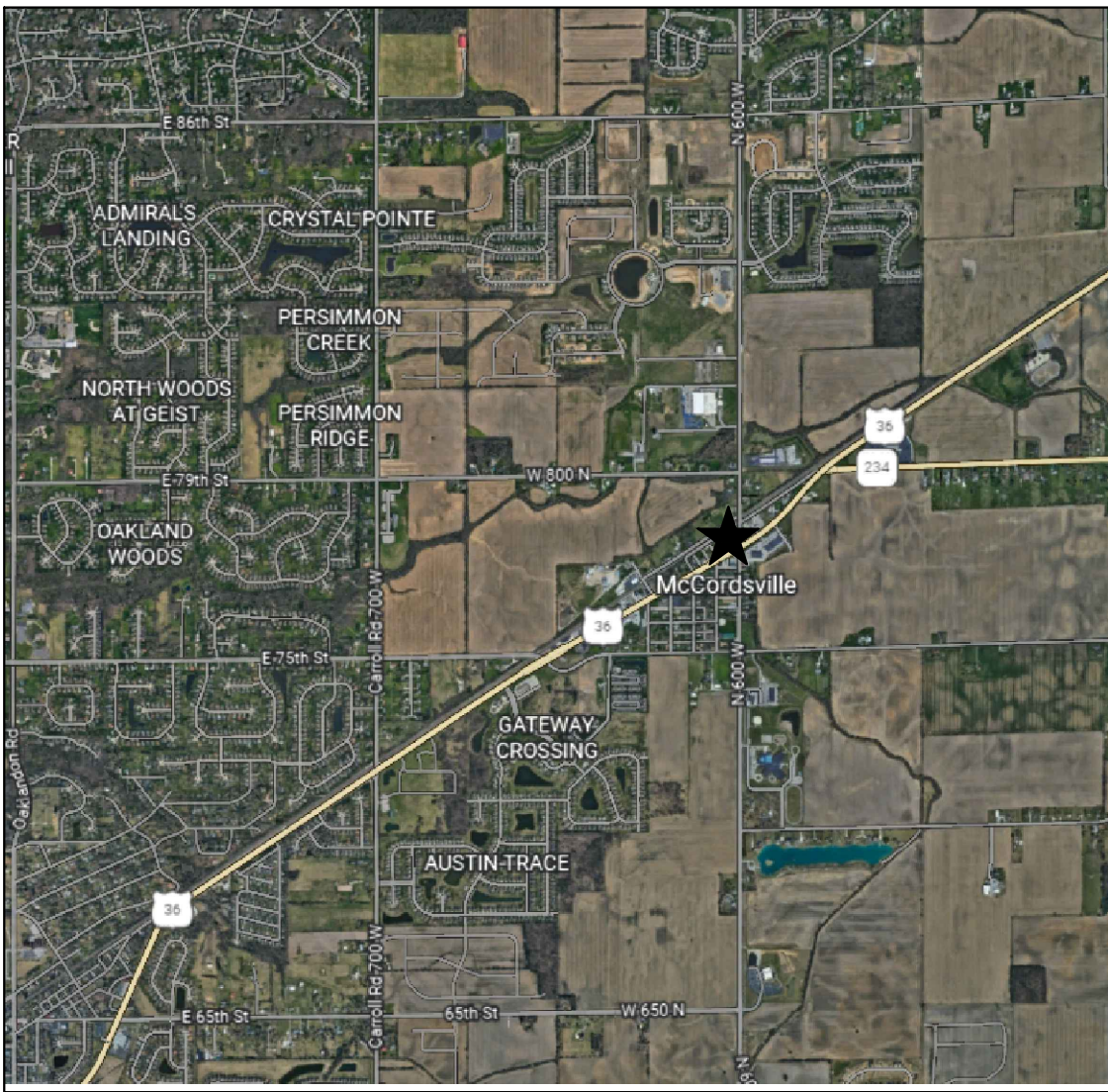


CONSTRUCTION PLANS FOR  
CULVER'S  
NW CORNER OF US 36 AND MT COMFORT ROAD  
MCCORDSVILLE, IN 46055

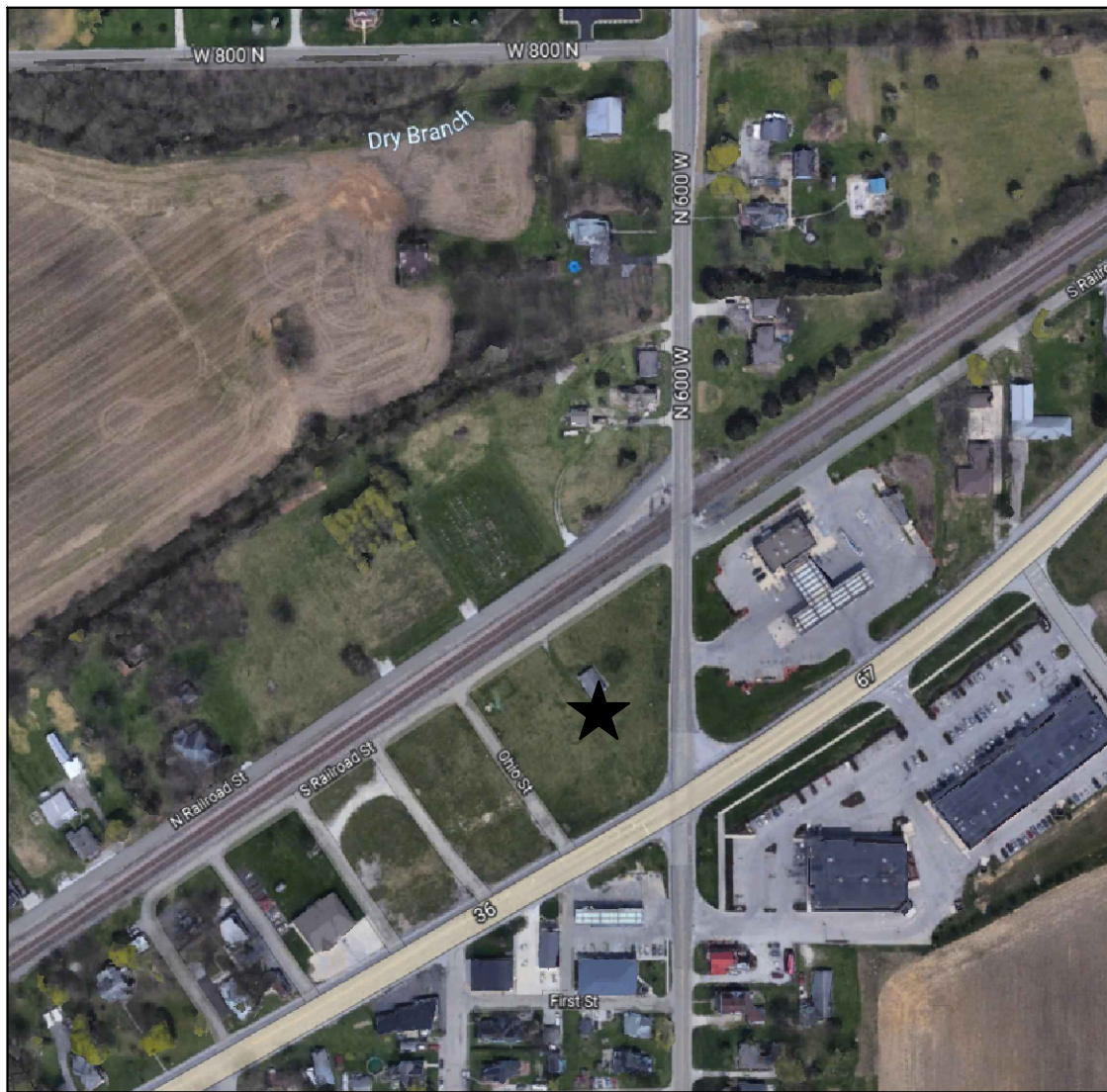
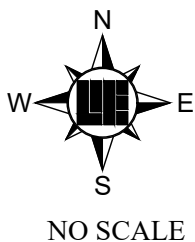


PLANS PREPARED FOR  
CULVER'S  
PO BOX 1478  
MARION, IN 46952  
TELEPHONE: (765) 206-0050  
CONTACT PERSON: JIM SWAN  
EMAIL: JIM.SWAN@SSS2020.COM

PLANS PREPARED BY  
WEIHE ENGINEERS, INC.  
10505 N. COLLEGE AVE.  
INDIANAPOLIS, INDIANA 46280  
TELEPHONE: (317) 846-6611  
FAX: (317) 843-0546  
CONTACT PERSON: SCOTT RUCKER, P.E.  
EMAIL: RUCKERS@WEIHE.NET



★ PROJECT LOCATION  
AREA MAP



★ PROJECT LOCATION  
LOCATION MAP

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
2. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
3. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY AND COORDINATE CONSTRUCTION WITH ALL RESPECTIVE UTILITIES.
4. ALL QUANTITIES GIVEN ON THESE PRINTS, VERBALLY OR IN THE SCOPE OF WORK SECTION ARE ESTIMATES AND SHALL BE CONFIRMED BY THE BIDDING CONTRACTORS.
5. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29 CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH.
6. IN ADDITION, EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRE THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER.
7. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND CONTRACTOR TO MAINTAIN QUALITY CONTROL THROUGHOUT THIS PROJECT.
8. TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS.
9. THE ENGINEER AND/OR OWNER DISCLAIM ANY ROLE IN THE CONSTRUCTION MEANS AND METHODS ASSOCIATED WITH THE PROJECT AS SET FORTH IN THESE PLANS.
10. ANY FIELD TILES ENCOUNTERED DURING EXCAVATION SHALL BE REPAIRED AND CONNECTED TO NEW STORM SEWERS AND POSITIVE DRAINAGE PRESERVED.
11. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER THAT ALL LANDSCAPE REQUIREMENTS ARE MET AND CONFORM TO APPLICABLE LOCAL STANDARDS.
12. THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA AS ESTABLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE RATE MAP #18057C02280, DATED NOVEMBER 19, 2014.
13. BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS & PLAT FOR EXACT INFORMATION.
14. THIS SITE DOES NOT CONTAIN ANY WETLANDS AT SHOWN ON THE U.S. DEPARTMENT OF THE INTERIOR FISH AND WILDLIFE SERVICE; MCCORDSVILLE, INDIANA, NATIONAL WETLANDS INVENTORY MAP DATED 1990.

OPERATING AUTHORITIES

MCCORDSVILLE PLANNING AND BUILDING  
6280 W 800 N  
MCCORDSVILLE, IN 46055  
RYAN CRUM  
TEL: 317.335.3604

MCCORDSVILLE ENGINEERING DEPARTMENT  
6280 W 800 N  
MCCORDSVILLE, IN 46055  
MARK WITTSMAN  
TEL: 317.335.3604

MCCORDSVILLE VOLUNTEER FIRE DEPARTMENT  
7580 N FORM ST  
MCCORDSVILLE, IN 46055  
TEL: 317.335.9236

MCCORDSVILLE PUBLIC WOKS DEPARTMENT  
6280 W 800 N  
MCCORDSVILLE, IN 46055  
RON CRIDER  
TEL: 317.335.3493

CITIZENS ENERGY GROUP  
1220 WATERWAY BLVD  
INDIANAPOLIS, IN 46202  
317.263.6382

VECTREN ENERGY  
112 W. SOUTH ST  
GREENFIELD, IN 46140  
TEL: 765.648.3246

COMCAST  
9750 E. 150th STREET  
SUITE 1600  
NOBLESVILLE, INDIANA 46060  
TEL: 317.776.4495

INDIANAPOLIS POWER AND LIGHT  
1230 W. MORRIS ST  
INDIANAPOLIS, IN 46221  
TEL: 317.261.5203

NINESTAR CONNECT  
2243 E. MAIN ST  
GREENFIELD, IN 46140  
TEL: 317.323.2087

LAND DESCRIPTION

SEE SURVEY

Sheet List Table	
SHEET NUMBER	SHEET TITLE
C0.0	TITLE SHEET
C0.5	GENERAL NOTES
C1.0	SURVEY
C1.1	SURVEY
C2.0	SITE DEMO S.E.S.C. - SWPPP1
C2.1	SITE STABILIZATION - SWPPP2
C2.2	SWPPP SPECIFICATIONS
C3.0	SITE PLAN
C4.0	GRADING PLAN
C5.0	UTILITY PLAN
C5.1	STORM PLAN AND PROFILE
C6.0	LANDSCAPE PLAN
C7.0	LIGHTING AND PHOTOMETRIC PLAN
C8.0	SWPPP DETAILS
C8.1	SITE DETAILS
C8.2	UTILITY DETAILS
C8.3	LANDSCAPE DETAILS
C8.4	LIGHT POLE DETAILS
C8.5	TRASH CORRAL DETAILS
C9.1	GENERAL SPECIFICATIONS
C9.2	GENERAL SPECIFICATIONS



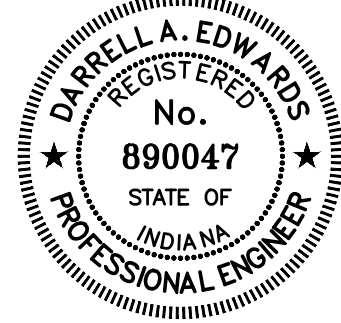
10505 N. College Avenue  
Indianapolis, Indiana 46280  
weihe.net  
317 | 846 - 6611  
800 | 452 - 6408  
317 | 843 - 0546 fax  
ALLAN H. WEIHE, P.E., L.S. - FOUNDER

**WEIHE**  
**ENGINEERS**  
Land Surveying | Civil Engineering  
Landscape Architecture  
*Build with confidence.*

PROJECT NO.:	W220408
DWG NAME:	
DESIGNED BY:	DEG
DRAWN BY:	JM
CHECKED BY:	BT
DATE:	06.22.2022

DATE:	06.22.2022
BY:	DEG

REVISIONS AND ISSUES	
1	PERMIT SET



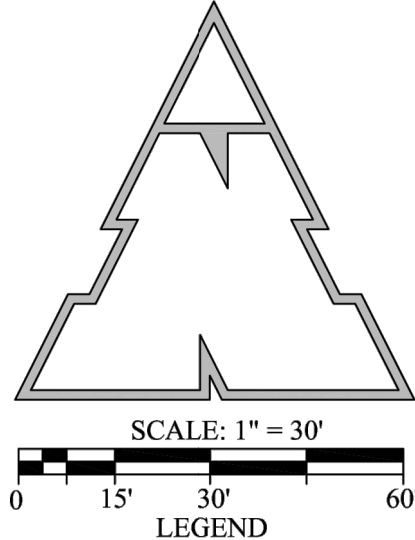
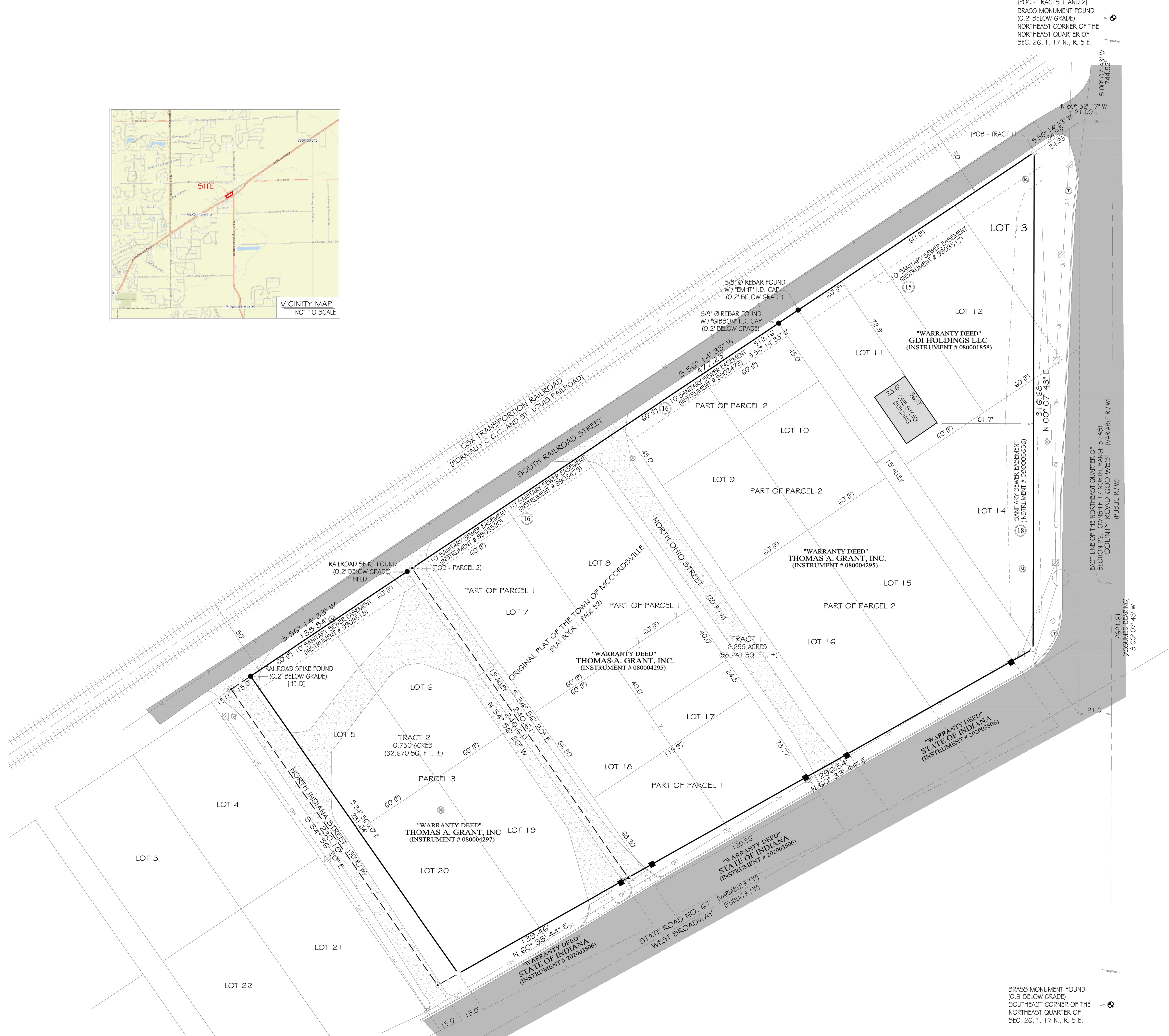
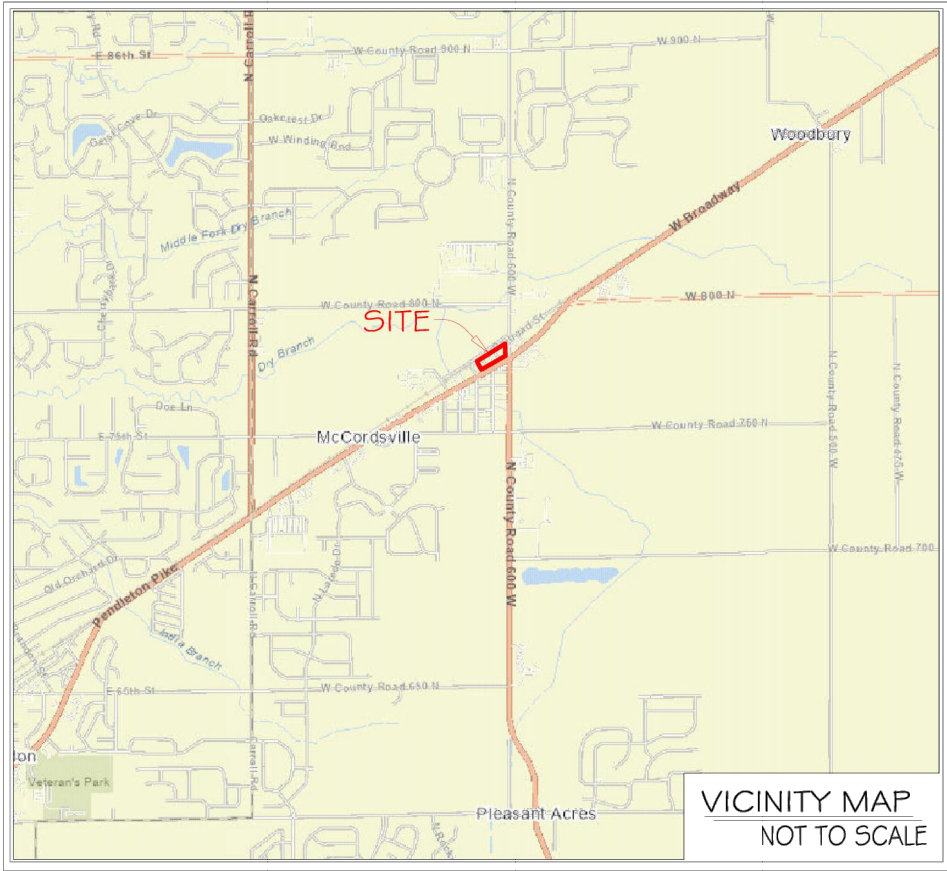
DARRELL A. EDWARDS P.E. #890047

BID SET  
PREPARED FOR:  
**CULVER'S**  
**MCCORDSVILLE, IN**  
NWC OF US 36 & MT COMFORT ROAD, MCCORDSVILLE, IN 46055  
TITLE SHEET  
PART OF SE4, SECTION 26, TOWNSHIP 17 NORTH, RANGE 5 EAST, VERNON TOWNSHIP - HANCOCK COUNTY, INDIANA


SHEET NO.  
**C0.0**  
PROJECT NO.  
W22.0408



ALTA / NSPS LAND TITLE SURVEY FOR WESTFIELD PROPERTY DEVELOPMENT




- LEGEND
- Monument Found (see plat)
  - 5/8" Ø X 24" Rebar set with "Van Wienen # 20500018" I.D. Cap
  - Mag Spike Set
  - Railroad Spike Set
  - Concrete R / W Monument
  - Section corner (see plat)
  - (C) - Calculated Dimension
  - (D) - Deeded Dimension
  - (M) - Measured Dimension
  - (W) - Sewer Manhole
  - (T) - Traffic Manhole
  - (S) - Storm Manhole
  - (I) - Storm Inlet
  - (C) - Curb Inlet
  - (F) - Fiber Ground Box
  - Overhead Utility Line
  - Underground Electric Line
  - Gas Line
  - Water Line
  - Storm Drain Line
  - Sewer Line
  - Electric Box
  - A / C Unit
  - Water Valve
  - Water Meter
  - Telephone riser
  - Cable riser
  - Electric Transformer
  - Power Pole
  - Guy Wire
  - Handicapped Parking
  - Sign
  - Fire Hydrant
  - Gas Valve
  - Gas Meter
  - Light Pole
  - Ground Light Pole
  - Building
  - Asphalt
  - Concrete



**PRECISE LAND SURVEYING**  
920 MAIN STREET  
ANDERSON, INDIANA 46016

LAND DESCRIPTION EXHIBITS  
SURVEYOR LOCATION REPORTS  
SUBDIVISION & LAND PLANNING  
ALTA / NSPS LAND TITLE SURVEYS  
RETRACEMENT & ORIGINAL SURVEYS  
PHONE: (765) 641-1597  
WWW.PRECISELANDSURVEYING.COM



MEMBER  
JOB NUMBER:  
2022-353

ALTA / NSPS LAND TITLE SURVEY FOR WESTFIELD  
PROPERTY DEVELOPMENT, BEING A PART OF THE  
ORIGINAL PLAT OF McCORDSVILLE, VERNON  
TOWNSHIP, HANCOCK COUNTY, INDIANA

NO.	REVISION	DATE	AUTH.

SCALE: 1" = 30'  
DRAWN BY: KBV  
DATE: 11/8/2019  
CHECK BY: KBV

C1.0



# ALTA / NSPS LAND TITLE SURVEY FOR WESTFIELD PROPERTY DEVELOPMENT

## SURVEYOR'S REPORT

Ordered By: Jim Swan  
P.O. Box 1478  
Marion, IN 46952

Current Owners of Record: Thomas A. Grant, Inc. (Instrument # 080004297)  
Thomas A. Grant LLC (Instrument #'s 080004295 & 080004296)  
GDI Holdings LLC (Instrument # 080001858)

Proposed Buyer: Westfield Property Development  
Parcel Address: West Broadway and 7836 North 600 West, McCordsville, IN  
Type of Survey: ALTA / NSPS Land Title Survey  
Purpose for Survey: The purpose of this survey is to perform an ALTA / NSPS Land Title Survey and to establish / recover the corners of a parcel of ground conveyed to Thomas A. Grant, Inc. in Instrument # 080004297, to Thomas A. Grant LLC in Instrument #'s 080004295 & 080004296, and to GDI Holdings LLC in Instrument # 080001858.

### Basis of Bearings:

The basis of bearings for this survey is assumed as being South 00° 07' 43" West as being the East line of the Northeast Quarter of Section 26, Township 17 North, Range 5 East, from a monuments found at the Northeast and Southeast corners of said Northeast Quarter

### Theory of Location:

This survey was based on previous surveys and monuments found and detailed below in the Uncertainty in Location of Lines and Corners, Section (1). The East line of the Northeast Quarter of Section 26, Township 17 North, Range 5 East from monuments found at the Northeast and Southeast corners of said Northeast Quarter. The South Right of Way line of South Railroad Street, also being the North line of the parcel surveyed, was established as being a line parallel with and 50' Southerly of the center line of the North rails along the CSX Transportation Railroad, as located at the time of this survey, along with numerous monuments found at numerous lots corners, as shown hereon. The North Right of Way line of State Road No. 67, also being West Broadway, also being the South line of said parcel surveyed, was established from Right of Way plans, as noted below, and the data given from said Right of Way plans. The West Right of Way line of County Road 600 West, also being the East line of the parcel surveyed, was established from Right of Way plans as noted below. The remaining lines and corners were established from data given on previous recorded surveys and data given on the Original Plat of the Town of McCordsville.

### Plats, Notes, & Witnesses:

The follow previous surveys and plats were referenced.  
- ALTA / ACSM Land Title Survey for Kite Realty Group, by EMH&T, dated June 7, 2006, being Job No. 2006 - 0832.  
- Location Control Route Survey for the Town of McCordsville, by Crossroad Engineer, PC, dated September 3, 2015, as recorded in Instrument # 20150911 in the Office of the Recorder of Hancock County, Indiana.  
- Retracement Survey for Studio A Hair Salon, by H. Gibson Land Surveying, Inc., dated November 30, 2020, as recorded in Instrument # 202017101 in the Office of the Recorder of Hancock County, Indiana.  
- Location Control Route Survey for INDOT, by DLZ, dated June 16, 2018, as recorded in Instrument # 201806621 in the Office of the Recorder of Hancock County, Indiana.  
- Plat of the Original Town of McCordsville, as recorded in Plat Book 1, Pages 51 -52 in the Office of the Recorder of Hancock County, Indiana.  
- Notes and Documents in the Hancock County Surveyor's Office and the Office of Precise Land Surveying.

### Uncertainty in Location of Lines and Corners:

(1) Availability and condition of reference monuments:  
SECTION CORNERS - SEC. 26, T. 17 N., R. 5 E.  
- Northeast corner of the Northeast Quarter (Held):  
This corner was found / held as a Brass Monument. Said monument was county witnessed, checked with said witnesses, and was found / held on numerous surveys as noted above.  
- Southeast corner of the Northeast Quarter (Held):  
This corner was found / held as a Brass Monument. Said monument was county witnessed, checked with said witnesses, and was found / held on numerous surveys as noted above.

### OTHER MONUMENTATION

- Railroad Spikes were found / held at the Northwest corner of Lot 5, and at the Northeast corner of Lot 6, as shown hereon.  
- 5/8" Ø Rebar with "Gibson" I.D. Cap was found / held at the Northeast corner of Lot 10.  
- 5/8" Ø Rebar with "EMHT" I.D. cap was found / held at the Northwest corner of Lot 11.  
- Existing Railroads along the CSX Transportation Railroad.  
- Unless otherwise noted on the plat, found monuments were undisturbed, in good condition, and at or near grade.

### (2) Occupation or Possession along lines:

- For occupation or possession lines, see Significant Observations on the plat.  
- There were no other lines of Occupation or Possession at the time of this survey.

### (3) Clarity or Ambiguity of record descriptions:

- There does not appear to be any ambiguities in the current legal descriptions.

(4) The Relative Positional Accuracy of the corners of the subject parcel established per this survey is within the requirements for a Suburban Survey (0.07 feet (21 millimeters) plus 50 parts per million) as defined by IAC 865.

### Conclusion of Uncertainties:

The uncertainty per this survey relative to (1) availability and condition of reference monuments is negligible, as relative to (2) occupation or possession lines is negligible, and relative to (3) clarity or ambiguity of recorded descriptions and / or subdivision is negligible.

### Notes:

1) Dimensions on this plat are expressed in feet and decimal parts thereof, and are the measured values.  
2) Survey monuments set for this survey are 5/8" Ø X 24" long Rebar set at grade with "VANWIENEN PL#20500018" identification caps, unless noted on plat.  
3) A commitment for title insurance was provided for use on this survey, being First American Title Insurance Company, Commitment No. 961633, bearing an effective date of March 11, 2022. Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that can accurately and current title search may disclose.  
4) Fence lines, as shown, are for informational purposes only. This survey does not warrant the right of possession or ownership of that part of the within described real estate lying between said fence lines and deed lines.

## CURRENT LAND DESCRIPTION

The Land referred to herein below is situated in the County of Hancock, State of Indiana, and is described as follows:

### PARCEL 1:

Lot 7 and parts of Lots 17 and 18 in the Original Plat of the Town of McCordsville, Indiana, as per plat thereof recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana, described as follows:

Lot 7 in the Original Plat of McCordsville, Indiana as per plat thereof recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana.

**ALSO:** Beginning at the Northwest corner of Lot 18 in the Original Plat of the Town of McCordsville, Indiana; thence Easterly on the North line thereof 60 feet to the Northeast corner thereof; thence Southerly on the East line thereof 40 feet; thence Easterly parallel with the North line of Lot 17, a distance of 60 feet to the East line thereof; thence Southerly on said East line 24.8 feet; thence Westerly 120 feet to a point on the West line of Lot 18, a distance of 66.3 feet from the place of beginning; thence Northerly on said West line 66.3 feet to the place of beginning.

### AND

Lot 8 and 40 feet off of the North End of Lot 17 in the Original Plat of the Town of McCordsville, Hancock County, Indiana, as per plat thereof recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana.

### AND

A part of Lots 17 and 18 in the Original Plat of the Town of McCordsville, Indiana, as per plat thereof recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana, described as follows:

BEGINNING at a point on the North right-of-way line of Indiana State Highway 67, where said North right-of-way line intersects the East line of said Lot 17; thence North on said East line 78.77 feet; thence West 119.97 feet to a point on the West line of said Lot 18, said point being 66.30 feet South of the Northwest corner or said Lot 18; thence South on and along said West line 68.30 feet to a point on the North right-of-way line of said State Highway 67; thence Easterly on and along said North right-of-way line 120.56 feet to the point of beginning.

### EXCEPTING THEREFROM:

That part of the above described property conveyed to State of Indiana, by Warranty Deed, recorded March 25, 2020, as Instrument Number 202003506, in the Office of the Recorder of Hancock County, Indiana, described as follows:

Part of Lots 17 and 18 in the Original Town of McCordsville, the plat of which is recorded in Plat Book 1, Page 52 in the Office of the Recorder of Hancock County, Indiana, and being that part of the grantor's land lying within the right of way lines depicted on the attached Right of Way Parcel Plat, marked EXHIBIT "B", described as follows:

Beginning at the Southwest corner of said Lot 18; thence North 33 degrees 32 minutes 40 seconds West 33.13 feet along the Southwestern line of said Lot 18 to the point designated "803" on said Exhibit "B"; thence North 60 degrees 28 minutes 20 seconds East 120.30 feet to the Northeastern line of said Lot 17 and the point designated "805" on said Exhibit "B"; thence South 33 degrees 32 minutes 40 seconds East 40.20 feet along said Northeastern line to the Southeast corner of said Lot 17; thence South 64 degrees 03 minutes 00 seconds West 60.53 feet to the Southeast corner of said Lot 18; thence South 63 degrees 34 minutes 50 seconds West 60.47 feet to the Point of Beginning and containing 4,385 square feet, more or less, inclusive of the presently existing right of way, containing 2,622 square feet, more or less.

### PARCEL 2:

Being 45 feet of uniform width off of the North end of Lots 9 and 10 in the Original Plat of the Town of McCordsville, Indiana, as per plat thereof recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana.

### and

Lot 15 and part of Lot 9 in the Original Plat of the Town of McCordsville, Indiana, as per plat thereof recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana.

### and

Lot 16 and part of Lot 10 in the Original Plat of the Town of McCordsville, Indiana, as per plat thereof recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana.

### EXCEPTING THEREFROM:

That part of the above described property conveyed to State of Indiana, by Warranty Deed, recorded March 25, 2020, as Instrument Number 202003506, in the Office of the Recorder of Hancock County, Indiana, described as follows:

Part of Lots 15 and 16 in the Original Town of McCordsville, the plat of which is recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana, and being that part of the grantor's land lying within the right of way lines depicted on the attached Right of Way Parcel Plat, marked EXHIBIT "B", described as follows:

Beginning at the Southwest corner of said Lot 16; thence North 33 degrees 32 minutes 40 seconds West 42.09 feet along the Southwestern line of said Lot 16 to the point designated "806" on said Exhibit "B"; thence North 60 degrees 28 minutes 20 seconds East 120.30 feet to the Northeastern line of said Lot 15 and the point designated "808" on said Exhibit "B"; thence South 33 degrees 32 minutes 40 seconds East 47.17 feet along said Northeastern line to the Southeast corner of said Lot 16; thence South 61 degrees 41 minutes 35 seconds West 60.25 feet to the Southeast corner of said Lot 18; thence South 64 degrees 03 minutes 00 seconds West 60.53 feet to the Point of Beginning and containing 5,431 square feet, more or less, inclusive of the presently existing right of way, containing 3,700 square feet, more or less.

### PARCEL 3:

Lots Numbered 11, 12, 13 and 14 in the Original Plat of the Town of McCordsville, Hancock County, Indiana, as per plat thereof recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana.

### EXCEPTING THEREFROM:

That part of the above described property conveyed to Hancock County, Indiana, by Warranty Deed, recorded November 10, 1995, as Instrument Number 9509634, in the Office of the Recorder of Hancock County, Indiana, described as follows:

A part of Lots 12, 13 and 14 in the Town of McCordsville, Indiana, the plat of which is recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana, described as follows:

Beginning at the Northeast corner of said Lot 13; thence South 0 degrees 16 minutes 00 seconds West 331.01 feet along the East line of said Lots 13 and 14 to the Northwestern boundary of State Road 67 (also known as U.S.R. 36); thence South 58 degrees 44 minutes 52 seconds West 31.33 feet along the boundary of said State Road 67 to the Southwestern line of said Lot 14; thence North 33 degrees 38 minutes 58 seconds West 4.11 feet along said Southwestern line; thence North 17 degrees 14 minutes 28 seconds East 51.38 feet; thence North 1 degree 56 minutes 09 seconds West 130.10 feet; thence North 2 degrees 35 minutes 45 seconds West 100.12 feet; thence North 0 degrees 16 minutes 00 seconds East 48.70 feet to the Northwestern line of said Lot 13; thence North 56 degrees 21 minutes 02 seconds East 28.92 feet along said Northwestern line to the point of beginning and containing 6,590 square feet, more or less.

### FURTHER EXCEPTING THEREFROM:

That part of the above described property conveyed to Town of McCordsville, Indiana, by Warranty Deed, recorded September 22, 2017, as Instrument Number 201710427 together with Affidavit of Scrivener's Error recorded on October 17, 2017 as Instrument No. 201711552, in the Office of the Recorder of Hancock County, Indiana, described as follows:

A part of Lots 12, 13 and 14 in the Town of McCordsville, Indiana, the plat of which is recorded in Plat Book 1, page 52 in the Office of the Recorder of Hancock County, Indiana, and being all that part of the grantor's land lying within the right - of- way lines depicted on the attached Right-of-Way Parcel Plat marked Exhibit "B", described as follows:

Commencing at the Northeast corner of Lot 13 in said addition; thence South 56 degrees 17 minutes 54 seconds West a distance of 28.89 feet (28.92 feet by Instrument Number 080001858), along the Northwest line of said Lot 13, to the Western boundary of County Road 600 West (East Street) to the point of beginning of this description; thence South 00 degrees 08 minutes 10 seconds West a distance of 48.10 feet (48.70 feet by Instrument Number 080001858) along said boundary; thence South 02 degrees 43 minutes 35 seconds East a distance of 100.12 feet continuing along said Western boundary; thence South 02 degrees 04 minutes 00 seconds East a distance of 130.10 feet continuing along said Western boundary; thence South 16 degrees 41 minutes 37 seconds West a distance of 52.64 feet, continuing along said Western boundary, to the point designated "1125" on said Parcel Plat, being a point on the Southwestern line of said Lot 14; thence North 00 degrees 08 minutes 10 seconds East a distance of 325.20 feet, to the point designated "608" on said Parcel Plat, being a point on the Northwest line of said Lot 13; thence North 56 degrees 17 minutes 54 seconds East a distance of 6.02 feet, along said Northwestern line, to the point of beginning and containing 2,986 square feet, more or less.

## LAND DESCRIPTIONS - PER SURVEY

### TRACT 1

A parcel of ground being Lots 7, 8, 9, 10, and 11, parts of Lots 12, 13, 14, 15, 16, 17 and 18, part of a fifteen foot (15') Alley lying West of said Lots 11 and 14 and East of said Lots 10 and 15, part of a fifteen foot (15') Alley lying West of said Lots 7 and 8 and East of Lots 6 and 19, and part of North Ohio Street, all as platted in the Original Plat of McCordsville, the plat of which is recorded in Plat Book 1, Pages 52 - 53 in the Office of the Recorder of Hancock County, Indiana, being more particularly described as follows:

**COMMENCING** at the Northeast corner of Section 26, Township 17 North, Range 5 East of the Second Principal Meridian; thence South 00 degrees 07 minutes 43 seconds West along the East line of said Northeast Quarter, a distance of 744.52 feet; thence North 89 degrees 52 minutes 17 seconds West, a distance of 21.00 feet to the Northeast corner of said Lot 13 in said Original Plat of the Tow of McCordsville; thence South 56 degrees 14 minutes 33 seconds West along the Northerly line of said Lot 13, also being the Southerly Right of Way line of South Railroad Street, a distance of 34.93 feet to the **POINT OF BEGINNING**; thence continuing South 56 degrees 14 minutes 33 seconds West along said Southerly Right of Way line of said South Railroad Street, a distance of 477.23 feet; thence South 34 degrees 56 minutes 20 seconds East, a distance of 240.61 feet to the Northerly Right of Way line of State Road No. 67; thence North 60 degrees 33 minutes 44 seconds East along said Northerly Right of Way line of said State Road No. 67, a distance of 296.54 feet to the West Right of Way line of County Road 600 West; thence North 00 degrees 07 minutes 43 seconds East along said West Right of Way line of said County Road 600 West, a distance of 316.68 feet to the **POINT OF BEGINNING**. Contains 2.255 Acres, more or less.

### TRACT 2

A parcel of ground being Lots 5 and 6, part of a fifteen foot (15') Alley lying West of said Lots 7 and 8 and East of Lots 6 and 19, and the East Half of North Indiana Street, all as platted in the Original Plat of McCordsville, the plat of which is recorded in Plat Book 1, Pages 52 - 53 in the Office of the Recorder of Hancock County, Indiana, being more particularly described as follows:

**COMMENCING** at the Northeast corner of Section 26, Township 17 North, Range 5 East of the Second Principal Meridian; thence South 00 degrees 07 minutes 43 seconds West along the East line of said Northeast Quarter, a distance of 744.52 feet; thence North 89 degrees 52 minutes 17 seconds West, a distance of 21.00 feet to the Northeast corner of said Lot 13 in said Original Plat of the Tow of McCordsville; thence South 56 degrees 14 minutes 33 seconds West along the Northerly line of said Lot 13, also being the Southerly Right of Way line of South Railroad Street, a distance of 512.16 feet to the **POINT OF BEGINNING**; thence continuing South 56 degrees 14 minutes 33 seconds West along said South Right of Way line of said South Railroad Street, a distance of 138.84 feet to a point in the center line of said North Indiana Street; thence South 34 degrees 56 minutes 20 seconds East along said center line of said North Indiana Street, a distance of 230.10 feet to the Northerly Right of Way line of State Road No. 67; thence North 60 degrees 33 minutes 44 seconds East along said Northerly Right of Way line of said State Road No. 67, a distance of 139.46 feet; thence North 34 degrees 56 minutes 20 seconds West, a distance of 240.61 feet to the **POINT OF BEGINNING**. Contains 0.750 Acres, more or less.

## ITEMS CORRESPONDING TO SCHEDULE B

14 Covenants, Conditions, Restrictions, Utility and Drainage easements and setback lines and any amendments thereto as disclosed on the recorded plat of subdivision. [There is no information shown on the plat that can be plotted]

15 Easement in favor of: Town of McCordsville; Type of easement: sanitary sewer; Recorded: March 12, 1999; Instrument No.: 9903517. Subject to the terms and conditions thereof. (Affects Parcel 3) [Shown hereon]

16 Easement in favor of: Town of McCordsville; Type of easement: sanitary sewer; Recorded: March 10, 1999; Instrument No.: 9903479. Subject to the terms and conditions thereof. (Affects Parcel 1 and Parcel 2) [Shown hereon]

17 Easement in favor of: Town of McCordsville, Indiana, and its municipal sewage works; Type of easement: construction of the sewer facility expansion; Recorded: May 27, 2008; Instrument No.: 080005655. Subject to the terms and conditions thereof. [Shown hereon]

18 Easement in favor of: Town of McCordsville, Indiana, and its municipal sewage works; Type of easement: construction of the sewer facility expansion; Recorded: May 27, 2008; Instrument No.: 080005656. Subject to the terms and conditions thereof. [Shown hereon]

## MISCELLANEOUS NOTES

- The parcels being surveyed has direct access to County Road 600 West along the East of Parcel 1, along the South line of said parcel surveyed and along the North line of said parcels surveyed.

- The address as shown herein is based on Record Documents and was observed in the field at the time of the survey.

- The utilities, as shown hereon, were located based on at grade or above grade utilities, a previous survey, utility locate markings, and other plans in this office.

- There was no observed earth moving work or building construction at the time of this survey.

- There does not appear to be any proposed changes in the street Right - of - Way lines at the time of this survey.

- The property shown on the drawing is contiguous to adjoining land along the common boundary lines, with no gaps, gores or overlaps.

- The property shown on the drawing is the same as the property identified in First American Title Insurance Company Commitment No. IN-FAM-16-0028.

- There were no wetlands delineated at the time of this survey.

## FLOOD NOTE

By graphic plotting only, this property is in Zone "X" of the Flood Insurance Rate Map, Community No. 180468, map number 18059 C 0018D which bears an effective date of December 4, 2007 and is not in a special flood hazard area. As shown on the FEMA website (<http://mssc.fema.gov>) we have learned this community does currently participate in the program. No field surveying was performed to determine this zone.

## SIGNIFICANT OBSERVATIONS

There were no evidence of significant observations at the time of this survey.

## PARKING NOTE

Based on observed evidence there no stripped parking spaces at the time of this.



## SURVEYOR'S CERTIFICATION

To: Westfield Property Development; First American Title Insurance Company; and (Lender):

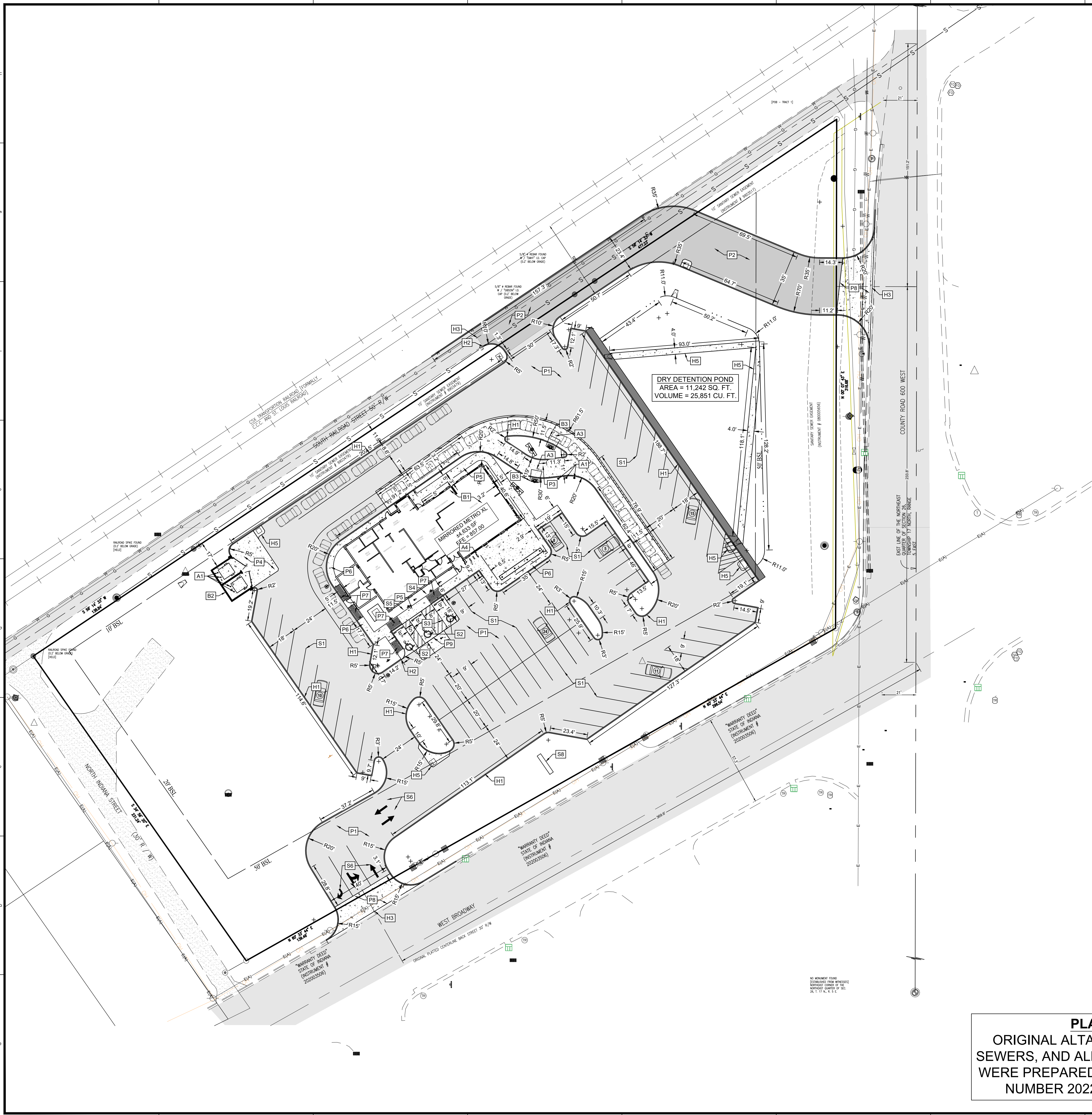
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA / NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 11(a), 13, 16, 17, and 19 of Table A thereof. The fieldwork was completed on May 17, 2023.

*Keith VanWienen*  
Keith VanWienen, PLS  
Indiana Reg. No. 20500018



 <b>PRECISE LAND SURVEYING</b> 920 MAIN STREET ANDERSON, INDIANA 46016 <small>LAND DESCRIPTION EXHIBITS SURVEYOR LOCATION REPORTS SUBDIVISION &amp; LAND PLANNING ALTA / NSPS LAND TITLE SURVEYS RETRACEMENT &amp; ORIGINAL SURVEYS PHONE: (765) 641-1597 WWW.PRECISELS.COM</small>				 <b>MEMBER</b>	
ALTA / NSPS LAND TITLE SURVEY FOR WESTFIELD PROPERTY DEVELOPMENT, BEING A PART THE ORIGINAL PLAT OF MCCORDSVILLE, VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA				SCALE: 1" = 30' JOB NUMBER: 2022 - 353	
NO. _____				DRAWN BY: KBV	
REVISION _____				DATE: 1/8/2019	
DATE _____				CHECK BY: KBV	
AUTH. _____				SHEET NUMBER	
				<b>C1.1</b>	





**SITE DATA**  
SITE AREA = 2.925 AC  
SITE AREA = 127,413 SF  
BUILDING AREA = 4,633 SF  
HARDSCAPE AREA = 59,515 SF  
GREEN SPACE = 63,265 SF  
PERCENT IMPERVIOUS = 50.3% (65% MAX)  
  
ZONING = CN & HIGHWAY OVERLAY DISTRICT  
FRONT BSL = 25/35/50 FT  
SIDE BSL = 10 FT  
REAR BDL = 20 FT  
MAX BUILDING HEIGHT = 45 FT  
  
PARKING:  
REQUIRED: 1 PER EMPLOYEE @ MAX  
SHIFT (7) & 1 PER 300SF (15) =  
STANDARD SPACES: 70  
ADA SPACES: 3  
TOTAL SPACES: 73

**SITE PLAN NOTES**

**PAVEMENT - DETAILS SHEET C8.1**

- P1 BITUMINOUS PAVING FOR PARKING LOT (STANDARD DUTY ASPHALT PAVEMENT SECTION) - 165#/SQ YD (1 1/2") BITUMINOUS SURFACE OVER 275#/SQ YD (2 1/2") BITUMINOUS BINDER OVER 8" COMPACTED AGGREGATE BASE #53 (100% STANDARD PROCTOR)
- P2 BITUMINOUS PAVING FOR PROPOSED ROAD (HEAVY DUTY ASPHALT PAVEMENT SECTION) - 220#/SQ YD (2") BITUMINOUS SURFACE OVER 330#/SQ YD (3") BITUMINOUS BINDER OVER 8" COMPACTED AGGREGATE BASE #53 (100% STANDARD PROCTOR)
- P3 CONCRETE PAVING AT DRIVE THRU, 10' WIDE X 5" THICK, 4500 PSI WITH INTEGRAL LOOP DETECTOR AT CUSTOMER ORDER DISPLAY, SEE ELECTRICAL PLANS FOR DETECTOR SPECS
- P4 CONCRETE PAVING AT DUMPSTER (HEAVY DUTY CONCRETE PAVEMENT SECTION) - 8" THICK 4500 PSI WITH 5% AIR ENTRAINMENT OVER 6" CA BASE
- P5 PAVER WALKWAY - PAVERS LAID OVER 4" 4000 PSI REINFORCED CONCRETE OVER 4" COMPACTED AGGREGATE BASE #53 (100% STANDARD PROCTOR)  
2% MAXIMUM CROSS SLOPE (1.5% RECOMMENDED)  
5% MAXIMUM RUNNING SLOPE (4.5% RECOMMENDED)
- P6 PAVER WALKWAY WITH MONOLITHIC CURB - PAVERS LAID OVER 4" 4000 PSI REINFORCED CONCRETE OVER 4" COMPACTED AGGREGATE BASE #53 (100% STANDARD PROCTOR)  
2% MAXIMUM CROSS SLOPE (1.5% RECOMMENDED)  
5% MAXIMUM CROSS SLOPE (4.5% RECOMMENDED)
- P7 4" THICK CONCRETE CURB RAMP WITH NON-SLIP SURFACE PER ADA STANDARDS  
8.33% MAXIMUM RUNNING SLOPE (7.75% RECOMMENDED)  
2% MAXIMUM CROSS SLOPE (1.5% RECOMMENDED)
- P8 CONCRETE APRON
- P9 4" THICK CONCRETE PAD PER ADA STANDARDS  
2% MAXIMUM RUNNING SLOPE (1.8% RECOMMENDED)  
2% MAXIMUM CROSS SLOPE (1.5% RECOMMENDED)

**HARDSCAPE - DETAILS SHEET C8.1**

- H1 6" X 18" STANDARD CONCRETE CURB
- H2 TAPER CURB WITHIN 3 FEET
- H3 MATCH EXISTING PAVEMENT
- H4 CONCRETE COLLAR
- H5 CONCRETE CHANNEL

**BUILDING ACCESSORIES**

- B1 PROPOSED BUILDING - REFER TO ARCHITECTURAL PLANS
- B2 DUMPSTER ENCLOSURE WITH STORAGE SHED - REFER TO C8.7 DETAILS
- B3 DRIVE THROUGH CANOPY - REFER TO ARCHITECTURAL PLANS

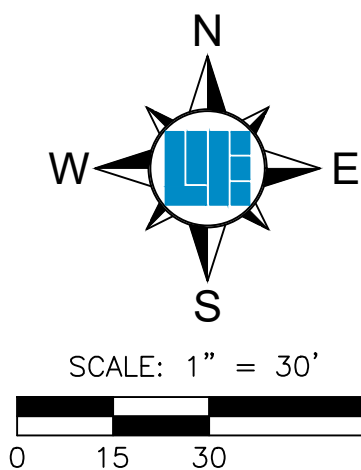
**ACCESSORIES**

- A1 6" CONCRETE BOLLARD
- A2 LED LOT LIGHT AND BASE (DETAILS SHEET 8.21)
- A3 LOOP DETECTOR IN CONCRETE PAVEMENT (SEE MEP PLANS FOR SPECIFICATIONS)
- A4 BICYCLE RACK

**SIGNAGE & MARKINGS**

- S1 9' WIDE PARKING SPACE (CTR TO CTR PAINT STRIPE)  
MARKED WITH 4" WIDE YELLOW PAINT STRIPE (PMS 123)
- S2 8'-0" WIDE ACCESSIBLE PARKING SPACE (CTR TO CTR PAINT STRIPE)  
MARKED WITH BLUE PAINT HANDICAP GRAPHIC & 4" WIDE BLUE PAINT STRIPE
- S3 8' WIDE (MIN) ACCESSIBLE AISLE (CTR TO CTR PAINT STRIPE)  
MARKED WITH 4" BLUE PAINT STRIPE
- S4 BOLLARD MOUNTED VAN ACCESSIBLE PARKING SIGN  
(MIN HEIGHT TO BOTTOM OF SIGN 66" ABOVE PAVEMENT)
- S5 BOLLARD MOUNTED ACCESSIBLE PARKING SIGN  
(OVERALL HEIGHT TO MATCH VAN ACCESSIBLE PARKING SIGN)
- S6 DIRECTIONAL PAVEMENT MARKINGS - YELLOW (PMS 123)
- S7 BOLLARD MOUNTED CURBSIDE PICKUP SIGN  
(OVERALL HEIGHT TO MATCH VAN ACCESSIBLE PARKING SIGN)
- S8 CULVER'S SIGN WITH EMC BOARD. PERMITTED BY OTHERS.

**PLAN CERTIFICATE NOTE:**  
ORIGINAL ALTA, TOPOGRAPHY, UTILITIES, STORM SEWERS, AND ALL OTHER EXISTING CONDITION ITEMS WERE PREPARED BY PRECISE LAND SURVEYING, JOB NUMBER 2022-353, DATED NOVEMBER 8, 2019.



10505 N. College Avenue  
Indianapolis, Indiana 46280  
w@weihengr.com

317 | 846 - 6611  
800 | 452 - 6408  
317 | 843 - 0546 fax

ALLAN H. WEIHE, P.E., L.S. - FOUNDER

**WEIHE ENGINEERS**

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PROJECT NO.:	W220408
DWG NAME:	PERMIT SET
DESIGNED BY:	DEG
DRAWN BY:	JM
CHECKED BY:	BT
DATE:	06.22.2022

REVISIONS AND ISSUES	DATE	BY	DEG
1	06.22.2023		

DARRELL A. EDWARDS P.E. #89047

**DARRELL A. EDWARDS P.E. #89047**

No. 890047  
STATE OF INDIANA  
REGISTERED PROFESSIONAL ENGINEER

BID SET

PREPARED FOR:  
**CULVER'S MCCORDSVILLE, IN**  
NWC OF US 36 & MT COMFORT ROAD, MCCORDSVILLE, IN 46055

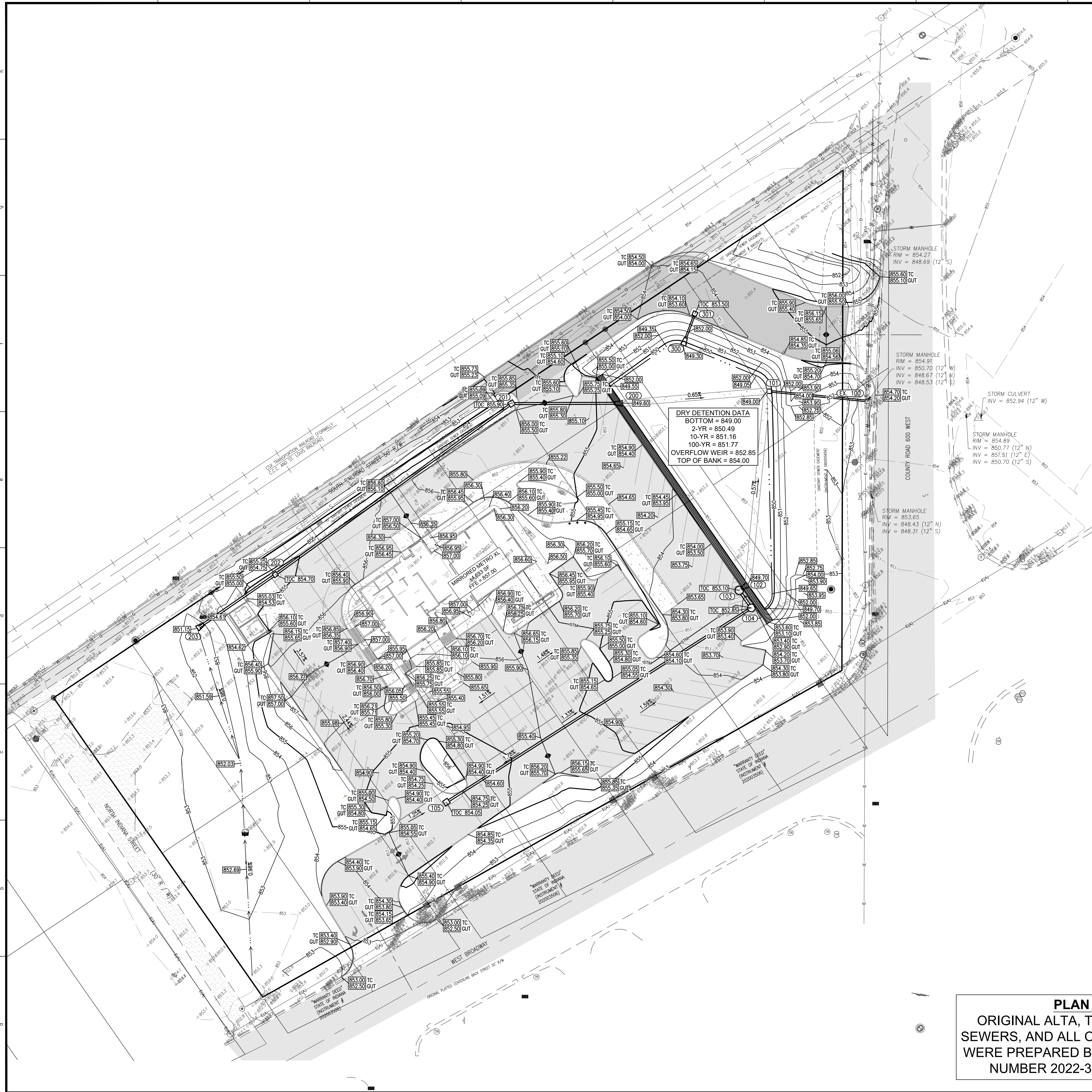
SHEET NO.  
**C3.0**

PROJECT NO.  
W22.0408

SITE PLAN  
PART OF SE4, SECTION 26, TOWNSHIP 17 NORTH, RANGE 5 EAST, VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA



LOCATION: IN 2022 W220408 Engineering Design (Vernon) W220408 - C4.0 GRADING PLAN.dwg  
DATE/TIME: August 22, 2023 - 3:22pm  
PLOTED BY: gordon



**CUT / FILL VOLUME ESTIMATE:**  
**6,890 CUBIC YARDS OF FILL**

CALCULATION IS BASED ON A SURFACE TO SURFACE  
ANALYSIS, NOT ACCOUNTING FOR UTILITY OR PIPE SPOILS.

**IMPERVIOUS AREAS**

EXISTING = 0.18 AC (7.7%)

PROPOSED = 1.81 AC (88.1%)

**BENCHMARK DATA**

REFER TO SHEET C0 - TITLE SHEET FOR BENCHMARK DATA.

**FLOOD PLAIN NOTE**

THE SITE DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA  
ZONE ESTABLISHED BY THE FEDERAL EMERGENCY  
MANAGEMENT AGENCY - NATIONAL FLOOD INSURANCE  
PROGRAM, WHEN PLOTTED BY SCALE ON FLOOD INSURANCE  
RATE MAP #18057C0139C DATED NOVEMBER 19, 2014.

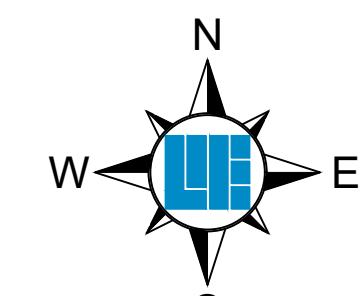
**STORM SEWER DATA**

REFER TO SHEET C5.0 - UTILITY PLAN FOR DETAILED STORM  
STRUCTURE AND PIPE INFORMATION.

ALL PROPOSED STORM SEWERS ARE A PRIVATE STORM  
SEWER SYSTEM.

**DRY DETENTION DATA**  
BOTTOM = 849.00  
2-YR = 850.49  
10-YR = 851.16  
100-YR = 851.77  
OVERFLOW WEIR = 852.85  
TOP OF BANK = 854.00

**PLAN CERTIFICATE NOTE:**  
ORIGINAL ALTA, TOPOGRAPHY, UTILITIES, STORM  
SEWERS, AND ALL OTHER EXISTING CONDITION ITEMS  
WERE PREPARED BY PRECISE LAND SURVEYING, JOB  
NUMBER 2022-353, DATED NOVEMBER 8, 2019.



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IT IS AGAINST THE LAW TO EXCAVATE  
WITHOUT NOTIFYING THE UNDERGROUND  
LOCATION SERVICE TWO (2) WORKING  
DAYS BEFORE COMMENCING WORK.

PROJECT NO.:		W220408	
DWG NAME:			
DESIGNED BY:		DEG	
DRAWN BY:		JM	
CHECKED BY:		BT	
DATE:		06-22-2022	
REVISIONS AND ISSUES			
DATE		BY	
06-22-2023		DEG	

A PERMIT SET	



DARRELL A. EDWARDS P.E. #890047

**BID SET**

PREPARED FOR:  
**CULVER'S  
MCCORDSVILLE, IN**  
NWC OF US 36 & MT COMFORT ROAD, MCCORDSVILLE, IN 46055

SHEET NO.  
**C4.0**

PROJECT NO.  
W22.0408

**GRADING PLAN**  
PART OF SE4, SECTION 26, TOWNSHIP 17 NORTH, RANGE 6 EAST, VERNON TOWNSHIP, Hancock County, Indiana

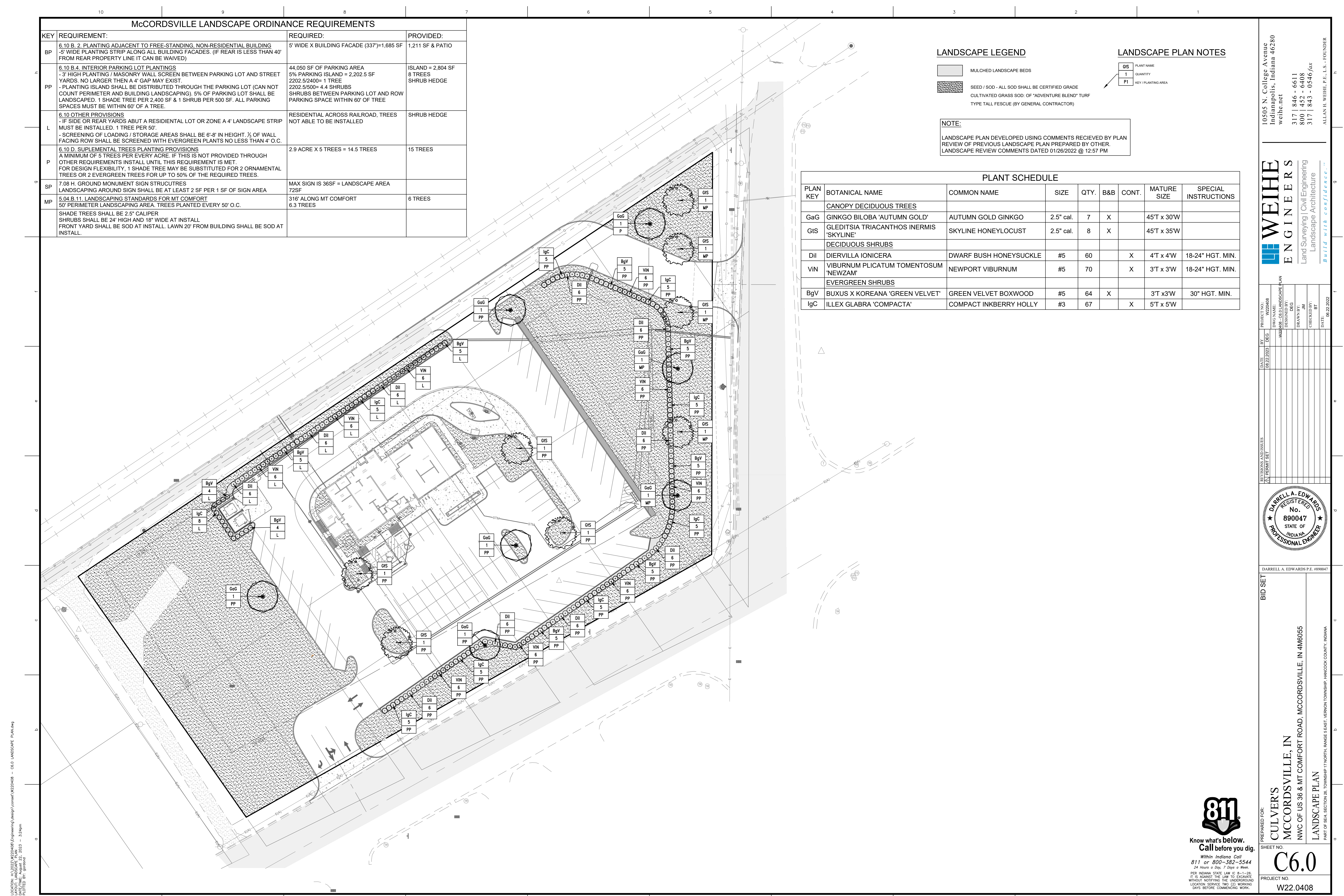
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McCORDSVILLE LANDSCAPE ORDINANCE REQUIREMENTS

KEY	REQUIREMENT:	REQUIRED:	PROVIDED:
BP	6.10 B. 2. PLANTING ADJACENT TO FREE-STANDING, NON-RESIDENTIAL BUILDING -5' WIDE PLANTING STRIP ALONG ALL BUILDING FACADES. (IF REAR IS LESS THAN 40' FROM REAR PROPERTY LINE IT CAN BE WAIVED)	5' WIDE X BUILDING FACADE (337')=1,685 SF	1,211 SF & PATIO
PP	6.10 B.4. INTERIOR PARKING LOT PLANTINGS - 3' HIGH PLANTING / MASONRY WALL SCREEN BETWEEN PARKING LOT AND STREET YARDS. NO LARGER THEN A 4' GAP MAY EXIST. - PLANTING ISLAND SHALL BE DISTRIBUTED THROUGH THE PARKING LOT (CAN NOT COUNT PERIMETER AND BUILDING LANDSCAPING). 5% OF PARKING LOT SHALL BE LANDSCAPED. 1 SHADE TREE PER 2,400 SF & 1 SHRUB PER 500 SF. ALL PARKING SPACES MUST BE WITHIN 60' OF A TREE.	44,050 SF OF PARKING AREA 5% PARKING ISLAND = 2,202.5 SF 2202.5/2400= 1 TREE 2202.5/500= 4.4 SHRUBS SHRUBS BETWEEN PARKING LOT AND ROW PARKING SPACE WITHIN 60' OF TREE	ISLAND = 2,804 SF 8 TREES SHRUB HEDGE
L	6.10 OTHER PROVISIONS - IF SIDE OR REAR YARDS ABUT A RESIDENTIAL LOT OR ZONE A 4' LANDSCAPE STRIP MUST BE INSTALLED. 1 TREE PER 50'. - SCREENING OF LOADING / STORAGE AREAS SHALL BE 6'-8' IN HEIGHT. ½ OF WALL FACING ROW SHALL BE SCREENED WITH EVERGREEN PLANTS NO LESS THAN 4' O.C.	RESIDENTIAL ACROSS RAILROAD, TREES NOT ABLE TO BE INSTALLED	SHRUB HEDGE
P	6.10 D. SUPPLEMENTAL TREES PLANTING PROVISIONS A MINIMUM OF 5 TREES PER EVERY ACRE. IF THIS IS NOT PROVIDED THROUGH OTHER REQUIREMENTS INSTALL UNTIL THIS REQUIREMENT IS MET. FOR DESIGN FLEXIBILITY, 1 SHADE TREE MAY BE SUBSTITUTED FOR 2 ORNAMENTAL TREES OR 2 EVERGREEN TREES FOR UP TO 50% OF THE REQUIRED TREES.	2.9 ACRE X 5 TREES = 14.5 TREES	15 TREES
SP	7.08 H. GROUND MONUMENT SIGN STRUCUTRES LANDSCAPING AROUND SIGN SHALL BE AT LEAST 2 SF PER 1 SF OF SIGN AREA	MAX SIGN IS 36SF = LANDSCAPE AREA 72SF	
MP	5.04 B.11. LANDSCAPING STANDARDS FOR MT COMFORT 50' PERIMETER LANDSCAPING AREA. TREES PLANTED EVERY 50' O.C.  SHADE TREES SHALL BE 2.5" CALIPER SHRUBS SHALL BE 24" HIGH AND 18" WIDE AT INSTALL. FRONT YARD SHALL BE SOD AT INSTALL. LAWN 20' FROM BUILDING SHALL BE SOD AT INSTALL.	316' ALONG MT COMFORT 6.3 TREES	6 TREES

LANDSCAPE LEGEND

- MULCHED LANDSCAPE BEDS
- SEED / SOD - ALL SOD SHALL BE CERTIFIED GRADE
- CULTIVATED GRASS SOD: OF "ADVENTURE BLEND" TURF
- TYPE TALL FESCUE (BY GENERAL CONTRACTOR)

LANDSCAPE PLAN NOTES

GIS	PLANT NAME
1	QUANTITY
P1	KEY / PLANTING AREA

NOTE:

LANDSCAPE PLAN DEVELOPED USING COMMENTS RECIEVED BY PLAN REVIEW OF PREVIOUS LANDSCAPE PLAN PREPARED BY OTHER. LANDSCAPE REVIEW COMMENTS DATED 01/26/2022 @ 12:57 PM

PLANT SCHEDULE

PLAN KEY	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	B&B	CONT.	MATURE SIZE	SPECIAL INSTRUCTIONS
CANOPY DECIDUOUS TREES								
GaG	GINKGO BILOBA 'AUTUMN GOLD'	AUTUMN GOLD GINKGO	2.5" cal.	7	X		45'T x 30'W	
GIS	GLEDTISIA TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST	2.5" cal.	8	X		45'T x 35'W	
DECIDUOUS SHRUBS								
DII	DIERVILLA IONICERA	DWARF BUSH HONEYSUCKLE	#5	60		X	4'T x 4'W	18-24" HGT. MIN.
VIN	VIBURNUM PLICATUM TOMENTOSUM 'NEWZAM'	NEWPORT VIBURNUM	#5	70		X	3'T x 3'W	18-24" HGT. MIN.
EVERGREEN SHRUBS								
BgV	BUXUS X KOREANA 'GREEN VELVET'	GREEN VELVET BOXWOOD	#5	64	X		3'T x 3'W	30" HGT. MIN.
IgC	ILLEX GLABRA 'COMPACTA'	COMPACT INKBERRY HOLLY	#3	67		X	5'T x 5'W	

LOCATION: H:\2022\W220408\Engineering\Design\Layout\W220408 - C6.0 LANDSCAPE PLAN.dwg  
DATE/TIME: August 22, 2023 - 3:24pm  
PLOTTER: HP DesignJet T1300e  
PLOTTER: HP DesignJet T1300e



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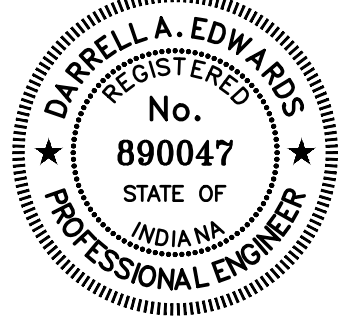
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WEIHE  
ENGINEERS

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PROJECT NO.:	W220408
DWG NAME:	W220408 - C6.0 LANDSCAPE PLAN
DESIGNED BY:	JM
DRAWN BY:	JM
CHECKED BY:	JM
DATE:	08/22/2023



DARRELL A. EDWARDS P.E. #890047

BID SET

PREPARED FOR:  
CULVER'S  
MCCORDSVILLE, IN  
NWC OF US 36 & MT COMFORT ROAD, MCCORDSVILLE, IN 46055  
LANDSCAPE PLAN  
PART OF SE1/4 SECTION 26, TOWNSHIP 17 NORTH, RANGE 5 EAST, VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA

SHEET NO.  
C6.0  
PROJECT NO.  
W22.0408