

McCordsville

ESTD  1988

INDIANA

Planning & Building Department
6280 W 800N McCordsville, IN 46055
Phone: 317.335.3604
Email: building@mccordsville.org

PUBLIC HEARING INFORMATION

Case #: BZA-23-015

Title: Fritz Engineering's (Qdoba) request for a Special Exception and Development Standards Variance to allow a pick-up window and commercial structure at 7419 N 600W.

Meeting Date: This zoning petition is currently scheduled to be heard at the September 6th Board of Zoning Appeals (BZA) meeting.

**Meeting agenda and staff report will be available on the website by end of business day on the Friday preceding the applicable meeting. Go to www.mccordsville.org and click on "Agendas & Minutes".*



14020 Mississinewa Drive
Carmel, IN 46033
P: 317-324-8695
www.Fritz-Eng.com

August 16, 2023

Mr. Ryan Crum, Planning Director
Town of McCordsville
6280 W 800N
McCordsville, IN 46055

**RE: Qdoba
7419 W. 600N
FES Project # 2307011**

Dear Mr. Crum,

Please accept this Notice of Intent in support of the Town of McCordsville Board of Zoning Appeals Special Exception and development standards variances related to the Qdoba project proposed to be located on Lot 2 of the McCordsville Corner Shoppes commercial subdivision.

Special Exception Use – this request includes a Special Exception Use to permit a drive-up window for the proposed Qdoba restaurant. The drive-up window is proposed for online or mobile order pickups. There are no proposed order stations. Pickups will be for previously placed orders.

Development Standards Variances – The following development standards variances are requested:

1. Reduction in the Front Building Setback from 600N (west side) to permit parking within 31 feet where 50 feet is required. This will align with the parking constructed on the north adjoining property.
2. Reduction in the Side Setback to permit parking and a dumpster enclosure within 11 feet of the northern property line where 20 feet is required.
3. Reduction in the Front Setback (south, private drive) to allow a drive lane within 14 feet of the property line where 20 feet is required.
4. Lot Coverage – request to allow a total Lot Coverage of 70% where 65% is required. This includes shared sidewalks along the eastern and southern private drives as well as a drive connection stub to the north adjoining property. Without the added sidewalks and drive, the lot coverage would meet the 65% requirement.
5. Request to allow for a monument sign near the southwest corner of the property.

Please refer to the conceptual site plan, EXH-1 for illustration of the requested development standard variances.

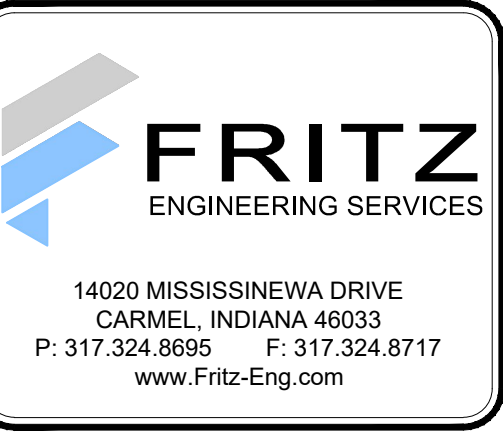
Best Regards,
Fritz Engineering Services, LLC

A handwritten signature in blue ink, appearing to read "Ashton L. Fritz", is written over the printed name.

Ashton L. Fritz, PE, CFM, CPESC
Principal
(Licensed in Indiana, Ohio, Kentucky, Michigan, Maine, New Hampshire, Colorado, Connecticut, Massachusetts, North Carolina)

Cc: Development team members



[illegible]

GENERAL NOTES / LEGEND:

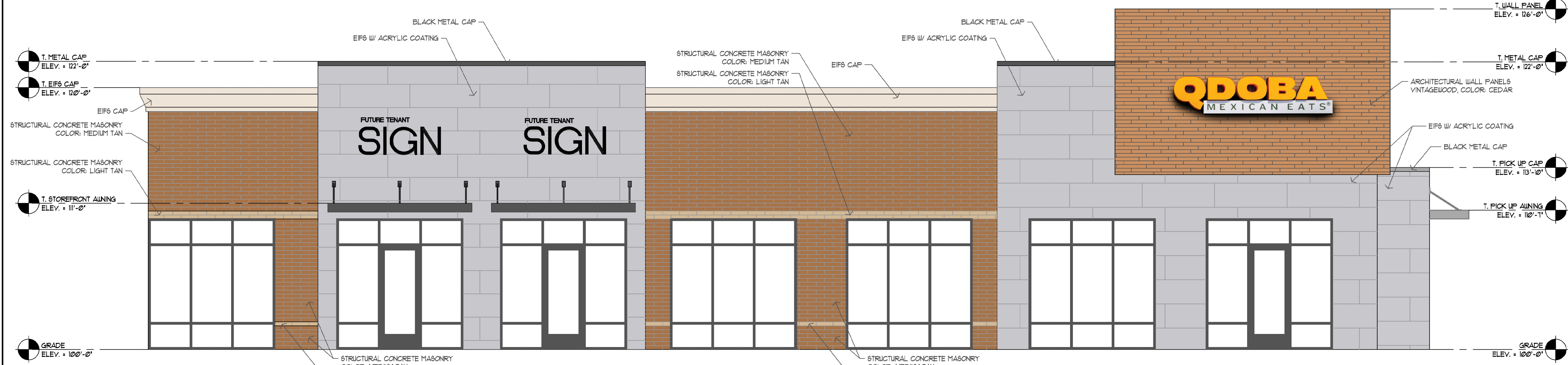
"IT'S THE
LAW"
811

Know what's below.
Call before you dig.

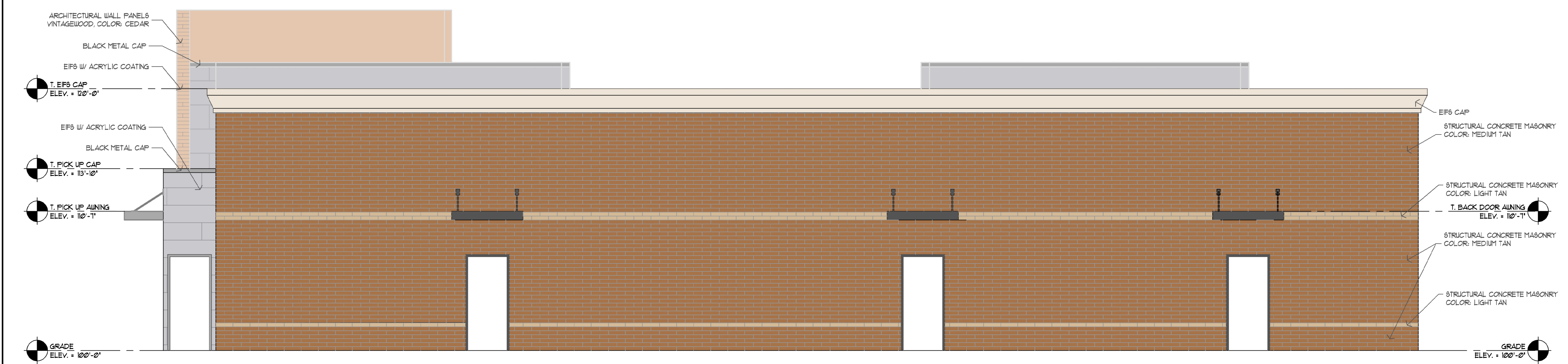
2 WORKING DAYS BEFORE YOU DIG.

CLIENT:
JRF CONSTRUCTION
705 E. MAIN ST.
WESTFIELD, IN 46074

© 2023 FRITZ ENGINEERING SERVICES, LLC



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"

peterSONARCHITECTURE
298 South 10th Street Suite 500
Noblesville, IN 46060
p 317.770.9714
f 317.770.9718
peterSONarchitecture.com

NEW CONSTRUCTION
QDOBA
1419 W. 600 N.
MCCORDSVILLE, INDIANA
JRF CONSTRUCTION, INC.

CITY REVIEW

AUGUST 15, 2023

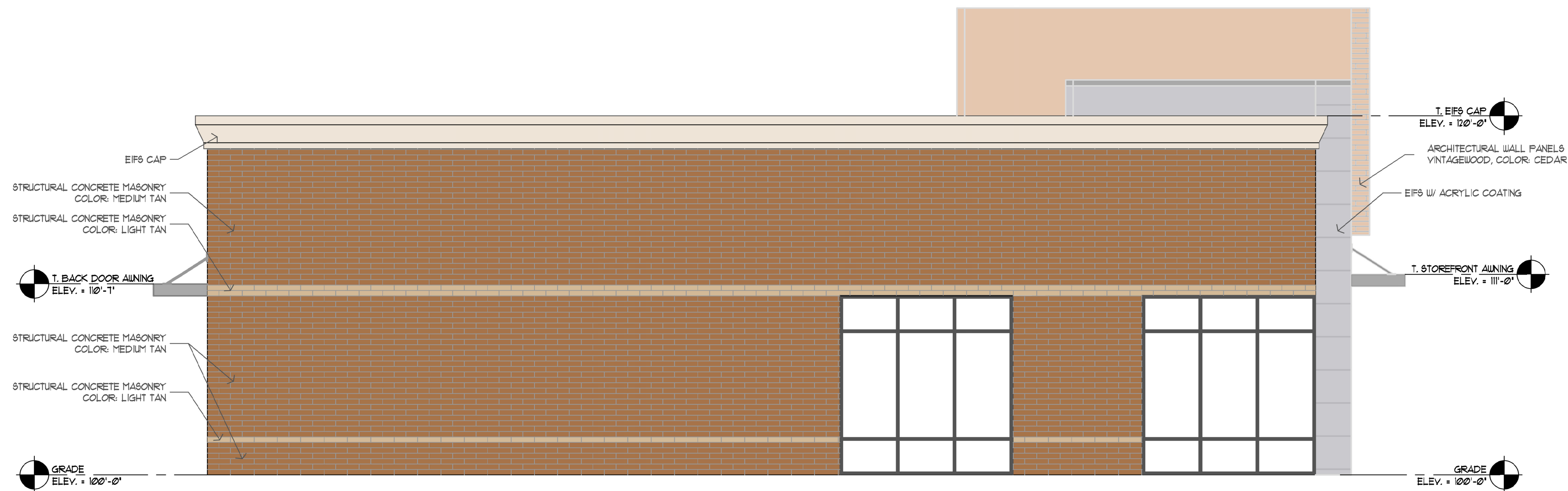
REVISIONS:	
1	REVISION DATE
2	REVISION DATE
3	REVISION DATE
4	REVISION DATE
5	REVISION DATE

PLOT DATE:	2023-08-16
DRAWN BY:	C. BLORDERBECK
CHECKED BY:	D. PETERSON
PROJECT NUMBER:	23-0142

ELEVATIONS

A301

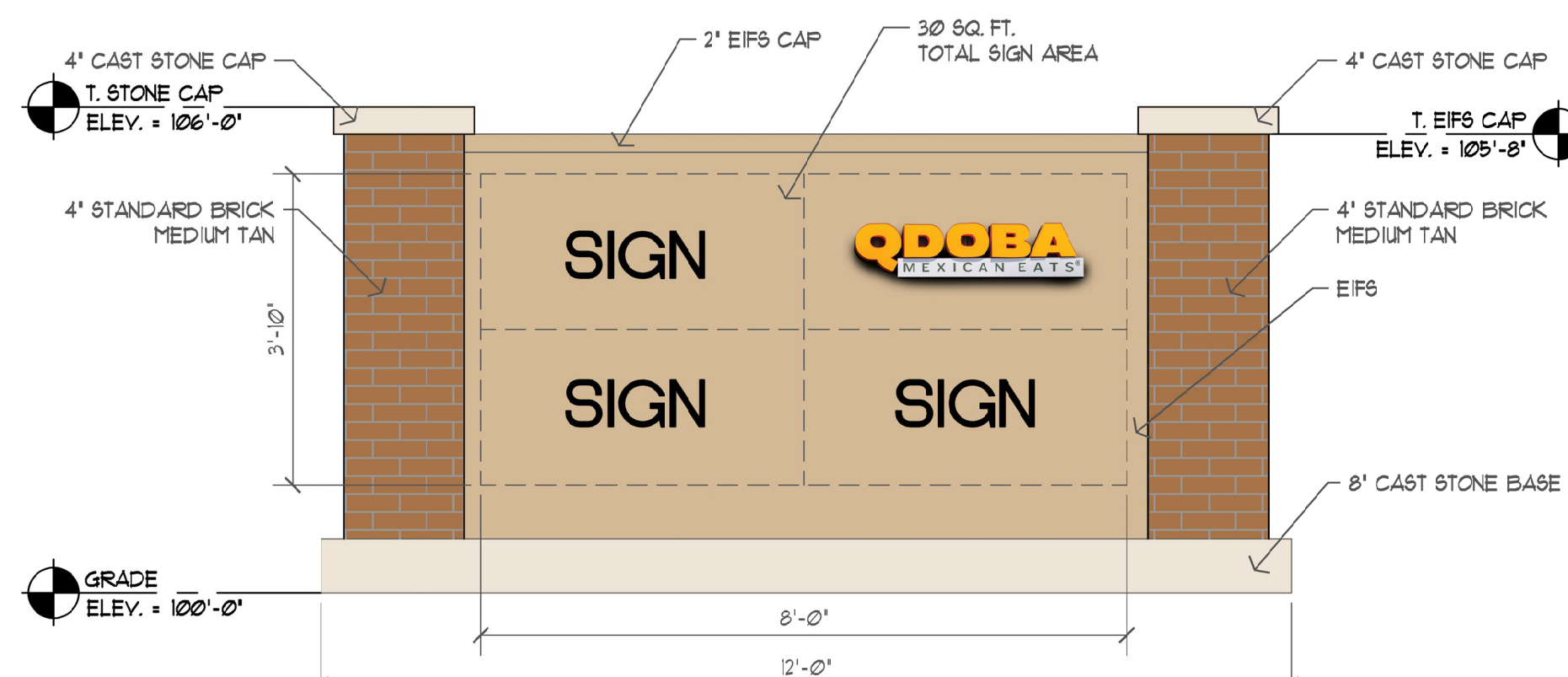
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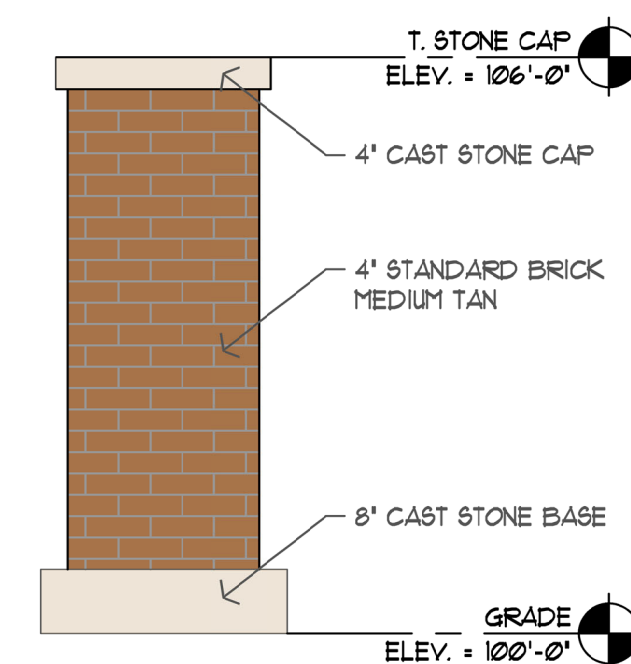
1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



3 MONUMENT SIGN NORTH + SOUTH ELEVATION
SCALE: 1/2" = 1'-0"



4 MONUMENT SIGN EAST + WEST ELEVATION
SCALE: 1/2" = 1'-0"

CITY REVIEW

AUGUST 15, 2023

REVISIONS:	
1	REVISION DATE
2	REVISION DATE
3	REVISION DATE
4	REVISION DATE
5	REVISION DATE

PLOT DATE: 2023-08-15
DRAWN BY: C. SLODERBECK
CHECKED BY: D. PETERSON
PROJECT NUMBER: 23-0142

ELEVATIONS

A302

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