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Carmel, IN 46033  
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[www.Fritz-Eng.com](http://www.Fritz-Eng.com)

August 16, 2023

Mr. Ryan Crum, Planning Director  
Town of McCordsville  
6280 W 800N  
McCordsville, IN 46055

**RE: Qdoba  
7419 W. 600N  
FES Project # 2307011**

Dear Mr. Crum,

Please accept this Notice of Intent in support of the Town of McCordsville Board of Zoning Appeals Special Exception and development standards variances related to the Qdoba project proposed to be located on Lot 2 of the McCordsville Corner Shoppes commercial subdivision.

Special Exception Use – this request includes a Special Exception Use to permit a drive-up window for the proposed Qdoba restaurant. The drive-up window is proposed for online or mobile order pickups. There are no proposed order stations. Pickups will be for previously placed orders.

Development Standards Variances – The following development standards variances are requested:

1. Reduction in the Front Building Setback from 600N (west side) to permit parking within 31 feet where 50 feet is required. This will align with the parking constructed on the north adjoining property.
2. Reduction in the Side Setback to permit parking and a dumpster enclosure within 11 feet of the northern property line where 20 feet is required.
3. Reduction in the Front Setback (south, private drive) to allow a drive lane within 14 feet of the property line where 20 feet is required.
4. Lot Coverage – request to allow a total Lot Coverage of 70% where 65% is required. This includes shared sidewalks along the eastern and southern private drives as well as a drive connection stub to the north adjoining property. Without the added sidewalks and drive, the lot coverage would meet the 65% requirement.
5. Request to allow for a monument sign near the southwest corner of the property.

Please refer to the conceptual site plan, EXH-1 for illustration of the requested development standard variances.

Best Regards,  
**Fritz Engineering Services, LLC**

A handwritten signature in blue ink, appearing to read "Ashton L. Fritz", is written over the printed name.

Ashton L. Fritz, PE, CFM, CPESC  
Principal  
(Licensed in Indiana, Ohio, Kentucky, Michigan, Maine, New Hampshire, Colorado, Connecticut, Massachusetts, North Carolina)

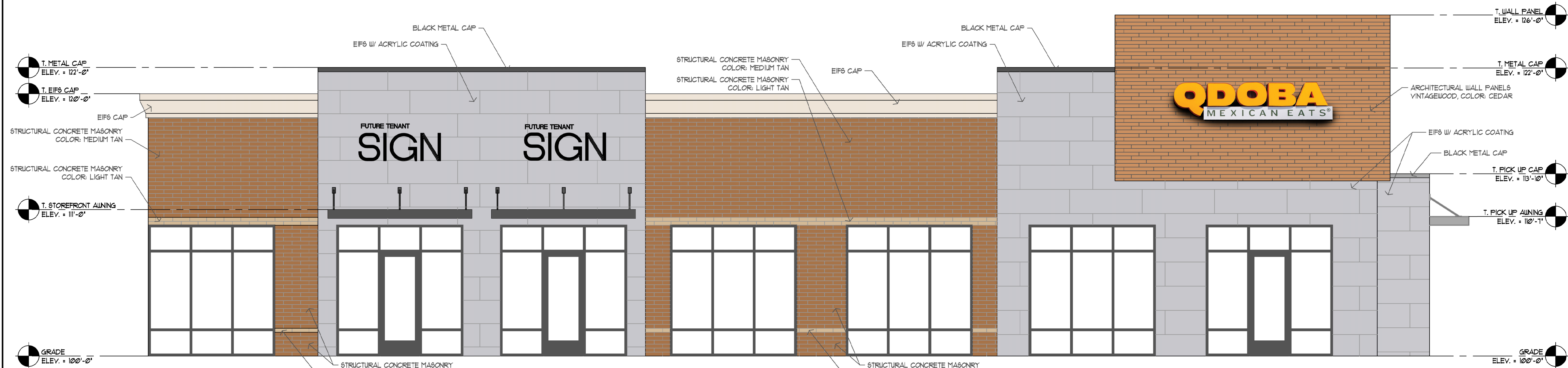
Cc: Development team members



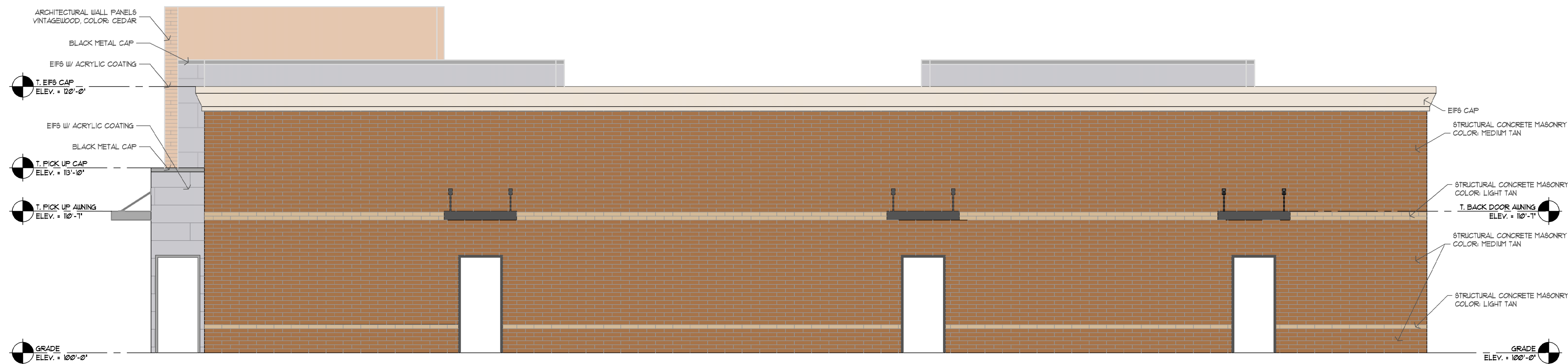








① WEST ELEVATION  
SCALE: 1/4" = 1'-0"



② EAST ELEVATION  
SCALE: 1/4" = 1'-0"

**peterSON**ARCHITECTURE  
298 South 10th Street Suite 500  
Noblesville, IN 46060  
p 317.770.9714  
f 317.770.9718  
peterSONarchitecture.com

NEW CONSTRUCTION  
**QDOBA**  
1419 W. 600 N.  
MCCORDSVILLE, INDIANA  
JRF CONSTRUCTION, INC.

CITY REVIEW

AUGUST 15, 2023

REVISIONS:

1	REVISION	DATE
2	REVISION	DATE
3	REVISION	DATE
4	REVISION	DATE
5	REVISION	DATE

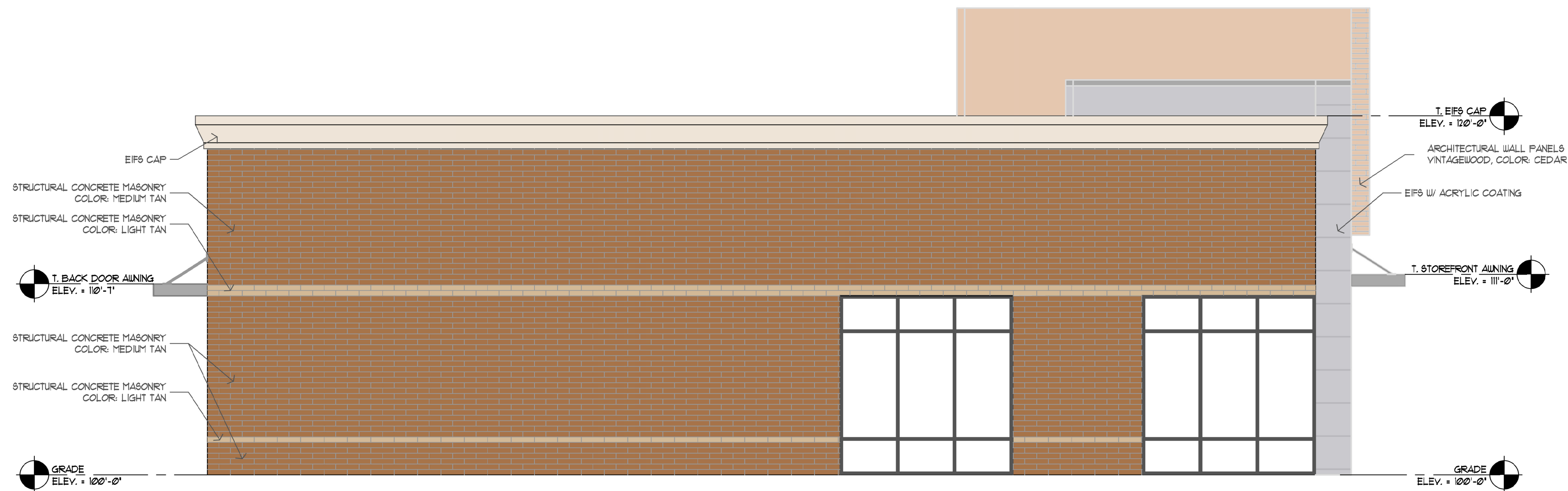
PLOT DATE: 2023-08-16  
DRAWN BY: C. SLODERBECK  
CHECKED BY: D. PETERSON  
PROJECT NUMBER: 23-0142

ELEVATIONS

**A301**

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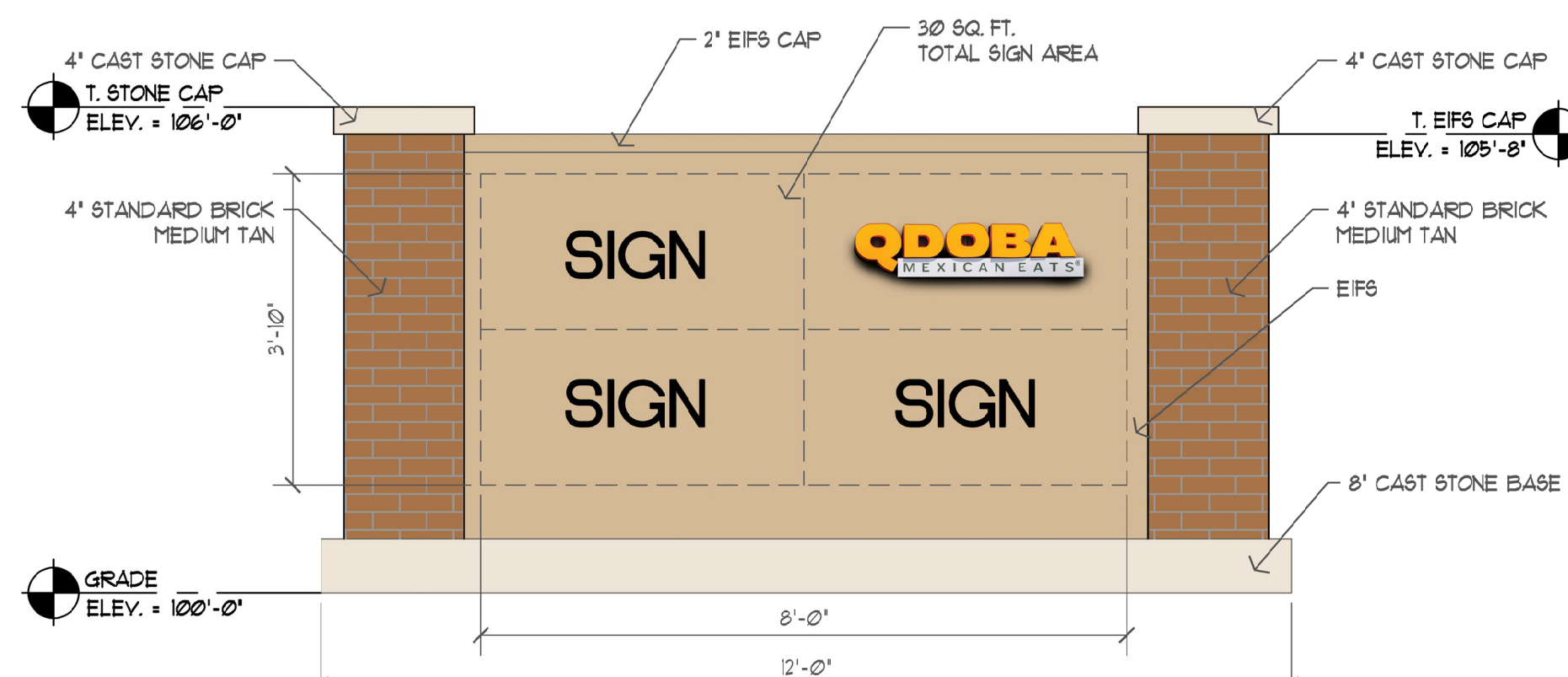




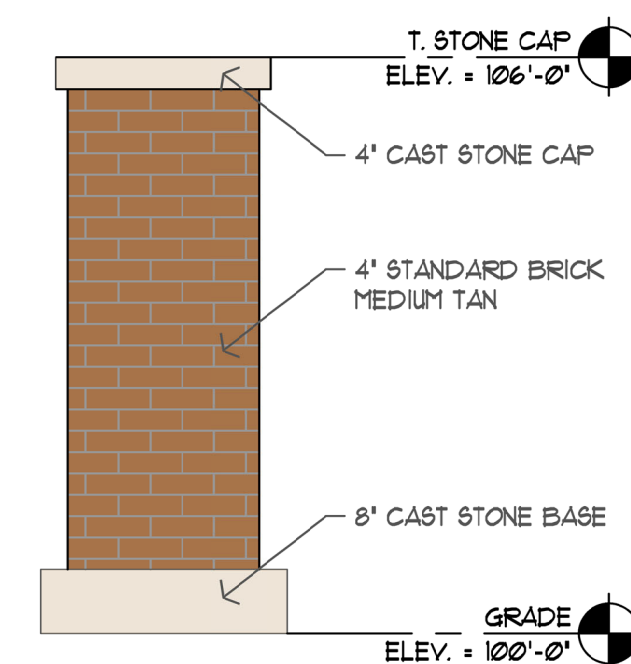
1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



3 MONUMENT SIGN NORTH + SOUTH ELEVATION  
SCALE: 1/2" = 1'-0"



4 MONUMENT SIGN EAST + WEST ELEVATION  
SCALE: 1/2" = 1'-0"