

THIS INSTRUMENT PREPARED BY:

BRADY KUHN PROFESSIONAL LAND SURVEYOR
INDIANA #20500007
KUHN & GUSTAFSON LAND SURVEYING, INC.
P.O. BOX 70
ZIONSVILLE, IN 46077

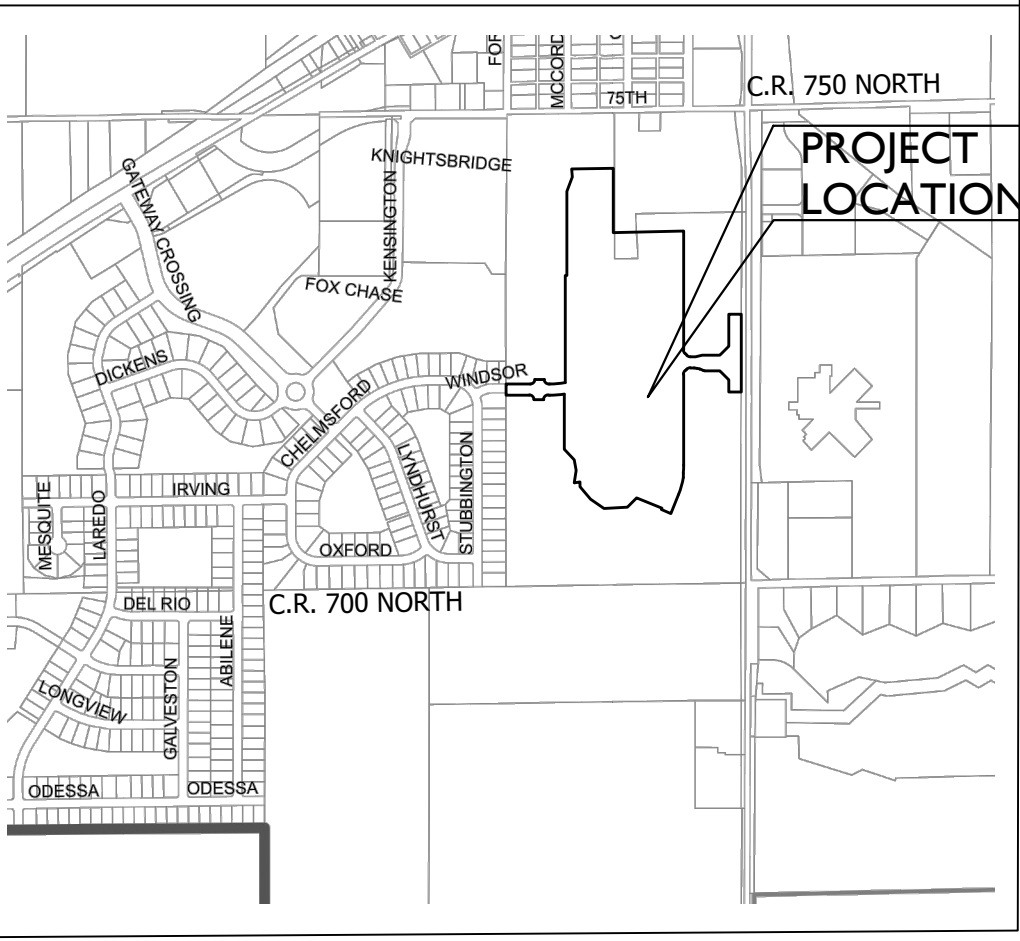
INSTRUMENT PREPARED FOR:

CW-HAMPTON WALK, LLC
C/O FISCHER HOMES INDIANAPOLIS II, LLC
6602 E. 75TH STREET, SUITE 400
INDIANAPOLIS IN, 46250
CONTACT: BRAD KRINER
PHONE: (317) 348-2500
EMAIL: bkriner@fisherhomes.com

DATE PREPARED: 9/6/2023

LOCATION MAP

(NOT TO SCALE)



LEGEND

- 100 LOT NUMBER
- B.S.L. BUILDING SETBACK LINE
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT
- C.A. COMMON AREA
- R/W RIGHT OF WAY
- L.M.A.E. LANDSCAPE MAINTENANCE ACCESS EASEMENT
- VAR. VARIABLE
- D.E. DRAINAGE EASEMENT
- U.E. UTILITY EASEMENT
- S.S.E. SANITARY SEWER EASEMENT
- R/W RIGHT OF WAY

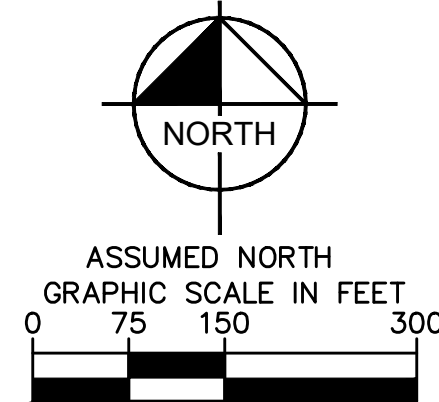
SUBDIVISION MONUMENTATION

AN AFFIDAVIT, CROSS-REFERENCED TO THIS RECORDED PLAT, WILL BE RECORDED AFTER THE SUBDIVISION MONUMENTATION HAS BEEN COMPLETED. PER STANDARDS SET FORTH IN TITLE 865 IAC 1-12-18 SUBSECTION (b)(1)(2), THE INSTALLATION OF BELOW MENTIONED MONUMENTS MAY BE DELAYED FOR UP TO TWO YEARS FROM RECORDATION OF PLAT.

- DENOTES A 5/8"x24" REBAR WITH CAP STAMPED "K&G LS FIRM 0141" SHALL BE SET AT ALL LOT OR PARCEL CORNERS AS DEPICTED HEREON.
- DENOTES A 4"x4"x36" LONG PRECAST CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, SET FLUSH WITH THE FINISH GRADE.
- DENOTES A STREET CENTERLINE MONUMENT, A REBAR WITH ALUMINUM CAP, STAMPED "K&G LS FIRM 0141", SET FLUSH WITH THE FINISHED SURFACE COAT.

HAMPTON WALK - SECTION 1

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA



HAMPTON WALK LOT AND YARD REQUIREMENTS

	Subarea A Townhome Collection	Subarea B Designer Collection	Subarea C Maple Street Collection
Standard			
Default Zoning District Base Layer	MF1	R5	R5
Max. Number of Lots	125	79	58
Min. Lot Area (sq ft)	1,500	7,200	5,700
Min. Lot Depth (ft)	70	125	120
Min. Living Area multi-story bldg (sq ft)	2,100	2,200	1,950
Min. Ground Floor Living Area 1-story bldg (sq ft)	1,100	1,800	1,600
Min. Ground Floor Living Area multi-story bldg (sq ft)	1,350	1,000	873
Min. Lot Width at Bldg. Line (ft)	20	65	55
Min. Front Yard Setback (ft)*	10	25	25
Min. Side Yard Setback (ft)**	0	5	5
Min. Building Separation (ft)	20	10	10
Min. Rear Yard Setback (ft)	20/10***	15	15
Max. Lot Coverage (% of all impervious surfaces)	85%	50%	50%
Max. Principal Structure Height (ft)	43	40	40

	Subarea D Patio Collection	Subarea E Paired-Patio Collection	Subarea F Masterpiece Collection
Standard			
Default Zoning District Base Layer	R5	MF1	R4
Max. Number of Lots	22	42	16
Min. Lot Area (sq ft)	6,600	3,600	10,400
Min. Lot Depth (ft)	125	120	130
Min. Living Area multi-story bldg (sq ft)	1,700	2,000***	2,400
Min. Ground Floor Living Area 1-story bldg (sq ft)	1,700	1,200	2,100
Min. Ground Floor Living Area multi-story bldg (sq ft)	N/A	N/A	1,500
Min. Lot Width at Bldg. Line (ft)	55	30	30
Min. Front Yard Setback (ft)*	25	25	30
Min. Side Yard Setback (ft)**	5	0	5
Min. Building Separation (ft)	10	10	10
Min. Rear Yard Setback (ft)	15	15	15
Max. Lot Coverage (% of all impervious surfaces)	50%	75%	45%
Max. Principal Structure Height (ft)	40	40	40

CURVE TABLE: STREET CENTERLINE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	500.00'	123.55'	S82°53'41"W	123.24'	14°09'29"	62.09'
C2	500.00'	123.55'	S82°53'41"W	123.24'	14°09'29"	62.09'
C3	500.00'	110.23'	S83°39'30"W	110.00'	12°37'51"	55.34'
C4	500.00'	110.23'	S83°39'30"W	110.00'	12°37'51"	55.34'
C5	150.00'	51.67'	S9°50'30"W	51.42'	19°44'14"	26.09'
C6	150.00'	51.67'	S9°50'30"W	51.42'	19°44'14"	26.09'

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C7	25.00'	44.78'	N52°52'22"W	39.03'	102°37'24"	31.22'
C8	25.00'	33.09'	S37°53'40"W	30.73'	75°50'34"	19.48'
C9	25.00'	45.45'	S52°06'23"E	39.44'	104°09'45"	32.09'
C10	25.00'	33.09'	N37°53'43"E	30.73'	75°50'27"	19.48'
C11	25.00'	41.20'	N47°14'33"W	36.70'	94°26'05"	27.01'
C12	25.00'	39.26'	S44°57'54"W	35.35'	89°59'16"	24.99'
C13	25.00'	39.27'	N45°01'34"W	35.36'	90°00'03"	25.00'
C15	60.00'	61.58'	N49°06'50"E	58.91'	58°48'26"	33.81'
C16	60.00'	4.66'	N80°44'31"E	4.66'	4°26'57"	2.33'
C17	8.00'	25.16'	N0°01'34"W	16.00'	180°10'52"	5062.92'
C18	8.00'	25.15'	S0°01'34"E	16.00'	180°05'26"	10117.84'
C25	25.00'	39.27'	N44°58'28"E	35.36'	89°59'58"	25.00'

PUD NOTE:

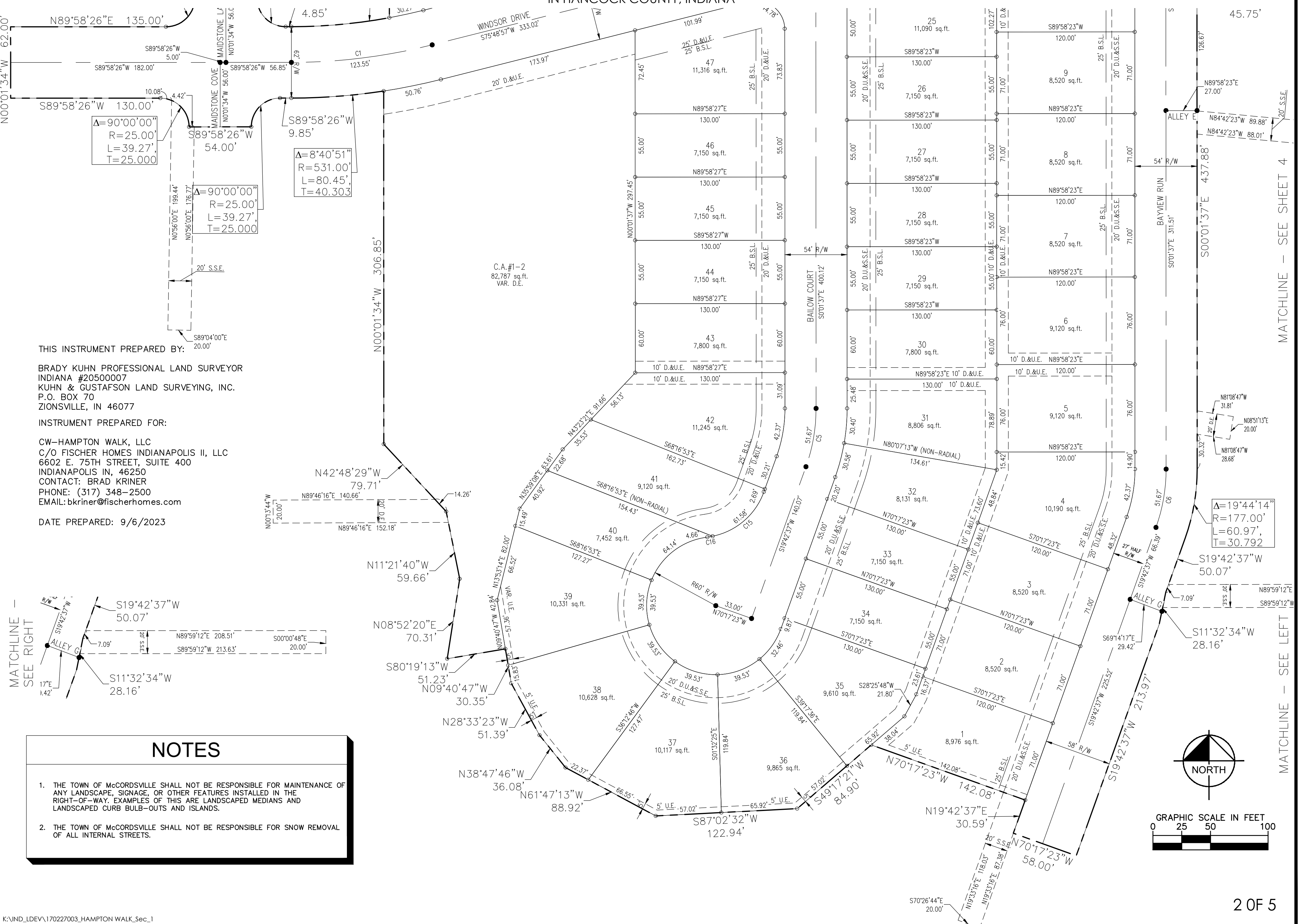
THE SUBJECT TRACT IS ZONED _____ TOWN OF MCCORDSVILLE, HANCOCK COUNTY, INDIANA, ORDINANCE NO. 121410, AS AMENDED, AN ORDINANCE TO AMEND THE HANCOCK COUNTY, INDIANA AREA ZONING ORDINANCE THE HANCOCK COUNTY CODE AND THE OFFICIAL ZONING MAP, _____.

1 OF 5

HAMPTON WALK - SECTION 1

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA

MATCHLINE - SEE SHEET 3



NOTES

- THE TOWN OF MCCORDSVILLE SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY LANDSCAPE, SIGNAGE, OR OTHER FEATURES INSTALLED IN THE RIGHT-OF-WAY. EXAMPLES OF THIS ARE LANDSCAPED MEDIANS AND LANDSCAPED CURB BULB-OUTS AND ISLANDS.
- THE TOWN OF MCCORDSVILLE SHALL NOT BE RESPONSIBLE FOR SNOW REMOVAL OF ALL INTERNAL STREETS.

2 OF 5

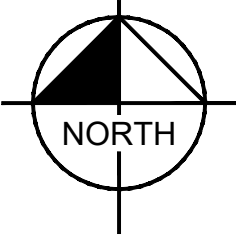
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DATE PREPARED: 9/6/2023



GRAPHIC SCALE IN FEET
0 25 50 100

NOTES

1. THE TOWN OF McCORDSVILLE SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY LANDSCAPE, SIGNAGE, OR OTHER FEATURES INSTALL IN THE RIGHT-OF-WAY. EXAMPLES OF THIS ARE LANDSCAPED MEDIANS AND LANDSCAPED CURB BULB-OUTS AND ISLANDS.
2. THE TOWN OF McCORDSVILLE SHALL NOT BE RESPONSIBLE FOR SNOW REMOVAL OF ALL INTERNAL STREETS.

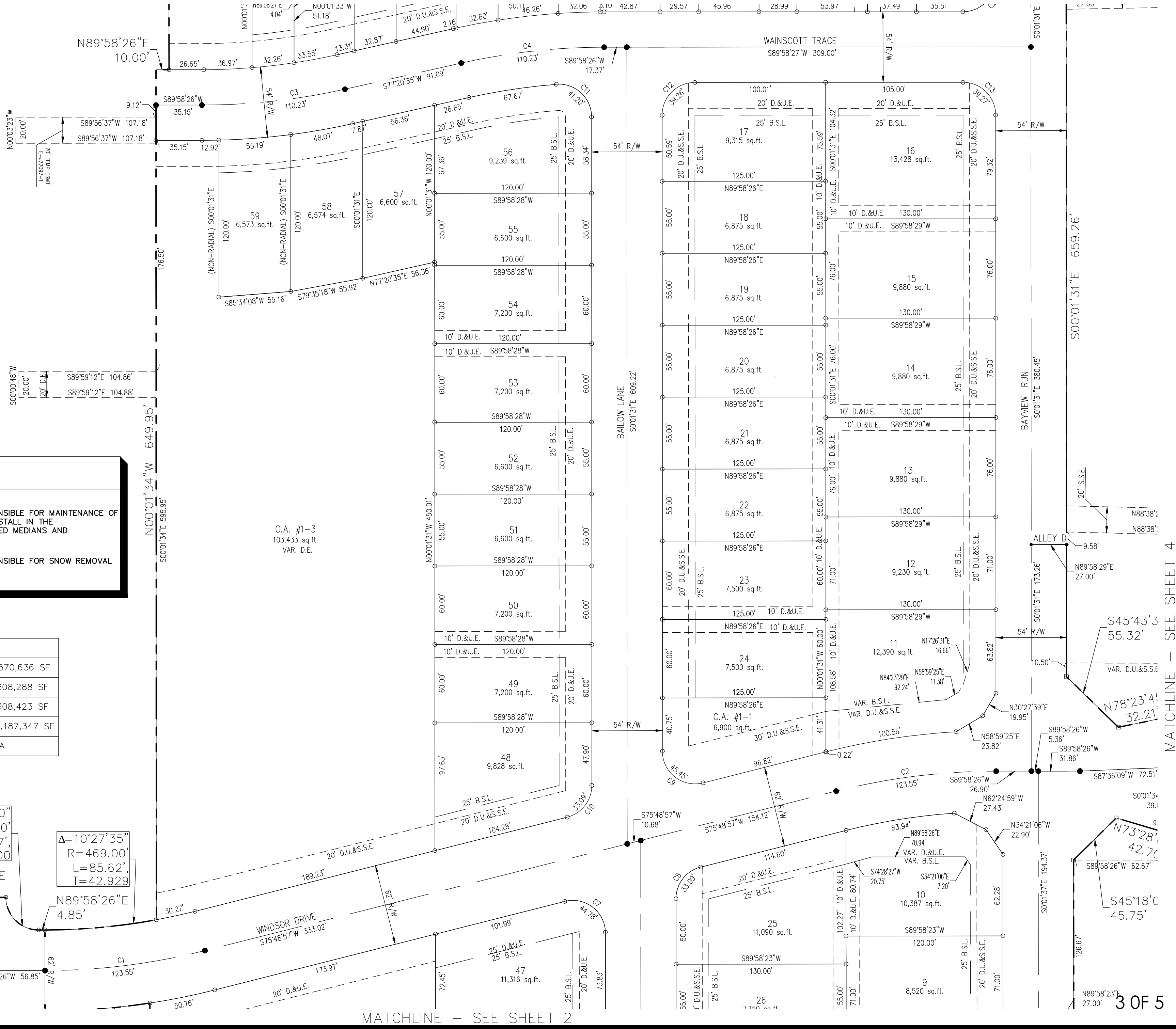
AREA SUMMARY

LOT TOTAL	13.10 AC / 570,636 SF
COMMON AREA	7.08 AC / 308,288 SF
RIGHT-OF-WAY	7.08 AC / 308,423 SF
TOTAL AREA	27.26 AC / 1,187,347 SF
REMAINING AREA	N/A

HAMPTON WALK - SECTION 1

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA

MATCHLINE - SEE SHEET 4



MATCHLINE - SEE SHEET 2

MATCHLINE - SEE SHEET 4

3 OF 5

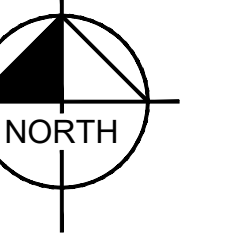
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GRAPHIC SCALE IN FEET
0 25 50 100

AREA BREAKDOWN

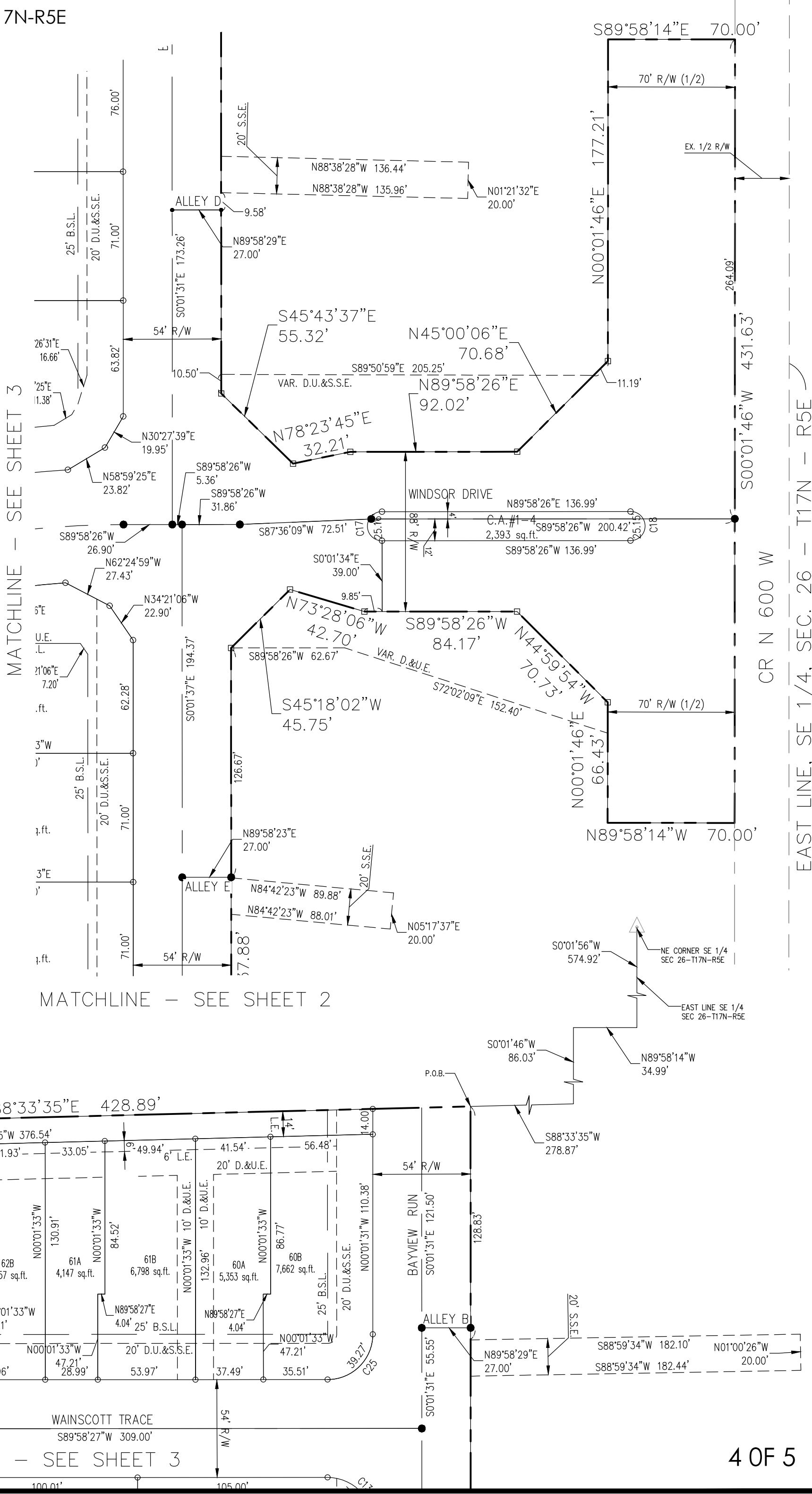
LOT TOTAL - 13.10 ACRES / 570,636 SQ.FT.
OPEN SPACE - 7.08 ACRES / 308,288 SQ.FT.
RIGHT OF WAY - 7.08 ACRES / 308,423 SQ.FT.
TOTAL AREA - 27.26 ACRES / 1,187,347 SQ.FT.

HAMPTON WALK - SECTION 1

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA

NOTES

1. THE TOWN OF McCORDSVILLE SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY LANDSCAPE, SIGNAGE, OR OTHER FEATURES INSTALL IN THE RIGHT-OF-WAY. EXAMPLES OF THIS ARE LANDSCAPED MEDIANS AND LANDSCAPED CURB BULB-OUTS AND ISLANDS.
2. THE TOWN OF McCORDSVILLE SHALL NOT BE RESPONSIBLE FOR SNOW REMOVAL OF ALL INTERNAL STREETS.



MATCHLINE - SEE SHEET 3

4 OF 5

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STORM INVENTORY CHART	
12" RCP	603 L.F.
15" RCP	1,090 L.F.
18" RCP	806 L.F.
24" RCP	1,898 L.F.
27" RCP	366 L.F.
30" RCP	31 L.F.
36" RCP	594 L.F.
TOTAL	5,388 L.F.

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DATE PREPARED: 9/6/2023

HAMPTON WALK
SECTION 1

A PART OF THE SOUTHEAST QUARTER OF SECTION 26, TOWNSHIP 17 NORTH, RANGE 5 EAST IN HANCOCK COUNTY, INDIANA, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SOUTHEAST QUARTER; THENCE ALONG THE EAST LINE THEREOF SOUTH 00 DEGREES 01 MINUTES 56 SECONDS WEST (BASIS OF BEARINGS) 574.92 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 14 SECONDS WEST 34.99 FEET TO CUT "X" IN A CONCRETE PIPE AT THE NORTHWEST CORNER OF THE LAND DEEDED TO HANCOCK COUNTY, INDIANA AS DESCRIBED IN INSTRUMENT NO. 9509943 IN THE OFFICE OF THE RECORDER OF HANCOCK COUNTY, INDIANA; THENCE ALONG THE WEST LINE OF SAID INSTRUMENT NO. 9509943 SOUTH 00 DEGREES 01 MINUTES 46 SECONDS WEST 86.03 FEET TO A REBAR WITH YELLOW PLASTIC CAP STAMPED "K&G LS FIRM 0141" (HEREINAFTER "CAPPED REBAR") AT THE NORTHEAST CORNER OF THE LAND DEEDED TO CW-HAMPTON WALK, LLC AS DESCRIBED IN INSTRUMENT NO. 202300832 IN SAID RECORDER'S OFFICE; THENCE ALONG THE NORTH LINE OF SAID INSTRUMENT NO. 202300832 SOUTH 89 DEGREES 33 MINUTES 35 SECONDS WEST 278.87 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 00 DEGREES 01 MINUTES 31 SECONDS EAST 659.26 FEET; THENCE SOUTH 45 DEGREES 43 MINUTES 37 SECONDS EAST 55.32 FEET; THENCE NORTH 78 DEGREES 23 MINUTES 45 SECONDS EAST 32.21 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 26 SECONDS EAST 92.02 FEET; THENCE NORTH 45 DEGREES 00 MINUTES 06 SECONDS EAST 70.68 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 46 SECONDS EAST 177.21 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 14 SECONDS EAST 70.00 FEET TO THE WEST LINE OF THE AFORESAID INSTRUMENT NO. 9509943; THENCE ALONG SAID WEST LINE SOUTH 00 DEGREES 01 MINUTES 46 SECONDS WEST 431.63 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 14 SECONDS WEST 70.00 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 46 SECONDS EAST 66.43 FEET; THENCE NORTH 44 DEGREES 59 MINUTES 54 SECONDS WEST 70.73 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 26 SECONDS WEST 84.17 FEET; THENCE NORTH 73 DEGREES 28 MINUTES 06 SECONDS WEST 42.70 FEET; THENCE SOUTH 45 DEGREES 18 MINUTES 02 SECONDS WEST 45.75 FEET; THENCE SOUTH 00 DEGREES 01 SECONDS 37 SECONDS EAST 437.88 FEET TO A POINT ON A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 177.00 FEET AND A CHORD BEARING SOUTH 09 DEGREES 50 MINUTES 30 SECONDS WEST 60.67 FEET; THENCE ALONG SAID CURVE A DISTANCE OF 60.97 FEET; THENCE SOUTH 19 DEGREES 42 MINUTES 37 SECONDS WEST 50.07 FEET; THENCE SOUTH 11 DEGREES 32 MINUTES 34 SECONDS WEST 28.16 FEET; THENCE SOUTH 19 DEGREES 42 MINUTES 37 SECONDS WEST 213.97 FEET; THENCE NORTH 70 DEGREES 17 MINUTES 23 SECONDS WEST 58.00 FEET; THENCE NORTH 19 DEGREES 42 MINUTES 37 SECONDS EAST 30.59 FEET; THENCE NORTH 70 DEGREES 17 MINUTES 23 SECONDS WEST 142.08 FEET; THENCE SOUTH 49 DEGREES 17 MINUTES 21 SECONDS WEST 84.90 FEET; THENCE SOUTH 87 DEGREES 02 MINUTES 32 SECONDS WEST 122.94 FEET; THENCE NORTH 61 DEGREES 47 MINUTES 13 SECONDS WEST 88.92 FEET; THENCE NORTH 38 DEGREES 47 MINUTES 46 SECONDS WEST 36.08 FEET; THENCE NORTH 28 DEGREES 33 MINUTES 23 SECONDS WEST 51.39 FEET; THENCE NORTH 09 DEGREES 40 MINUTES 47 SECONDS WEST 30.35 FEET; THENCE SOUTH 80 DEGREES 19 MINUTES 13 SECONDS WEST 51.23 FEET; THENCE NORTH 08 DEGREES 52 MINUTES 20 SECONDS EAST 70.31 FEET; THENCE NORTH 11 DEGREES 21 MINUTES 40 SECONDS WEST 59.66 FEET; THENCE NORTH 42 DEGREES 48 MINUTES 29 SECONDS WEST 79.71 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 34 SECONDS WEST 306.85 FEET TO A POINT ON A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 531.00 FEET AND A CHORD BEARING SOUTH 85 DEGREES 38 MINUTES 00 SECONDS WEST 80.38 FEET; THENCE ALONG SAID CURVE A DISTANCE OF 80.45 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 26 SECONDS WEST 9.85 FEET TO A POINT ON CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 25.00 FEET AND A CHORD BEARING SOUTH 44 DEGREES 58 MINUTES 26 SECONDS WEST 35.36 FEET; THENCE ALONG SAID CURVE A DISTANCE OF 39.27 FEET; THENCE SOUTH 89 DEGREES 58 MINUTES 26 SECONDS WEST 130.00 FEET TO THE EAST LINE OF GATEWAY CROSSING, SECTION 4 AS PER PLAT THEREOF RECORDED IN INSTRUMENT NO. 040000267 IN SAID RECORDER'S OFFICE; THENCE ALONG SAID EAST LINE NORTH 00 DEGREES 01 MINUTES 34 SECONDS WEST 62.00 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 26 SECONDS EAST 135.00 FEET TO A POINT ON A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 25.00 FEET AND A CHORD BEARING NORTH 44 DEGREES 58 MINUTES 26 SECONDS EAST 35.36 FEET; THENCE ALONG SAID CURVE A DISTANCE OF 39.27 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 26 SECONDS EAST 54.00 FEET TO A POINT ON A CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 25.00 FEET AND A CHORD BEARING SOUTH 45 DEGREES 01 MINUTES 34 SECONDS EAST 35.36 FEET; THENCE ALONG SAID CURVE A DISTANCE OF 39.27 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 26 SECONDS EAST 4.85 FEET TO A POINT ON A CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 469.00 FEET AND A CHORD BEARING NORTH 84 DEGREES 44 MINUTES 38 SECONDS EAST 85.50 FEET; THENCE ALONG SAID CURVE A DISTANCE OF 85.62 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 34 SECONDS WEST 649.95 FEET; THENCE NORTH 89 DEGREES 58 MINUTES 26 SECONDS EAST 10.00 FEET; THENCE NORTH 00 DEGREES 01 MINUTES 34 SECONDS WEST 413.50 FEET; THENCE NORTH 19 DEGREES 49 MINUTES 00 SECONDS EAST 85.58 FEET; THENCE NORTH 04 DEGREES 45 MINUTES 12 SECONDS WEST 44.45 FEET; THENCE NORTH 89 DEGREES 08 MINUTES 06 SECONDS EAST 232.32 FEET TO THE WEST LINE OF THE LAND DEEDED TO ROBERT LARRY VAIL AND TRAVIS VAIL AS DESCRIBED IN INSTRUMENT NO. 202119644 IN SAID RECORDER'S OFFICE; THENCE ALONG SAID WEST LINE SOUTH 00 DEGREES 01 MINUTES 56 SECONDS WEST 357.45 FEET TO A "CAPPED REBAR" AT THE NORTHWEST CORNER OF THE LAND DEEDED TO CW-HAMPTON WALK, LLC AS DESCRIBED IN INSTRUMENT NO. 202300833 IN SAID RECORDER'S OFFICE; THENCE ALONG SAID NORTH LINE AND THE NORTH LINE OF THE AFORESAID LAND DESCRIBED IN INSTRUMENT NO. 202300832 NORTH 88 DEGREES 33 MINUTES 35 SECONDS EAST 428.89 FEET TO THE POINT OF BEGINNING, CONTAINING 27.26 ACRES MORE OR LESS.

HAMPTON WALK - SECTION 1

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA

DRAINAGE COVENANT

CHANNELS, TILE DRAINS 8-INCH OR LARGER, INLETS AND OUTLETS OF DETENTION AND RETENTION PONDS, AND APPURTENANCES THERETO WITHIN DESIGNATED DRAIN EASEMENTS ARE EXTENSIONS OF THE MCCORDSVILLE'S STORMWATER DRAINAGE SYSTEM AND ARE THE RESPONSIBILITY OF THE MCCORDSVILLE DRAINAGE BOARD AND/OR THE MCCORDSVILLE PUBLIC WORKS COMMISSIONER. DRAINAGE SWALES AND TILE DRAINS LESS THAN 8-INCH IN INSIDE DIAMETER SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR HOMEOWNERS ASSOCIATION.

THIS SUBDIVISION CONTAINS 1,937 LINEAR FEET OF OPEN DITCHES AND 11,020 FEET OF SUBSURFACE DRAINS THAT WILL BE INCLUDED IN THE TOWN'S STORMWATER DRAINAGE SYSTEM.

ACCEPTANCE OF DEED OF DEDICATION

WE, THE UNDERSIGNED CW-HAMPTON WALK, LLC A DELAWARE LIMITED LIABILITY COMPANY, OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED ON THE PLAT HERETOFORE RECORDED IN THE HANCOCK COUNTY RECORDER'S OFFICE PLATTED HEREON DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT. WE DO FURTHER CERTIFY THAT THIS PLAT IS MADE AND SUBMITTED WITH OUR FREE CONSENT AND DESIRES.

THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS HAMPTON WALK-SECTION 1. ALL STREETS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC.

FRONT YARD BUILDING SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAT, BETWEEN WHICH LINES AND THE PROPERTY LINES OF THE STREET, THERE SHALL BE ERECTED OR MAINTAINED NO BUILDING OR STRUCTURE.

RIGHT OF WAY SHOWN ON THIS PLAT AND HERETOFORE DEDICATED TO THE TOWN CONSISTS OF 7.08 ACRES AND 4,934 LF AS MEASURED ALONG THE CENTERLINE OR THE ROAD.

A PERPETUAL UTILITY EASEMENT IS HEREBY GRANTED TO ANY PRIVATE OR PUBLIC UTILITY OR MUNICIPAL DEPARTMENT, THEIR SUCCESSORS AND ASSIGNS, WITHIN THE AREA SHOWN ON THE PLAT AND MARKED "UTILITY EASEMENT", TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE, MAINTAIN AND REMOVE CONDUITS, CABLES, PIPES, POLES AND WIRES, OVERHEAD AND UNDERGROUND, WITH ALL NECESSARY BRACES, GUYS, ANCHORS AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SUBDIVISION AND OTHER PROPERTY WITH TELEPHONE, INTERNET, CABLE TV, ELECTRIC AND GAS, SEWER AND WATER SERVICE AS A PART OF THE RESPECTIVE UTILITY SYSTEMS; ALSO IS GRANTED (SUBJECT TO THE PRIOR RIGHTS OF THE PUBLIC THEREIN OR OTHER GOVERNING CODES AND ORDINANCES) THE RIGHT TO USE THE STREETS AND LOTS WITH AERIAL SERVICE WIRES TO SERVE ADJACENT LOTS AND STREET LIGHTS, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP TRIMMED ANY TREES OR SHRUBS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF THE SAID PRIVATE OR PUBLIC UTILITY EQUIPMENT; AND THE RIGHT IS HEREBY GRANTED TO ENTER UPON THE LOTS AT ALL TIMES FOR ALL OF THE PURPOSES AFORESAID. NO PERMANENT STRUCTURES, FENCES, OR TREES SHALL BE PLACED ON SAID AREA AS SHOWN ON THE PLAT AND MARKED "UTILITY EASEMENT," BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USER OR THE RIGHTS HEREIN GRANTED.

IN ADDITION, THIS DEED SHALL DEDICATE TO THE TOWN OF MCCORDSVILLE, INDIANA, ANY AND ALL SEWER INFRASTRUCTURE INSTALLED FOR, BY OR ON BEHALF OF THE UNDERSIGNED, SAID INFRASTRUCTURE TO INCLUDE BUT NOT BE LIMITED TO THE SEWER COLLECTION SYSTEM, FORCE MAIN, LIFT STATION, OR ANY OTHER COMPONENT PART OF THE SEWER SYSTEM WHICH SERVES THE SUBJECT SUBDIVISION.

THE RIGHT TO ENFORCE THESE PROVISIONS BY INJUNCTION, TOGETHER WITH THE RIGHT TO CAUSE THE REMOVAL, BY DUE PROCESS OF LAW, OF ANY STRUCTURE OR PART THEREOF ERECTED, OR MAINTAINED IN VIOLATION HEREOF, IS HEREBY MAINTAINED IN VIOLATION HEREOF, IS HEREBY DEDICATED TO THE TOWN OF MCCORDSVILLE, INDIANA, ITS ASSIGNS OR DESIGNATED AGENT OR REPRESENTATIVE.

BE IT RESOLVED BY THE MCCORDSVILLE TOWN COUNCIL, MCCORDSVILLE, INDIANA, THAT THE DEDICATIONS SHOWN ON THIS PLAT ARE HEREBY APPROVED AND ACCEPTED THIS _____ DAY OF _____, 2023.

GREGORY J. BREWER
TOWN COUNCIL PRESIDENT

THE PROPERTY SHOWN AND PLATTED HEREON IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF HAMPTON WALK SUBDIVISION RECORDED AS INSTRUMENT NUMBER _____ IN PLAT BOOK _____, PAGE(S) _____, IN THE OFFICE OF THE RECORDER FOR HANCOCK COUNTY, INDIANA AND ANY AMENDMENTS THERETO.

PER THE PUD ORDINANCE, PRIVACY FENCES SHALL NOT BE PERMITTED ON LOTS ADJACENT TO COMMON AREAS. THOSE LOTS WHICH PRIVACY FENCES ARE PROHIBITED ON ARE: LOTS 1, 24, 39-59, 60A, 60B, 61A, 61B, 62A, 62B, 63A, 63B, 64A, 64B, 65A, 65B, 66A & 66B.

PRIVACY FENCES SHALL BE PROHIBITED ON ALL LOTS IN THIS DEVELOPMENT.

THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS HAMPTON WALK, SECTION 1 AND CONSISTS OF 73 LOTS NUMBERED 1-59, 60A-60B, 61A-61B, 62A-62B, 63A-63B, 64A-64B, 65A-65B, 66A-66B AND 5 COMMON AREAS LABELED AS #1-1 THROUGH #1-5 AND SHALL BE KNOWN AND DESIGNATED AS HAMPTON WALK, SECTION 1. ALL RIGHTS-OF-WAY SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC.

CERTIFICATE OF OWNERSHIP

WE, CW-HAMPTON WALK, LLC A DELAWARE LIMITED LIABILITY COMPANY, DO HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND THAT AS SUCH OWNER IT HAS CAUSED THE SAID ABOVE DESCRIBED PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE HEREN DRAWN PLAT, AS ITS FREE AND VOLUNTARY ACT AND DEED.

CW-HAMPTON WALK, LLC, BY
FISCHER HOMES INDIANAPOLIS II, LLC ITS ATTORNEY-IN FACT, UNDER DOCUMENT
RECORDED AS 02-03-2023 AS INSTRUMENT NUMBER 202301043

BY: _____
BRADLEY, A. KRINER, VICE PRESIDENT

STATE OF _____)
) SS:
COUNTY _____)

BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY APPEARED BRADLEY A. KRINER AND ACKNOWLEDGED THE EXECUTION OF THE FORGOING INSTRUMENT AS THEIR VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND NOTARY SEAL THIS _____ DAY OF _____, 2023.

SIGNATURE: _____

PRINTED NAME: _____

MY COMMISSION EXPIRES: _____

COUNTY OF RESIDENCE: _____

REGISTERED LAND SURVEYOR'S CERTIFICATE

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA AND THAT THE WITHIN PLAT REPRESENTS A SUBDIVISION OF THE LANDS SURVEYED WITHIN THE SURVEY RECORDED AS INSTRUMENT NO. 202300795 IN THE OFFICE OF THE RECORDER FOR HANCOCK COUNTY, INDIANA, AND EXCEPT AS NOTED, THERE HAS BEEN NO CHANGE FROM THE MATTERS OF SURVEY REVEALED BY THE CROSS-REFERENCED SURVEY ON ANY LINES THAT ARE COMMON WITH THE NEW SUBDIVISION. I FURTHER CERTIFY THAT SAID SUBDIVISION WAS PLATTED UNDER MY DIRECT SUPERVISION AND CONTROL AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REDACTION STATEMENT:
"I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW." -- BRADY KUHN

BRADY KUHN, PS
INDIANA REGISTRATION NO 20500007

