

McCordsville

ESTD  1988

INDIANA

Architectural Review Committee Staff Report Meeting Date: May 16, 2023

PETITIONER: DR Horton

PETITION: New Product Addition for Weavers Landing

REQUEST: Petitioner requests approval of new additions to product line-up of single-family homes for the Weavers Landing residential subdivision. The total project consists of 202 lots, approximately 30 lots are left to be built upon.

LOCATION: The subdivision is at the northeast corner of CR 700W and CR 650N.

STAFF REVIEW: The previously approved product line-up has been the only models/elevations approved in the neighborhood, and as noted above, the project is well on its way to being completed. In fact, most of the remaining lots have had permits submitted by DR Horton and approved by the Town. Construction never started on those lots. The petitioner intends to replace some of those previously permitted homes with the homes from this request.

The Weavers Landing PUD includes architectural standards, which are denoted in Exhibit A of this report. Staff has conducted its review and finds that some or all models are not meeting the requirements of the PUD. The list below denotes the requirements not being met/shown on the submitted plans:

- The Kelsey A4 does not meet the minimum 50% brick/stone on the front elevation
- The Dennis A4 does not meet the minimum 50% brick/stone on the front elevation
- 9" overhangs
- Min. 6x6 porch columns
- 1x6 window trim
- Window detailing (ie. shutter, mullions, etc)
- Decorative garage doors

Additional Staff Comments:

- Staff has conducted an anti-monotony review. We will prepare an anti-monotony presentation for review at the meeting detailing the elevation combinations that are concerns.

- There are a few architectural requirements which are lot specific and/or cannot be reviewed for at this time. Staff will request the petitioner state that they understand all homes must meet all architectural standards within the Weavers Landing PUD.
- Staff has previously discussed with the petitioner our concern that the proposed elevations do not seem to have the same level of character and architectural detailing as the previously approved line-up. The petitioner has made some changes to the models proposed. Staff has prepared an exhibit comparing the new elevations to the previously approved elevations, and we will share that at the meeting.
- Staff did not receive a black-n-white print of the Kelsey B4 to review, and it is our understanding that the Kelsey C2 (shown in the black-n-white prints) is the same as the C4.
- The petitioner has not proposed the Dennis C4 as an elevation for Weavers Landing, but staff has suggested they do so, as it would increase options for buyers as some of the proposed elevations are likely to be considered "like models" for anti-monotony purposes.
- Note: Staff does not review the various options available to buyers during the ARC review. If a buyer selects a specific option, that option and any resulting changes, will be reviewed for compliance during the building permit process.

STAFF RECOMMENDATION:

Staff will provide a recommendation following conclusion of the discussion items above.

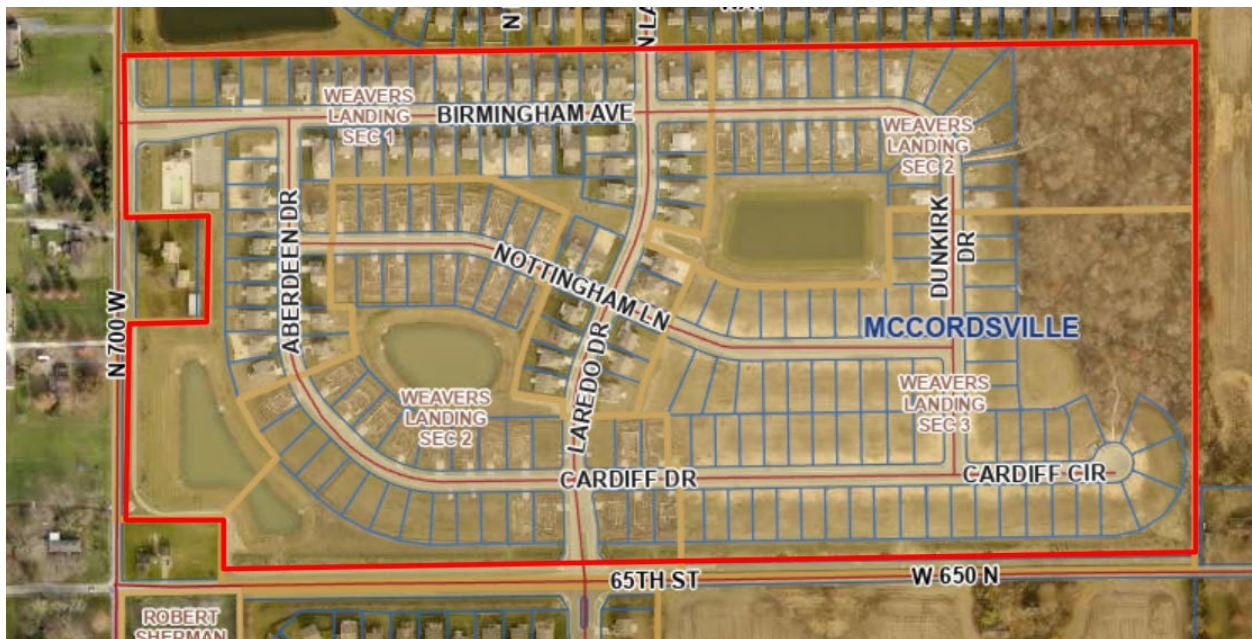


Exhibit A

All homes constructed in Weaver's Landing shall have the following minimum standards:

1. Dimensional Shingles.
2. Main Roof pitch of 6:12 or greater, ancillary roofs may be less than 6:12. The Architectural Review Committee may approve a home with a lesser roof pitch if warranted by the home design/styling.
3. No vents or louvers discharging from the roof of the home will be visible from the front elevation, nor will any vent or louver be located on the 1st floor of any front elevation.
4. All siding shall be brick, stone, wood, cement fiber board, stucco, or vinyl. Any vinyl siding shall have a minimum thickness of .044. All vinyl siding shall be approved and endorsed as meeting or exceeding ASTM D3679 by the Vinyl Siding Institute through their Vinyl Siding Certification Program.
5. The front elevation of all homes shall contain a minimum of 50% brick or stone, exclusive of windows, doors, garage doors and areas above a roof line. All front elevation returns that are four (4) feet or less in depth shall be required to match the front elevation masonry in style and height. The Architectural Review Committee may approve a home with a lesser masonry if warranted by the home design/styling.
6. The side elevation of all residences that abut a street, identified on Exhibit C-1 shall also provide 50% brick or stone, exclusive of windows, doors, garage doors and areas above a roof line.
7. The front elevation of any two-story home shall contain a minimum of one (1) two-foot or greater step back and one (1) gable.
8. Minimum roof overhang of nine (9) inches on all sides of a house as measured from the exterior wall material to the fascia board.
9. The rear elevation of homes on lots identified on Exhibit C-1 shall contain one (1) two-foot or greater step back and one (1) gable.
10. The rear elevation of homes on lots identified on Exhibit C-1 shall contain at least one (1) of the following (i) four sided 1st floor brick wrap, (ii) four sided brick wainscot wrap, (iii) screened-in porch, (iv) three season room, (v) morning room or (vi) covered porch.
11. There shall be not more than 10 percent of the same front elevation in the subdivision.
12. A Single front elevation shall not be repeated unless it is separated by at least three different front elevations along either side of the same street frontage.
13. Exterior chimneys for fireplaces shall be made entirely of brick or stone.
14. Unless approved by the ARC, the front porch columns shall be a minimum of six inches by six inches.
15. All ranch homes shall contain a minimum of one (1) window on all four sides with the exception of a façade facing a public street which shall contain a minimum of two (2) windows.

16. All two-story homes shall contain a minimum of two (2) window on all four sides with the exception of a façade facing a public street which shall contain a minimum of three (3) windows.
17. With the exception of large picture windows, casement windows and small accent windows, which do not open, all windows on a façade facing a public street shall have shutters, mullions or window grids.
18. Unless adjacent to masonry wrap, all windows, doors and corners shall have a minimum nominal one inch by six inch wood or vinyl surround or shutters.
19. All homes shall contain a minimum of a two car garage with a minimum width of twenty (20) feet.
20. Front-loading garages shall contain a decorative garage door similar to those depicted on Exhibit C-2.
21. Front-loading garages shall be offset from the front elevation of the home a minimum of two (2) feet.
22. For any 3 car garage that faces a street, at least one of the bays must have a separate door and be recessed a minimum of two (2) feet from the other bays.
23. For front-loading garages the garage doors shall not comprise greater than 45 percent of the width of the front elevation for a two (2) car garage and 50 percent for a three (3) car garage.
24. A minimum of 10 corner lots to be determined and agreed upon by the builder and McCordsville staff shall have a side load garage on the home.
25. All homes shall include mailboxes with uniform design.
26. All homes shall be landscaped with a minimum of two (2) deciduous tree, one (1) ornamental trees and eight (8) shrubs planted along the front foundation of the primary structure.
27. All lot fence construction shall be comprised of black coated chain link or black wrought iron or other similar appearing material such as extruded aluminum or composite material.