

DATE PREPARED: 04/20/2023

HAMPTON WALK
LOT AND YARD REQUIREMENTS

	Subarea A Townhome Collection	Subarea B Designer Collection	Subarea C Maple Street Collection
Standard			
Default Zoning District Base Layer	M/S1	R5	R5
Max. Number of Lots	131	53	74
Min. Lot Area (sq ft)	3,350	7,200	715
Min. Living Area (sq ft)	2,000	1,500	1,000
Min. Ground Floor Living Area 1-story build (sq ft)	N/A	950	740
Min. Ground Floor Living Area multi-story build (sq ft)	N/A	720	730
Min. Lot Width at Bridge Line (ft)	20	60	50
Min. Front Yard Setback (ft)	20	25	20
Min. Side Yard Setback (ft)	0	5	5
Min. Rear Yard Setback (ft)	0	20	20
Max. Lot Coverage (% of all impervious surfaces)	None	50%	50%
Max. Principal Street Front Height (ft)	12	12	12

	Subarea D Patio Collection	Subarea E Paired Patio Collection	Subarea F Multi-space Collection
Standard			
Default Zoning District Base Line	RS	M1	R4
Max. Number of lots	23	42	3
Min. Lot Area (sq ft)	6,000	3,500	10,400
Min. Living Area (sq ft)	1,000	1,500	2,500
Min. Ground Floor Living Area 1-story build (sq ft)	1,000	N/A	3,500
Min. Ground Floor Living Area multi-story build (sq ft)	1,400	N/A	3,500
Min. Lot Width at Build Line (ft)	55	30	30
Min. Front Yard Setback (ft)	25	30	30
Min. Side Yard Setback (ft)	5	0	5
Min. Rear Yard Setback (ft)	0	10	25
Max. Lot Coverage (% of all impervious surfaces)	50%	20%	45%
Max. Principal Street Front Setback (ft)	0	0	0

PUD NOTE:

THE SUBJECT TRACT IS ZONED _____, TOWN OF MCCORDSVILLE, HANCOCK COUNTY, INDIANA, ORDINANCE NO. 121410, AS AMENDED, AN ORDINANCE TO AMEND THE HANCOCK COUNTY, INDIANA AREA ZONING ORDINANCE, THE HANCOCK COUNTY CODE AND THE OFFICIAL ZONING MAP, _____.

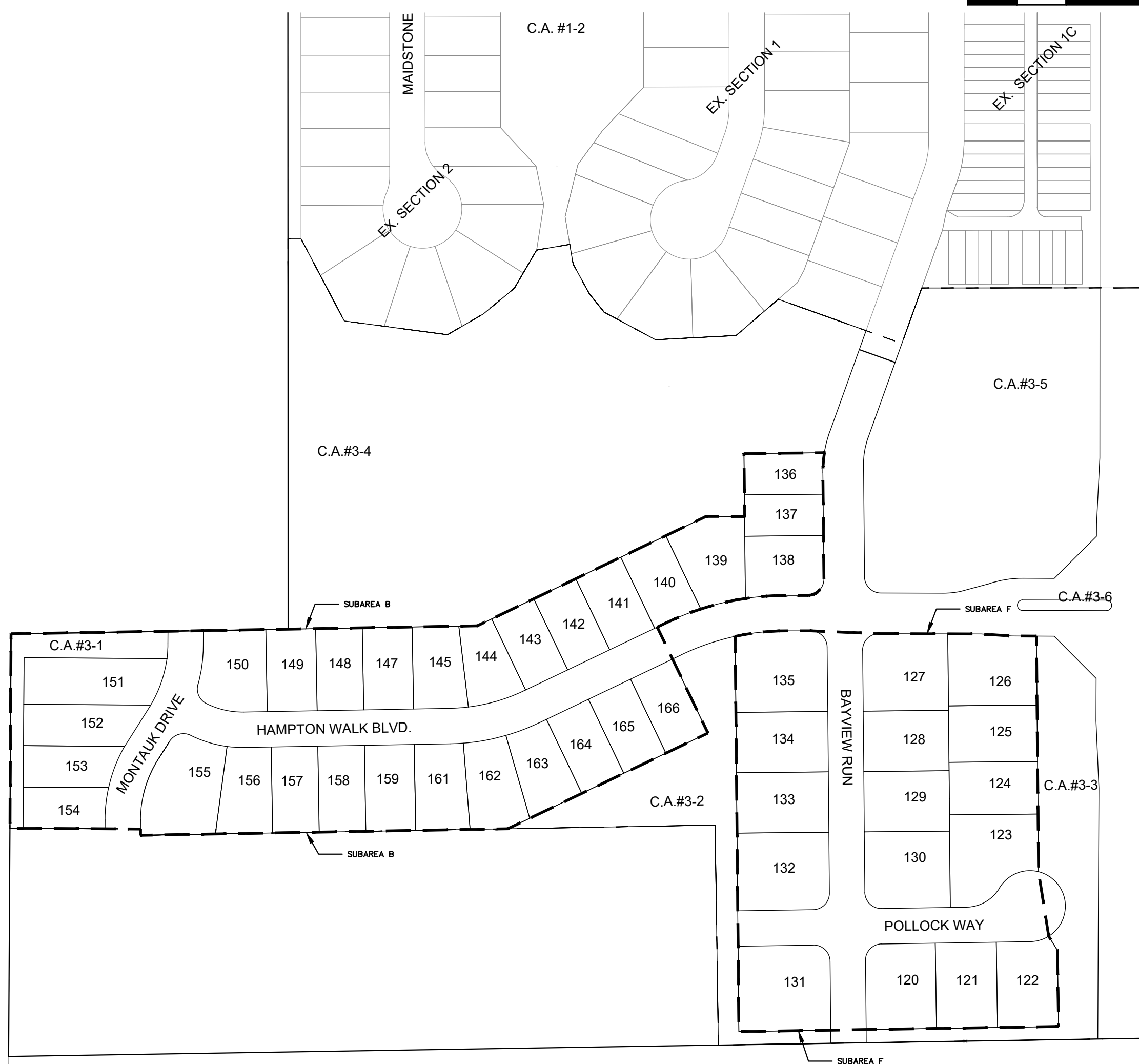
LEGEND

100	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&S.E.	DRAINAGE UTILITY & SANITARY SEWER EASEMENT
C.A.	COMMON AREA
R/W	RIGHT OF WAY
L.M.A.E.	LANDSCAPE MAINTENANCE ACCESS EASEMENT
VAR.	VARIABLE
T.O.B.E.	TOP OF BANK EASEMENT

SUBDIVISION MONUMENTATION

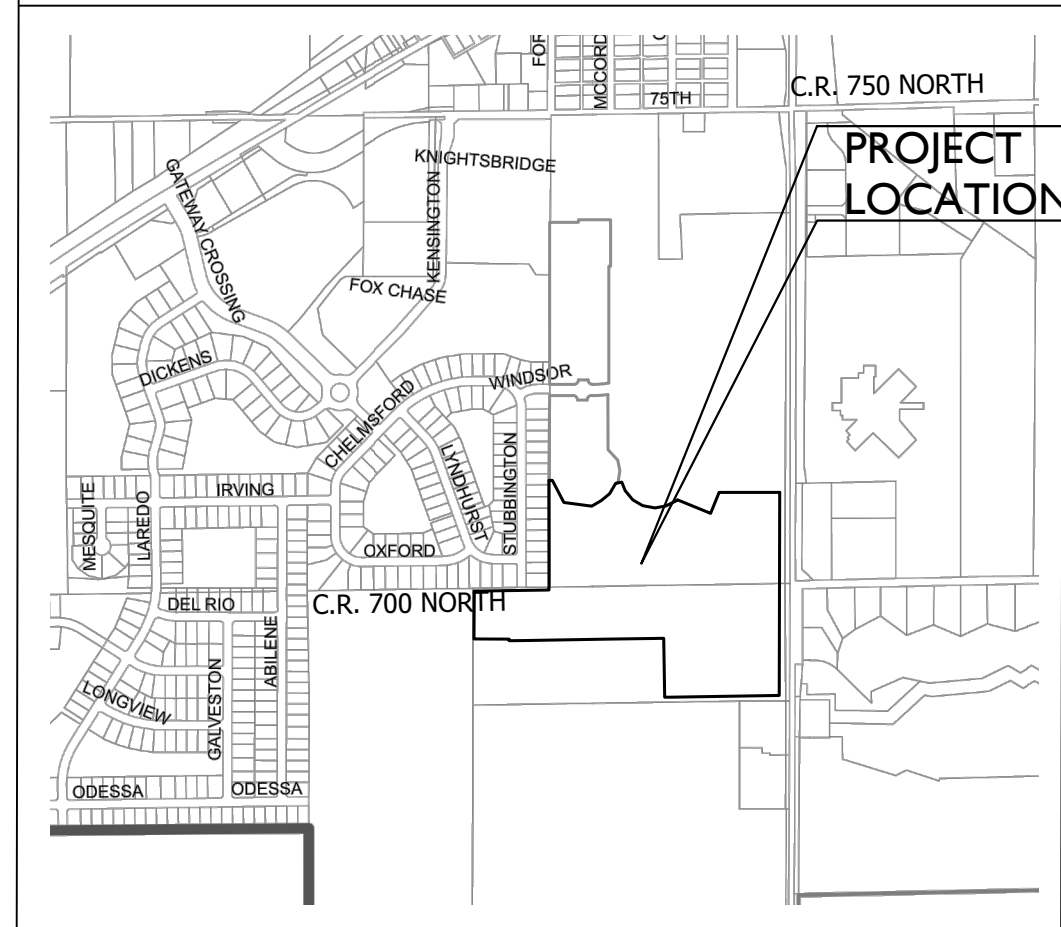
AN AFFIDAVIT, CROSS-REFERENCED TO THIS RECORDED PLAT, WILL BE RECORDED AFTER THE SUBDIVISION MONUMENTATION HAS BEEN COMPLETED. PER STANDARDS SET FORTH IN TITLE 865 IAC 1-12-18 SUBSECTION (b)(1)(2), THE INSTALLATION OF BELOW MENTIONED MONUMENTS MAY BE DELAYED FOR UP TO TWO YEARS FROM RECORDATION OF PLAT

- DENOTES A 5/8"x30" REBAR WITH CAP STAMPED, "HAMILTON - FIRM #10104" SHALL BE SET AT ALL LOT OR PARCEL CORNERS AS DEPICTED HEREON.
- DENOTES A 4"x4"x36" LONG PRECAST CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP. SET FLUSH WITH THE FINISH GRADE.
- DENOTES A STREET CENTERLINE MONUMENT, EITHER A ALUMINUM MONUMENT STAMPED "HAMILTON FIRM 0104, SET FLUSH WITH THE FINISHED SURFACE COAT OR A 2" MAG NAIL, TEMPORARILY SET FLUSH WITH THE INTERMEDIATE COAT (BINDER).



LOCATION MAP

(NOT TO SCALE)

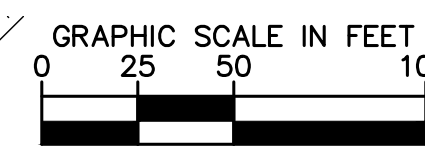


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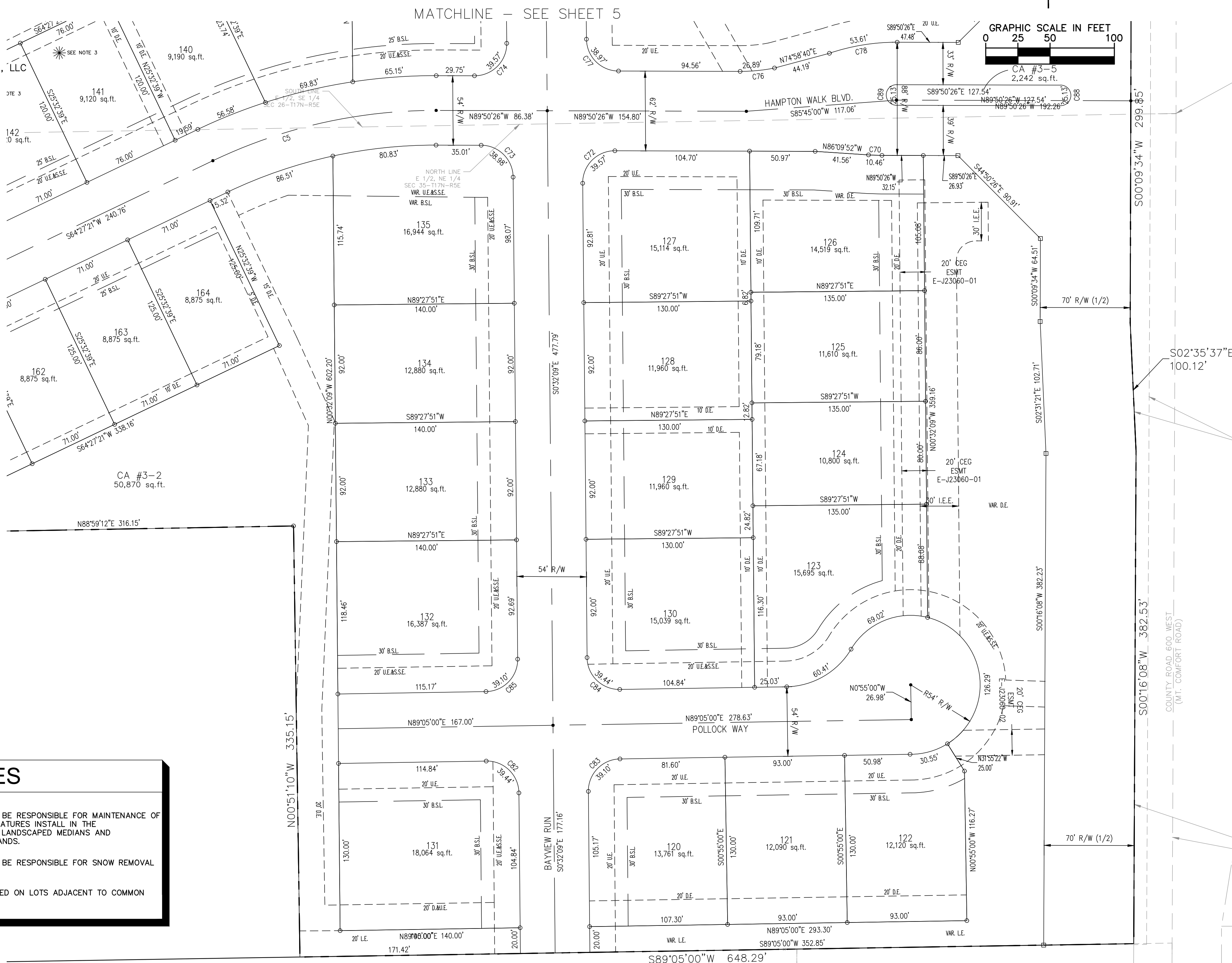
MATCHLINE - SEE SHEET 5



MATCHLINE - SEE SHEET 3

NOTES

1. THE TOWN OF McCORDSVILLE SHALL NOT BE RESPONSIBLE FOR MAINTENANCE OF ANY LANDSCAPE, SIGNAGE, OR OTHER FEATURES INSTALL IN THE RIGHT-OF-WAY. EXAMPLES OF THIS ARE LANDSCAPED MEDIANS AND LANDSCAPED CURB BULB-OUTS AND ISLANDS.
2. THE TOWN OF McCORDSVILLE SHALL NOT BE RESPONSIBLE FOR SNOW REMOVAL OF ALL INTERNAL STREETS.
3. PRIVACY FENCES SHALL NOT BE PERMITTED ON LOTS ADJACENT TO COMMON AREAS.



ADJOINER
ROGER COBB
INSTRUMENT NO. 0105042

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THIS INSTRUMENT PREPARED BY:

BRADY KUHN PROFESSIONAL LAND SURVEYOR
INDIANA #20500007
KUHN & GUSTAFSON LAND SURVEYING, INC.
P.O. BOX 70
ZIONSVILLE, IN 46077

INSTRUMENT PREPARED FOR:

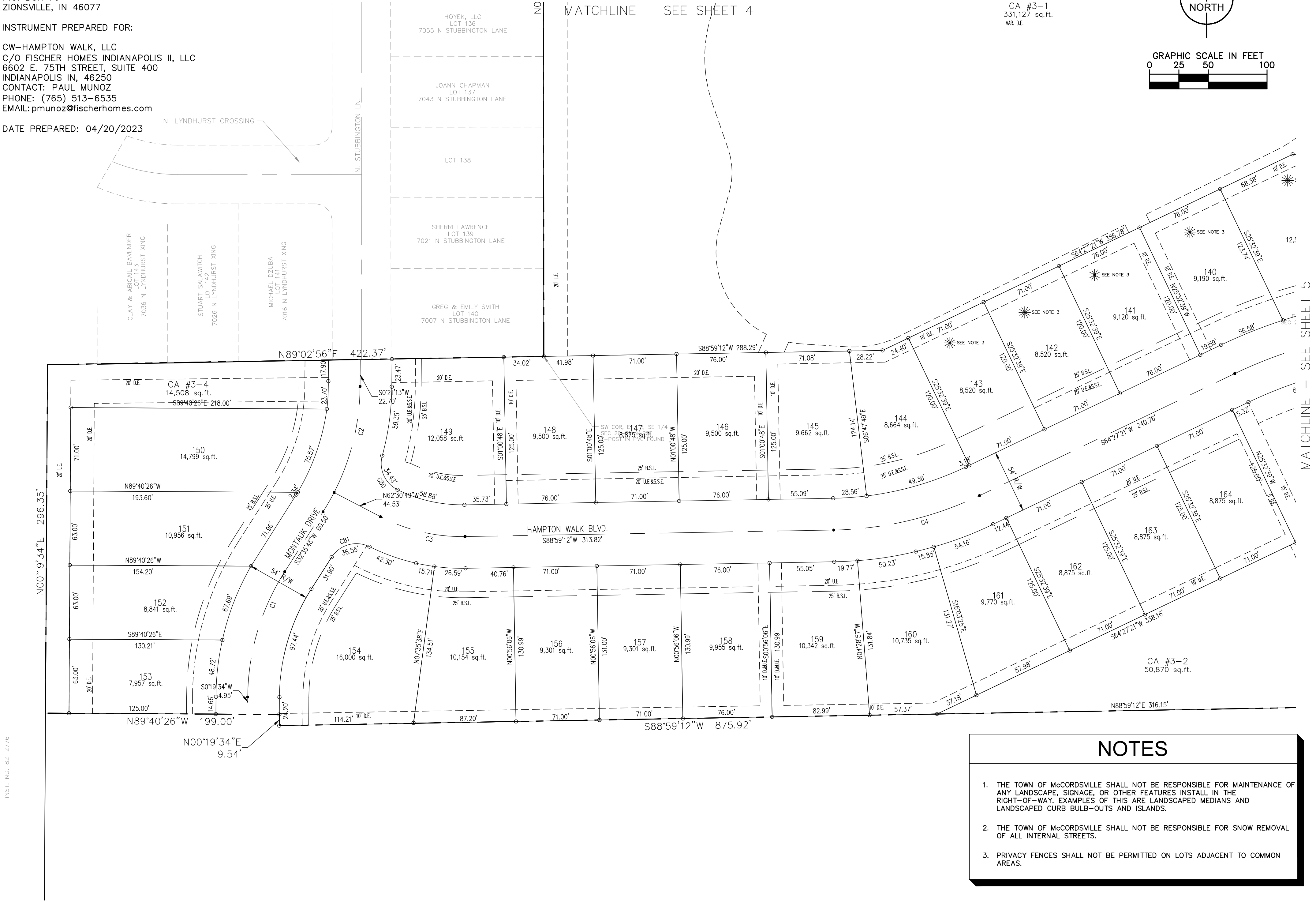
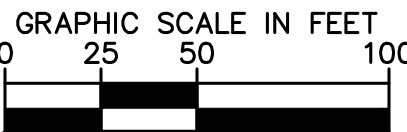
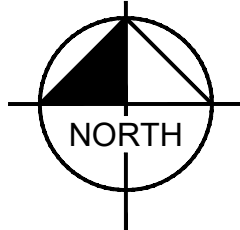
CW-HAMPTON WALK, LLC
C/O FISCHER HOMES INDIANAPOLIS II, LLC
6602 E. 75TH STREET, SUITE 400
INDIANAPOLIS IN, 46250
CONTACT: PAUL MUNOZ
PHONE: (765) 513-6535
EMAIL: pmunoz@fisherhomes.com

DATE PREPARED: 04/20/2023

HAMPTON WALK - SECTION 3

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA

CA #3-1
331,127 sq.ft.
WR DE



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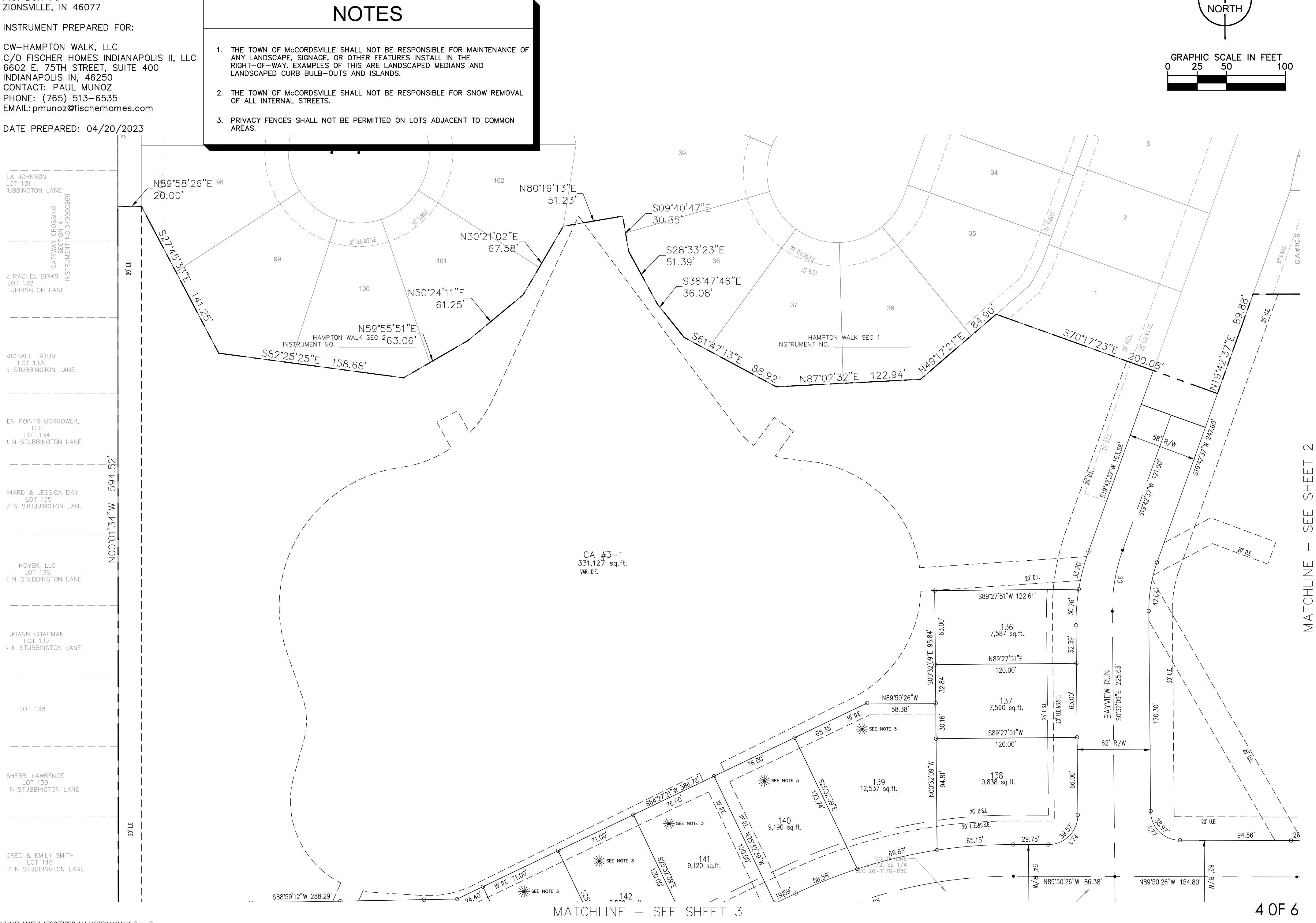
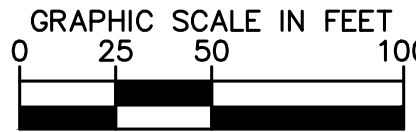
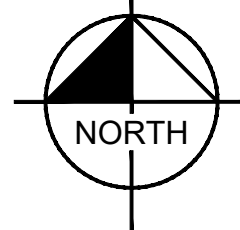
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HAMPTON WALK - SECTION 3

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA



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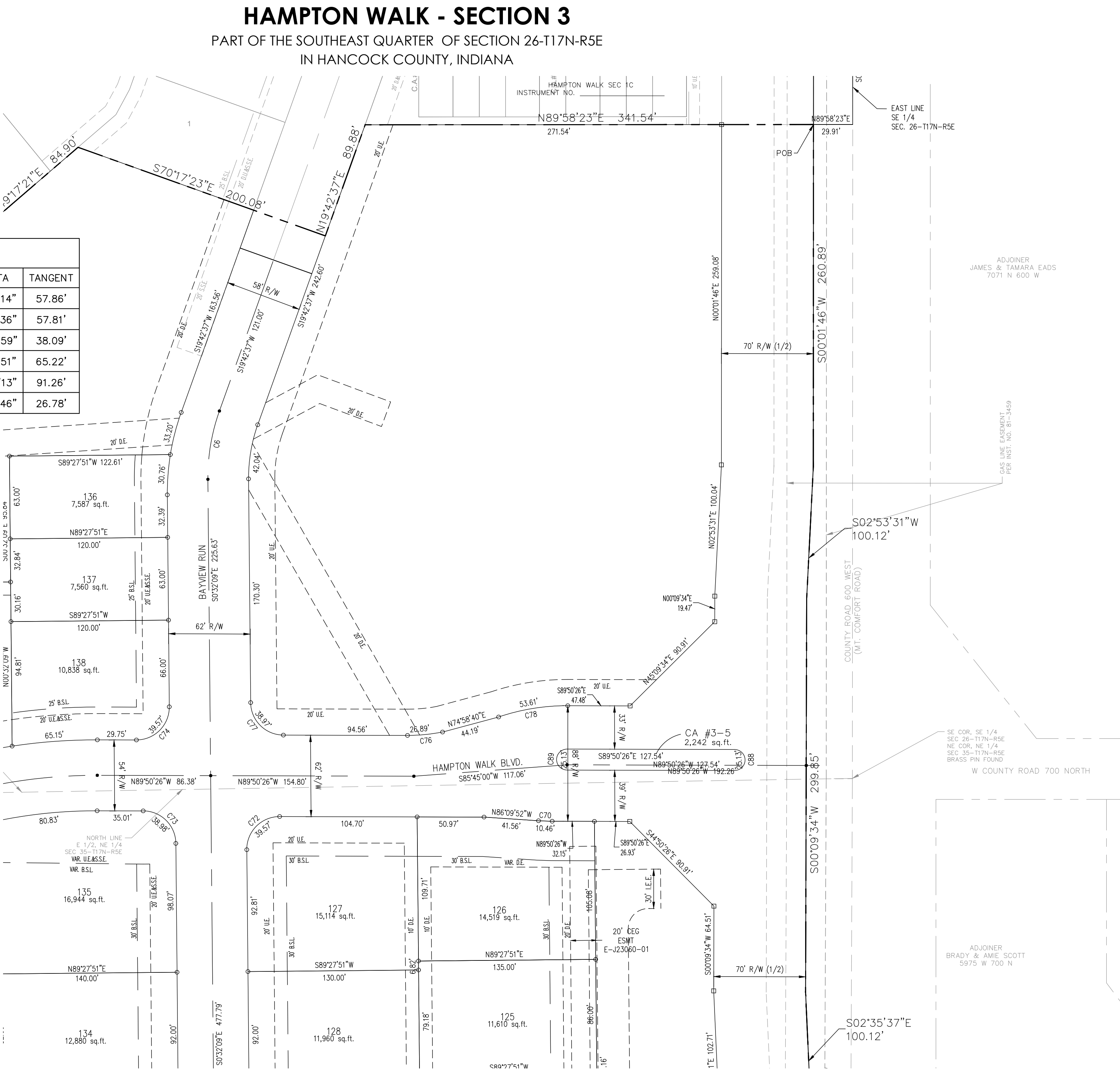
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CURVE TABLE: ALIGNMENTS						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	200.00'	112.65'	S16°27'41"W	111.16'	32°16'14"	57.86'
C2	200.00'	112.55'	S16°28'31"W	111.07'	32°14'36"	57.81'
C3	150.00'	74.61'	N76°45'49"W	73.85'	28°29'59"	38.09'
C4	300.00'	128.44'	S76°43'17"W	127.46'	24°31'51"	65.22'
C5	400.00'	179.44'	S77°18'28"W	177.94'	25°42'13"	91.26'
C6	150.00'	53.00'	S9°35'14"W	52.73'	20°14'46"	26.78'



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DATE PREPARED: 04/20/2023

HAMPTON WALK - SECTION 3

PART OF THE SOUTHEAST QUARTER OF SECTION 26-T17N-R5E
IN HANCOCK COUNTY, INDIANA

CERTIFICATE OF OWNERSHIP

WE, CW-HAMPTON WALK, LLC A DELAWARE LIMITED LIABILITY COMPANY, DO HEREBY CERTIFY THAT IT IS THE OWNER OF THE PROPERTY DESCRIBED IN THE ABOVE CAPTION AND THAT AS SUCH OWNER IT HAS CAUSED THE SAID ABOVE DESCRIBED PROPERTY TO BE SURVEYED AND SUBDIVIDED AS SHOWN ON THE HEREIN DRAWN PLAT, AS ITS FREE AND VOLUNTARY ACT AND DEED.

CW-HAMPTON WALK, LLC, BY
FISCHER HOMES INDIANAPOLIS II, LLC ITS ATTORNEY-IN FACT, UNDER DOCUMENT
RECORDED 02-03-2023 AS INSTRUMENT NUMBER 202301043

BY: _____
BRADLEY, A. KRINER, VICE PRESIDENT

THIS IS AN ACKNOWLEDGEMENT CLAUSE: NO OATH OR AFFIRMATION WAS ADMINISTERED TO THE SIGNER. THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2023 BY _____ OF CW-HAMPTON WALK, LLC, LLC, A DELAWARE LIMITED LIABILITY COMPANY, ON BEHALF OF THE COMPANY.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

REGISTERED LAND SURVEYOR'S CERTIFICATE

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, LICENSED IN COMPLIANCE WITH THE LAWS OF THE STATE OF INDIANA AND THAT THE WITHIN PLAT REPRESENTS A SUBDIVISION OF THE LANDS SURVEYED WITHIN THE CROSS-REFERENCED SURVEY PLAT, AND AS EXCEPT AS NOTED, THERE HAS BEEN NO CHANGE FROM THE MATTERS OF SURVEY REVEALED BY THE CROSS-REFERENCED SURVEY ON ANY LINES THAT ARE COMMON WITH THE NEW SUBDIVISION. I FURTHER CERTIFY THAT THE SAID SUBDIVISION WAS PLATTED UNDER MY DIRECT SUPERVISION AND CONTROL AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

REDACTION STATEMENT:

"I AFFIRM, UNDER THE PENALTIES FOR PERJURY, THAT I HAVE TAKEN REASONABLE CARE TO REDACT EACH SOCIAL SECURITY NUMBER IN THIS DOCUMENT, UNLESS REQUIRED BY LAW." - BRADY KUHN

BRADY KUHN, PS
INDIANA REGISTRATION NO 20500007

STATE OF _____)

_____) SS:
_____ COUNTY)

BEFORE ME THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY AND STATE, PERSONALLY APPEARED TERRY WRIGHT AND ACKNOWLEDGED THE EXECUTION OF THE FORGOING INSTRUMENT AS THEIR VOLUNTARY ACT AND DEED.

WITNESS MY HAND AND NOTARY SEAL THIS _____ DAY OF _____, 2023.

SIGNATURE: _____

PRINTED NAME: _____

MY COMMISSION EXPIRES: _____

COUNTY OF RESIDENCE: _____

THE PROPERTY SHOWN AND PLATTED HEREON IS SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS OF HAMPTON WALK SUBDIVISION RECORDED AS INSTRUMENT NUMBER _____ IN PLAT BOOK _____, PAGE(S) _____, IN THE OFFICE OF THE RECORDER FOR HANCOCK COUNTY, INDIANA AND ANY AMENDMENTS THERETO.

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