



HARTMAN CAPITAL LLC
SCOTT KUNKEL
505 S. FIFTH STREET
CHAMPAIGN, ILLINOIS 61820
kunkel@jsmliving.com

HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
(317) 347-3663
mmapple@hwcengineering.com

MIN. LOT AREA	5,980 SF
MIN. LOT WIDTH	52' (MEASURED AT FRONT SETBACK/BUILD-TO-LINE)
MIN. FRONT SETBACK	40'
MIN. SIDE SETBACK	8' (15' AGGREGATE)
MIN. REAR SETBACK	15'
MAX. LOT COVERAGE	35%
MIN. GROUND FLOOR LIVING AREA	40%
MIN. LIVING AREA	1,200 SF
MAX. BUILDING HEIGHT	35'

ACREAGE =	68.33
LOTS =	153
ZONING =	R2.5

THE ACCURACY OF THE FLOOD HAZARD INFORMATION SHOWN OR IDENTIFIED HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE WITHIN DESCRIBED TRACT OF LAND DOES NOT LIE WITHIN A FLOOD ZONE. REFER TO FEMA MAPS #18059C0018D EFFECTIVE DATE DECEMBER 4, 2007 & 18059C0106E EFFECTIVE DATE MARCH 17, 2014.

TOWN OF MCCORDSVILLE
PLANNING AND BUILDING DEPT
RYAN CRUM
6280 W 800 N
McCordsville, Indiana 46055
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rcrum@mccordsville.org

TOWN OF MCCORDSVILLE
ENGINEERING DEPARTMENT
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TOWN OF MCCORDSVILLE
PUBLIC WORKS
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7580 N Form Street
McCordsville, Indiana 46055
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HANCOCK COUNTY HIGHWAY DEPT
GARY POOL
921 W. Osage Street
Greenfield, Indiana 46140
P: (317) 477-1130
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NINESTAR CONNECT (Electric & Telecom)
ERIC MEYER (317) 323-2074
2243 East Main Street
Greenfield, Indiana 46140
EMEYER@NINESTARCONNECT.COM

CITIZENS ENERGY GROUP/ CWA AUTHORITY, INC. (WATER)
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BHOSTETLER@CITIZENSENERGYGROUP.COM

USPS
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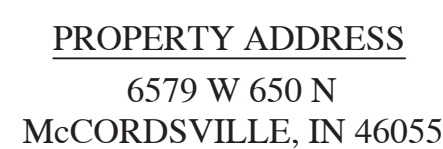
POSTMASTER
KELLI ROWLAND
Kelli.D.Rowland@usps.gov

VECTREN
SANDRA CASEY
16000 Allisonville Road
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F: (317) 776-5553
Mailing Address: P.O. Box 1700
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sandra.casey@centerpointenergy.com

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PREPARED BY:
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Br	BROOKSTON SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES
CrA	CROSBY SILT LOAM, NEW CASTLE TILL PLAIN, 0 TO 2 PERCENT SLOPES

Sheet Title	Sheet Description
C1.0	COVER
C1.1-C1.5	EXISTING CONDITIONS & DEMOLITION PLAN
C1.6-C1.10	DEVELOPMENT PLAN
C1.11-C1.15	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.16-C1.20	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.21-C1.25	EMERGENCY FLOOD ROUTE PLAN
C1.26	MASTER UTILITY PLAN
C1.27-C1.31	SUBSURFACE DRAIN PLAN
C1.32	OPEN SPACE PLAN
C2.0-C2.5	STREET PLAN & PROFILE
C3.0	ENTRANCE PLAN
C3.1	MAINTENANCE OF TRAFFIC PLAN
C3.2	STRIPING PLAN
C3.3-C3.4	INTERSECTION DETAILS
C3.5	TRAFFIC CONTROL & LIGHTING PLAN
C4.0-C4.5	SANITARY SEWER PLAN & PROFILE
C6.0-C6.8	STORM SEWER PLAN & PROFILE
C7.0-C7.3	WATER DISTRIBUTION PLAN
C8.0-C8.1	STORMWATER POLLUTION PREVENTION NOTES
C8.2-C8.3	STORMWATER POLLUTION PREVENTION DETAILS
C8.4	CONSTRUCTION DETAILS
C8.5	CITIZENS ENERGY GROUP WATER DETAILS
L1.0-L1.4	LANDSCAPE PLANS
L1.5	LANDSCAPE DETAILS
L1.6	LANDSCAPE SPECIFICATIONS



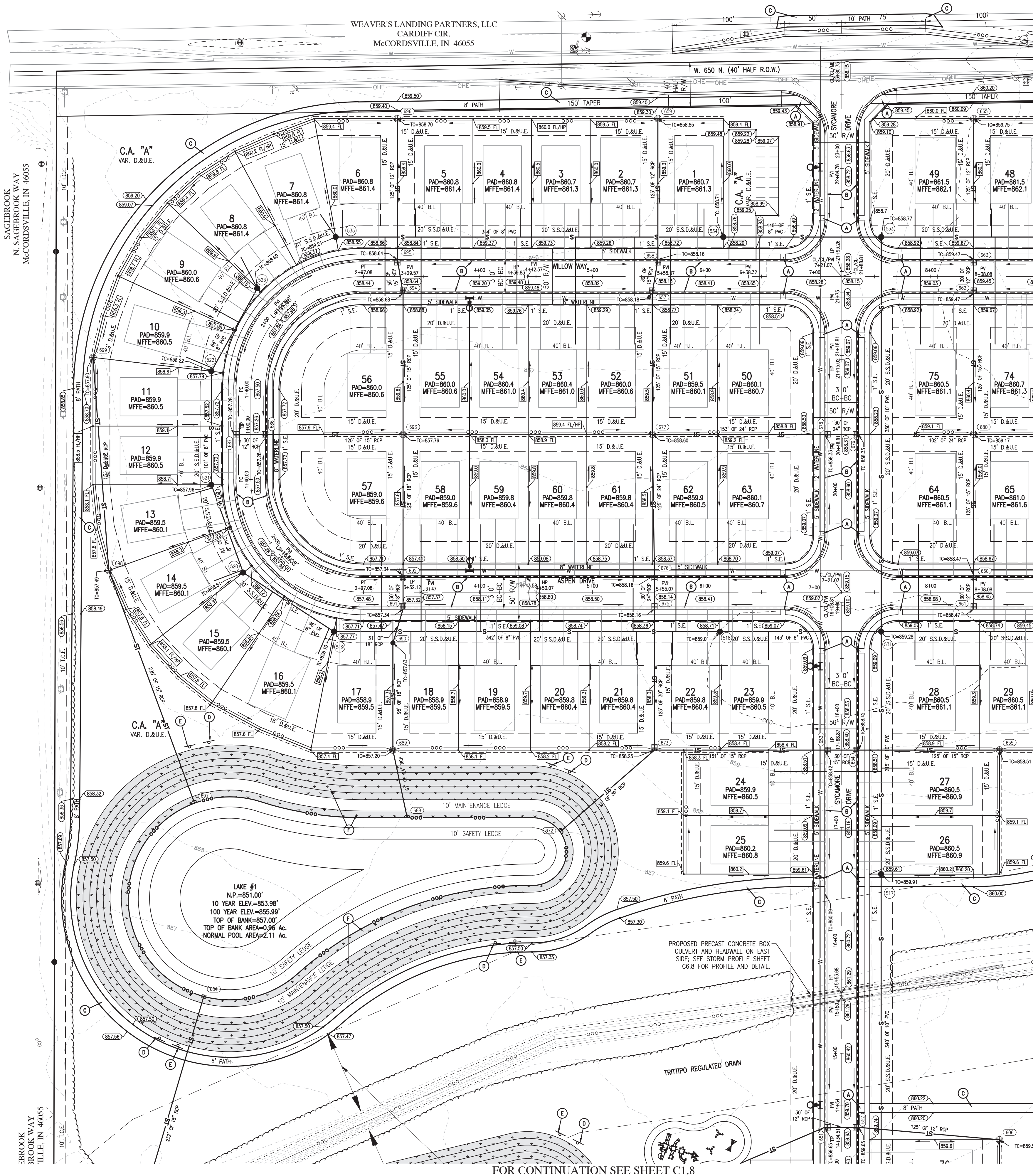
HWC
ENGINEERING

INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA
COVER

DRAWN BY TD/MM	JOB NUMBER 2022-171-S
CHECKED BY MM	
DATE AUGUST 19, 2022	
SCALE AS SHOWN	
SHEET	

C1.0
COVER



ABBREVIATIONS:

- CL - CENTERLINE
- NP - NORMAL POOL (ELEVATION)
- R/W - RIGHT-OF-WAY
- B.S.L. - BUILDING SETBACK LINE
- L.E. - LANDSCAPE EASEMENT
- D.E. - DRAINAGE EASEMENT
- PC - POINT OF CURVATURE
- D.&U.E. - DRAINAGE AND UTILITY EASEMENT
- P.A.E. - PEDESTRIAN ACCESS EASEMENT
- S.S.D.U.E. - SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
- CA - COMMON AREA
- 25 - LOT NUMBER
- BC - BACK OF CURB
- FL - FLOW LINE
- PVC - POLYVINYL CHLORIDE PIPE
- RCP - REINFORCED CONCRETE PIPE
- TC - TOP OF CASTING GRADE
- PT - POINT OF TANGENCY

OVERALL GENERAL PROJECT NOTES

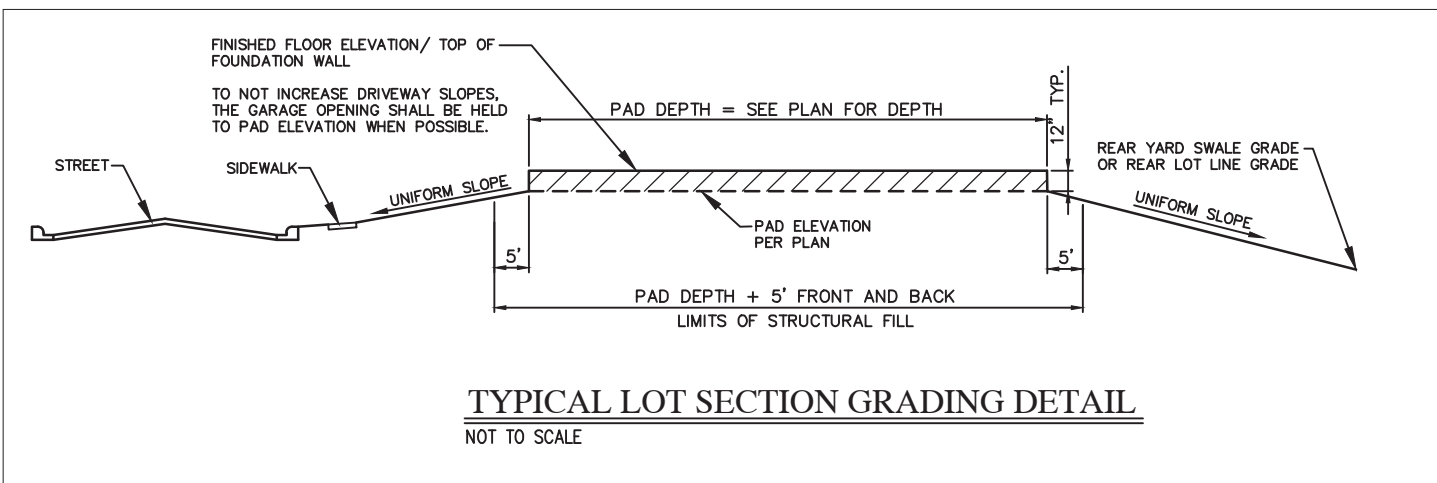
- NOT ALL GAS, POWER, OR TELEPHONE LINES, WHETHER ABOVE OR BELOW GROUND, HAVE BEEN SHOWN ON THE DRAWINGS. ANY UNDERGROUND INFORMATION SHOWN ON THE DRAWINGS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONTRACTOR'S BENEFIT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR PROTECTING ALL UTILITIES IN HIS WORK AREA WHETHER SHOWN OR NOT, AND MUST REALIZE THAT THE ACTUAL LOCATION OF THE UTILITIES MAY BE DIFFERENT FROM THAT SHOWN ON THE DRAWINGS. ALL EXISTING UTILITIES ENCOUNTERED IN THE WORK, WHETHER IN PUBLIC RIGHTS OF WAY OR ON PRIVATE PROPERTY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ANY UTILITIES WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION TO SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE UTILITY. IF MINOR CONFLICTS ARISE, THE CONTRACTOR MAY SHIFT THE PROPOSED LOCATION OF THE INSTALLATION OF THE WORK. BEFORE WORKING WITH OR AROUND UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR.
- SAFETY PROVISIONS FOR THE WORK SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE INDIANA OSHA AND ANY OTHER LOCAL STATE OR FEDERAL AGENCY HAVING JURISDICTION. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR SHALL AT MINIMUM, PROVIDE TRAFFIC CONTROL AS REQUIRED TO SAFELY PROTECT THE GENERAL PUBLIC. THE CONTRACTOR'S WORK FORCES AND THE WORK. TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. SPECIAL PROVISIONS, STANDARD DETAILS AND GENERAL INSTRUCTIONS TO FIELD EMPLOYEES. THE REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS. THE OPTION OF THE OWNER AND/OR ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, FENCES, WARNING SIGNS, FLASHING LIGHTS, TEMPORARY ROADWAYS, AND TRAFFIC CONTROL DEVICES TO CONFORM TO THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
- WHERE PROPERTY MARKERS, SECTION CORNERS, SURVEY MARKS OR BENCHMARKS, SUCH AS STONES, PIPES, OR OTHER SUCH MONUMENTS ARE ENCOUNTERED AND CONFLICT WITH THE WORK, THE ENGINEER SHALL BE NOTIFIED BEFORE THEY ARE DISTURBED. THE MARKERS SHALL BE PROTECTED AFTER THE OWNER, ENGINEER, AND AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR REFERENCED THEIR LOCATIONS.
- ALL MATERIALS DENOTED "SALVAGED" SHALL BE STORED AND PROTECTED AT THE SITE FOR THE OWNER TO COLLECT OR FOR THE CONTRACTOR TO RE-USE AS INDICATED.
- THERE SHALL BE NO CHANGES WITHOUT WRITTEN APPROVAL OF ENGINEER.
- ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED HOUSE PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM OR LAKE. THE SUB-CONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS.
- CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB PERPENDICULAR TO THE LATERAL MARKER.
- STRUCTURES RECEIVING SUB-SURFACE DRAIN (SSD) SHALL HAVE BOTH PORTS CORE DRILLED. "T" OR "Y" BLIND CONNECTIONS ARE NOT ALLOWED.
- ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE-DRAINS TO WATERWAY".
- STRUCTURAL FILL: SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698). SHALL BE FREE OF ORGANIC MATERIAL, DEBRIS, DELETERIOUS MATERIALS AND FROZEN SOLIDS.
- ALL ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO STRIPING, STONE SHOULDERS AND SIGNAGE. REPAIRS (I.E. STRIPING) SHALL COINCIDE WITH THE ADJOINING ROAD.
- CLAY POND LINERS ARE REQUIRED IF SIGNIFICANT SAND OR GRAVEL STRATIFICATIONS ARE ENCOUNTERED DURING EXCAVATION OF POND.
- ALL COMMON AREA SIDEWALKS OR PATHS ARE TO BE CONSTRUCTED AS PART OF THE SITE INFRASTRUCTURE. INDIVIDUAL LOT SIDEWALKS TO BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION.
- ALL PROPANE TANKS ON-SITE MUST BE SECURED AND STABLE. LEANING TANKS AGAINST SOMETHING OR ONE ANOTHER IS UNACCEPTABLE. PROPANE TANKS MUST BE LOCKED TO AVOID TAMPERING BY CHILDREN OR OTHERS WHILE CONTRACTORS NOT AT SITE.

BENCHMARK INFORMATION:

ORIGINATING BENCHMARK:
ELEVATION DATA IS BASED UPON CONTROL ORIGINATING FROM GLOBAL POSITIONING SYSTEM (GPS) OBSERVATIONS PROCESSED UTILIZING THE NATIONAL GEODETIC SURVEY (NGS) ONLINE POSITIONING USER SERVICE (OPUS), AND ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TEMPORARY BENCHMARK (TBM) MONUMENTS #1 THROUGH 2, LISTED BELOW, WERE ESTABLISHED WITH ON-SITE BASE GPS/GNSS OBSERVATION AND CONVENTIONAL METHODS. HORIZONTAL COORDINATES ARE FOR REFERENCE PURPOSES ONLY AND ARE REFERENCED TO THE ISPCS EAST ZONE.

TBM #1
SOUTHEAST CORNER OF THE UPSTREAM HEADWALL SITUATE ±515 FEET NORTH OF THE NORTH CURB OF W. CLARY TRACE RD. AND ±11 FEET FROM THE EAST CURB OF N CEDARWOOD DR.
ELEVATION= 857.10 (NAVD88)
[NORTHING: 1,684,952; EASTING: 253,104]

TBM #2
SOUTH BOLT OF THE FIRE HYDRANT SITUATE ±608 FEET EAST OF THE NORTHEAST CORNER OF THE INTERSECTION OF LAREDO DR. AND W 650 N AND ±7 FEET FROM THE NORTHERN CURB OF W 650 N.
ELEVATION= 858.49 (NAVD88)
[NORTHING: 1,686,056; EASTING: 253,706]

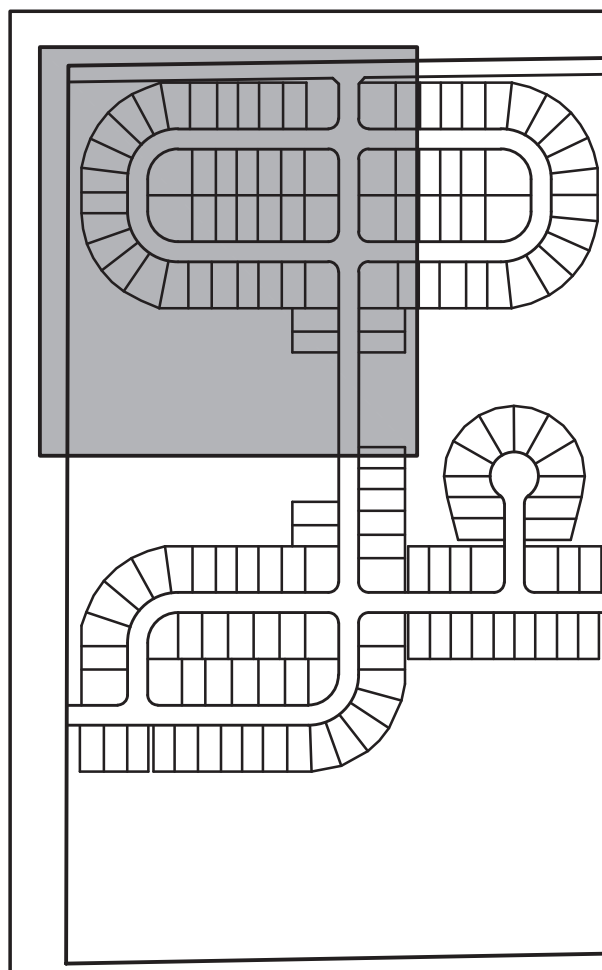


LEGEND:

- | EXISTING | RIGHT-OF-WAY LINE | PROPOSED |
|----------|----------------------|----------|
| --- | EASEMENT LINE | --- |
| --- | SETBACK LINE | --- |
| --- | CENTERLINE | --- |
| --- | SWALE / FLOWLINE | --- |
| --- | SUBSURFACE DRAIN | --- |
| --- | SANITARY SEWER | --- |
| --- | STORM SEWER | --- |
| --- | STORM CULVERT | --- |
| --- | WATER MAIN | --- |
| --- | GAS MAIN | --- |
| --- | TELEPHONE LINE | --- |
| --- | OVER HEAD UTILITY | --- |
| --- | CONTOUR, MAJOR | --- |
| --- | CONTOUR, MINOR | --- |
| --- | FENCE | --- |
| --- | TREE LINE | --- |
| --- | SANITARY MANHOLE | --- |
| --- | STORM MANHOLE | --- |
| --- | STORM INLET | --- |
| --- | STORM END SECTION | --- |
| --- | SSD OUTLET STRUCTURE | --- |
| --- | FIRE HYDRANT / VALVE | --- |
| --- | WATER VALVE | --- |
| --- | POWER POLE | --- |
| --- | N/A | --- |
| --- | STREET LIGHT | --- |
| --- | N/A | --- |
| --- | FLOW ARROW | --- |

- INDOT APPROVED SNOW/LOWABLE RAISED PAVEMENT MARKERS
- HIGH POWERED LED STREET LIGHT SEE DETAIL ON SHEET C3.5.
- SANITARY SEWER CLEAN OUT
- SSD CLEAN OUT
- 6" X 6" VEHICLE BARRIER POST
- POCKET PARK LOCATION
- A.D.A. HANDICAP RAMP (ALL TRUNCATED DOME PLATES SHALL BE BLACK)
- 2' ROLL CURB
- 8' & 10' ASPHALT PATH (SEE SHEET 2 OF MCCORDSVILLE STANDARD DETAILS FOR SECTION)
- POND SAFETY SIGN (SEE DETAIL SHEET C8.4)
- NO SWIMMING/ NO FISHING/ NO SKATING (SEE DETAIL SHEET C8.4)
- *STORMWATER BMP WET POND PLANTING SHELF - KEEP OUT DO NOT MOW OR SPRAY* SIGN (SEE DETAIL SHEET C8.4)
- CARPONO STORMWATER SEED MIX: 16,208 SF

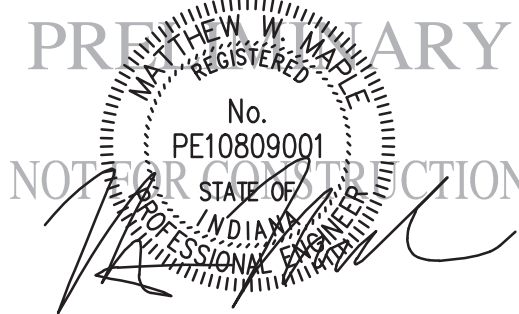
THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.



REVISIONS		
DATE	DESCRIPTION	BY



MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA
DEVELOPMENT PLAN



DRAWN BY TD/MM	JOB NUMBER 2022-171-S
CHECKED BY WM	
DATE AUGUST 19, 2022	
SCALE AS SHOWN	
SHEET	

C1.6
DEVELOPMENT PLAN



OVERALL GENERAL PROJECT NOTES

- BENCHMARK INFORMATION:**

FINISHED FLOOR ELEVATION / TOP OF FOUNDATION WALL

TO NOT INCREASE DRIVEWAY SLOPES, THE GARAGE OPENING SHALL BE HELD TO PAD ELEVATION WHEN POSSIBLE

PAD DEPTH = SEE PLAN FOR DEPTH

PAD ELEVATION PER PLAN

PAD DEPTH + 5' FRONT AND BACK

LIMITS OF STRUCTURAL FILL

STREET

SIDEWALK

UNIFORM SLOPE

REAR YARD SWALE GRADE OR REAR LOT LINE GRADE

UNIFORM SLOPE

5'

5'

5'

5'

TYPICAL LOT SECTION GRADING DETAIL

NOT TO SCALE



MERIDIAN HOMES AT SYCAMORE DRIVE
 MCCORDSVILLE, INDIANA
 DEVELOPMENT PLAN

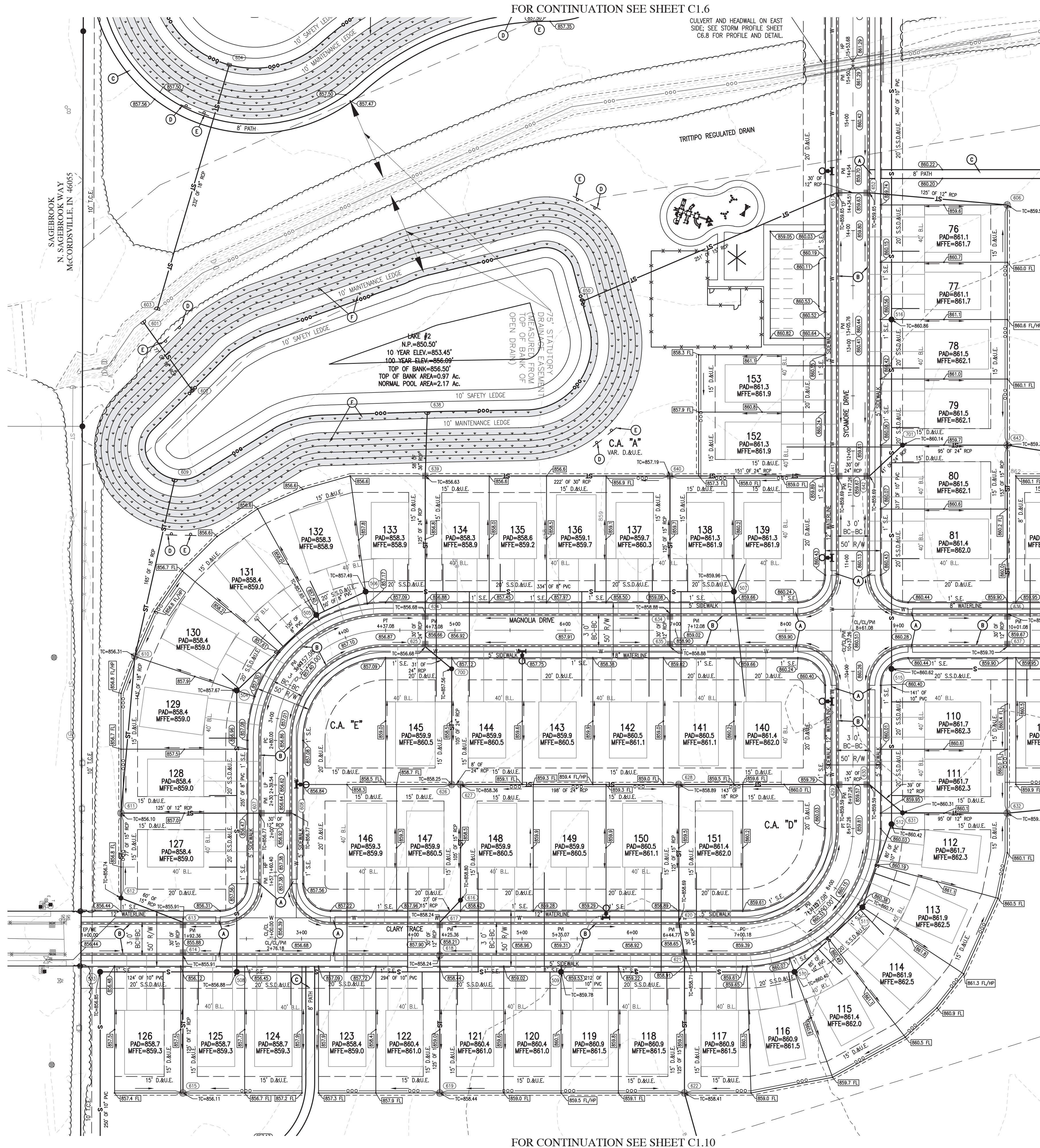
DEVELOPMENT PLAN



DRAWN BY TD/MM	JOB NUMBER 2022-171-S
CHECKED BY MM	
DATE AUGUST 19, 2022	
SCALE AS SHOWN	
SHEET	

C1.7

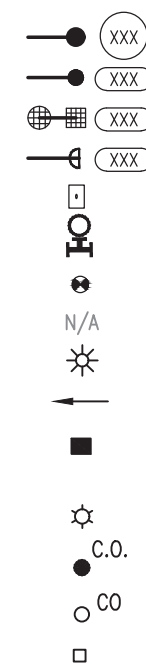
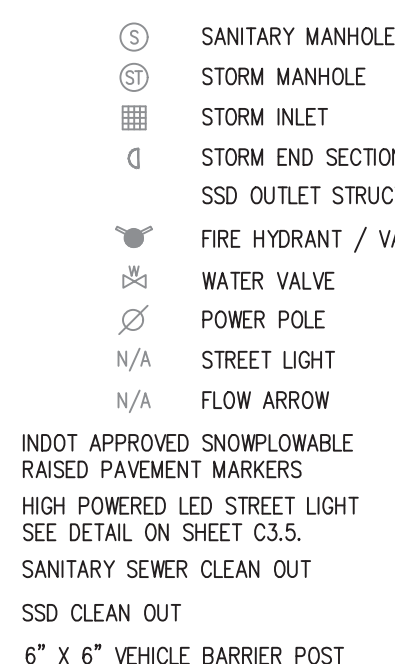
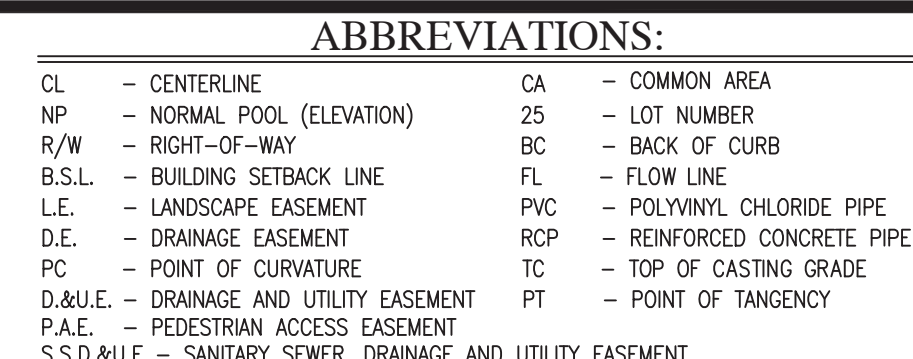
DEVELOPMENT PLAN





NOT TO SCALE

© 2022



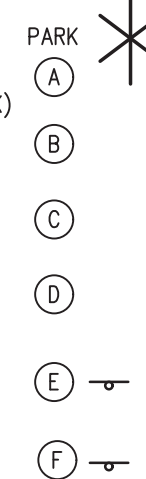
POCKET PARK LOCATION
A.D.A. HANDICAP RAMP
(ALL TRUNCATED DOW PLATES SHALL BE BLACK)
2' ROLL CURB

8' & 10' ASPHALT PATH

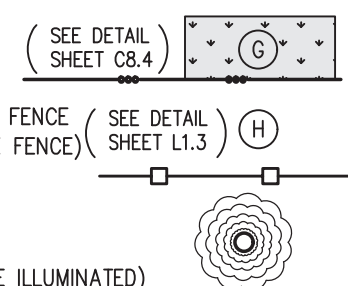
20' POND SAFETY RAMP CONSTRUCTED
WITH COMPACTED CLAY

POND SAFETY SIGN
NO SWIMMING/ NO FISHING/
NO SKATING

*STORMWATER BMP WET
POND PLANTING SHELF
- KEEP OUT DO NOT
MOW OR SPRAY



CARDNO STORMWATER
SEED MIX: 16,208 SF
5' TALL DECORATIVE PER
(WHITE VINYL (PVC) CRO
FOUNTAIN
(LAKE #4 FOUNTAIN S



THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

SEE SHEET C- FOR OVERALL GENERAL
PROJECT NOTES, BENCHMARK AND
TYPICAL LOT SECTION GRADING DETAIL.

[illegible]

MERIDIAN HOMES AT SYCAMORE DRIVE
 MCCORDSVILLE, INDIANA
 DEVELOPMENT PLAN

DEVELOPMENT PLAN

A circular professional engineer seal for Matthew W. Maple, No. PE10809001, State of Indiana. The seal is stamped in blue ink and features the text "MATTHEW W. MAPLE", "REGISTERED", "No. PE10809001", "STATE OF INDIANA", and "PROFESSIONAL ENGINEER". A signature is written across the seal.

DRAWN BY TD/MM	JOB NUMBER 2022-171-S
CHECKED BY MM	
DATE AUGUST 19, 2022	
SCALE AS SHOWN	
SHEET	

C1.10

© 2022

Plot Date: Aug 21, 2022 Plot Time: 9:25pm File Name: W:\Hartman Capital LLC\2022-171-S - Meridian Homes at Sycamore Dr\Design\CAD\22171-S-Development Plan.dwg, Layout: C1.10 By: tdavis



SCALE: 1" = 80'

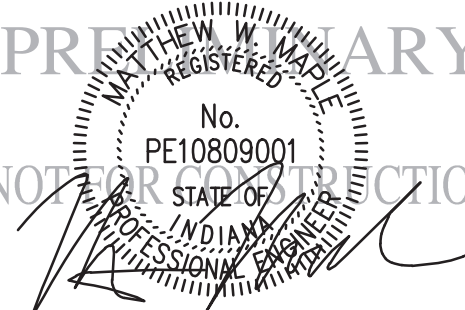
LEGEND:



DATE	DESCRIPTION	BY
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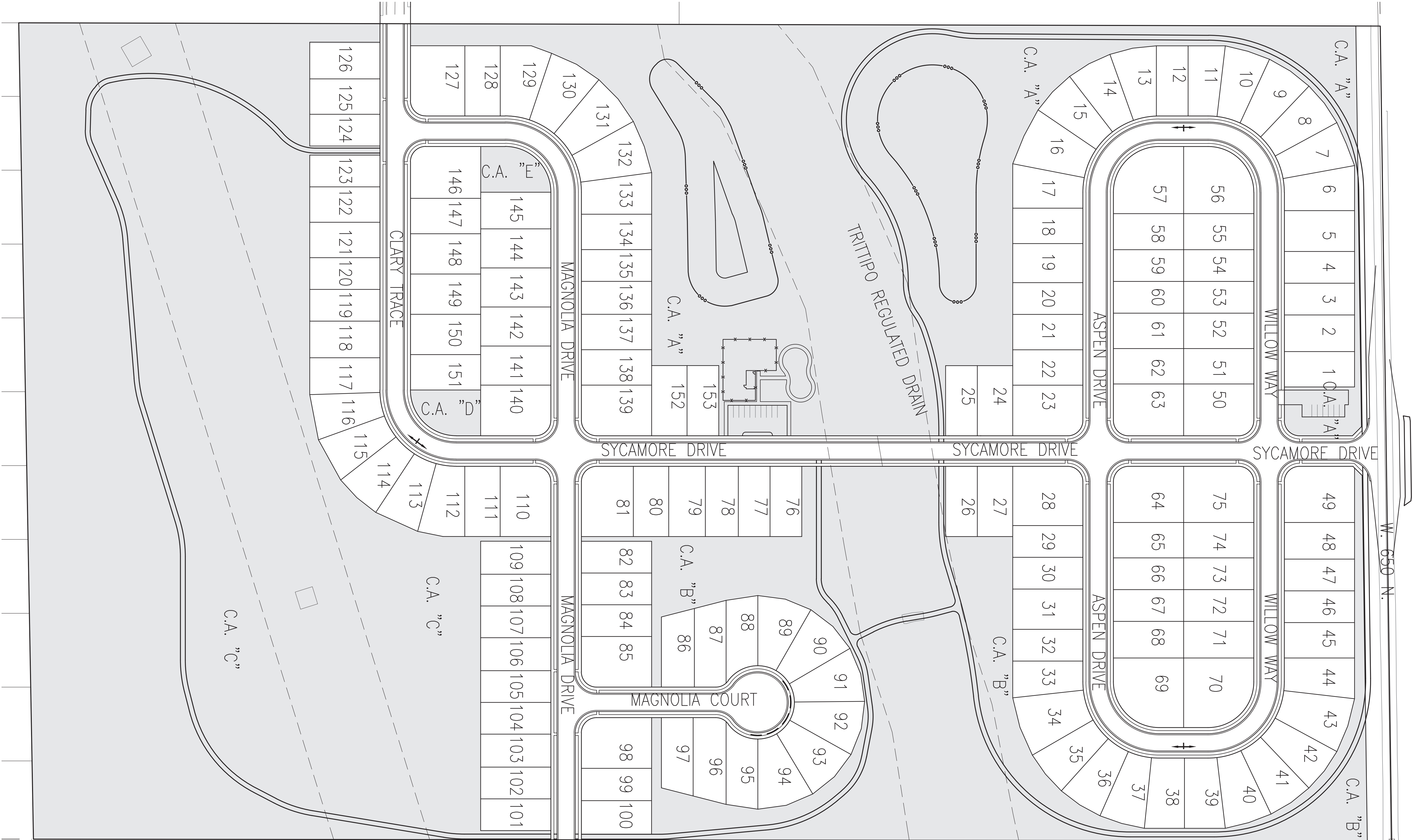


MASTER UTILITY PLAN



DRAWN BY TD/MM	JOB NUMBER 2022-1716
CHECKED BY MM	
DATE AUGUST 19, 2022	
SCALE AS SHOWN	
SHEET	

C1.26



NOTE:
SCALE: 1" = 80'

OPEN SPACE SUMMARY	
CA "A" = 456,244 SF	
CA "B" = 270,688 SF	
CA "C" = 780,994 SF	
CA "D" = 7,418 SF	
CA "E" = 7,418 SF	
TOTAL OPEN SPACE = 1,522,762 SF	
TOTAL OPEN SPACE = 34.96 AC.	

OPEN SPACE
OPEN SPACE = 34.96 AC. = 51.16%
TOTAL ACREAGE = 68.33 AC.

REVISIONS		
DATE	DESCRIPTION	BY

HWC
ENGINEERING

INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
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MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA

OPEN SPACE PLAN

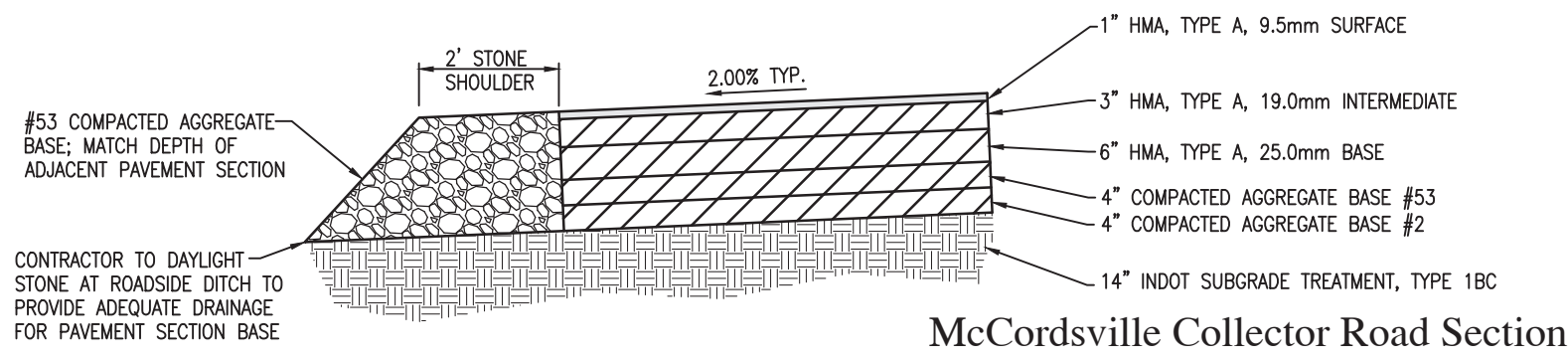
PREPARED BY
NOTAR PUBLIC
Matthew W. Hinkle
No. PE10809001
STATE OF INDIANA
REGISTERED PROFESSIONAL ENGINEER

DRAWN BY TD/MM	JOB NUMBER 2022-171-S
CHECKED BY MM	
DATE AUGUST 19, 2022	
SCALE AS SHOWN	

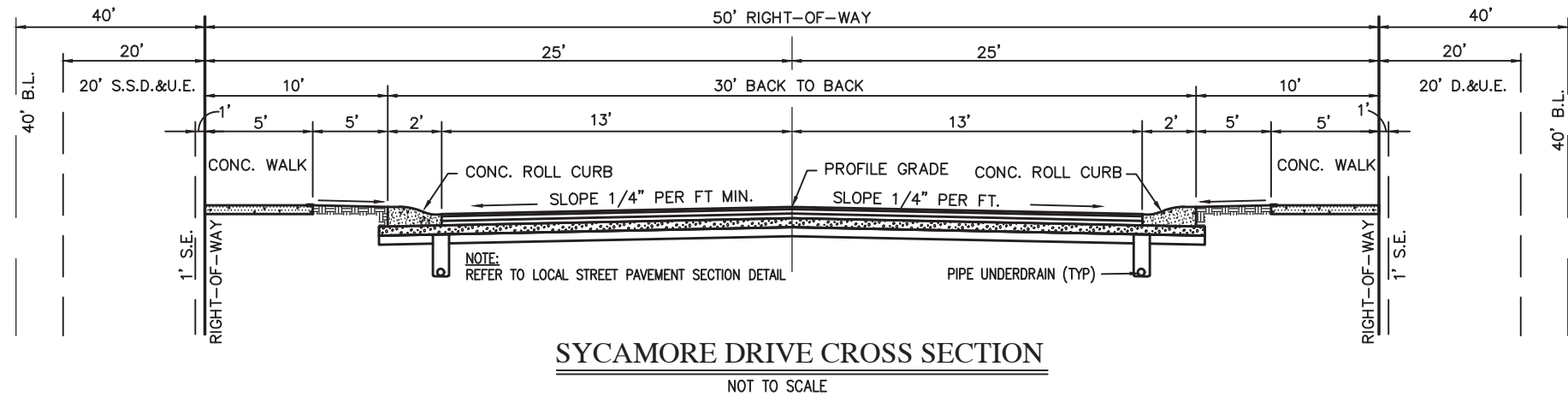
SHEET

C1.32
OPEN SPACE PLAN

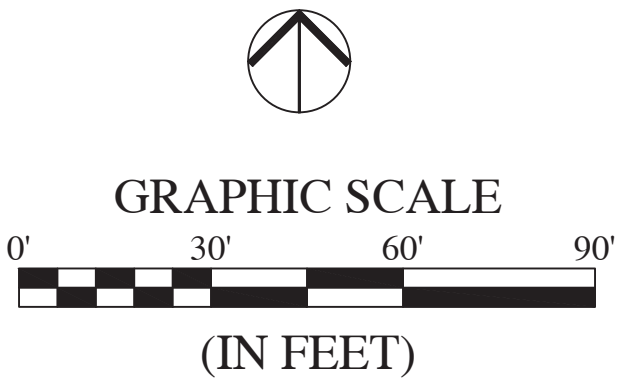
Plot Date: Aug 21, 2022 Plot Time: 9:37pm File Name: W:\Hartman Capital LLC\2022-171-S - Meridian Homes at Sycamore.Dwg\22171-S-Entrance Plan.dwg, Layout: C3.0 By: tdavis



TYPICAL PAVEMENT SECTION FOR PROPOSED ACCEL/DECEL LANES & TAPERS, PASSING BLISTER, & STONE SHOULDER
NOT TO SCALE



SYCAMORE DRIVE CROSS SECTION
NOT TO SCALE



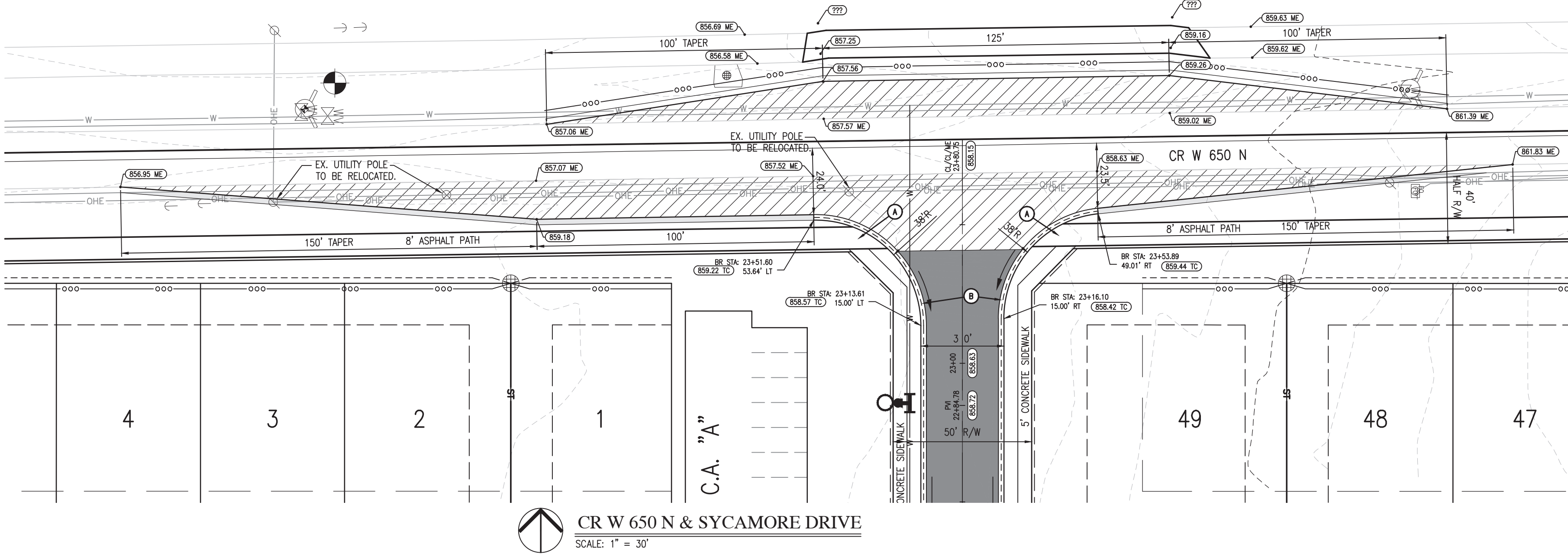
LEGEND:

EXISTING	PROPOSED
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	CENTERLINE
---	SWALE / FLOWLINE
---	SUBSURFACE DRAIN
---	SANITARY SEWER
---	STORM SEWER
---	STORM CULVERT
---	WATER MAIN
---	SANITARY MANHOLE
---	STORM MANHOLE
---	STORM INLET
---	STORM END SECTION
---	FIRE HYDRANT
---	FLOW ARROW
---	SPOT ELEVATION
---	PAVEMENT ELEVATION
---	A.D.A. HANDICAP RAMP (ALL TRUNCATED DOME PLATES SHALL BE BLACK)
---	2' ROLL CURB

---	PROPOSED 2' STONE SHOULDER, 15" DEEP COMPACTED #53 STONE
---	PROPOSED PAVEMENT IN CR W 650 N R/W SHALL BE COLLECTOR ROAD PAVEMENT SECTION SEE MCCORDSVILLE TOWN STANDARDS SHEET 2 OF 10.
---	PROPOSED PAVEMENT SHALL BE ARTERIAL ROAD PAVEMENT SECTION SEE MCCORDSVILLE TOWN STANDARDS SHEET 2 OF 10.

ABBREVIATIONS:

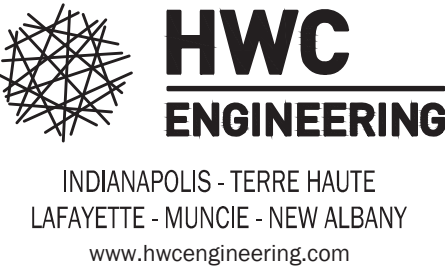
BR	- BEGIN RADIUS
CL	- CENTERLINE
GUT	- GUTTER GRADE
HP	- HIGH POINT
LP	- LOW POINT
ME	- MATCH EXISTING GRADE
PC	- POINT OF CURVATURE
PT	- POINT OF TANGENCY
PVI	- POINT OF VERTICAL INTERSECTION
R	- RADIUS
TC	- TOP OF CURB/TOP OF CASTING GRADE



CR W 650 N & SYCAMORE DRIVE
SCALE: 1" = 30'

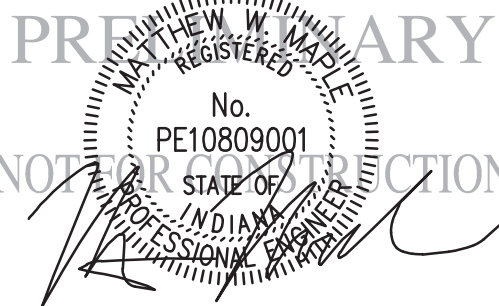
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MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA

ENTRANCE PLAN




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DATE AUGUST 19, 2022	
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C3.0
ENTRANCE PLAN


Plot Date: Aug 21, 2022 Plot Time: 9:38pm File Name: W:\Hartman Capital LLC\2022-171-S - Meridian Homes at Sycamore Drive at Sycamore Homes at Sycamore Drive.dwg Layout: C3.2 By: tdavis

- NOTES:
1. ALL EXISTING ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO STRIPING, STONE SHOULDERS AND SIGNAGE. REPAIRS (i.e. STRIPING) SHALL COINCIDE WITH THE ADJOINING ROAD.
 2. UTILITY CONFLICTS (INCLUDING UTILITY POLES) MUST BE COMPLETELY RESOLVED PRIOR TO CONSTRUCTION OF ACCEL/DECEL LANES, PASSING BLISTER LANES AND/OR LEFT TURN LANES. CONSTRUCTION OF THESE LANES INCLUDES BUT IS NOT LIMITED TO EXCAVATION, EMBANKMENT, PAVING AND SUBGRADE PREPARATION.

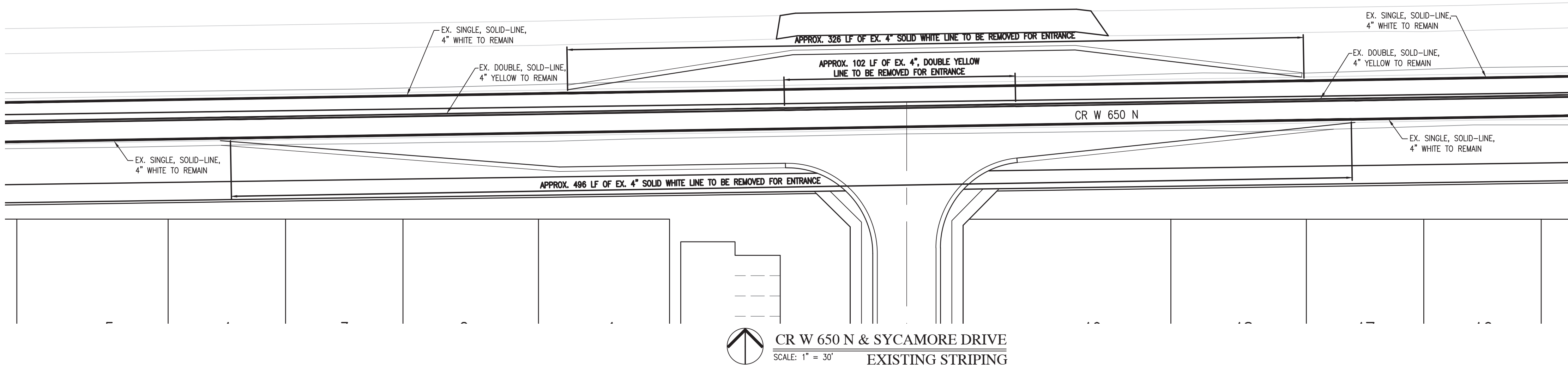
- GENERAL NOTES
1. THE USE OF THERMOPLASTIC PAVEMENT MARKINGS IS REQUIRED ON ASPHALT PAVEMENT WITHIN THE RIGHT-OF-WAY. THE USE OF EPOXY STRIPING IS REQUIRED ON CONCRETE WITHIN THE RIGHT-OF-WAY.
 2. LIGHTING, SIGNS, IRRIGATION LINES, ETC. MUST BE CONSTRUCTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM THE CENTER OF THE SANITARY SEWER FACILITIES.
 3. STREET LIGHTS ARE REQUIRED TO MATCH EXISTING STREET LIGHTS. TO INCLUDE POLE TYPE, FIXTURE TYPE, HEIGHT OF FIXTURE ETC.
 4. ALL STREET LIGHTING SHALL BE INSTALLED WITH REFLECTORS OR OTHER SUCH DEVICES OR CONTROLS SO THAT LIGHT IS REFLECTED DOWNWARD TO MITIGATE LIGHT SPILLOVER.
 5. ALL ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO STRIPING, STONE SHOULDERS AND SIGNAGE.



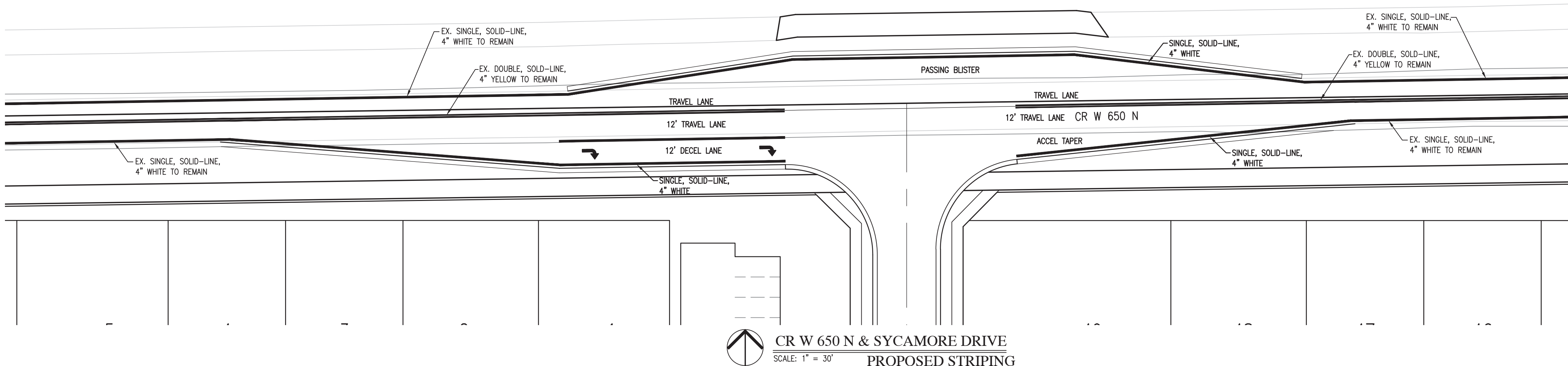
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GRAPHIC SCALE
0' 30' 60' 90'
(IN FEET)



CR W 650 N & SYCAMORE DRIVE
SCALE: 1" = 30'
EXISTING STRIPING



CR W 650 N & SYCAMORE DRIVE
SCALE: 1" = 30'
PROPOSED STRIPING

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MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA

STRIPING PLAN

PRELIMINARY

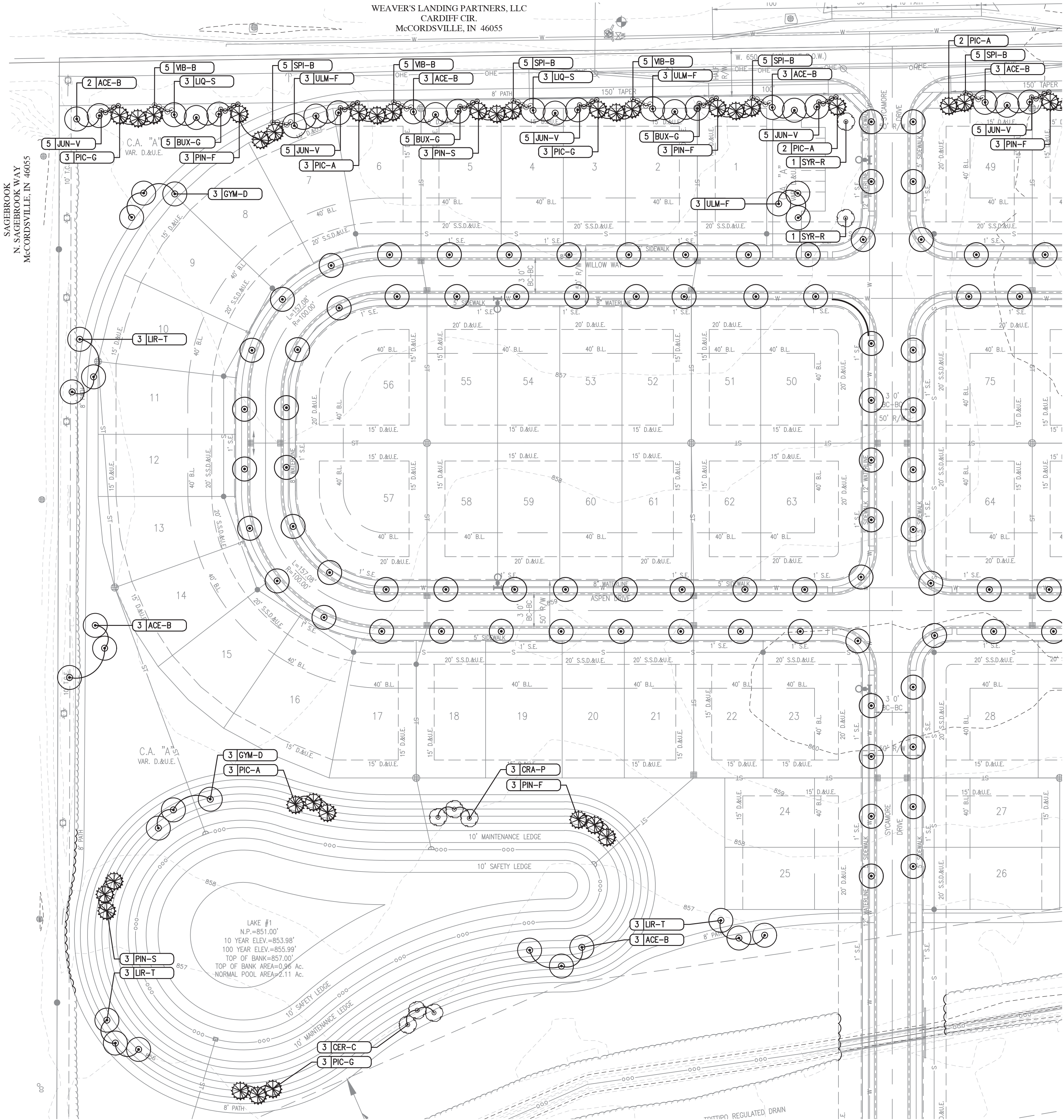
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REGISTERED PROFESSIONAL ENGINEER
No. PE10809001
STATE OF INDIANA
T. J. HARTMAN

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C3.2

STRIPING PLAN

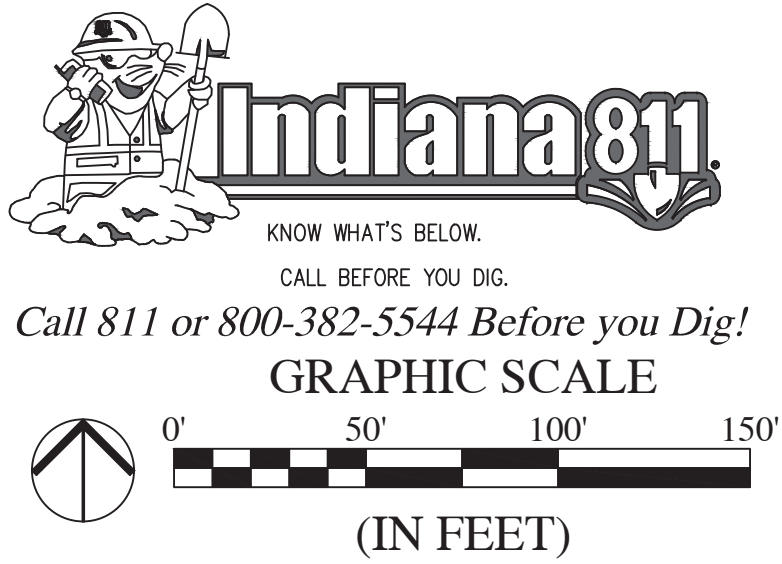


LANDSCAPE GENERAL NOTES:

- NOTIFY THE LANDSCAPE ARCHITECT IF SITE CONDITIONS ARE UNSUITABLE OR OTHER UNFORESEEN CONDITIONS ARE FOUND.
- CONTRACTOR SHALL LOCATE AND VERIFY EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK, AND SHALL COORDINATE ALL LANDSCAPE WORK WITH CIVIL AND ELECTRICAL DRAWINGS, PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN, AND REPAIR UTILITIES DAMAGED DURING OPERATIONS AT CONTRACTOR'S EXPENSE.
- ALL PLANT MATERIAL SHALL BE IN CONFORMANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 LATEST EDITION.
- ALL LANDSCAPING SHALL BE INSTALLED PER LOCAL ZONING REQUIREMENTS.
- CONTRACTOR IS REQUIRED TO NOTIFY LANDSCAPE ARCHITECT OF ANTICIPATED INSTALLATION DATES ONE WEEK PRIOR TO ARRIVAL OF PLANT MATERIAL ON SITE. THE LANDSCAPE ARCHITECT WILL BE AVAILABLE TO REVIEW AND TAG TREES AT THE NURSERY. THE LANDSCAPE ARCHITECT SHALL INSPECT THE QUALITY OF PLANT MATERIAL ON-SITE BEFORE PLANTS ARE PLACED IN THE GROUND. THE LANDSCAPE ARCHITECT MAY REJECT ANY PLANT MATERIAL, AND IT SHALL BE REPLACED WITH ACCEPTABLE MATERIAL BY THE LANDSCAPE CONTRACTOR.
- NO SUBSTITUTIONS FOR THE SPECIFIED LANDSCAPE MATERIAL ARE ALLOWED UNLESS ACCEPTED IN WRITING BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING OPERATIONS.
- CONTRACTOR TO THOROUGHLY WATER ALL PLANT MATERIAL WITHIN SIX (6) HOURS OF INSTALLATION AND AS SPECIFIED THROUGHOUT THE MAINTENANCE PERIOD. THE OWNER IS RESPONSIBLE FOR WATERING PER CONTRACTOR'S WRITTEN MAINTENANCE INSTRUCTIONS THROUGHOUT THE GUARANTEE PERIOD. SEE NOTE 19. FOR MAINTENANCE AND GUARANTEE PERIOD REQUIREMENTS.
- THE SITE IS TO BE LEFT IN A CLEAN AND NEAT CONDITION AT ALL TIMES.
- MULCH: FINELY SHREDDED HARDWOOD BARK, AGED TO BE APPLIED AT A THREE (3) INCH DEPTH FOR ALL PLANTING BEDS AND TREE SAUCERS. RENEWAL OF MULCH DURING THE GUARANTEE PERIOD SHALL BE PERFORMED BY THE OWNER AS NEEDED. SEE NOTE 19. FOR MAINTENANCE AND GUARANTEE PERIOD REQUIREMENTS.
- SEED WITH TURF GRASS/LAWN ALL DISTURBED AREAS NOT SCHEDULED FOR OTHER IMPROVEMENTS.
- ALL PLANTING BEDS WITH ADJOINING LAWN AREAS SHALL BE EDGED WITH A SPADE, UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL TAKE PRECEDENCE. IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY OF PLANT MATERIAL ON-SITE BEFORE PLANTING, THE PLANT SYMBOLS SHALL TAKE PRECEDENCE.
- NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ALL PAVEMENT AND ROUGH GRADING HAS BEEN FINISHED AND APPROVED. LANDSCAPE INSTALLATION SHALL NOT BE PHASED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANT MATERIAL SHALL BE INSTALLED IN ONE MOBILIZATION AT THE END OF THE PROJECT UNLESS OTHERWISE NOTED.
- PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE.
- STAKES AND GUY WIRES USED TO SUPPORT PLANTING MATERIALS SHALL BE REMOVED AFTER ONE YEAR.
- ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOTBOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. ALL TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE. ALL PLANTS SHALL BE PLANTED SO THAT THE ROOT CROWN IS PLANTED 1/2 - 1" ABOVE GRADE LEVEL.
- WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN THREE VERTICAL LOCATIONS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- MAINTENANCE PERIOD: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PLANT MAINTENANCE AND REPLACEMENT THROUGHOUT CONSTRUCTION. UPON RECEIVING WRITTEN ACCEPTANCE FROM THE LANDSCAPE ARCHITECT, CONTRACTOR'S MAINTENANCE PERIOD IS COMPLETE AND GUARANTEE PERIOD BEGINS. OWNER ACCEPTS MAINTENANCE OF PLANTS AND LANDSCAPE BEDS AT START OF GUARANTEE PERIOD PER CONTRACTOR'S WRITTEN MAINTENANCE INSTRUCTIONS.
- WARRANTY: LANDSCAPE CONTRACTOR SHALL WARRANTY ALL NEW PLANT MATERIAL THROUGH ONE YEAR FROM THE TIME OF WRITTEN ACCEPTANCE BY THE LANDSCAPE ARCHITECT ESTABLISHING THE START OF THE GUARANTEE PERIOD.
- REPLACEMENTS: AT THE CONCLUSION OF THE GUARANTEE PERIOD, THE LANDSCAPE ARCHITECT WILL PERFORM A FINAL INSPECTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY THE LANDSCAPE ARCHITECT AT THAT TIME WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO THE OWNER. REPLACEMENT PLANT MATERIAL IS TO BE PROVIDED WITH AN ADDITIONAL ONE-YEAR WARRANTY AND SHALL BE REPLACED IF DEAD, DYING, OR OTHERWISE UNACCEPTABLE TO THE LANDSCAPE ARCHITECT ONE FINAL TIME AT THE CONCLUSION OF THAT PERIOD.

LANDSCAPE REQUIREMENTS SUMMARY:

- PERIMETER PLANT MATERIAL**
1. PERIMETER PLANT MATERIAL SHALL BE PROVIDED ON THE PERIMETER OF SUBDIVISION DEVELOPMENT WHEN ADJACENT TO A PUBLIC WAY AS FOLLOWS.
- 1.1. A 20-FOOT LANDSCAPING AREA ADJACENT TO THE ROAD OR RIGHT-OF-WAY. THE LANDSCAPING SHALL BE LOCATED IN AN AREA DESIGNATED AS COMMON AREA. ALL ATTEMPTS SHOULD BE MADE TO AVOID CONFLICTS WITH DRAINAGE AND UTILITY EASEMENTS THAT WOULD PREVENT THE INSTALLATION OF LANDSCAPE MATERIALS IN ACCORDANCE WITH THE ORDINANCE.
- 1.2. TREES SHALL BE PROVIDED AT A MINIMUM RATE OF SIX (6) TREES PER ONE HUNDRED (100) LINEAL FEET OF PERIMETER PLANTING. PERIMETER PLANTINGS SHALL BE A ROUGHLY EQUAL MIX OF DECIDUOUS CANOPY TREES AND EVERGREEN TREES.
- 1.3. SHRUBS SHALL BE PROVIDED AT A MINIMUM RATE OF TEN (10) PER ONE HUNDRED (100) LINEAL FEET OF PERIMETER PLANTING.
- NORTH PROPERTY LINE PERIMETER PLANTING**
- LINEAL FEET OF STREET FRONTAGE: 1,200 LF
TREES REQUIRED: 72
TREES PROVIDED: 74 TOTAL (38 DECIDUOUS, 36 EVERGREEN)
SHRUBS REQUIRED: 120
SHRUBS PROVIDED: 125 TOTAL (63 DECIDUOUS, 62 EVERGREEN)
- SOUTH PROPERTY LINE PERIMETER PLANTING**
- LINEAL FEET OF ADJOINING PROPERTY FRONTAGE: 1,200 LF
TREES REQUIRED: 72
TREES PROVIDED: 72 TOTAL (36 DECIDUOUS, 36 EVERGREEN)
SHRUBS REQUIRED: 120
SHRUBS PROVIDED: 120 TOTAL (60 DECIDUOUS, 60 EVERGREEN)
- STREET TREES**
1. STREET TREES PROVIDED AT A RATE OF ONE (1) PER FIFTY (50) LINEAL FEET.
- ADDITIONAL LANDSCAPING PROVIDED (COMMON AREAS)**
1. PONDS - 48 TOTAL TREES
2. TRAIL - 75 TOTAL TREES
3. AMENITY AREAS - 21 TOTAL TREES



LEGEND:

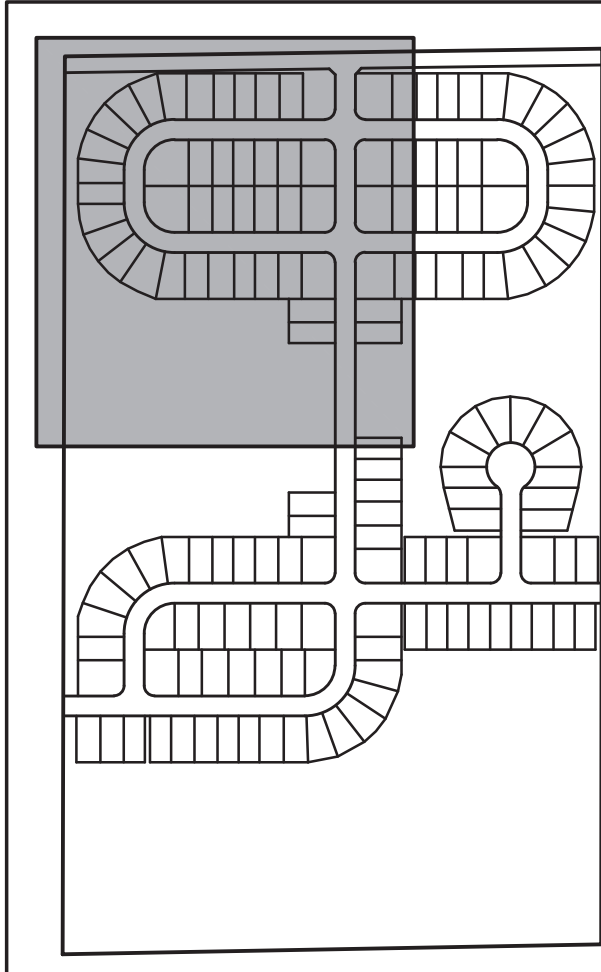
- QUANTITY KEY
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- EVERGREEN TREE - MIN. 5" TALL
- ORNAMENTAL TREE - MIN. 1.5" CALIPER
- DECIDUOUS SHRUB - MIN. 24" TALL
- EVERGREEN SHRUB - MIN. 24" TALL

LEGEND:

EXISTING	PROPOSED
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
EASEMENT LINE	EASEMENT LINE
SETBACK LINE	SETBACK LINE
CENTERLINE	CENTERLINE
SWALE / FLOWLINE	SWALE / FLOWLINE
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
WATER MAIN	WATER MAIN
CONTOUR, MAJOR	CONTOUR, MAJOR
CONTOUR, MINOR	CONTOUR, MINOR
FENCE	FENCE
TREE LINE	TREE LINE
SANITARY MANHOLE	SANITARY MANHOLE
STORM MANHOLE	STORM MANHOLE
STORM INLET	STORM INLET
STORM END SECTION	STORM END SECTION
FIRE HYDRANT	FIRE HYDRANT

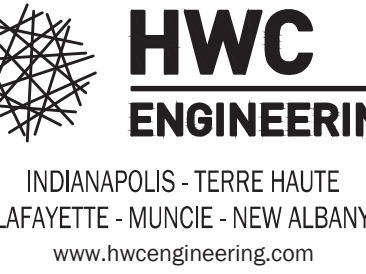
NOTES:

- TREE PROTECTION FENCING TO BE INSTALLED PRIOR TO ANY CLEARING OR GRADING WORK.
- SEE SHEET L1.4 FOR MASTER PLANT SCHEDULE.
- SEE SHEET L1.5 FOR LANDSCAPE DETAILS.
- SEE SHEET L1.6 FOR LANDSCAPE SPECIFICATIONS.

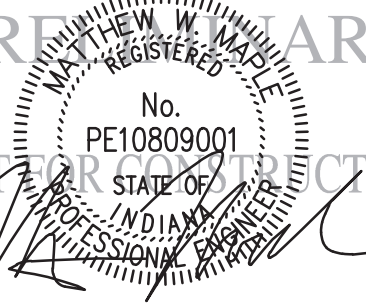


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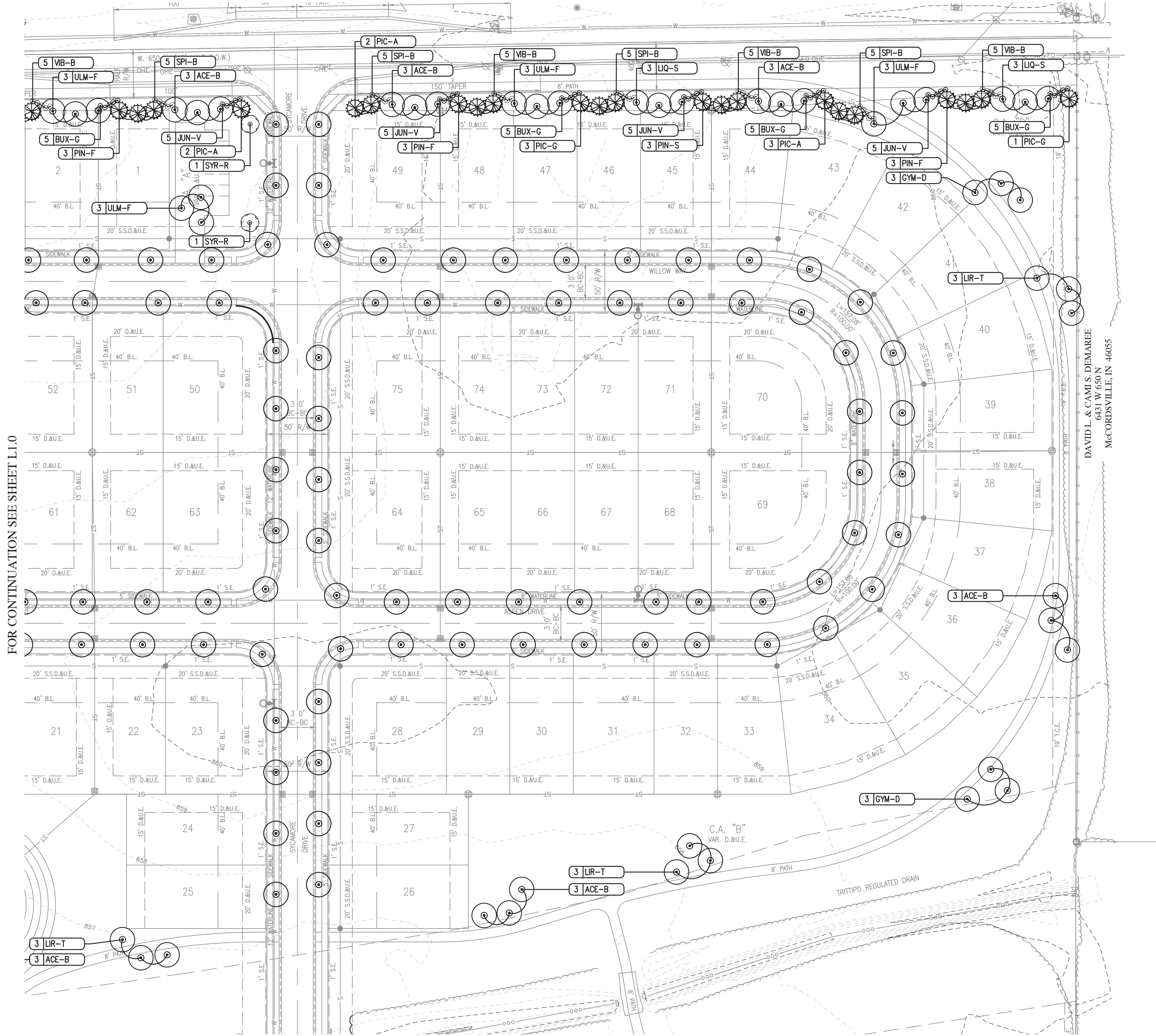
MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA
LANDSCAPE PLAN



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LANDSCAPE PLAN



FOR CONTINUATION SEE SHEET L1.0

FOR CONTINUATION SEE SHEET L1.3

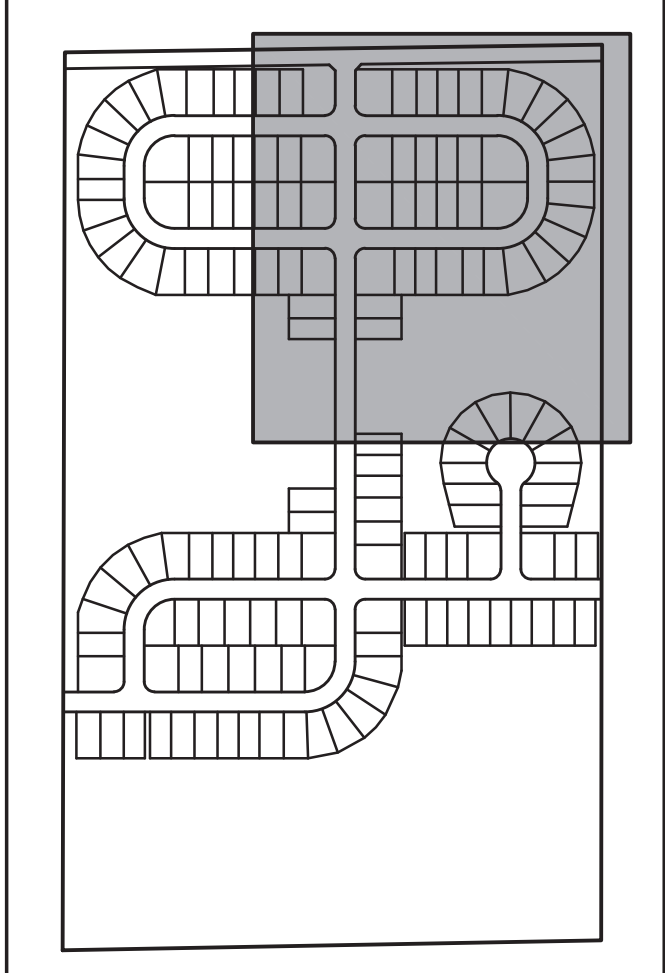
Indiana 811
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GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

- LEGEND:**
- QUANTITY KEY
 - SHADE TREE - MIN. 2.5" CALIPER
 - EVERGREEN TREE - MIN. 5" TALL
 - ORNAMENTAL TREE - MIN. 1.5" CALIPER
 - DECIDUOUS SHRUB - MIN. 24" TALL
 - EVERGREEN SHRUB - MIN. 24" TALL

- LEGEND:**
- | EXISTING | PROPOSED |
|-------------------|-------------------|
| RIGHT-OF-WAY LINE | RIGHT-OF-WAY LINE |
| EASEMENT LINE | EASEMENT LINE |
| SETBACK LINE | SETBACK LINE |
| CENTERLINE | CENTERLINE |
| SWALE / FLOWLINE | SWALE / FLOWLINE |
| SANITARY SEWER | SANITARY SEWER |
| STORM SEWER | STORM SEWER |
| WATER MAIN | WATER MAIN |
| CONTOUR, MAJOR | CONTOUR, MAJOR |
| CONTOUR, MINOR | CONTOUR, MINOR |
| FENCE | FENCE |
| TREE LINE | TREE LINE |
| SANITARY MANHOLE | SANITARY MANHOLE |
| STORM MANHOLE | STORM MANHOLE |
| STORM INLET | STORM INLET |
| STORM END SECTION | STORM END SECTION |
| FIRE HYDRANT | FIRE HYDRANT |

- NOTES:**
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 - SEE SHEET L1.4 FOR MASTER PLANT SCHEDULE.
 - SEE SHEET L1.5 FOR LANDSCAPE DETAILS
 - SEE SHEET L1.6 FOR LANDSCAPE SPECIFICATIONS.



KEYMAP
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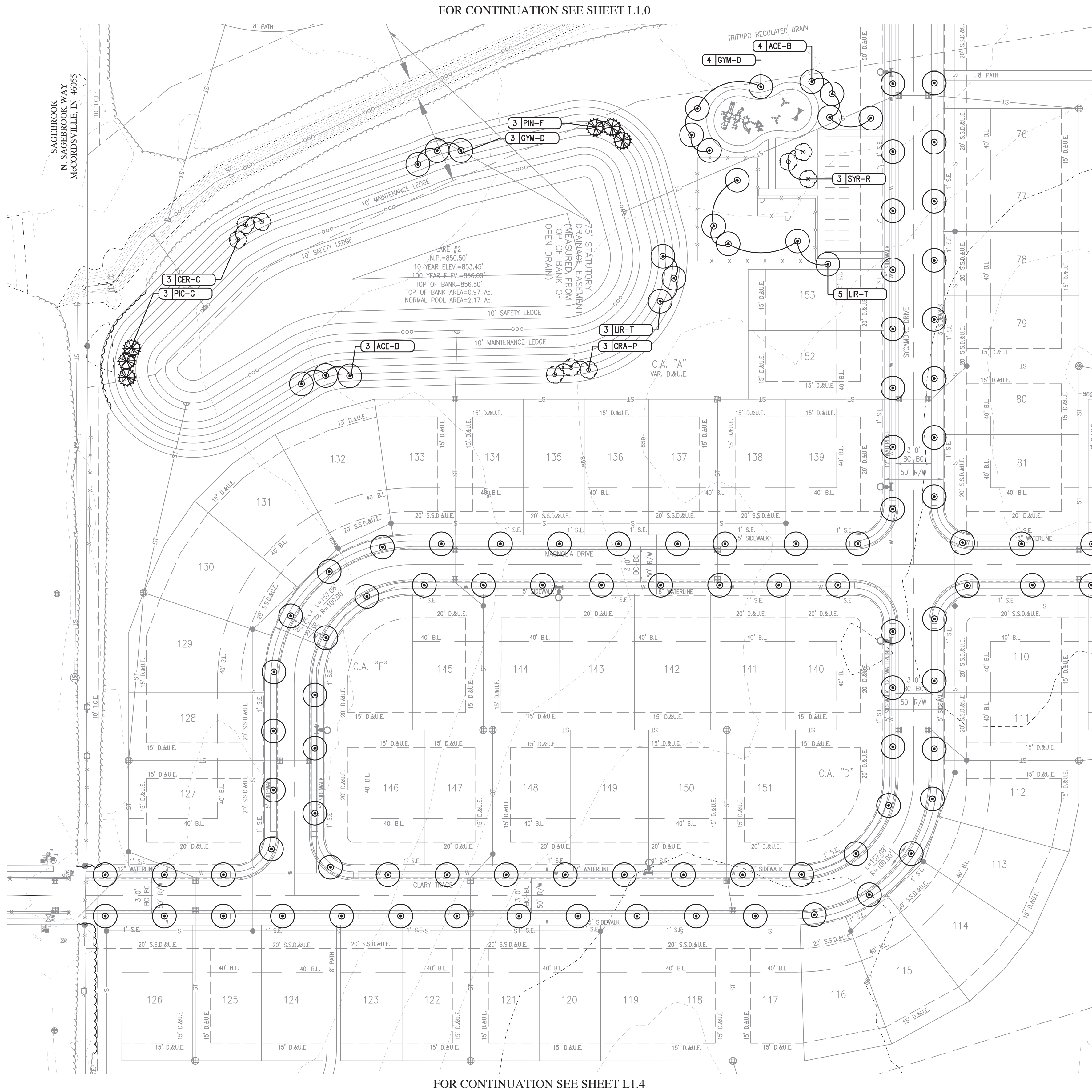
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REGISTERED
No. PE10809001
STATE OF INDIANA
Professional Engineer

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L1.1
LANDSCAPE PLAN



LEGEND:

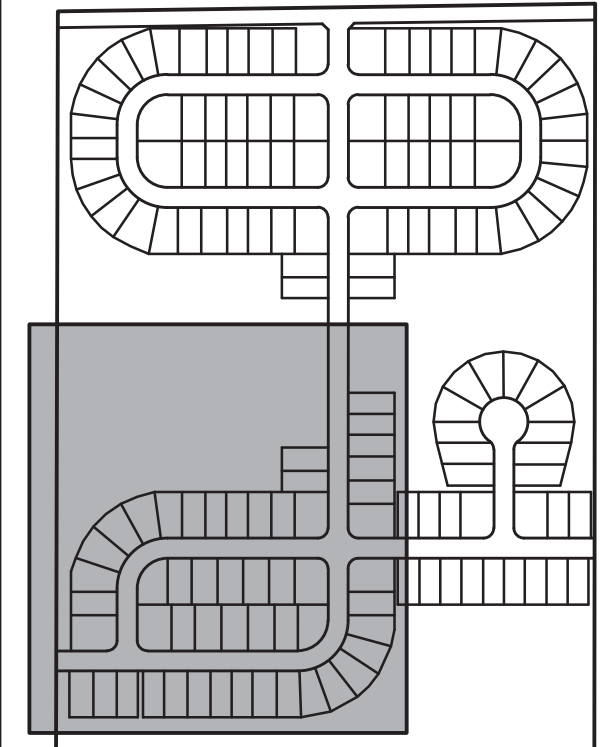
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- DECIDUOUS SHRUB - MIN. 24" TALL
- EVERGREEN SHRUB - MIN. 24" TALL

LEGEND:

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- PROPOSED
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- EASEMENT LINE
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- STORM MANHOLE
- STORM INLET
- STORM END SECTION
- FIRE HYDRANT

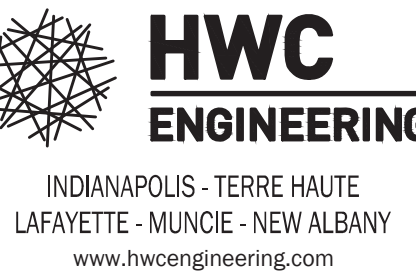
NOTES:

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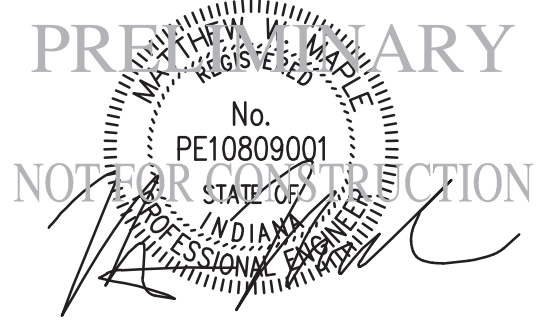
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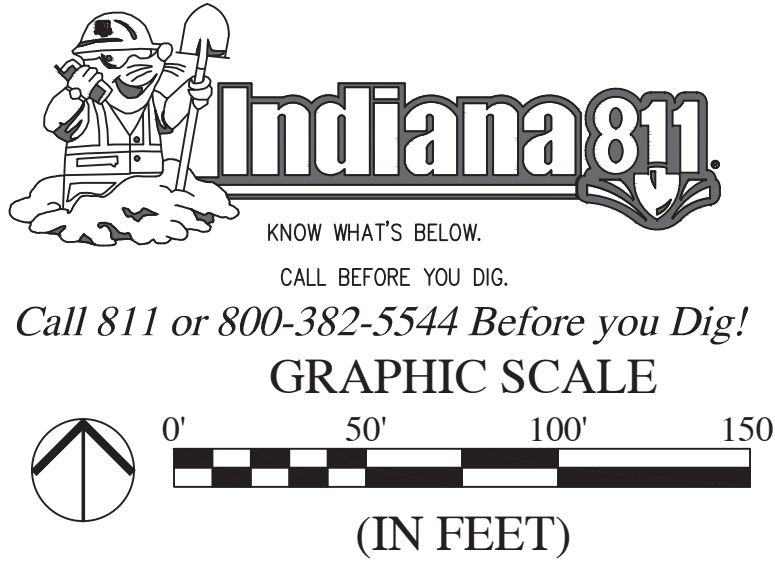
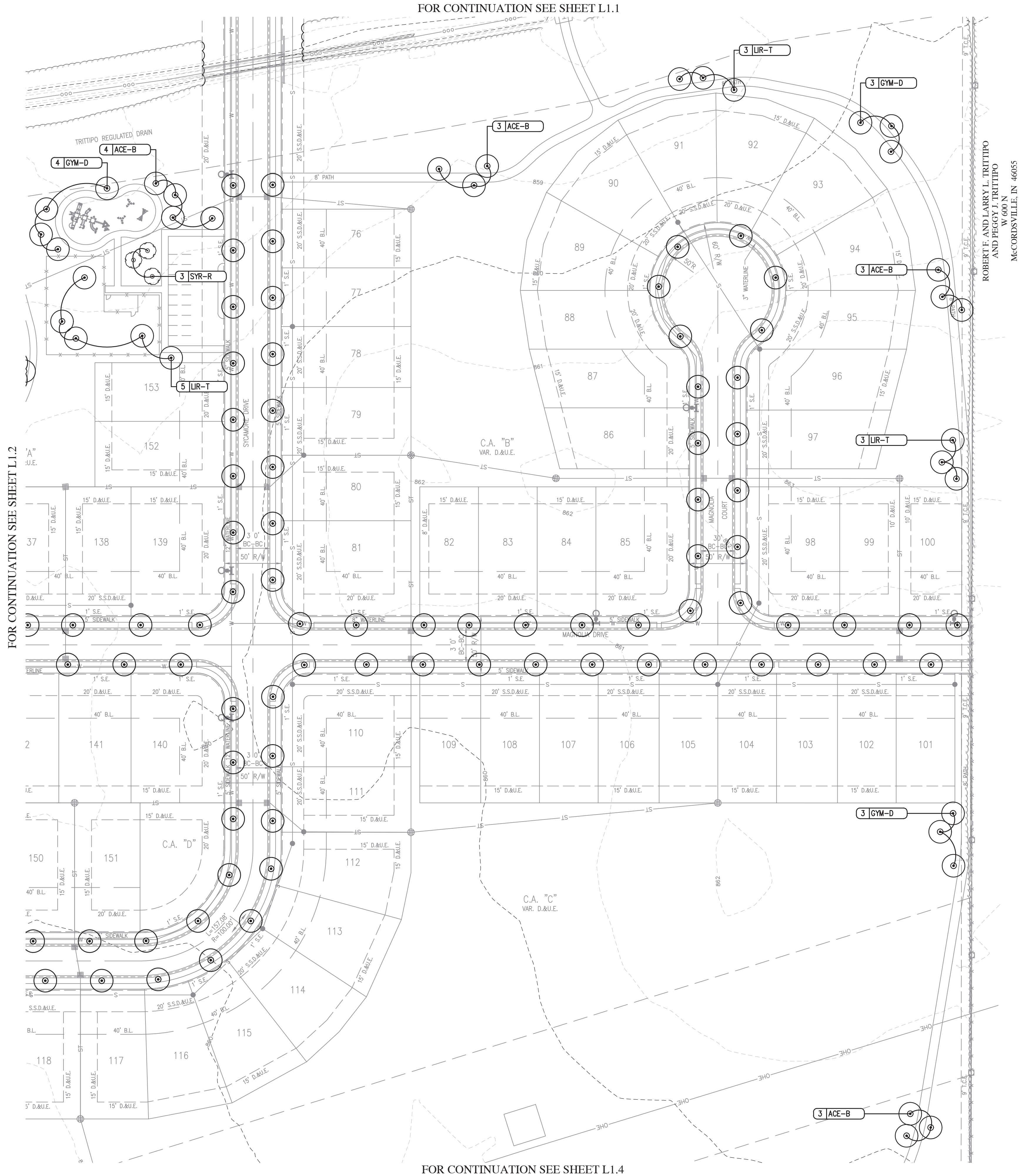
MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA

LANDSCAPE PLAN



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LANDSCAPE PLAN



LEGEND:

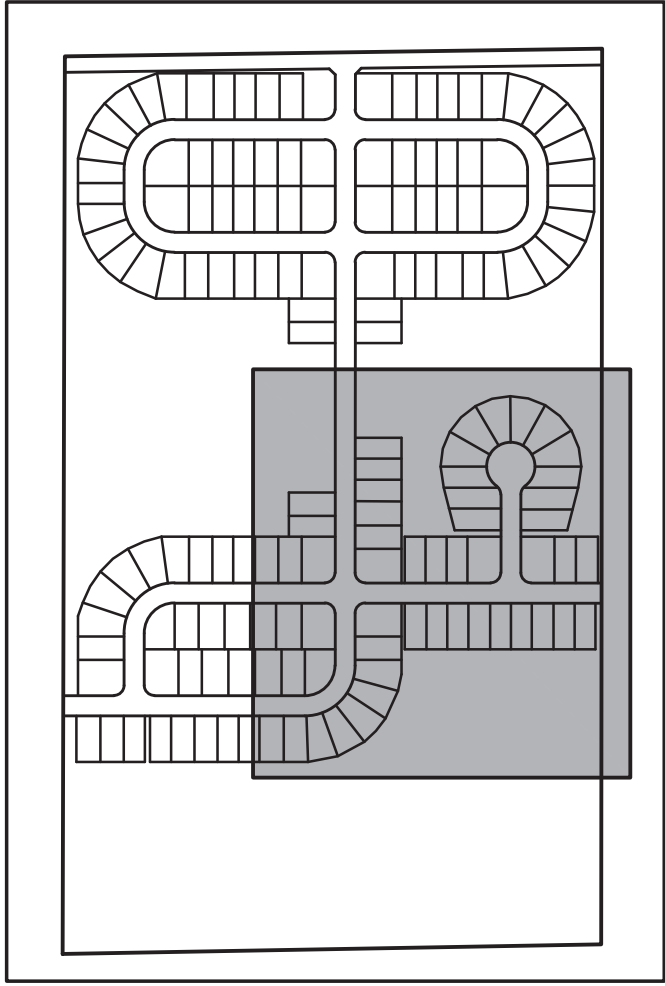
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NOTES:

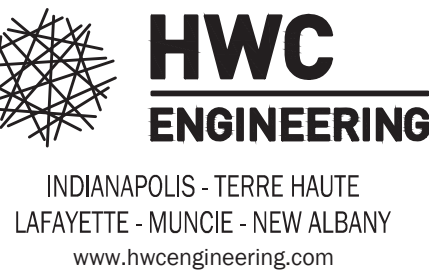
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KEYMAP
NOT TO SCALE

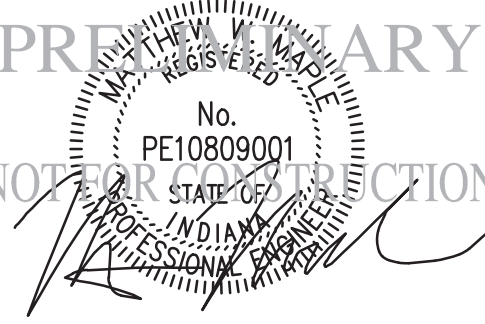
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MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA

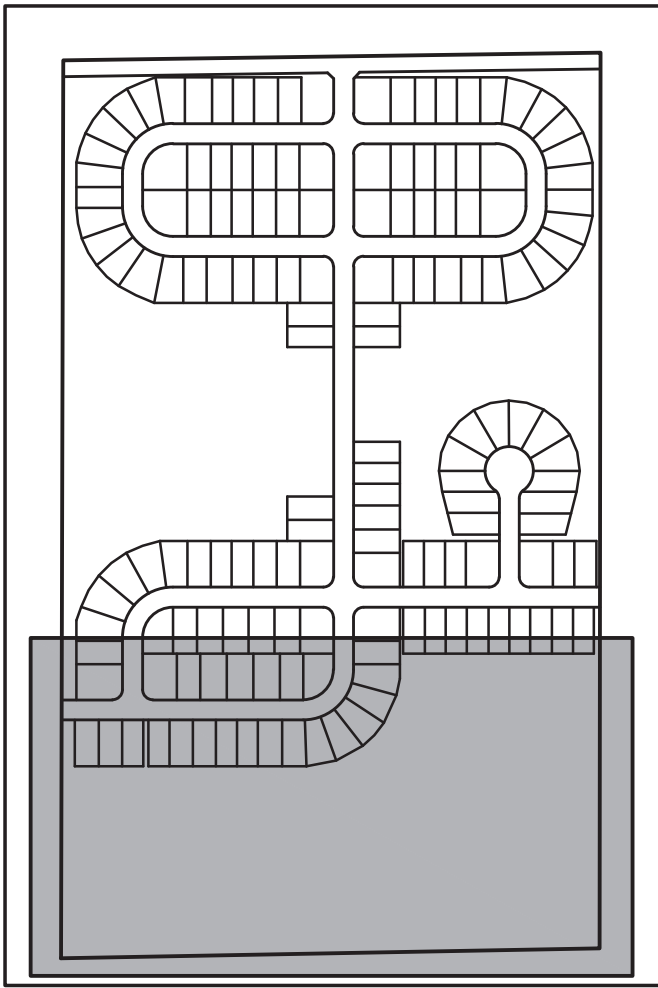
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L1.3

LANDSCAPE PLAN



KEYMAP
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PLANT SCHEDULE:

KEY	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HGT	ROOT	SPACING	REMARKS
SHADE TREES								
ACE-B	66	ACER BUERGERIANUM	TRIDENT MAPLE	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
CAR-C	47	*CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
GLE-T	47	*GLEDITSIA TRIACANTHOS F. INERMIS	THORNLESS HONEYLOCUST	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
GYM-D	34	GYMNOCLADUS DIOCUS	KENTUCKY COFFEETREE	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER - MALE ONLY
LIR-T	38	LIRIODENDRON TULIPIFERA	TULIP TREE	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
LIQ-S	24	LIQUIDAMBAR STYRACIFLUA 'ROTUNDALOBA'	FRUITLESS SWEETGUM	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
QUE-P	47	*QUERCUS PALUSTRIS	PIN OAK	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
QUE-B	45	*QUERCUS BICOLOR	SWAMP WHITE OAK	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
TIL-T	47	*TILLIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
ULM-F	21	ULMUS X 'FRONTIER'	FRONTIER ELM	2" - 2.5"	-	B&B	SEE PLAN	CENTRAL LEADER
ORNAMENTAL TREES								
CER-C	6	CERCIS CANADENSIS	EASTERN REDBUD	-	6' - 8'	B&B	SEE PLAN	MULTI-TRUNK, MIN. 3 CANES
CRA-P	6	CRATAEGUS PHAENOPYRUM	WASHINGTON HAWTHORNE	1.5" - 2"	-	B&B	SEE PLAN	CENTRAL LEADER
SYR-R	5	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK LILAC TREE	1.5" - 2"	-	B&B	SEE PLAN	CENTRAL LEADER
EVERGREEN TREES								
PIC-A	24	PICEA ABIES	NORWAY SPRUCE	-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
PIC-G	22	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE	-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
PIN-F	28	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID LUMBER PINE	-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
PIN-S	17	PINUS STROBUS	EASTERN WHITE PINE	-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
SHRUBS								
BUX-G	60	BUXUS 'GREEN VELVET'	GREEN VELVET BOXWOOD	5 GAL.	24"	CONTAINER	SEE PLAN	FULL IN POT
SPI-B	60	SPIRAEA BETULIFOLIA 'TOR'	BIRCHLEAF SPIREA	5 GAL.	24"	CONTAINER	SEE PLAN	FULL IN POT
JUN-V	65	JUNIPERUS VIRGINIANA 'GREY OWL'	GREY OWL JUNIPER	5 GAL.	24"	CONTAINER	SEE PLAN	FULL IN POT
VIB-B	60	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	5 GAL.	24"	CONTAINER	SEE PLAN	FULL IN POT

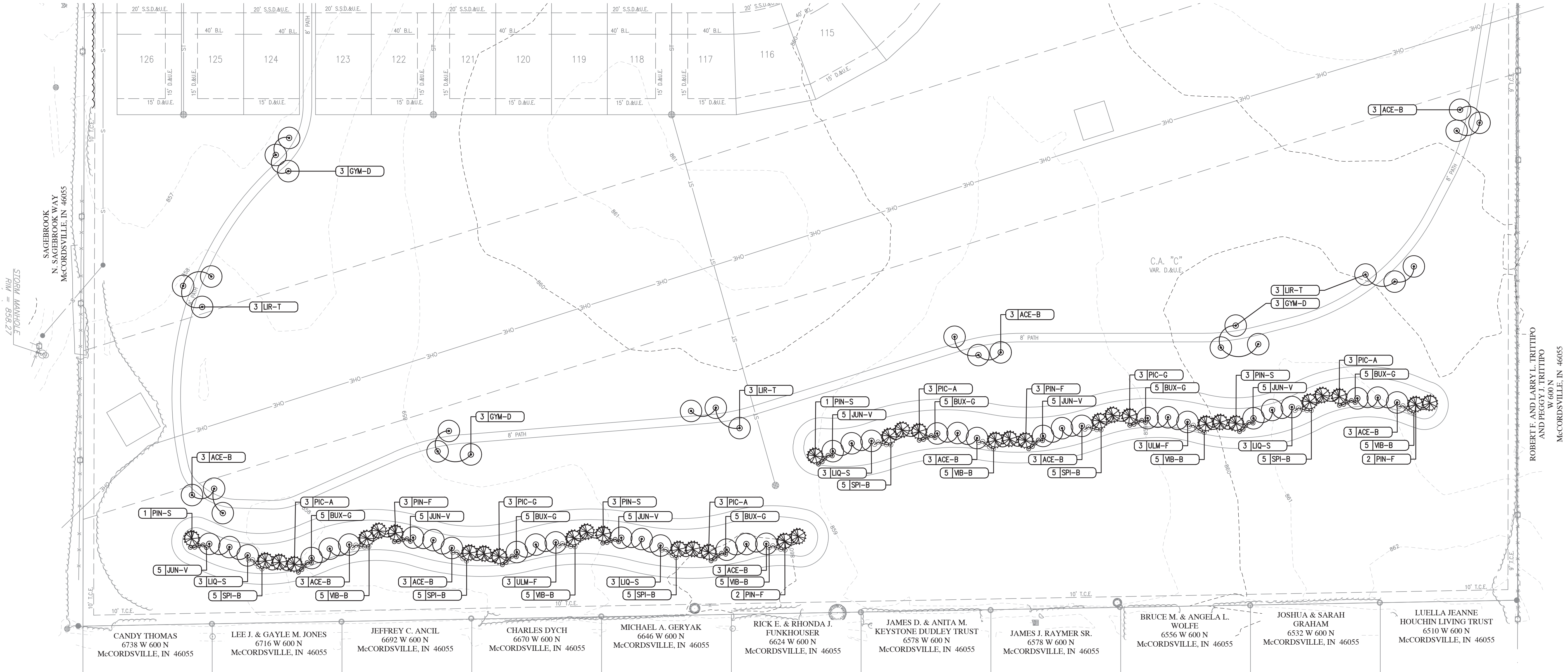
* INDICATES STREET TREE SPECIES

STREET TREE NOTES:

- LANDSCAPING AS SHOWN SUBJECT TO UTILITIES, GRADING AND DRAINAGE IMPROVEMENTS AND EASEMENTS.
- THERE SHALL BE NO TREES WITHIN 15 FEET OF ANY STORM SEWER OR SSD.
- STREET TREES:
 - SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS, DO NOT INSTALL THE SAME SPECIES NEXT TO EACH OTHER.
 - USE A RANDOM MIX OF THE FOLLOWING TREES, AS SPECIFIED IN THE MASTER PLANTING SCHEDULE AS STREET TREE:

TOTAL QUANTITY:	NAME:
47.....	AMERICAN HORNBEAM
47.....	THORNLESS HONEYLOCUST
47.....	PIN OAK
45.....	RED OAK
47.....	GREENSPIRE LINDEN

FOR CONTINUATION SEE SHEET L1.3



LEGEND:

- (# | XXX) QUANTITY KEY
- SHADE TREE - MIN. 2.5" CALIPER
- EVERGREEN TREE - MIN. 5" TALL
- ORNAMENTAL TREE - MIN. 1.5" CALIPER
- DECIDUOUS SHRUB - MIN. 24" TALL
- EVERGREEN SHRUB - MIN. 24" TALL



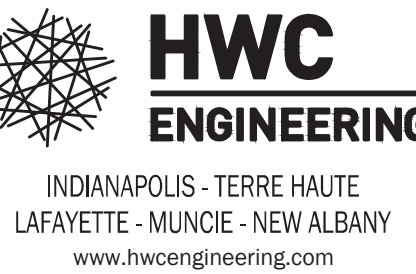
NOTES:

- TREE PROTECTION FENCING TO BE INSTALLED PRIOR TO ANY CLEARING OR GRADING WORK.
- SEE SHEET L1.5 FOR LANDSCAPE DETAILS
- SEE SHEET L1.6 FOR LANDSCAPE SPECIFICATIONS

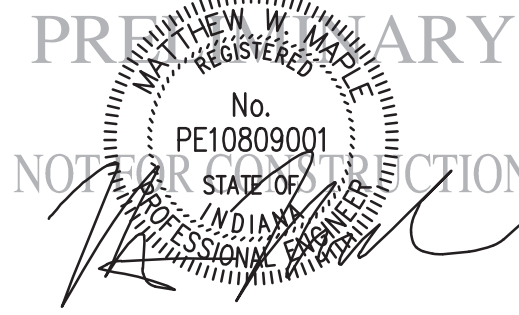
LEGEND:

- EXISTING
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- SETBACK LINE
- CENTERLINE
- SWALE / FLOWLINE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- CONTOUR, MAJOR
- CONTOUR, MINOR
- FENCE
- TREE LINE
- SANITARY MANHOLE
- STORM MANHOLE
- STORM INLET
- STORM END SECTION
- FIRE HYDRANT
- PROPOSED

REVISIONS		
DATE	DESCRIPTION	BY



MERIDIAN HOMES AT SYCAMORE DRIVE
MCCORDSVILLE, INDIANA
LANDSCAPE PLAN



DRAWN BY TD/MM	JOB NUMBER 2022-171-S
CHECKED BY MM	
DATE AUGUST 19, 2022	
SCALE AS SHOWN	
SHEET	

L1.4
LANDSCAPE PLAN