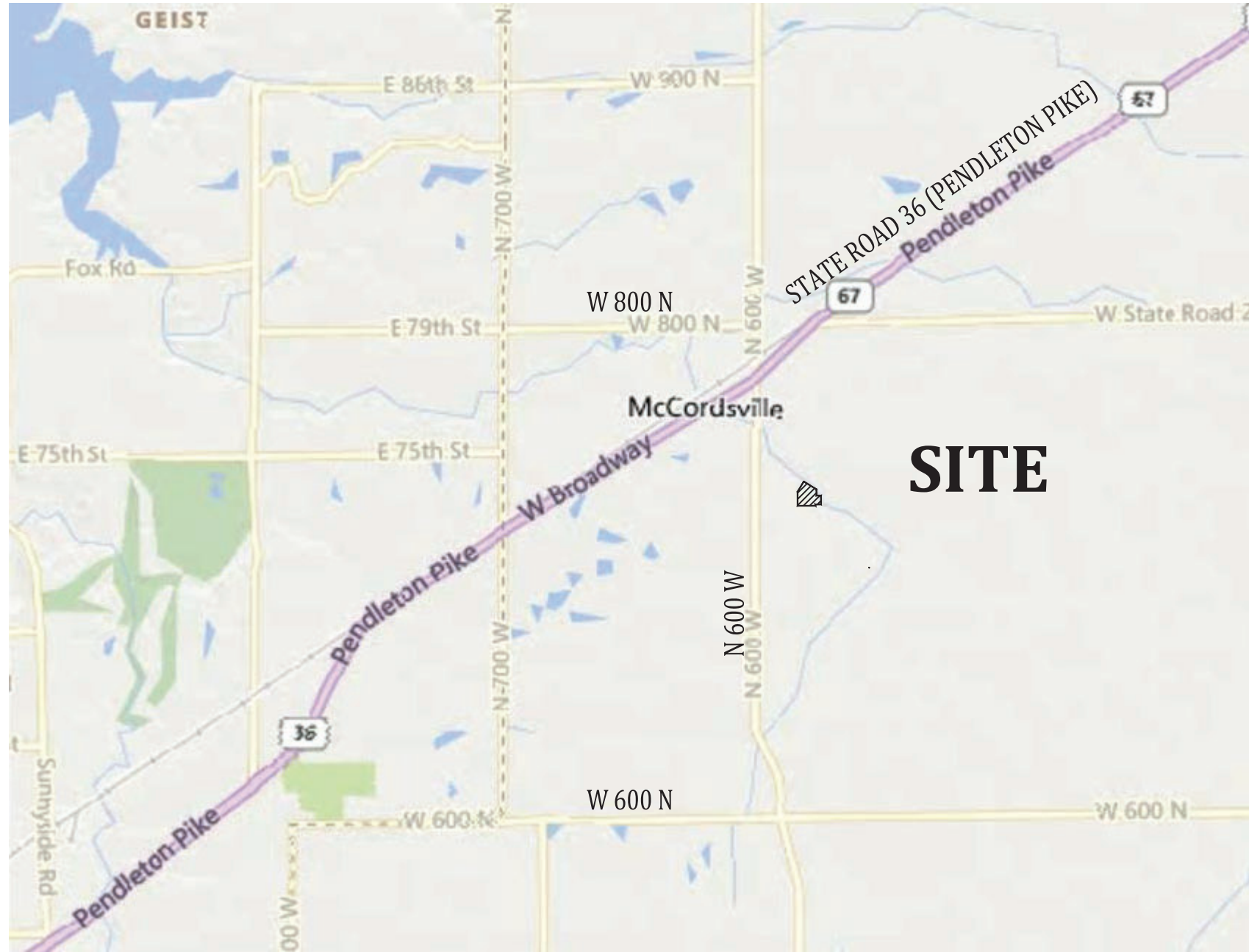


COLONNADE - SECTION 3B

SECTION 25, TOWNSHIP 17N, RANGE 5E,
VERNON TOWNSHIP, HANCOCK COUNTY, CR W 700 N & CR N 600W
ZONED: PUD

PLANS PREPARED FOR:
COLONNADE DEVELOPER, LLC
ATTN.: TIMOTHY J. WALTER, P.E.
VICE PRESIDENT - DEVELOPMENT
9757 WESTPOINT DRIVE, SUITE 600
INDIANAPOLIS, IN 46256
PH.: 317-863-2057
EMAIL: TWALTER@PLATINUM-PROPERTIES.COM



VICINITY MAP
NO SCALE

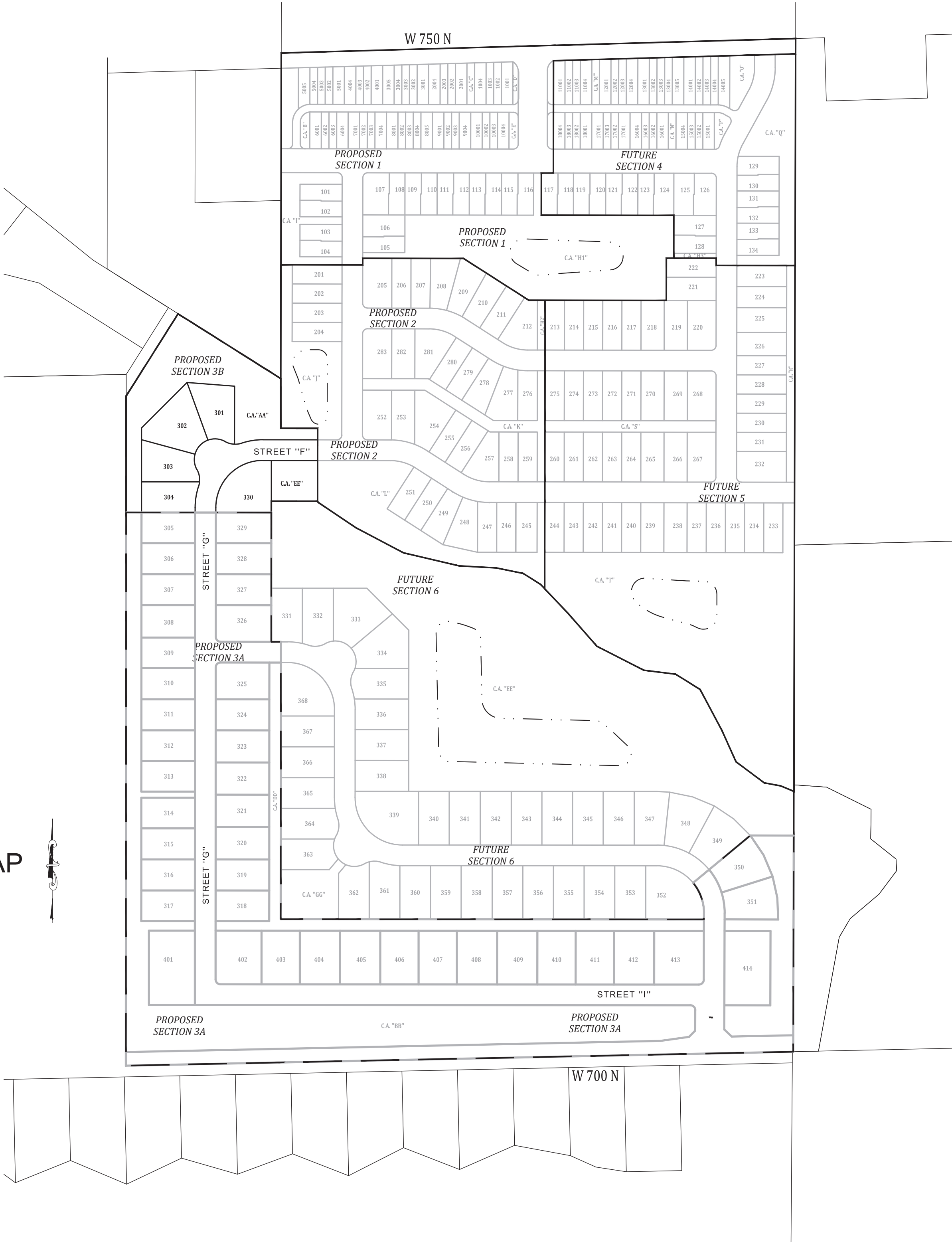


LOCATION MAP
NO SCALE

OPERATING AUTHORITIES & AREA UTILITIES

GAS CITIZENS ENERGY GROUP 2150 Dr. Martin Luther King Jr St Indianapolis, IN 46200 317-927-4684 Richard Miller, Jr.	SANITARY, STORM, & WATER MCCORDSVILLE PUBLIC WORKS 5759 W. Broadway McCordsville, IN 46055 317-335-3604 Mark Wilsman	CABLE TELEVISION BRIGHT HOUSE NETWORKS 3030 Roosevelt Ave Indianapolis, IN 46218 317-632-9077 Jason Kirkman
GAS CENTERPOINT ENERGY 16000 Allisonville Road Noblesville, Indiana 46061 317-776-5532 Sandra Casey	TELEPHONE AT&T - DISTRIBUTION 240 N. Meridian St., Room 1791 Indianapolis, IN 46204 317-295-3050 Matt Spindler	WATER CITIZENS ENERGY GROUP - WATER CWA Authority, Inc. 2150 Dr. Martin Luther King, Jr. Street Indianapolis, IN 46202 317-927-4351 Attn.: Brad Hostetler
ELECTRIC INDIANAPOLIS POWER & LIGHT COMPANY 317-261-5203 Rhonda Williams	TELEPHONE NINE STAR CONNECT 2243 E. Main St Greenfield, IN 46140 317-323-2074 Eric Meyer	SCHOOL DISTRICT MT. VERNON COMM. SCH. CORP. 1806 West State Road 234 Fortville, IN 46040 Dr. Shane Robbins
FIRE DEPARTMENT MCCORDSVILLE FIRE STATION 7580 Form Street McCordsville, IN 46055 317-335-2268 Attn.: Tom Alexander	POLICE MCCORDSVILLE POLICE DEPT. 6280 West CR 800 North McCordsville, IN 46055 317-335-2612	CABLE TELEVISION COMCAST CABLEVISION 5330 East 65th Street Indianapolis, IN 46220 317-774-3384 Matt Stringer

SITE MAP
1"=200'



SHEET INDEX	
SHEET NO	DESCRIPTION
C100	TITLE SHEET
C101	OVERALL PLAN
C110	EXISTING TOPOGRAPHY
C120	SIDEWALK STREET LIGHT, AND SIGN PLAN
C130	GRADING AND DRAINAGE PLAN
C140	OVERFLOW PLAN
C150	SSD PLAN
C200	STREET PLAN & PROFILE
C220	INTERSECTION DETAILS
C300	SANITARY SEWER PLAN
C301	SANITARY SEWER PLAN & PROFILES
C310	CULVERT PLAN
C320	WATER MAIN PLAN (CITIZENS WATER)
C400	INITIAL EROSION CONTROL PLAN
C410	FINAL EROSION CONTROL PLAN
C420-C421	STORM WATER POLLUTION PREVENTION PLAN (SWPPP)
C500	EROSION CONTROL DETAILS
C503	STORM DETAILS
C525	CITIZENS WATER DETAILS
	TOWN OF MCCORDSVILLE STANDARDS
	PLAT

REVISIONS		
NUMBER	DESCRIPTION	DATE

SECTION 3A STREET NAME CHART

STREET	NAME	STREET LENGTH
F	CLOISTER LANE	260.6'
G	PORTICO LANE	130.7'

PROJECT SUMMARY

TOTAL AREA OF SECTION 3B:	4.35 ACRES ±
NUMBER OF LOTS:	5
TOTAL AREA OF LOTS:	1.67 ACRES ±
NUMBER OF COMMON AREAS:	2
TOTAL AREA OF COMMON AREAS:	2.08 ACRES ±
TOTAL LENGTH OF STREETS:	391.3 L.F. OR .07 MILES
TOTAL AREA OF DEDICATED RIGHT-OF-WAY:	0.60 ACRES ±

CONSTRUCTION DOCUMENTS

PROJECT MANAGER: _____ DATE: _____

THESE PLANS ARE NOT TO BE CONSIDERED FINAL OR TO BE UTILIZED FOR CONSTRUCTION UNLESS SIGNED AND DATED BY THE APPROPRIATE BANNING ENGINEERING PROJECT MANAGER.

THESE PLANS ARE NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY, OR A SURVEYOR LOCATION REPORT.

PLANS PREPARED BY:

BANNING ENGINEERING
853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
BUS: (317) 707-3700, FAX: (317) 707-3800
E-MAIL: Banning@BanningEngineering.com
WEB: www.BanningEngineering.com

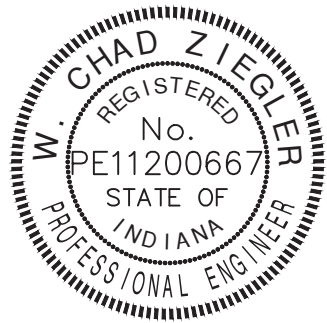
CONTACT: ROBERT "JASON" COYLE

MULTIPLE PROFESSIONALS ARE IN RESPONSIBLE CHARGE FOR THE PREPARATION AND DESIGN OF THIS PLAN SET. BELOW IS A LIST OF THE PROFESSIONALS INVOLVED WITH THIS PROJECT AND THE DISCIPLINES THEY ARE IN RESPONSIBLE CHARGE OF. EACH OF THE PLAN SHEETS BEARS THE SEAL AND SIGNATURE OF THE PROFESSIONAL IN RESPONSIBLE CHARGE FOR THAT SHEET.

- ROBERT JASON COYLE, PROFESSIONAL SURVEYOR, STATE OF INDIANA, PS # LS20900155
SUBDIVISION LAYOUT, STREETS, GRADING AND EROSION CONTROL
- W. CHAD ZIEGLER, PROFESSIONAL ENGINEER, STATE OF INDIANA, PE # PE11200667
SANITARY SEWER, STORM SEWER, DRAINAGE CALCULATIONS AND REPORTS, AND WATER MAIN

CERTIFIED:  04-22-2022

CERTIFIED:  04-22-2022



Date: 04-22-22
Project No: 21177P-S3B
Sheet No:

C100

LAND DESCRIPTION

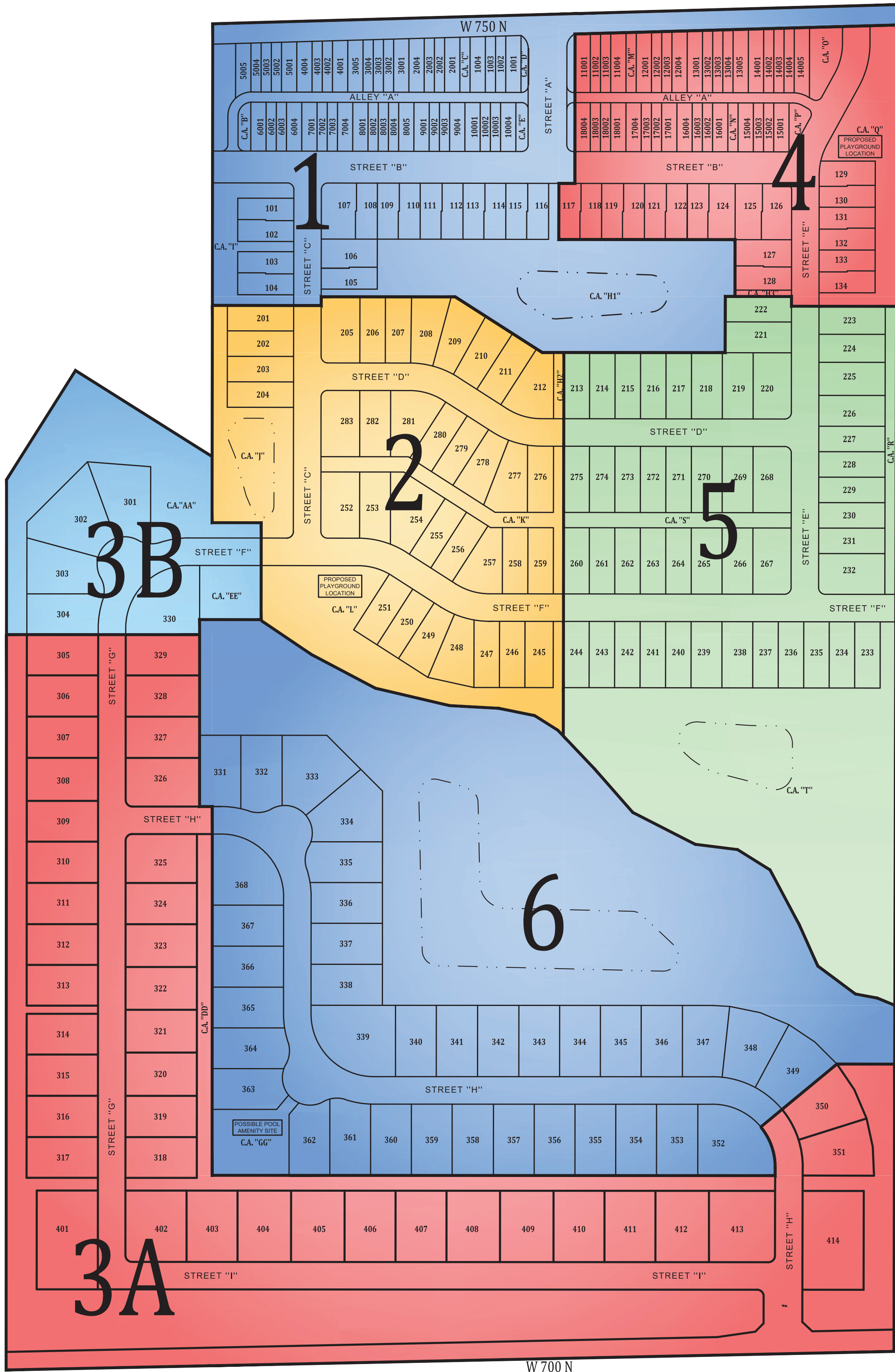
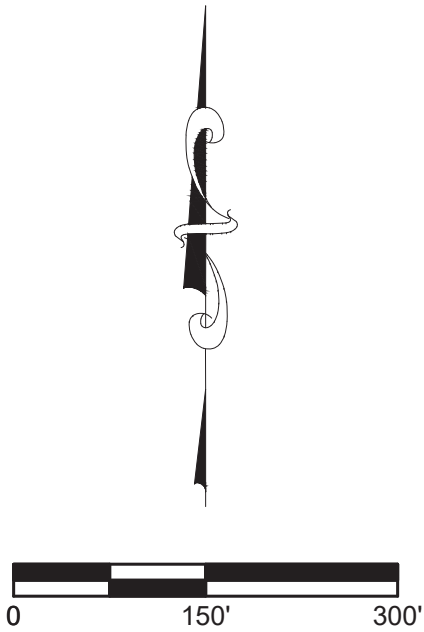
Section 3B

A part of the Southwest Quarter of Section 25, Township 17 North, Range 5 East in Vernon Township, Hancock County, Indiana, and being more particularly described as follows:

COMMENCING at a PK nail marking the Northwest corner of the East Half of said Southwest Quarter; thence South 00 degrees 05 minutes 02 seconds West along the west line of said East Half 849.78 feet to the POINT OF BEGINNING, said point being marked by a 5/8 inch rebar with cap stamped "Banning Eng Firm #0060" (hereinafter referred to as capped rebar) and also being the southeast corner of Lot 1 in Dammann's Minor Subdivision per plat thereof recorded as Instrument Number 030005842 in the Office of the Recorder of said County; thence continue South 00 degrees 05 minutes 02 seconds West along said west line 129.78 feet to a capped rebar; thence South 89 degrees 54 minutes 58 seconds East 96.54 feet to a capped rebar; thence South 00 degrees 05 minutes 02 seconds West 190.19 feet to a capped rebar; thence North 89 degrees 58 minutes 13 seconds West 120.62 feet to a capped rebar; thence South 00 degrees 01 minute 47 seconds West 29.60 feet to a capped rebar; thence North 89 degrees 58 minutes 13 seconds West 379.00 feet to a capped rebar on the east line of the land of Mt. Vernon Community School Corp. as described in Instrument Number 06029899452 in the Office of the Recorder of Hancock County; thence North 00 degrees 01 minute 47 seconds East along the east line of said land of Mt. Vernon Community School Corp. land 304.22 feet to a capped rebar; thence North 32 degrees 16 minutes 36 seconds East 253.46 feet to the south line of said Lot 1 in Dammann's Minor Subdivision, passing through a capped rebar at 235.64 feet; thence South 57 degrees 45 minutes 37 seconds East along said south line 316.91 feet to the POINT OF BEGINNING, containing 4.353 acres, more or less.

STREET NAME CHART

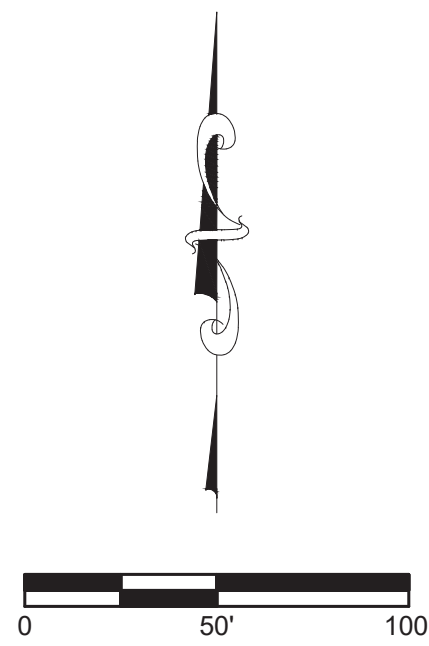
STREET	NAME
ALLEY A	
A	COLONNADE PARKWAY
B	ARCADE BLVD
C	CELLA LANE
D	PALAZZO LANE
E	PERISTYLE LANE
F	CLOISTER LANE
G	PORTICO LANE
H	BELVEDERE LANE
I	CUPOLA LANE





Project No: 21177-S3B	
Sheet No: C101	
OVERALL PLAN COLONNADE - SECTION 3B VERNON TOWNSHIP HANCOCK COUNTY, INDIANA	
 <i>Robert Jason Covey</i>	
BANNING ENGINEERING 853 COLUMBIA ROAD, SUITE #101 PLAINFIELD, IN 46168 BUS: (317) 707-3700 FAX: (317) 707-3800 E-MAIL: Banning@BanningEngineering.com WEB: www.BanningEngineering.com	
Designed: JJB	Sym: JJB
Drawn: JJB/ACL	Revisions:
Checked: RJC	Date: 04-22-2022
Scale: 1"= 150'	
Date: 04-22-2022	

STREET NAME CHART

STREET	NAME
ALLEY A	
A	COLONNADE PARKWAY
B	ARCADE BLVD
C	CELLA LANE
D	PALAZZO LANE
E	PERISTYLE LANE
F	CLOISTER LANE
G	PORTICO LANE
H	BELVEDERE LANE
I	CUPOLA LANE

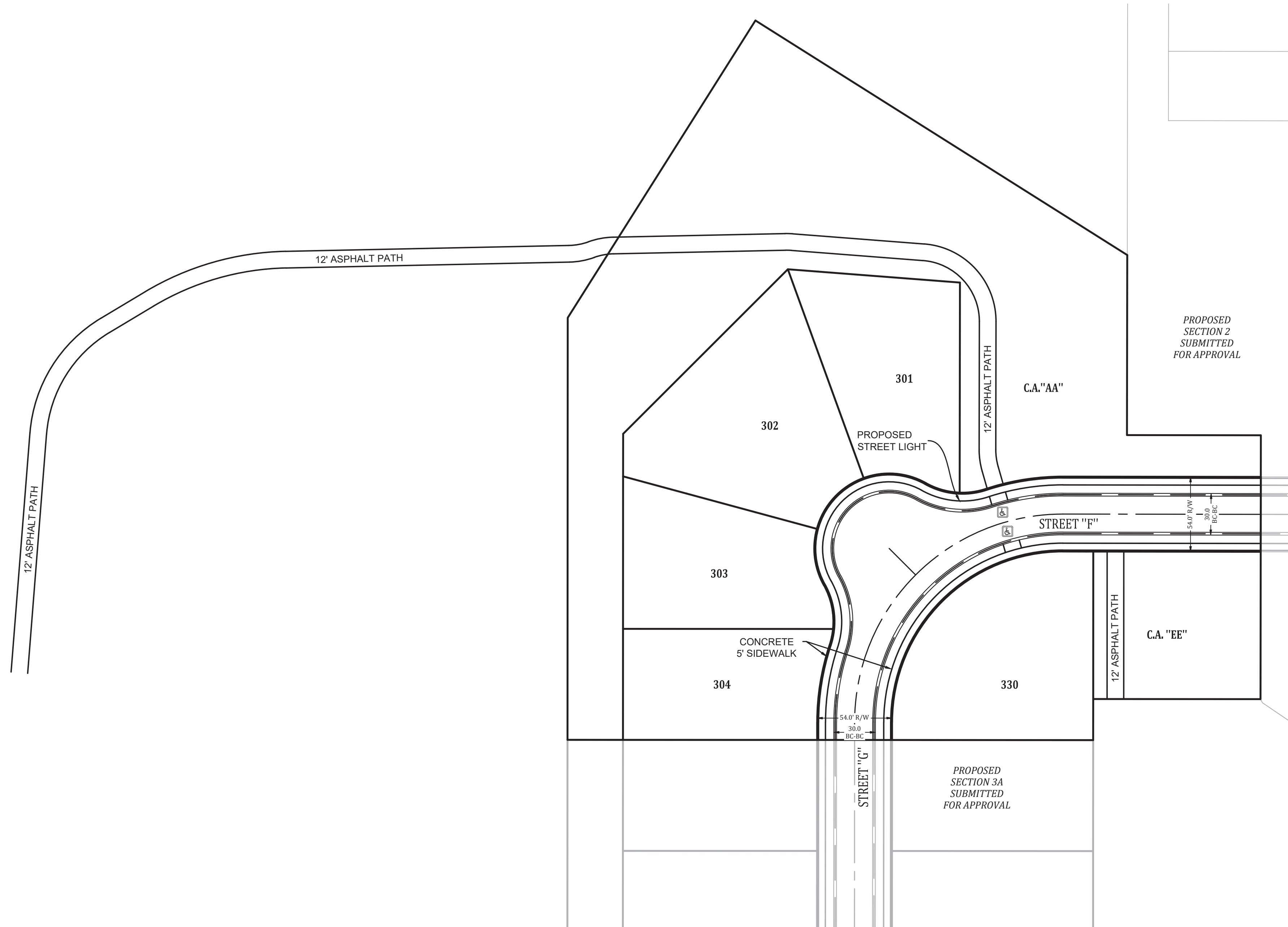


LEGEND

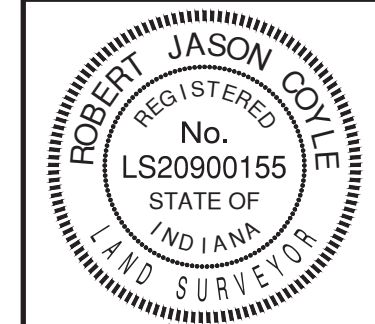
-  CURB RAMP LOCATION
(SEE HANCOCK COUNTY STANDARDS
FOR TACTILE STRIP DETAIL)
-  STREET LIGHT (PER TOWN OF McCORDSVILLE)

NOTES:

1. SEE TOWN OF McCORDSVILLE STANDARDS FOR STANDARD INTERNAL SIDEWALK SPECIFICATIONS.
2. REGULATORY / WARNING SIGNS AND PAVEMENT SHALL BE PER TOWN OF McCORDSVILLE AND MUTCD.
3. ANY TREE REMOVAL SHALL BE APPROVED BY DEVELOPER PRIOR TO CONSTRUCTION.
4. LANDSCAPING PLAN BY OTHERS
5. INSTALL EXTERIOR LIGHTING PER SECTION 6.12 FROM THE TOWN OF McCORDSVILLE ZONING ORDINANCE



SIDEWALK, SIGNAGE, AND LIGHT PLAN
COLONNADE - SECTION 3B
VERNON TOWNSHIP
HANCOCK COUNTY, INDIANA



BANNING
ENGINEERING

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WEB: www.BanningEngineering.com

Project No:	21177-S3E
Sheet No:	

PLAN NOTES:

- (A) LOCAL ROAD PAVEMENT SECTION D=12"
SEE TOWN OF McCORDSVILLE STANDARDS
ON SHEET 2 OF 10
- (B) 2' CONCRETE ROLL CURB & GUTTER
SEE TOWN OF McCORDSVILLE STANDARDS
ON SHEET 2 OF 10
- (C) CURB RAMP. SEE TOWN OF McCORDSVILLE
STANDARDS ON SHEET 5 OF 10

NOTES:

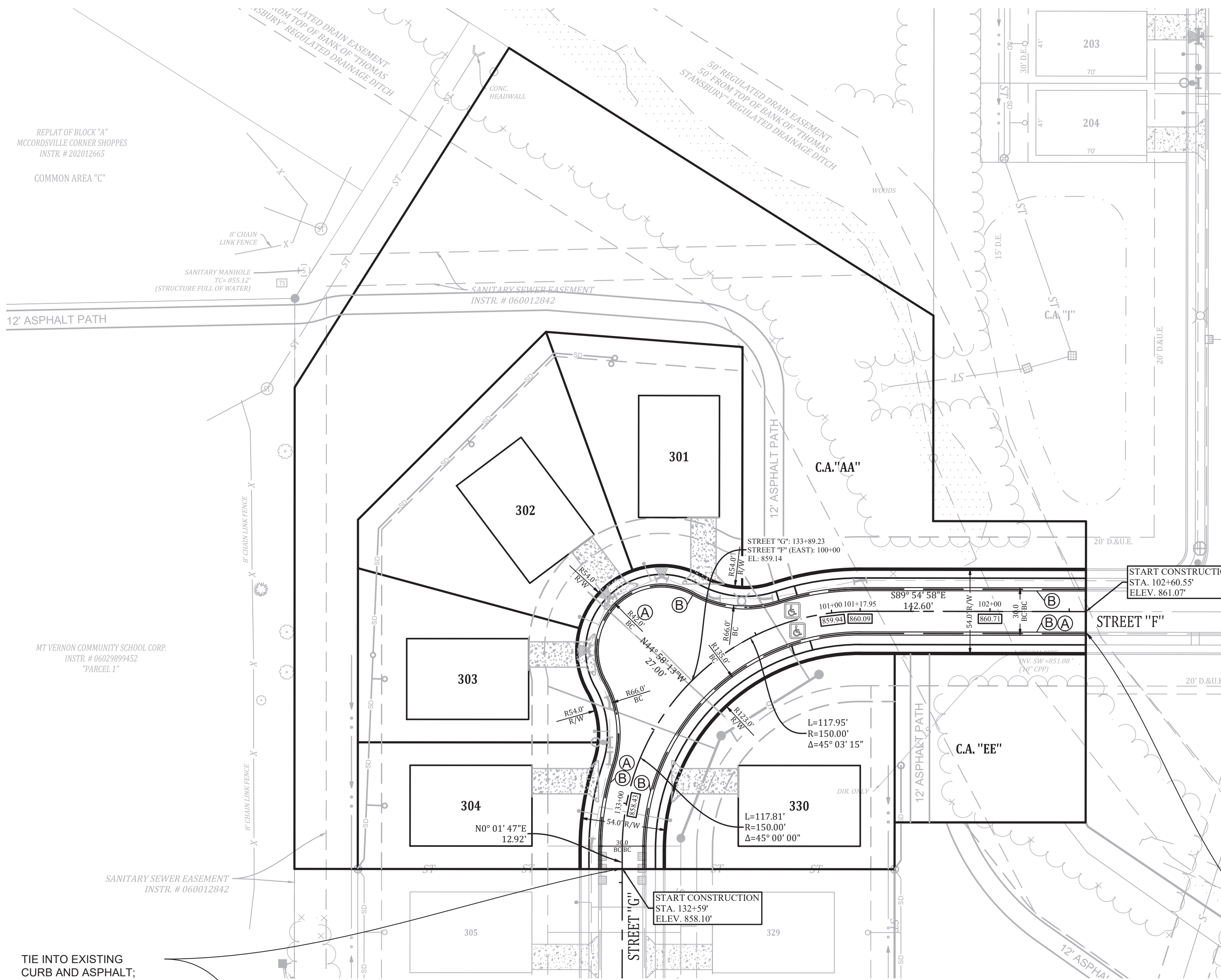
1. TEMPORARY TRAFFIC CONTROL DURING
CONSTRUCTION TO CONFORM TO APPLICABLE
LOCAL AND STATE STANDARDS.
2. ALL CONSTRUCTION ACTIVITY ON THIS SITE TO
BE PERFORMED IN COMPLIANCE WITH
APPLICABLE O.S.H.A. STANDARDS FOR
WORKER SAFETY.
3. IT SHALL BE THE CONTRACTORS
RESPONSIBILITY TO FIELD VERIFY ALL UTILITIES
BEFORE CONSTRUCTION BEGINS.
4. BACK OF CURB GRADES ARE NOT EQUAL TO
THE PROFILE GRADE.
5. SLOPES ACROSS CURB RAMPS SHALL BE LESS
THAN 2%.
6. SEE SHEET C220 FOR TYPICAL ROAD SECTIONS.
7. ANY TREE REMOVAL SHALL BE APPROVED BY
THE DEVELOPER PRIOR TO CONSTRUCTION.

EXISTING LEGEND

- 770 --- EXISTING CONTOUR: MAJOR
780 --- EXISTING CONTOUR: MINOR
OHU --- OVERHEAD UTILITY LINES
--- POWER POLE
--- LIGHT POLE
--- GUY WIRE
--- ELECTRIC METER
--- ELECTRIC TRANSFORMER
--- UNDERGROUND CABLE TV
--- UNDERGROUND FIBER OPTIC
--- UNDERGROUND TELEPHONE
--- TELEPHONE SPLICE BOX
--- WATER LINE
--- FIRE HYDRANT
--- WATER VALVE
--- GAS LINE
--- GAS VALVE
--- SANITARY SEWER LINE
--- SANITARY SEWER MANHOLE
--- CLEAN-OUT
--- STORM PIPE
--- STORM MANHOLE
--- STORM INLETS
--- FLOWLINE
--- FENCELINE
--- SIGN
--- MAILBOX
--- TREELINE / EDGE OF WOODS
--- BOULDER
--- BUSH
--- TREE
- ASPHALT
GRAVEL
CONCRETE

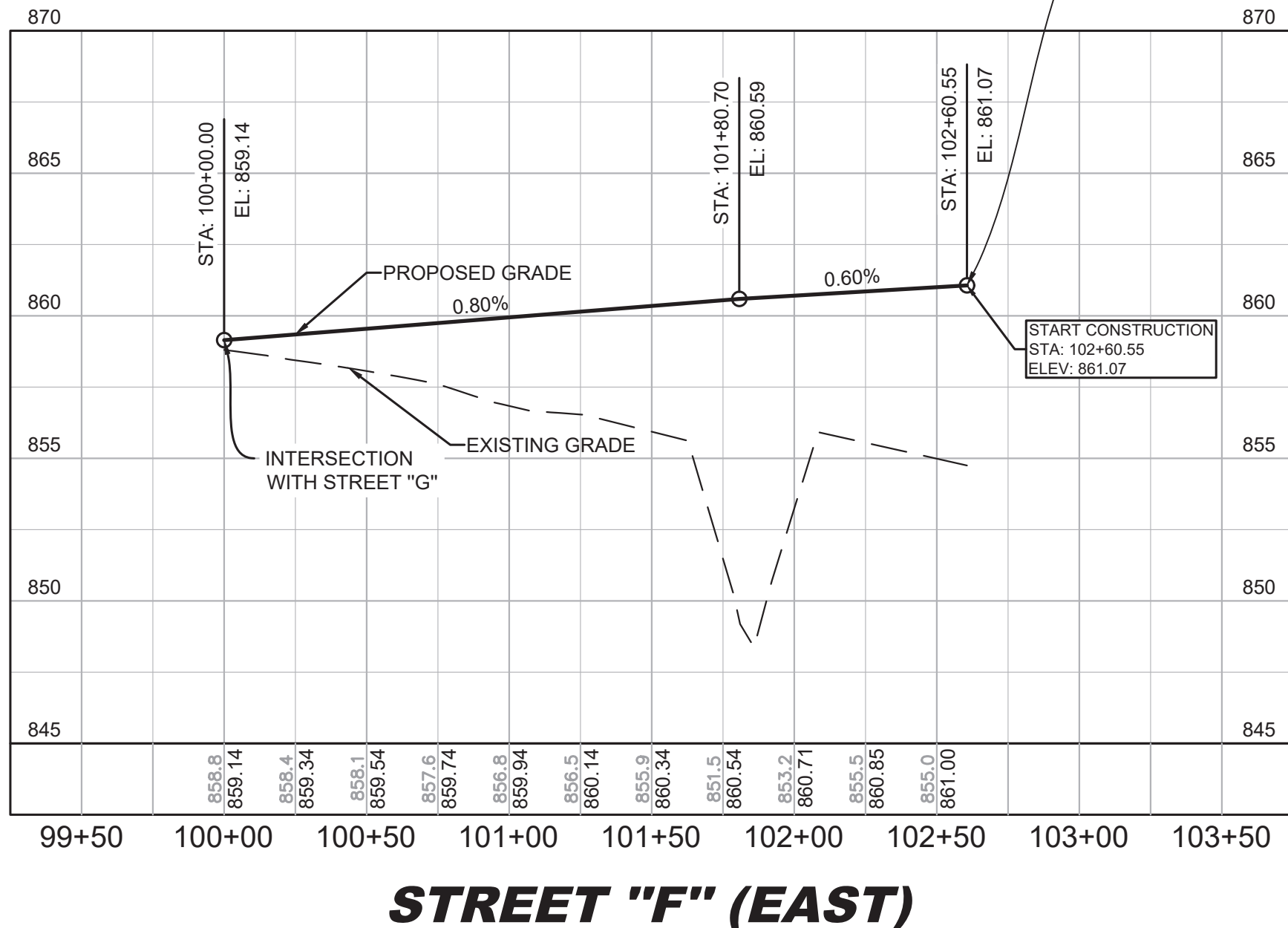
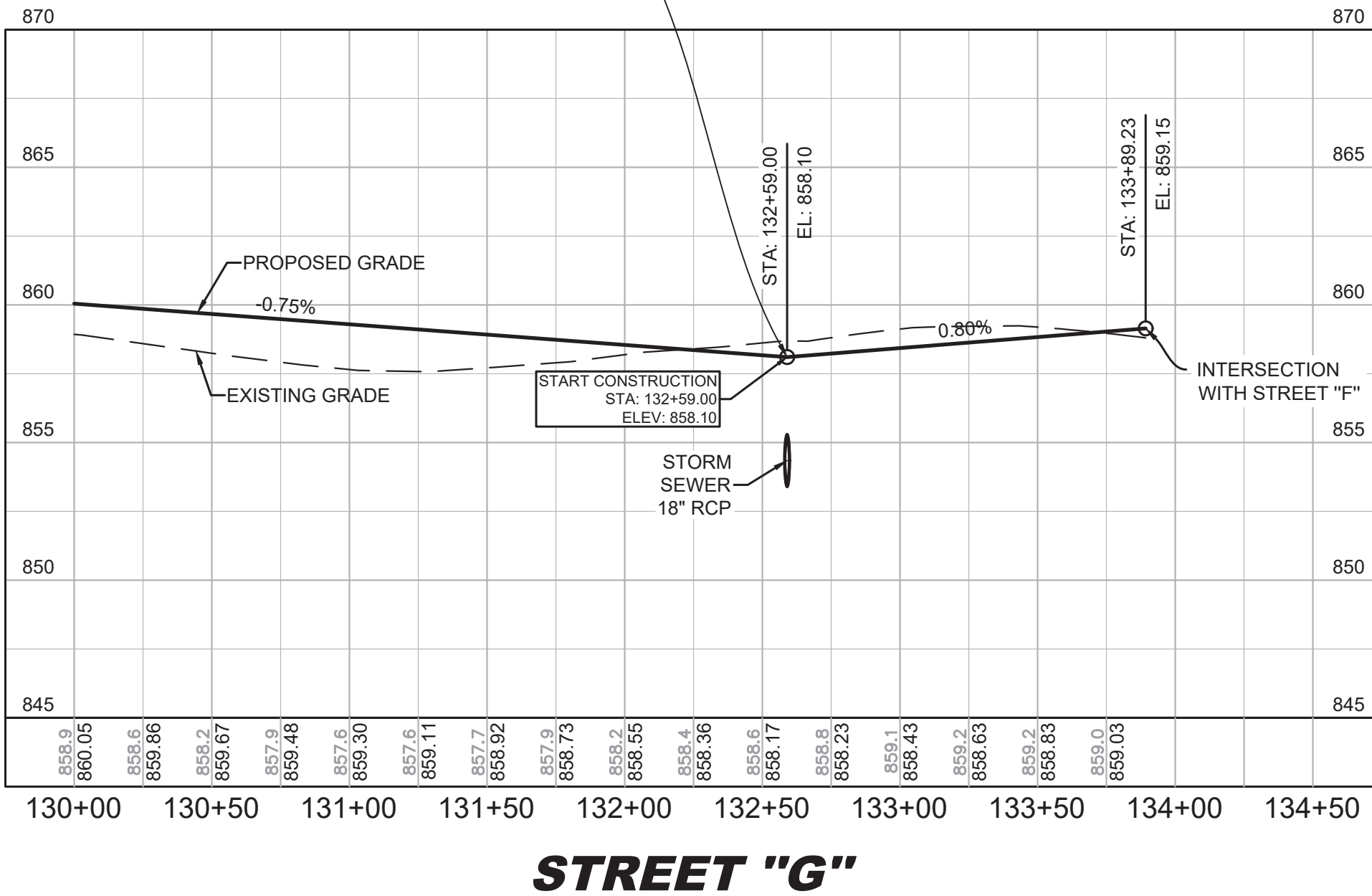
PROPOSED LEGEND

- CURB W/UNDERDRAIN
--- STORM SEWER PIPE
--- STORM SEWER MANHOLE
--- STORM SEWER INLETS
--- STORM SEWER CURB INLET
--- STORM SEWER END-SECTION
--- SUBSURFACE DRAIN
--- SSD LATERAL
--- SANITARY FORCEMAIN
--- SANITARY SEWER PIPE
--- SANITARY SEWER MANHOLE
--- WATER LINE - PROPOSED
--- BEND
--- BLOWOFF ASSEMBLY
--- CROSS, TEE
--- FIRE HYDRANT W/ VALVE
--- KICKER BLOCK
--- REDUCER
--- AIR RELEASE VALVE
--- WATER METER
--- WATER STOP
--- WATER VALVE
- LOT NUMBER
PAD ELEVATION
- GRADE BOX
GRADE BOX - MATCH EXISTING
GRADE BOX - MATCH EXISTING PAVEMENT
GRADE BOX - MATCH NEW PAVEMENT/SHOULDER
- EMERGENCY FLOOD ROUTING
PONDING AREAS

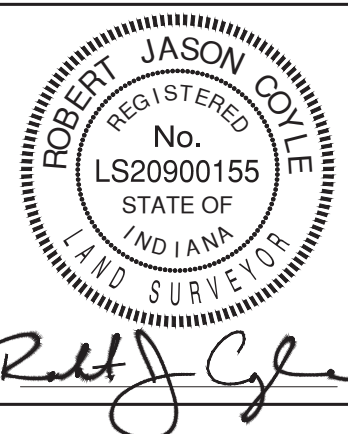


STREET NAME CHART

STREET	NAME
ALLEY A	COLONNADE PARKWAY
B	ARCADE BLVD
C	CELLA LANE
D	PALAZZO LANE
E	PERISTYLE LANE
F	CLOISTER LANE
G	PORTICO LANE
H	BELVEDERE LANE
I	CUPOLA LANE



STREET PLAN & PROFILE
COLONNADE - SECTION 3B
VERNON TOWNSHIP
HANCOCK COUNTY, INDIANA



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WEB: www.BanningEngineering.com

Project No: 21177-S3B
Sheet No:

CULVERT DESIGN PENDING
WILL SUBMIT ON A LATER DATE

Project No: 21177-S3B
Sheet No:

C310

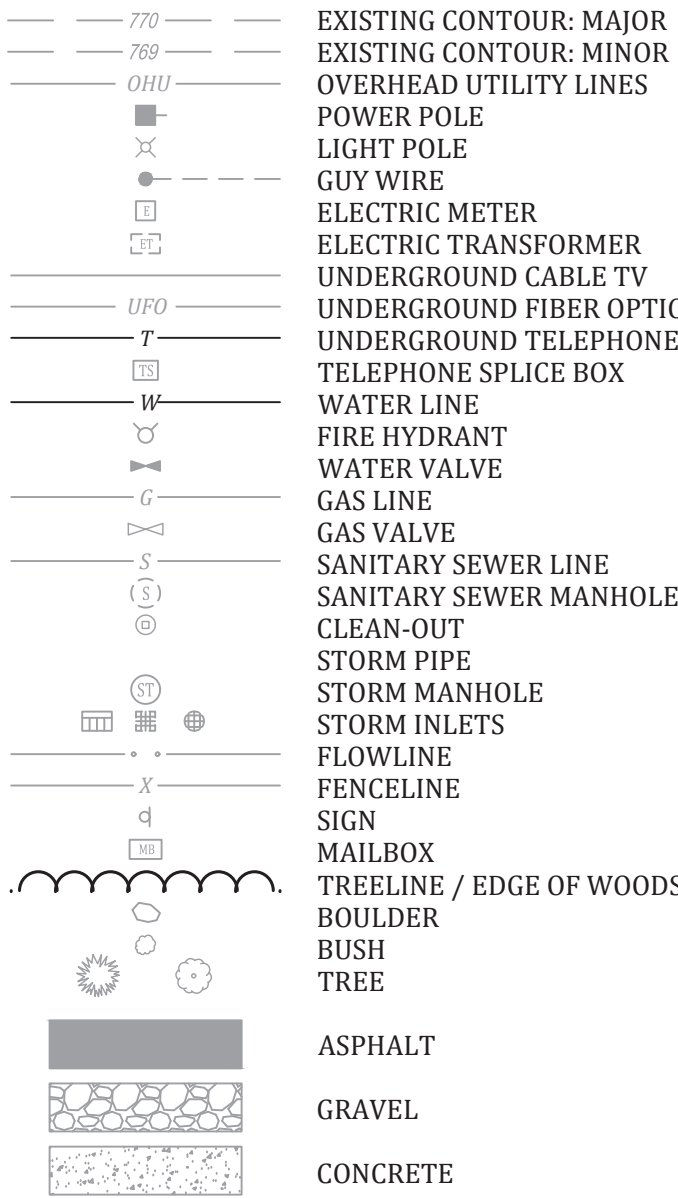
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ENGINEERING
853 COLUMBIA ROAD, SUITE #101
PLAINFIELD, IN 46168
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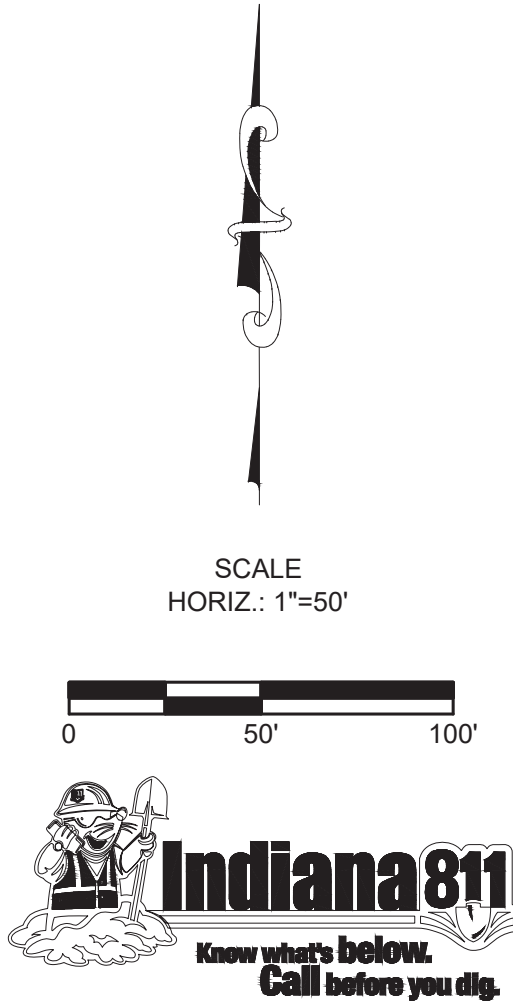
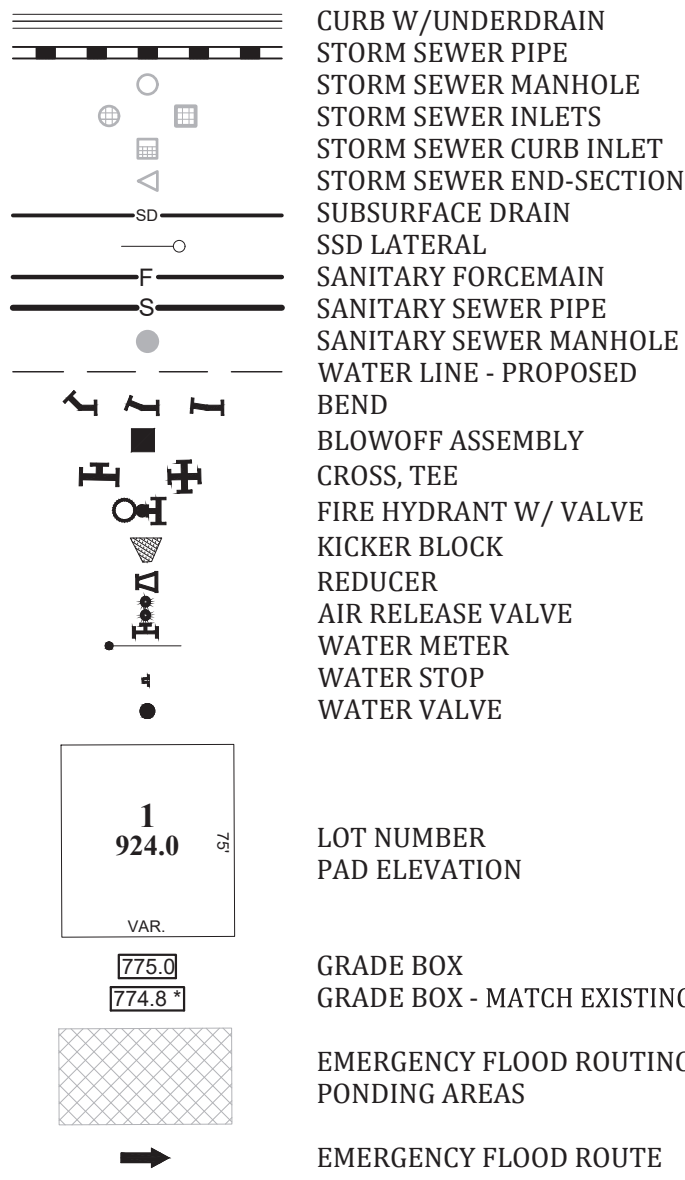
CULVERT PLAN
COLONNADE - SECTION 3B
VERNON TOWNSHIP
HANCOCK COUNTY, INDIANA

Designed:	Sym.	Revisions	Date
Drawn: JJB			
Checked: JJB / AGJ			
Scale: RJC			
Date: 1"= 50'			
Date: 04-22-2022			

EXISTING LEGEND



PROPOSED LEGEND



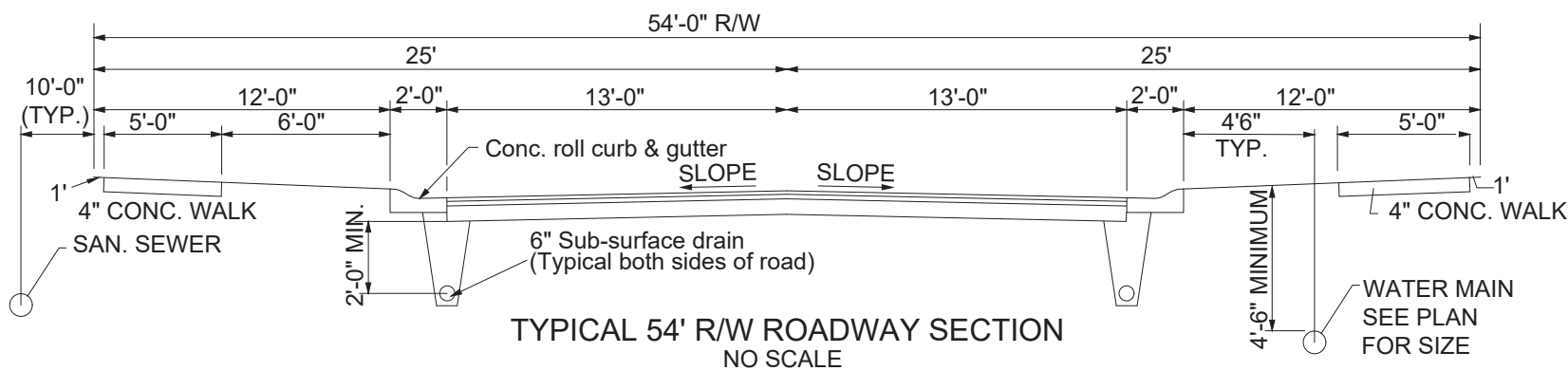
GENERAL NOTES:

1. CONTRACTOR MUST HAVE & FOLLOW CITIZENS ENERGY GROUP WATER STANDARDS LATEST VERSION.
2. MINIMUM COVER OVER TOP OF ALL WATER MAINS TO BE 54" FROM FINISH GRADE.
3. THERE IS TO BE A MINIMUM OF 10 FEET HORIZONTAL SEPARATION AND 18 INCHES VERTICAL SEPARATION BETWEEN THE SEWER AND WATER LINE. SYMBOLS ARE LARGER THAN ACTUAL SIZE.
4. CONTRACTOR TO VERIFY LOCATION OF EXISTING WATER MAIN PRIOR TO INSTALLATION.
5. STANDARD PRACTICE "O" INSTALLATION OF RESTRAINTS MUST BE FOLLOWED DURING CONSTRUCTION OF WATER MAIN. CONSULT WITH CEG INSPECTOR WITH ANY QUESTIONS.
6. ALL FIRE HYDRANTS ARE REQUIRED TO HAVE STORZ CONNECTIONS.
7. FULL DEPTH GRANULAR BACKFILL IS REQUIRED ON ALL ROAD CROSSINGS. CITIZENS NOW ALLOWS THE RE-USE OF TEMPORARY HYDRANTS FROM PREVIOUS SECTIONS FOR PROPOSED HYDRANTS (PENDING INSPECTOR APPROVAL). TEMPORARY HYDRANTS CAN BE RE-USED AS NEW HYDRANTS IF APPROVED BY THE INSPECTOR DURING CONSTRUCTION. IF THE HYDRANT WILL NOT BE RE-USED, RETURN TO CITIZENS.
8. WATER VALVES ARE TO BE PLACED IN GRASS AREAS.
9. METER PIT LID MATERIAL SHALL MEET THE REQUIREMENTS IN SECTION 8.23 OF THE WATER STANDARDS MANUAL.

CITIZENS WATER PROJECT LEGEND

PROJECT NAME: COLONNADE, SECTION 3B

PROJECT NUMBER J-22-XXX				
JOB#	STREET NAME	PIPE TYPE	SIZE	LNFT
1	CUPOLA LANE	PVC	8"	308
2	PORTICO LANE	PVC	8"	164
Total Main LNFT				472
5	SINGLE SERVICE LINES	PE	1"	92



Project Name COLONNADE - SECTION 3B
Project Number J-22-XXX
Dist. Map No. 846
Map Grid No. IN30_0403
Lots 5
Tax Code 30016
Pressure Dist CUMBERLAND
Drafter AGL
Date 04-22-22

