

EXISTING LEGEND

| | | | |
|--|--------------------|--|-------------------------|
| | Beehive Inlet | | Telephone Marker |
| | Combination Pole | | Telephone Pedestal |
| | Fire Hydrant | | Telephone Pole |
| | Guy Wire | | Temporary Bench Mark |
| | Mail Box | | Water Valve |
| | Power Pole | | Buried Gas Line |
| | Sign | | Buried Telephone Line |
| | Stand Pipe | | Overhead Electric Line |
| | Stump | | Overhead Telephone Line |
| | Telephone Handhole | | |

BENCHMARK DATA

BENCHMARK INFORMATION (NAVD 88 DATUM)

TBM #80
TOP OF MAG SPIKE 1' UP WEST SIDE BROKEN OFF POWERPOLE LOCATED ±5' EAST OF 500 WEST AND ±15' SOUTH OF NORTH DRIVEWAY OF RESIDENCE 9547.
ELEV: 856.09

TBM #81
TOP OF CUT "X" ON EAST MOST MOUNT BOLT OF ALUMINUM POWERPOLE LOCATED ±15' WEST OF 500 WEST AND OPPOSITE ELECTRIC SUB STATION ENTRANCE.
ELEV: 855.77

TBM #82
TOP OF CUT "X" ON EAST MOST BONNET BOLT ON THE TOP FLANGE OF FIRE HYDRANT LOCATED IN THE SOUTHWEST QUADRANT OF 500 WEST AND 1000 NORTH.
ELEV: 853.55

TBM #83
TOP OF MAG SPIKE 1' UP ON THE SOUTH SIDE OF COMBINATION POLE LOCATED ±20' WEST OF GEORGIA ROAD AND ±50' NORTH OF 1000 NORTH.
ELEV: 854.91

TBM #84
TOP OF CUT "X" ON SOUTH MOST BONNET BOLT ON THE TOP FLANGE OF FIRE HYDRANT LOCATED ±70' NORTH OF 1000 NORTH AND AT THE WEST END OF STEEPLE CHASE SUBDIVISION.
ELEV: 862.12

GENERAL NOTES:

- CONTRACTOR SHALL PROTECT & NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE & DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.

!! CAUTION !!

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CALL TOLL FREE "811" OR 1-800-382-5544
— INDIANA UNDERGROUND —

SILVERTHORNE HOMES
9225 HARRISON PARK CT
INDIANAPOLIS, IN 46216

9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

HAVEN PONDS
PRIMARY PLAT

E 96TH ST &
C.R. N 500 W
MCCORDSVILLE, IN

CERTIFIED BY
Joshua H. Crisler

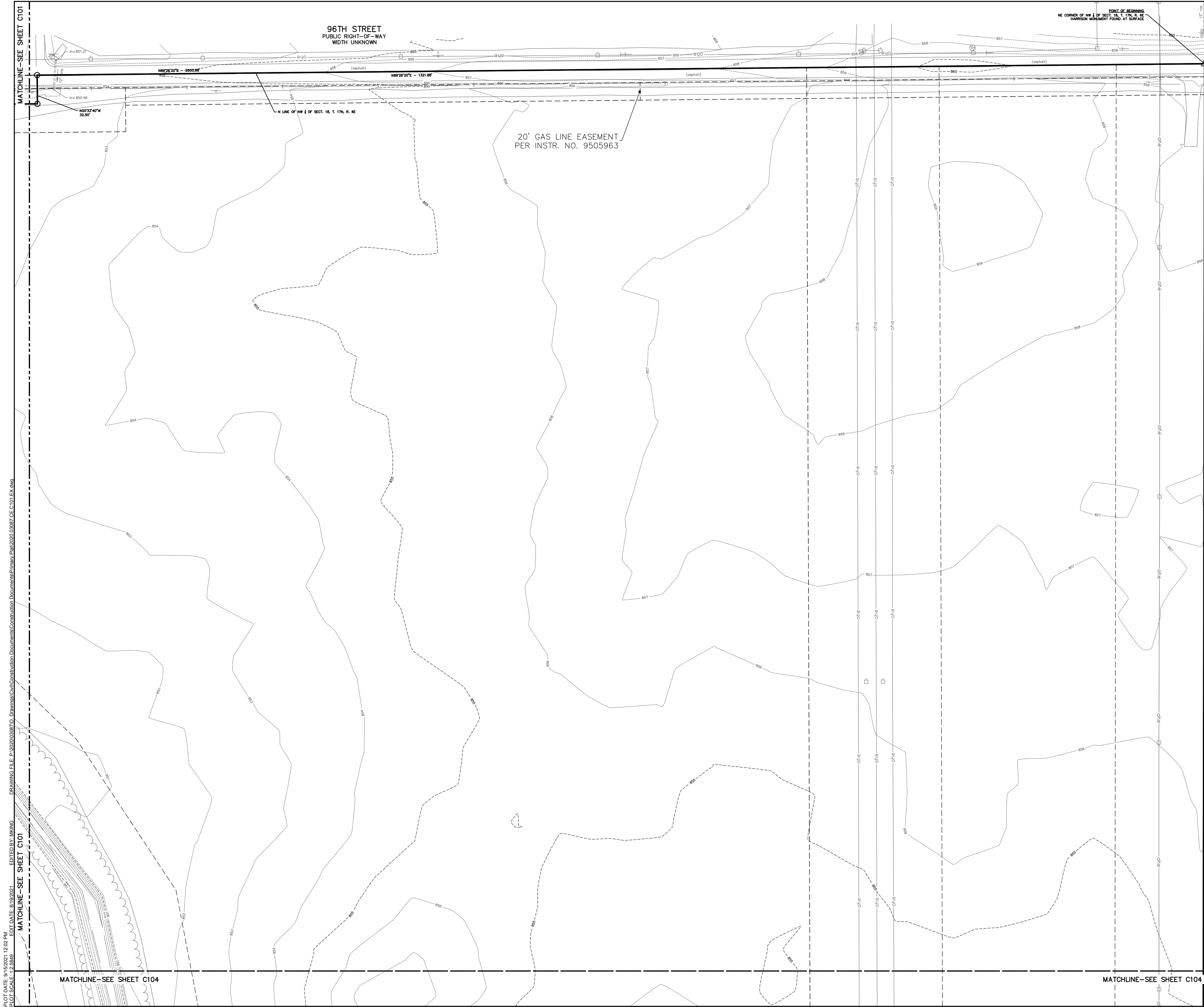
| ISSUANCE INDEX | | |
|--------------------------------|--|--|
| DATE: 8/20/2021 | | |
| PROJECT PHASE: PRIMARY PLAT | | |

| REVISION SCHEDULE | | |
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Project Number 2020.03087

EXISTING TOPOGRAPHY

C101



SCALE: 1"=50'

EXISTING LEGEND

| | | | |
|--|--------------------|--|-------------------------|
| | Beehive Inlet | | Telephone Marker |
| | Combination Pole | | Telephone Pedestal |
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Joshua H. Orsborn

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GENERAL NOTES:

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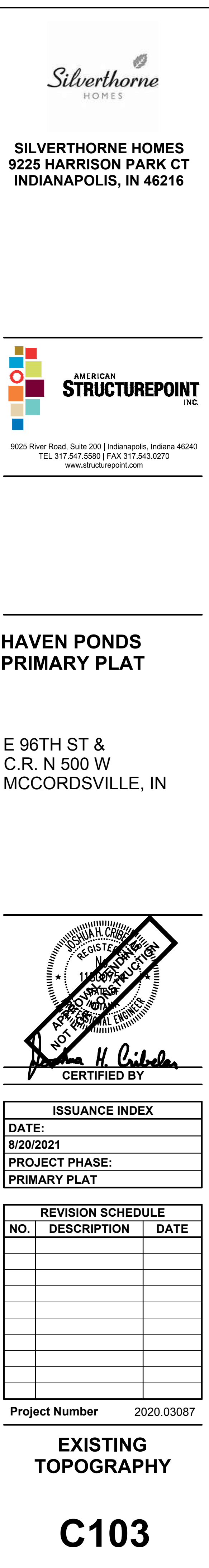
CALL TOLL FREE "811" OR 1-800-382-5544
— INDIANA UNDERGROUND —

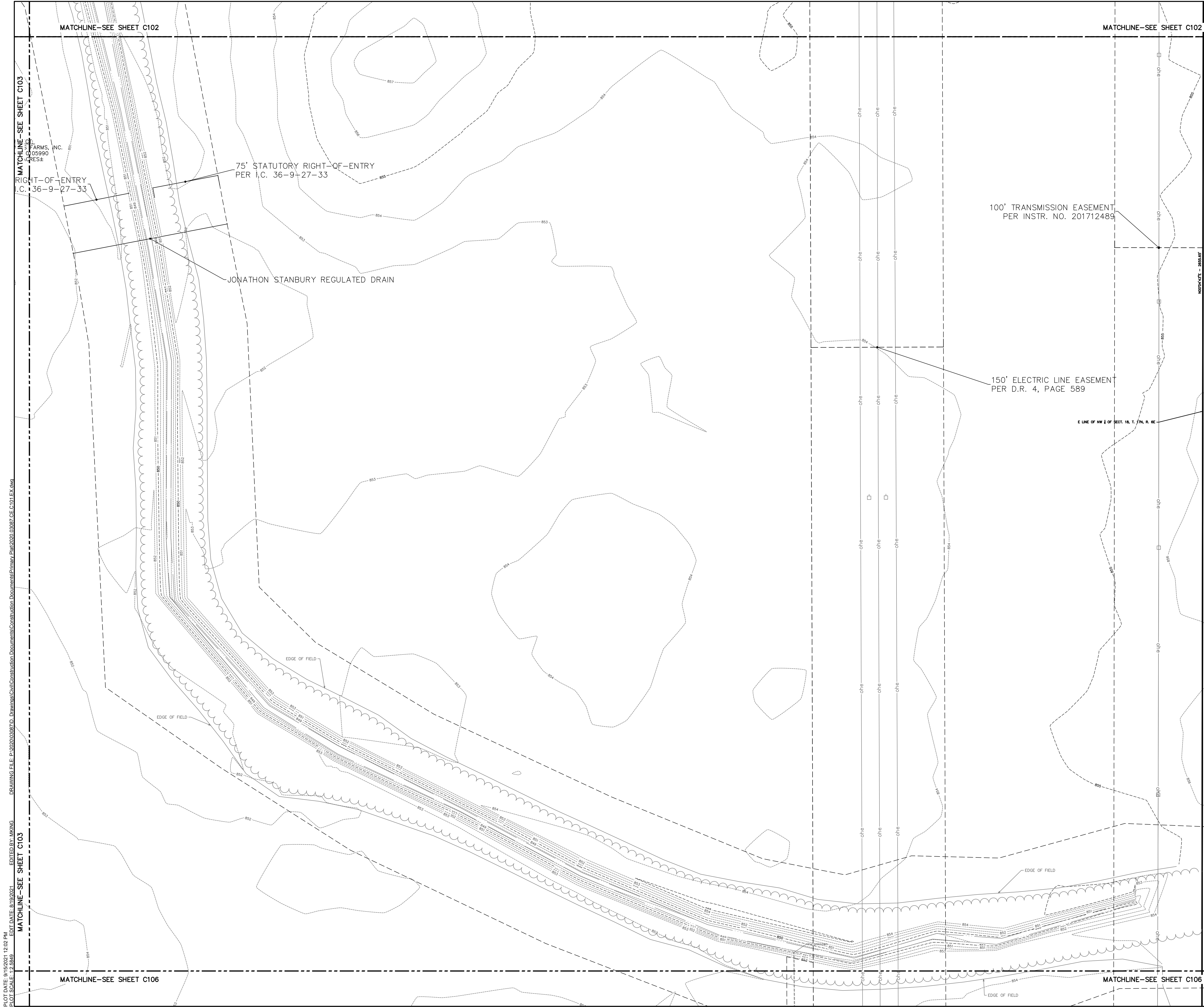
Project Number 2020.03087

EXISTING TOPOGRAPHY

C102

9/12/2021 12:02 PM
PLOT DATE: 9/12/2021 12:02 PM
EDIT DATE: 8/19/2021
DRAWING FILE: P:\2020\03087\0 Drawing\Civil\Construction Documents\Construction\Firm\2020.03087.CE.C101.EX.dwg
EDITED BY: LKING
MATCHLINE-SEE SHEET C101
MATCHLINE-SEE SHEET C104





SCALE: 1"=50'

EXISTING LEGEND

| | | | |
|--|--------------------|--|-------------------------|
| | Beehive Inlet | | Telephone Marker |
| | Combination Pole | | Telephone Pedestal |
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C.R. N 500 W
MCCORDSVILLE, IN

CERTIFIED BY
Joshua H. Crisler

| ISSUANCE INDEX | | |
|----------------|--------------|--|
| DATE: | 8/20/2021 | |
| PROJECT PHASE: | PRIMARY PLAT | |

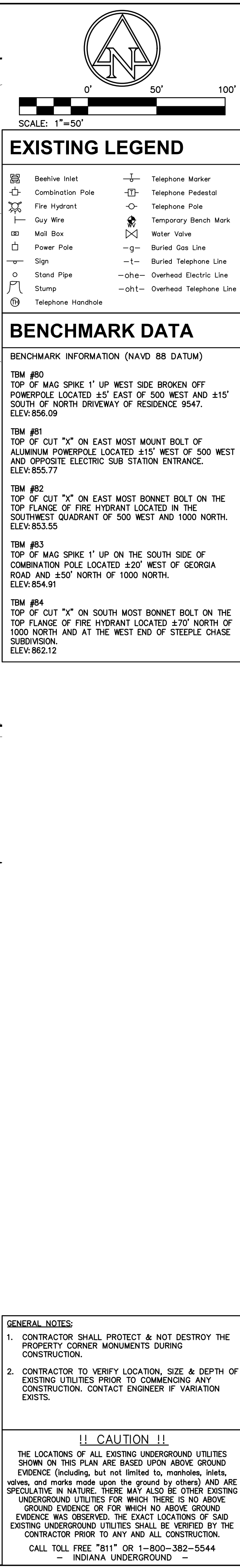
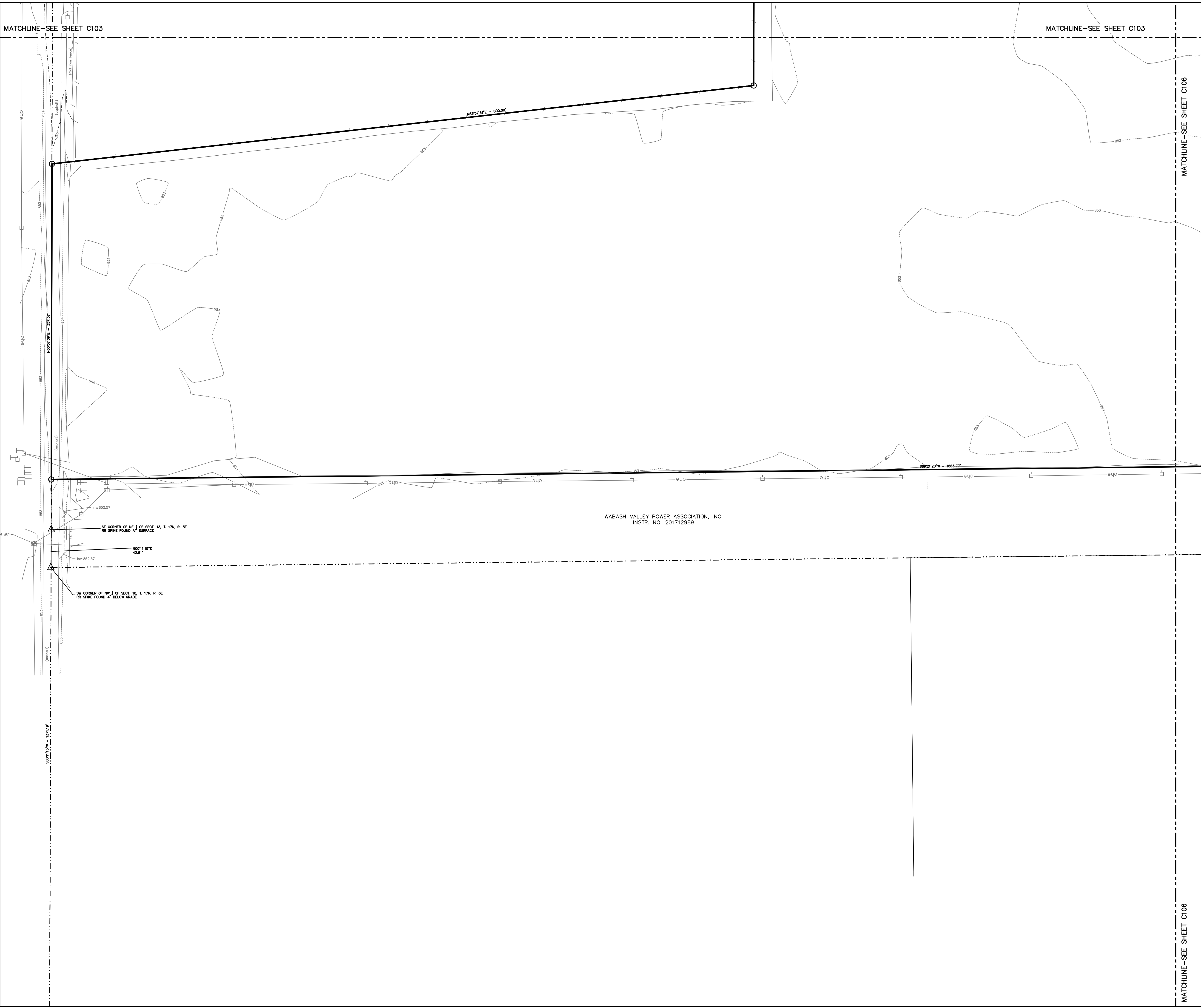
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Project Number 2020.03087

EXISTING TOPOGRAPHY


C104

PLOT DATE: 9/15/2021 12:02 PM
PLOT SCALE: 1"=50'
DRAWING FILE: P:\2020\03087\0 Drawing\Civil\Construction Documents\Primary Plat\2020.03087.CE.C101.EK.dwg
EDIT DATE: 8/16/2021
EDITED BY: LMKING
MATCHLINE—SEE SHEET C103
MATCHLINE—SEE SHEET C106





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INDIANAPOLIS, IN 46216

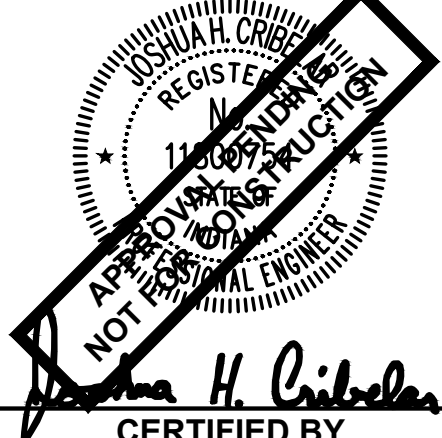


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CERTIFIED BY

Joshua H. Criswell

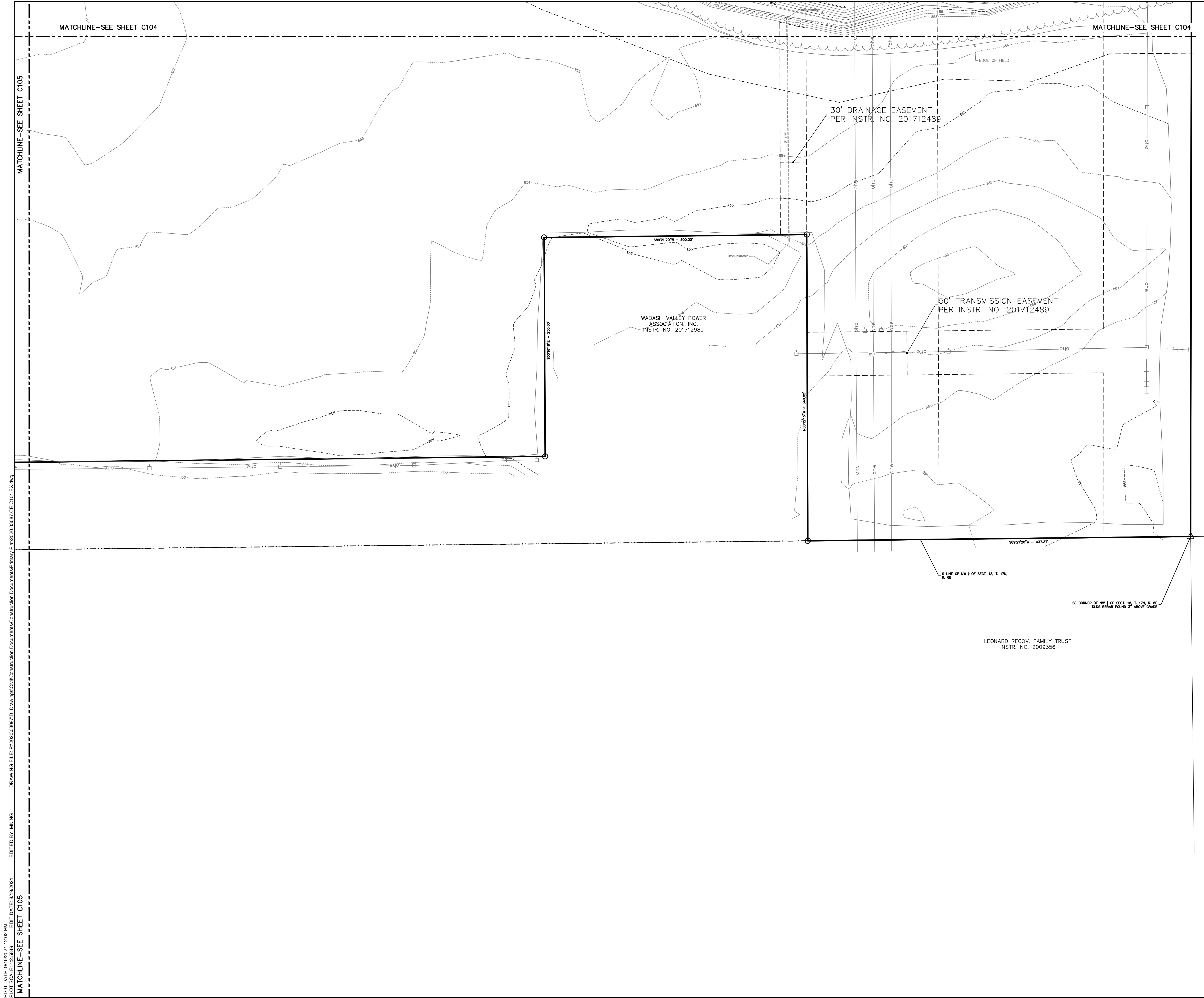
| ISSUANCE INDEX | |
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| 8/20/2021 | |
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| PRIMARY PLAT | |

| REVISION Schedule | | |
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Project Number 2020.03087

**EXISTING
TOPOGRAPHY**

C105



SCALE: 1"=50'

EXISTING LEGEND

| | | | |
|--|--------------------|--|-------------------------|
| | Beehive Inlet | | Telephone Marker |
| | Combination Pole | | Telephone Pedestal |
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Joshua H. Cribben

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Project Number 2020.03087

EXISTING TOPOGRAPHY

C106

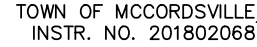
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| | |
|-----------|-------------------------------------|
| ----- | RIGHT-OF-WAY (R/W) LINE |
| ----- | BUILDING SETBACK LINE |
| ----- | EASEMENT |
| ----- | WET DETENTION POND NORMAL POOL |
| ----- | LOT LINE |
| B.S.L. | BUILDING SETBACK LINE |
| C.A. | COMMON AREA |
| D.E. | DRAINAGE EASEMENT |
| D.&U.E. | DRAINAGE & UTILITY EASEMENT |
| D.U.&S.E. | DRAINAGE UTILITY & SANITARY EASMENT |
| L.E. | LANDSCAPE EASEMENT |
| R/W | RIGHT-OF-WAY |
| ☼ | STREET LIGHT |
| + | SIGN |
| R | ADA CURB RAMP |

| | | |
|---|----------------|------------------|
| SITE ZONING: | | PU |
| GROSS AREA: | | ±146.61 |
| PROPOSED PUBLIC ROW: | ±21.55 (14.7%) | |
| COMMON AREA: | ±33.61 (22.9%) | |
| BLOCK F AREA: | ±26.45 (18.0%) | |
| TOTAL LOT AREA: | ±65.00 (44.3%) | |
| TOTAL LOTS: | | 2 |
| GROSS DENSITY: | | 21.7 LOTS/ACR |
| MINIMUM LOT AREA: | 8,700 SF | (30% >10,000 SF) |
| MINIMUM LOT WIDTH: | | 65' (30% >75') |
| MINIMUM SIDE YARD: | | |
| MINIMUM FRONT YARD: | | 3' |
| MINIMUM REAR YARD: | | 3' |
| NUMBER OF LOTS >75' WIDE (75 MINIMUM): | | 1 |
| NUMBER OF LOTS >10,000 SF (75 MINIMUM): | | 1 |
| 96TH STREET FRONTAGE (120'-WIDE R/W): | | 2,600 |
| C.R. 500 W FRONTAGE (97'-WIDE R/W): | | 2,559 |
| TOTAL LOCAL ROAD LENGTH: | | 11,952 |

| | | | |
|---------------|----------------|---------------|-------------|
| COMMON AREA A | ± 21.66 AC | COMMON AREA B | ± 7.63 |
| COMMON AREA C | ± 2.60 AC | COMMON AREA D | ± 0.61 |
| COMMON AREA E | ± 1.11 AC | BLOCK F | ± 26.45 |
| | | TOTAL | ± 60.06 |

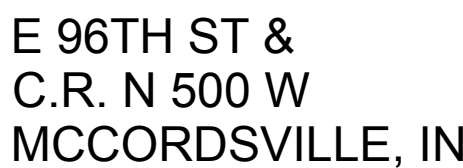
* PERIMETER LOTS: ALL LOTS INDICATED WITH A () AND/OR ADJUTING CORNER LOT 700 WEST SHAW. A REAR GARDEN OR COURTYARD IS REQUIRED AS FOLLOWS: ENCLOSED SUNROOM, SCREENED IN PORCH, COVERED BACK PORCH WITH A MINIMUM OF TWO COLUMNS, PATIO, DECK, ETC., NOT LESS THAN (10) FEET IN WIDTH BY FOUR (4) FEET IN DEPTH. IF A FIRST-FLOOR BACK PORCH IS CHOSEN, A GARDEN IS NOT REQUIRED.

CORNER LOTS: THOSE LOTS INDICATED WITH A * SHALL REQUIRE A MINIMUM OF THREE (3) DIFFERENT FINISH FACADE STYLES FROM THE LIST PROVIDED FOR EACH SIDE OF THE BUILDING. THIS REQUIREMENT EXCLUDES DWELLINGS WITH A HIP ROOF WHEREAS THE REQUIREMENT MAY BE TWO DIFFERENT FINISH FACADE STYLES. FINISHED BRICK OR STONE WAINSCOT IS REQUIRED AS ONE OF THE FINISHED FACADE STYLES. SHOULD A FIRST FLOOR PORCH BE DESIRED, FINISHED BRICK SHALL SATISFY THE INTENT OF THIS REQUIREMENT. FINISHED FACADE STYLES INCLUDE BUT ARE NOT LIMITED TO BRICK, STONE, HORIZONTAL SIDING, BAIT AND BOARD SIDING, TUDOR SIDING AND CELESTIAL SIDING. MATERIALS BUILT ON CORNER LOTS SHALL INCLUDE A MINIMUM OF ONE (1) WINDOW PER STORY OF A MINIMUM SIZE OF TWO (2) FEET BY FOUR (4) FEET. THE TYPE OF THE DWELLING FACADE THE STREET; THESE DWELLINGS SHALL INCLUDE ANOTHER FINISH FACADE. THE BRICK WAINSCOT DOES NOT INTERFERE.

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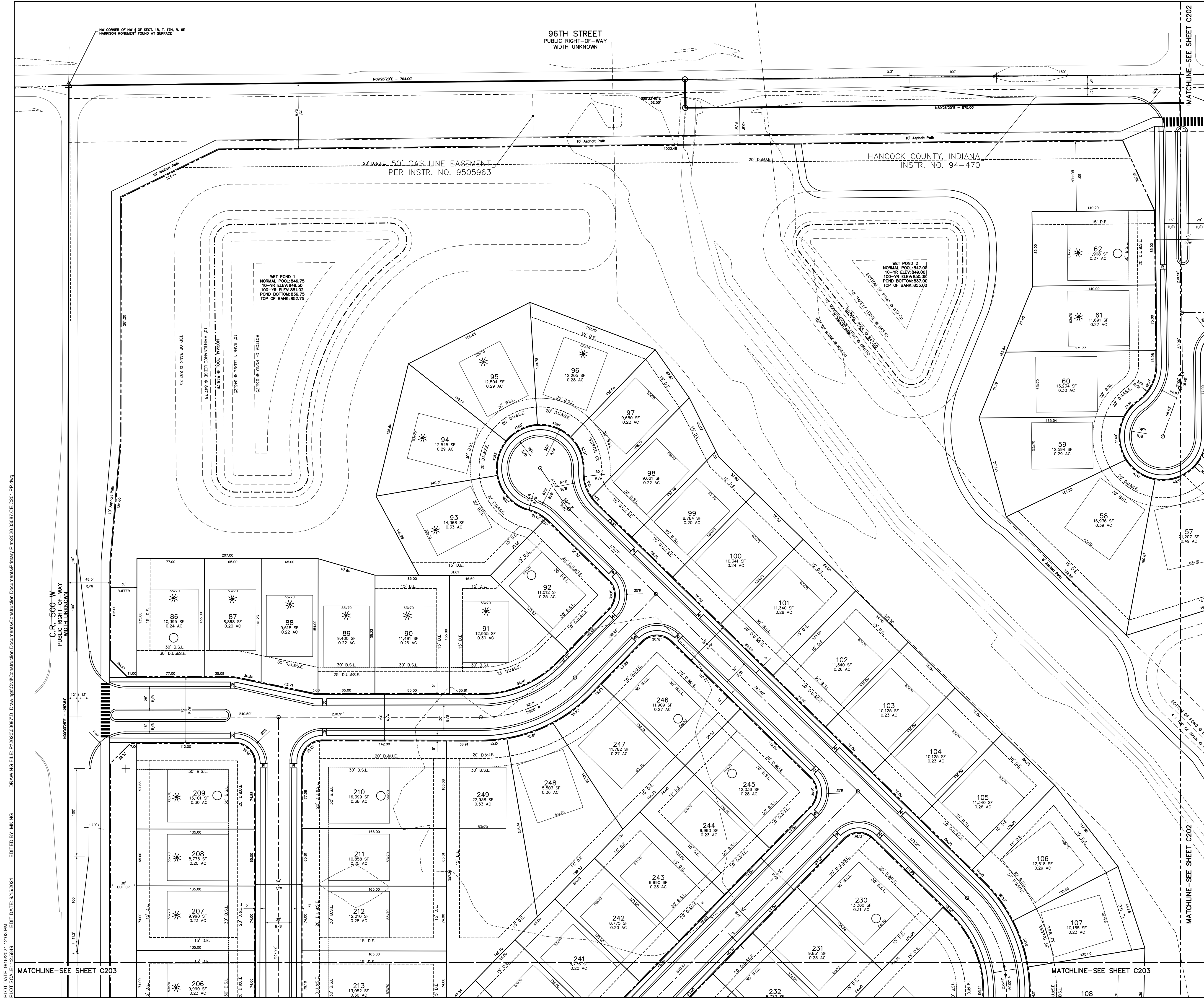


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|----------------|
| DATE: |
| 8/20/2021 |
| PROJECT PHASE: |
| PRIMARY PLAT |

[illegible]

Project Number 2020.03087

C200



EXISTING LEGEND

- Beehive Inlet
- Combination Pole
- Fire Hydrant
- Guy Wire
- Mail Box
- Power Pole
- Sign
- Stand Pipe
- Stump
- Telephone Handhole
- Telephone Marker
- Telephone Pedestal
- Telephone Pole
- Temporary Bench Mark
- Water Valve
- g Buried Gas Line
- l Buried Telephone Line
- ohc Overhead Electric Line
- ohl Overhead Telephone Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- B.S.L. BUILDING SETBACK LINE
- C.A. COMMON AREA
- D.E. DRAINAGE EASEMENT
- D.U.&E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT.
- L.E. LANDSCAPE EASEMENT
- R/W RIGHT-OF-WAY
- S STREET LIGHT
- Sign
- R ADA CURB RAMP

SITE DATA TABLE

| | |
|---|---------------------------|
| SITE ZONING: | PUD |
| GROSS AREA: | ±146.61 AC |
| PROPOSED PUBLIC ROW: | ±21.55 (14.7%) AC |
| COMMON AREA: | ±33.61 (22.9%) AC |
| BLOCK F AREA: | ±26.45 (18.0%) AC |
| TOTAL LOT AREA: | ±65.00 (44.3%) AC |
| TOTAL LOTS: | 249 |
| GROSS DENSITY: | 1.7 LOTS/ACRE |
| MINIMUM LOT AREA: | 8,700 SF (30% >10,000 SF) |
| MINIMUM LOT WIDTH: | 65' (30% >75') |
| MINIMUM SIDE YARD: | 6' |
| MINIMUM FRONT YARD: | 30' |
| MINIMUM REAR YARD: | 15' |
| NUMBER OF LOTS >75' WIDE (75 MINIMUM): | 103 |
| NUMBER OF LOTS >10,000 SF (75 MINIMUM): | 164 |
| 96TH STREET FRONTAGE (120'-WIDE R/W): | 2,600 LF |

OPEN SPACE TABLE

| | |
|-------------------------|-------------------------|
| COMMON AREA A ±21.66 AC | COMMON AREA B ±7.63 AC |
| COMMON AREA C ±2.60 AC | COMMON AREA D ±0.61 AC |
| COMMON AREA E ±1.11 AC | COMMON AREA F ±26.45 AC |
| TOTAL ±60.06 AC | |

ARCHITECTURAL STANDARDS

***** PERIMETER LOTS: ALL LOTS INDICATED WITH A () AND/OR ADJUTING COUNTRY ROAD 700 WEST SHALL HAVE A REAR GABLE IN THE FORM OF ONE OF THE FOLLOWING: ENCLOSED SUNROOM, SCREENED IN PORCH, A COVERED BACK PORCH WITH A MINIMUM OF 8"X8" COLUMNS, REAR BUMP OF AT LEAST TEN (10) FEET IN WIDTH BY FOUR (4) FEET IN DEPTH. IF A FIRST-FLOOR BRICK WRAP IS CHOSEN, A GABLE IS NOT REQUIRED ON THE REAR ELEVATION.

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GENERAL NOTES:

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CAUTION !!

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HAVEN PONDS PRIMARY PLAT

E 96TH ST &
C.R. N 500 W
MCCORDSVILLE, IN

CERTIFIED BY
Joshua H. Chisholm

| ISSUANCE INDEX | |
|----------------|--------------|
| DATE: | 8/20/2021 |
| PROJECT PHASE: | PRIMARY PLAT |

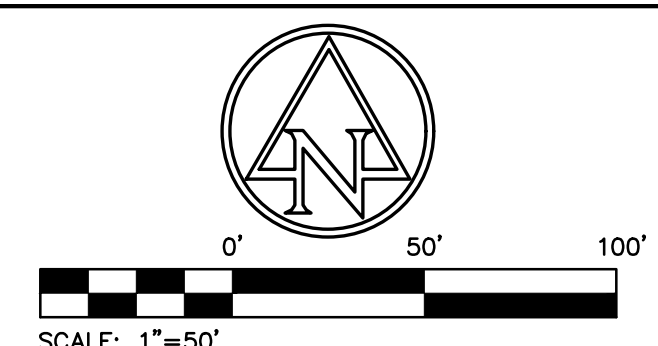
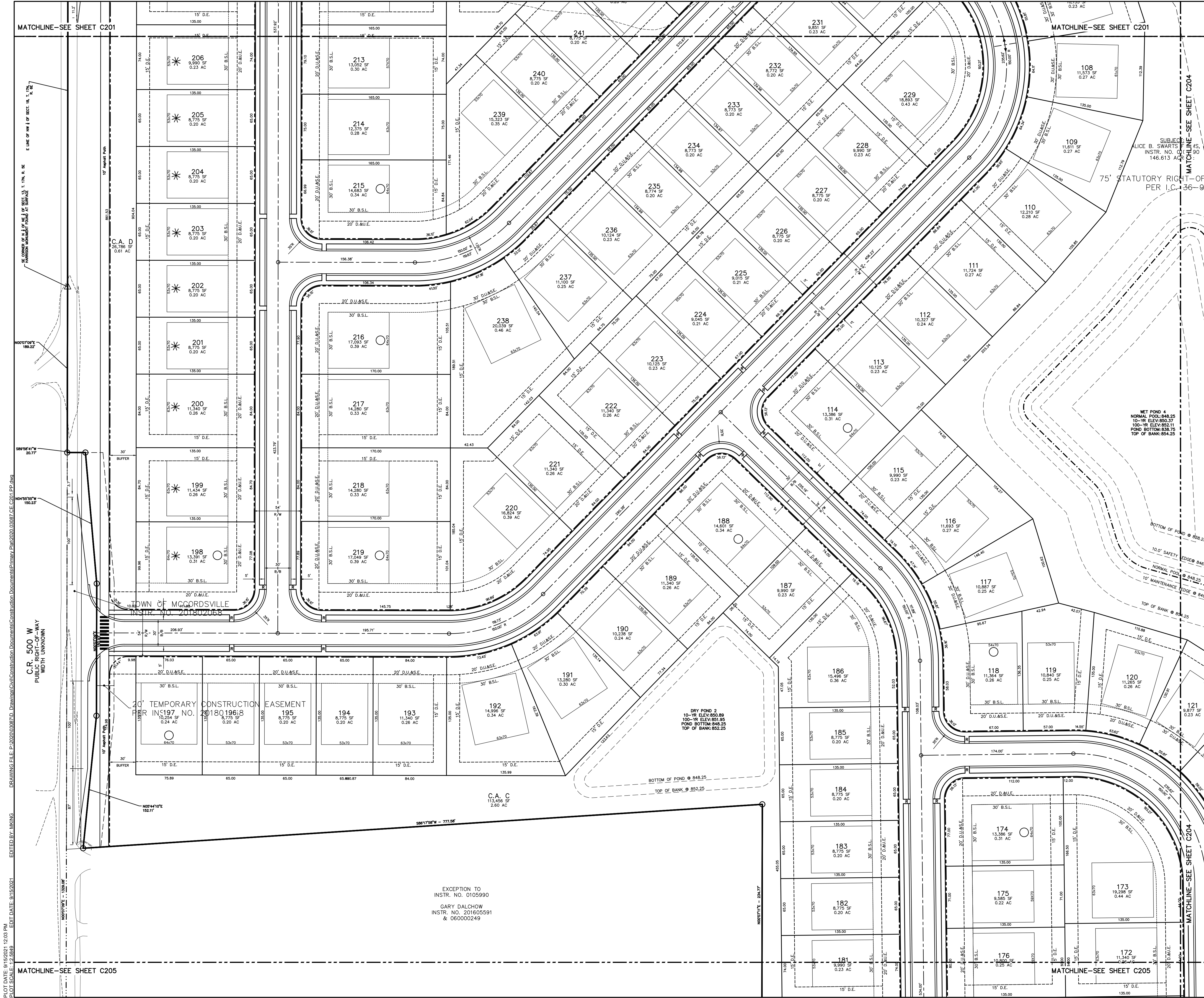
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Project Number 2020.03087

PRIMARY PLAT

C201

PLOT DATE: 9/15/2021 12:03 PM
PLOT SCALE: 1"=50'
DRAWING FILE: P:\2020\03087.D
DRAWING TITLE: Haven Ponds Primary Plat
DATE: 8/20/2021
PROJECT PHASE: PRIMARY PLAT
PROJECT NUMBER: 2020.03087
PROJECT LOCATION: E 96TH ST & C.R. N 500 W, MCCORDSVILLE, IN
PROJECT AREA: 146.61 AC
PROJECT LOTS: 249
PROJECT GROSS DENSITY: 1.7 LOTS/ACRE
PROJECT MINIMUM LOT AREA: 8,700 SF (30% >10,000 SF)
PROJECT MINIMUM LOT WIDTH: 65' (30% >75')
PROJECT MINIMUM SIDE YARD: 6'
PROJECT MINIMUM FRONT YARD: 30'
PROJECT MINIMUM REAR YARD: 15'
PROJECT NUMBER OF LOTS >75' WIDE (75 MINIMUM): 103
PROJECT NUMBER OF LOTS >10,000 SF (75 MINIMUM): 164
PROJECT 96TH STREET FRONTAGE (120'-WIDE R/W): 2,600 LF
PROJECT COMMON AREA A ±21.66 AC
PROJECT COMMON AREA B ±7.63 AC
PROJECT COMMON AREA C ±2.60 AC
PROJECT COMMON AREA D ±0.61 AC
PROJECT COMMON AREA E ±1.11 AC
PROJECT COMMON AREA F ±26.45 AC
PROJECT TOTAL COMMON AREA ±60.06 AC



EXISTING LEGEND

- Beehive Inlet
- Combination Pole
- Fire Hydrant
- Guy Wire
- Mail Box
- Power Pole
- Sign
- Stand Pipe
- Stump
- Telephone Handhole
- Telephone Marker
- Telephone Pedestal
- Telephone Pole
- Temporary Bench Mark
- Water Valve
- g Buried Gas Line
- b- Buried Telephone Line
- eh- Overhead Electric Line
- oh- Overhead Telephone Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- B.S.L. BUILDING SETBACK LINE
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- R/W RIGHT-OF-WAY
- STREET LIGHT
- SIGN
- R ADA CURB RAMP

SITE DATA TABLE

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| PROPOSED PUBLIC ROW: | ±21.55 (14.7%) AC |
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| TOTAL LOT AREA: | ±65.00 (44.3%) AC |
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ISSUANCE INDEX

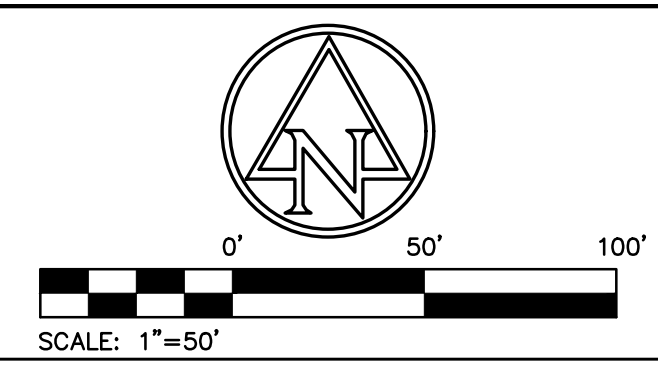
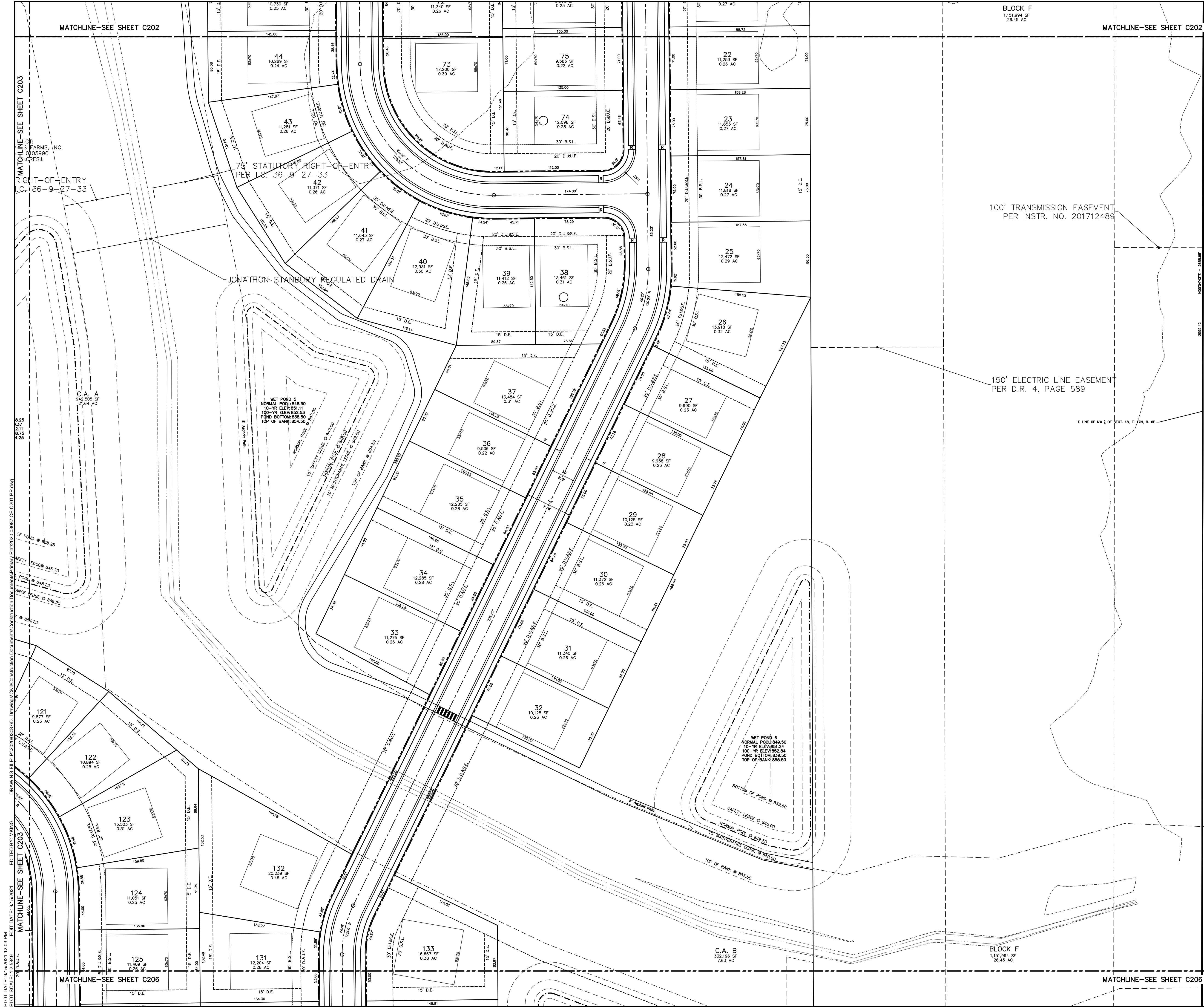
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Project Number 2020.03087

PRIMARY PLAT

C203



EXISTING LEGEND

- Beehive Inlet
- Combination Pole
- Fire Hydrant
- Guy Wire
- Mail Box
- Power Pole
- Sign
- Stand Pipe
- Stump
- Telephone Handhole
- Telephone Marker
- Telephone Pedestal
- Telephone Pole
- Temporary Bench Mark
- Water Valve
- Buried Gas Line
- Buried Telephone Line
- Overhead Electric Line
- Overhead Telephone Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
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CERTIFIED BY

Joshua H. Cribben

ISSUANCE INDEX

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| DATE: | 8/20/2021 |
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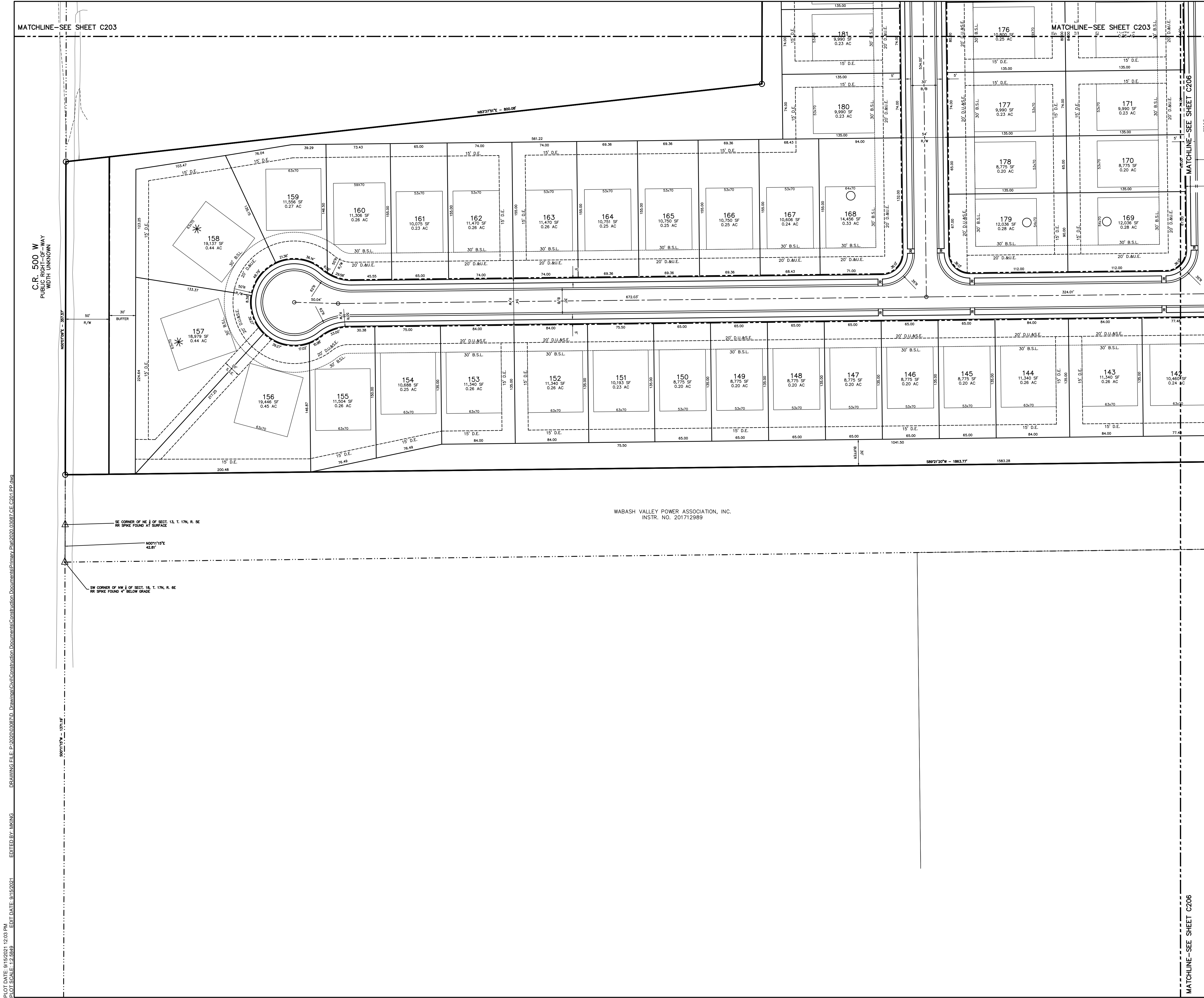
REVISION SCHEDULE

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Project Number 2020.03087

PRIMARY PLAT

C204



0' 50' 100'

SCALE: 1"=50'

EXISTING LEGEND

| | |
|--|------------------------------|
| | Telephone Marker |
| | Telephone Pedestal |
| | Telephone Pole |
| | Temporary Bench Mark |
| | Water Valve |
| | -g- Buried Gas Line |
| | -t- Buried Telephone Line |
| | -oh- Overhead Electric Line |
| | -oh- Overhead Telephone Line |
| | |

PROPOSED LEGEND

--- RIGHT-OF-WAY (R/W) LINE

--- BUILDING SETBACK LINE

--- EASEMENT

--- WET DETENTION POND NORMAL POOL LOT LINE

B.S.L. BUILDING SETBACK LINE

C.A. COMMON AREA

D.E. DRAINAGE EASEMENT

D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT.

D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT.

L.E. LANDSCAPE EASEMENT

R/W RIGHT-OF-WAY

SL STREET LIGHT

SR SIGN

R ADA CURB RAMP

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- INDIANA UNDERGROUND -

ISSUANCE INDEX

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| REVISION SCHEDULE | | |
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Project Number 2020.03087

PRIMARY PLAT

C205

SILVERTHORNE HOMES
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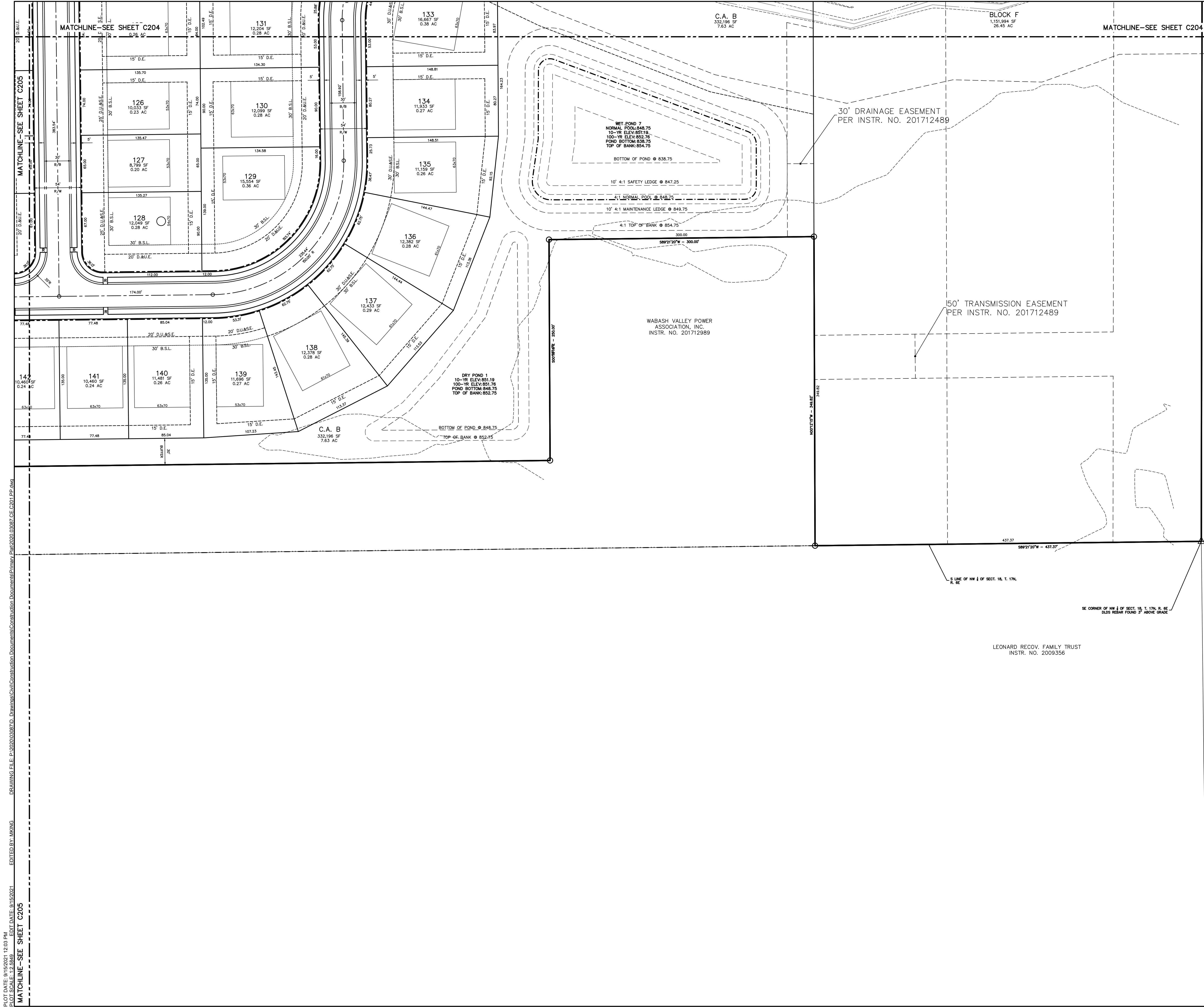
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Project Number 2020.03087

PRIMARY PLAT

C205

PLOT DATE: 9/15/2021 2:03 PM
PLOT SCALE: 1"=50'
DRAWING FILE: P:\2020\03087\Drawings\Civil\Construction Documents\Construction Documents\Firm\2020.03087.C201.PP.dwg
EDIT DATE: 9/15/2021
EDITED BY: JMKING



0' 50' 100'

SCALE: 1"=50'

EXISTING LEGEND

| | | | |
|--|--------------------|--|-------------------------|
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| | D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT. |
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| | SIGN |
| | ADA CURB RAMP |

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| COMMON AREA E ±1.11 AC | BLOCK F ±26.45 AC |
| TOTAL ±60.06 AC | |

ARCHITECTURAL STANDARDS

✱ PERIMETER LOTS: ALL LOTS INDICATED WITH A () AND/OR ABUTTING COUNTRY ROAD 700 WEST SHALL HAVE A REAR OR GABLE IN THE FORM OF ONE OF THE FOLLOWING: ENCLOSED SUNROOM, SCREENED IN PORCH, A COVERED BACK PORCH WITH A MINIMUM OF 8"x8" COLUMNS, REAR BUMP OF AT LEAST TEN (10') FEET IN WIDTH BY FOUR (4') FEET IN DEPTH. IF A FIRST-FLOOR BRICK WRAP IS CHOSEN, A GABLE IS NOT REQUIRED ON THE REAR ELEVATION.

○ CORNER LOTS: THOSE LOTS INDICATED WITH A () SHALL REQUIRE A MINIMUM OF THREE (3) DIFFERENT FINISH FACADE STYLES FROM THE LIST BELOW FOR EACH SIDE ELEVATION. THIS REQUIREMENT EXCLUDES DWELLINGS WITH A HIP ROOF WHEREAS THE REQUIREMENT MAY BE TWO (2) DIFFERENT FINISH FACADE STYLES. A THREE (3) FEET BRICK OR STONE WAINSCOT IS REQUIRED AS ONE OF THE FINISHED FACADE STYLES. SHOULD A FULL FIRST FLOOR BRICK WRAP BE SELECTED, SAID BRICK SHALL SATISFY THE INTENT OF THIS REQUIREMENT. FINISHED FACADE STYLES MAY INCLUDE BUT ARE NOT LIMITED TO BRICK, STONE, HORIZONTAL SIDING, BAY AND BOARD SIDING, TUDOR STYLE SIDING AND CEDAR SHAKE SIDING. DWELLINGS BUILT ON CORNER LOTS SHALL INCLUDE A MINIMUM OF ONE (1) WINDOW PER STORY OF A MINIMUM SIZE OF TWO (2) FEET BY FOUR (4') FEET ON THE SIDE OF THE DWELLING FACING THE STREET. THESE WINDOWS SHALL INCLUDE SHUTTERS WHERE THE BRICK WAINSCOT DOES NOT INTERFERE.

GENERAL NOTES:

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CAUTION !!

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— INDIANA UNDERGROUND —

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INDIANAPOLIS, IN 46216

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www.structurepoint.com

HAVEN PONDS PRIMARY PLAT

E 96TH ST &
C.R. N 500 W
MCCORDSVILLE, IN

CERTIFIED BY
Joshua H. Chisholm

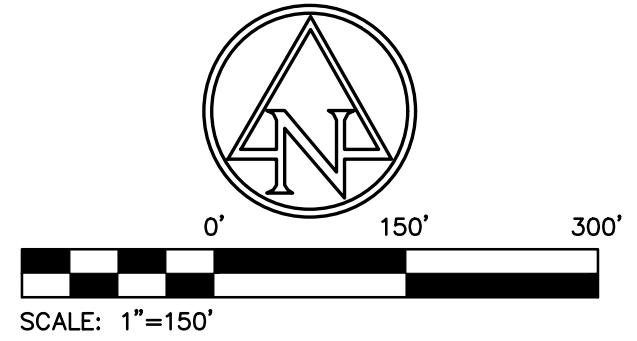
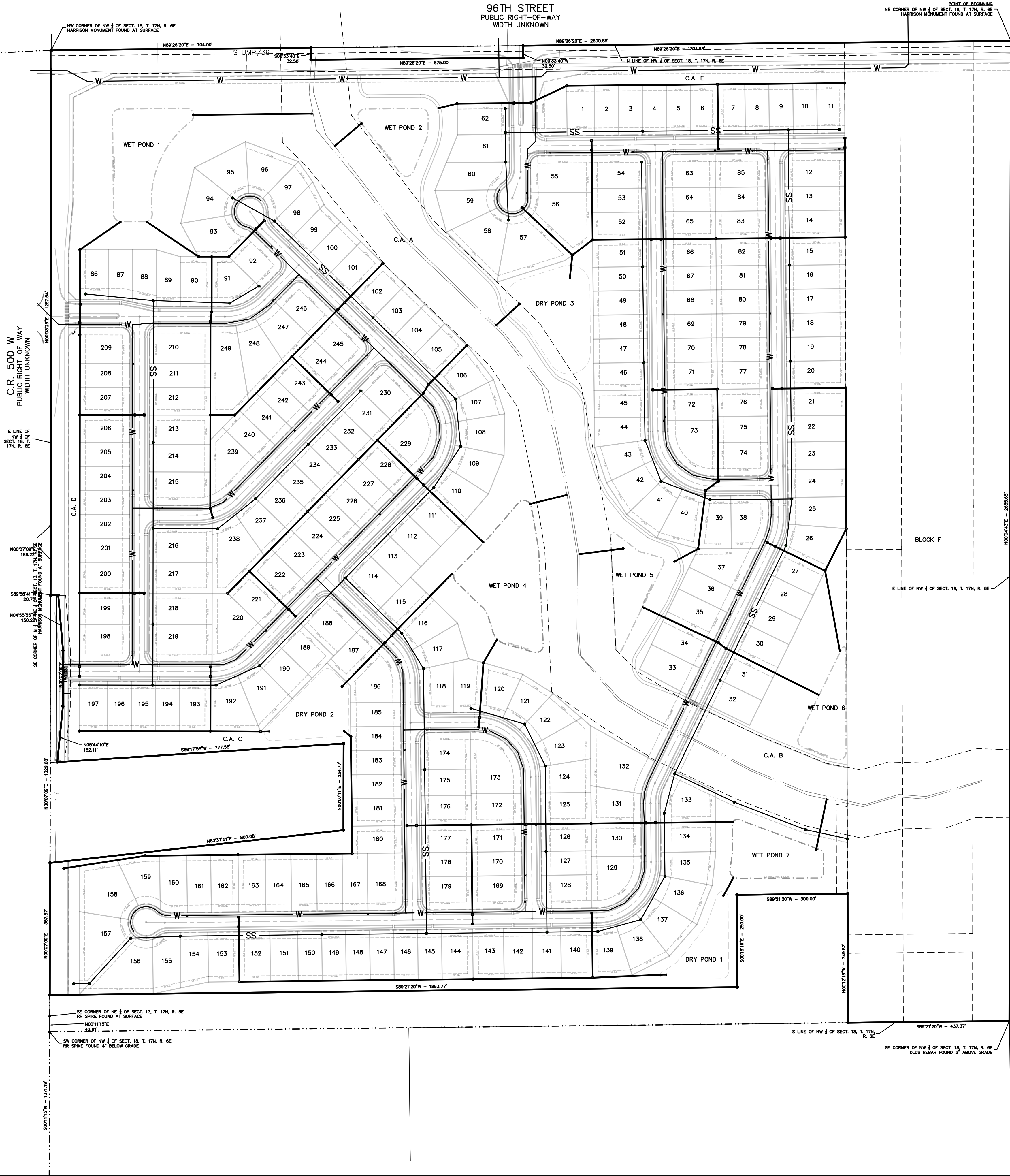
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Project Number 2020.03087

PRIMARY PLAT

C206



EXISTING LEGEND

- | | |
|--------------------|-------------------------|
| Beehive Inlet | Telephone Marker |
| Combination Pole | Telephone Pedestal |
| Fire Hydrant | Telephone Pole |
| Guy Wire | Temporary Bench Mark |
| Mail Box | Water Valve |
| Power Pole | Buried Gas Line |
| Sign | Buried Telephone Line |
| Stand Pipe | Overhead Electric Line |
| Stump | Overhead Telephone Line |
| Telephone Handhole | |

PROPOSED LEGEND

- | |
|--|
| RIGHT-OF-WAY (R/W) LINE |
| BUILDING SETBACK LINE |
| EASEMENT |
| WET DETENTION POND NORMAL POOL |
| LOT LINE |
| B.S.L. BUILDING SETBACK LINE |
| C.A. COMMON AREA |
| D.E. DRAINAGE EASEMENT |
| D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT. |
| L.E. LANDSCAPE EASEMENT |
| R/W RIGHT-OF-WAY |
| STREET LIGHT |
| SIGN |
| ADA CURB RAMP |

SITE DATA TABLE

| | |
|---|---------------------------|
| SITE ZONING: | PUD |
| GROSS AREA: | ±146.61 AC |
| PROPOSED PUBLIC ROW: | ±21.55 (14.7%) AC |
| COMMON AREA: | ±33.61 (22.9%) AC |
| BLOCK F AREA: | ±26.45 (18.0%) AC |
| TOTAL LOT AREA: | ±65.00 (44.3%) AC |
| TOTAL LOTS: | 249 |
| GROSS DENSITY: | 1.7 LOTS/ACRE |
| MINIMUM LOT AREA: | 8,700 SF (30% >10,000 SF) |
| MINIMUM LOT WIDTH: | 65' (30% >75') |
| MINIMUM SIDE YARD: | 6' |
| MINIMUM FRONT YARD: | 30' |
| MINIMUM REAR YARD: | 15' |
| NUMBER OF LOTS >75' WIDE (75 MINIMUM): | 103 |
| NUMBER OF LOTS >10,000 SF (75 MINIMUM): | 164 |
| 96TH STREET FRONTAGE (120'-WIDE R/W): | 2,600 LF |
| C.R. 500 W FRONTAGE (97'-WIDE R/W): | 2,559 LF |
| TOTAL LOCAL ROAD LENGTH: | 11,952 LF |

OPEN SPACE TABLE

| | |
|-------------------------|------------------------|
| COMMON AREA A ±21.66 AC | COMMON AREA B ±7.63 AC |
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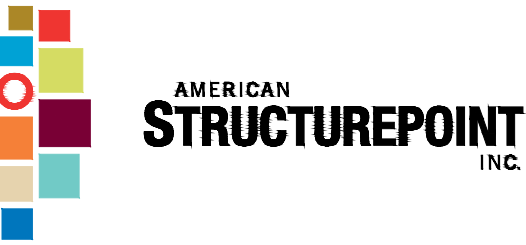
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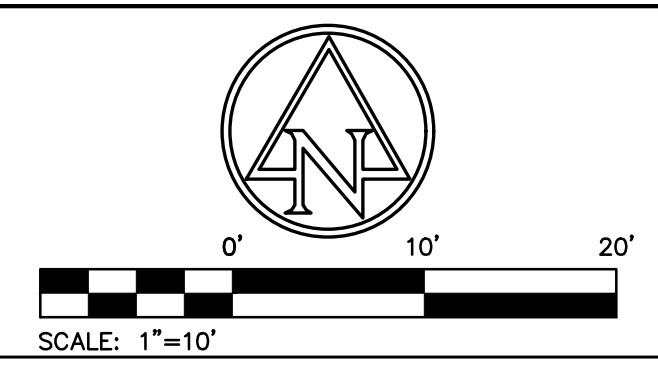
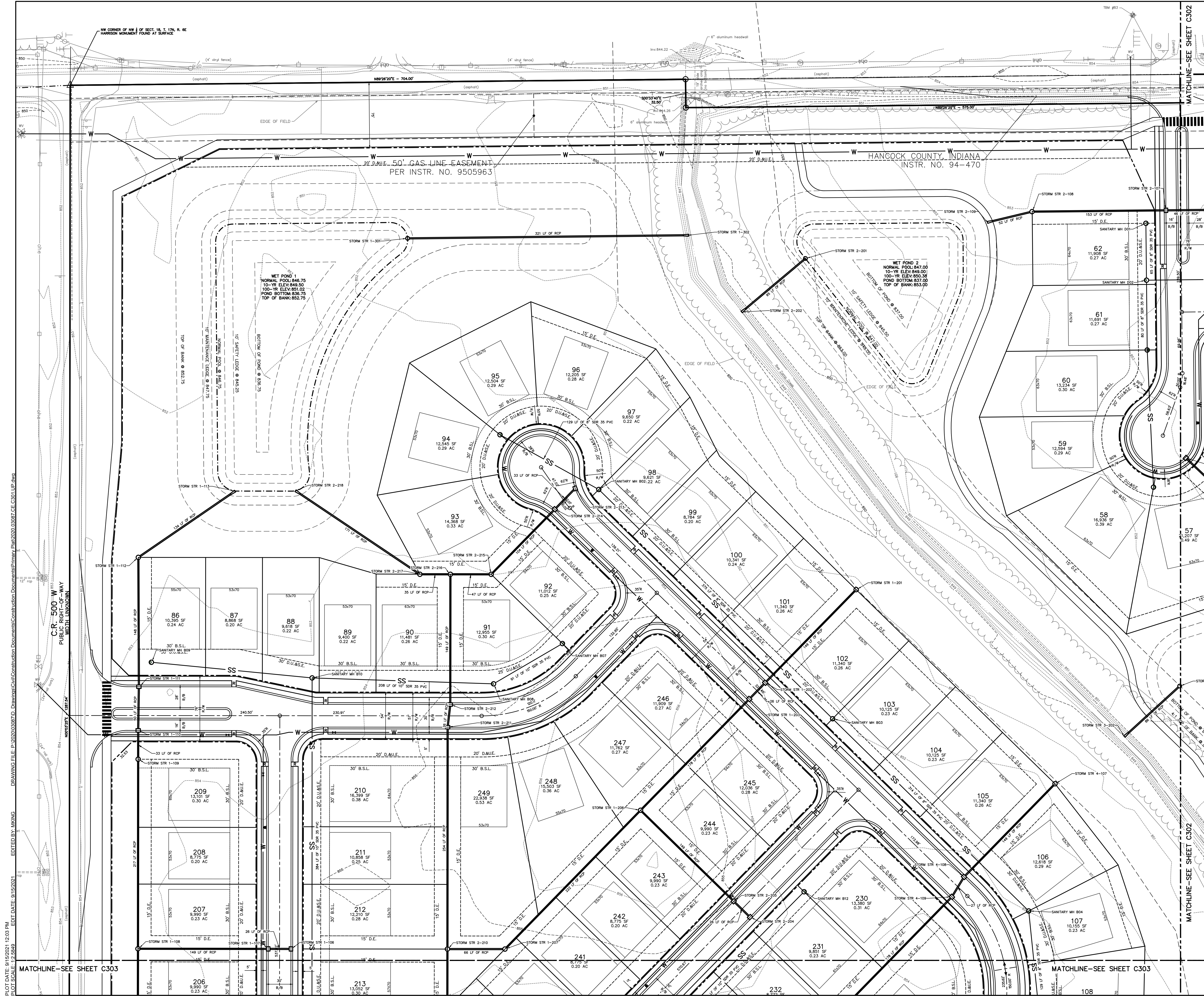
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Project Number 2020.03087

OVERALL UTILITY PLAN

C300



EXISTING LEGEND

- Beehive Inlet
- Combination Pole
- Fire Hydrant
- Guy Wire
- Mall Box
- Power Pole
- Sign
- Stand Pipe
- Stump
- Telephone Handhole
- Telephone Marker
- Telephone Pedestal
- Telephone Pole
- Temporary Bench Mark
- Water Valve
- g Buried Gas Line
- l Buried Telephone Line
- ohc Overhead Electric Line
- ohl Overhead Telephone Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- W WATER MAIN
- SS SANITARY MAIN
- SWALE (1.00 % MIN SLOPE)
- 6" DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN (SWALE/CURB)
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
- WATER TEE, CROSS & BEND
- B.S.L. BUILDING SETBACK LINE
- C.A. COMMON AREA
- D.E. DRAINAGE EASEMENT
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT.
- L.E. LANDSCAPE EASEMENT
- R/W RIGHT-OF-WAY
- SL STREET LIGHT
- SN SIGN

SITE DATA TABLE

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| NUMBER OF LOTS >10,000 SF (75' MINIMUM): | 164 |
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CERTIFIED BY
Joshua H. Cribben

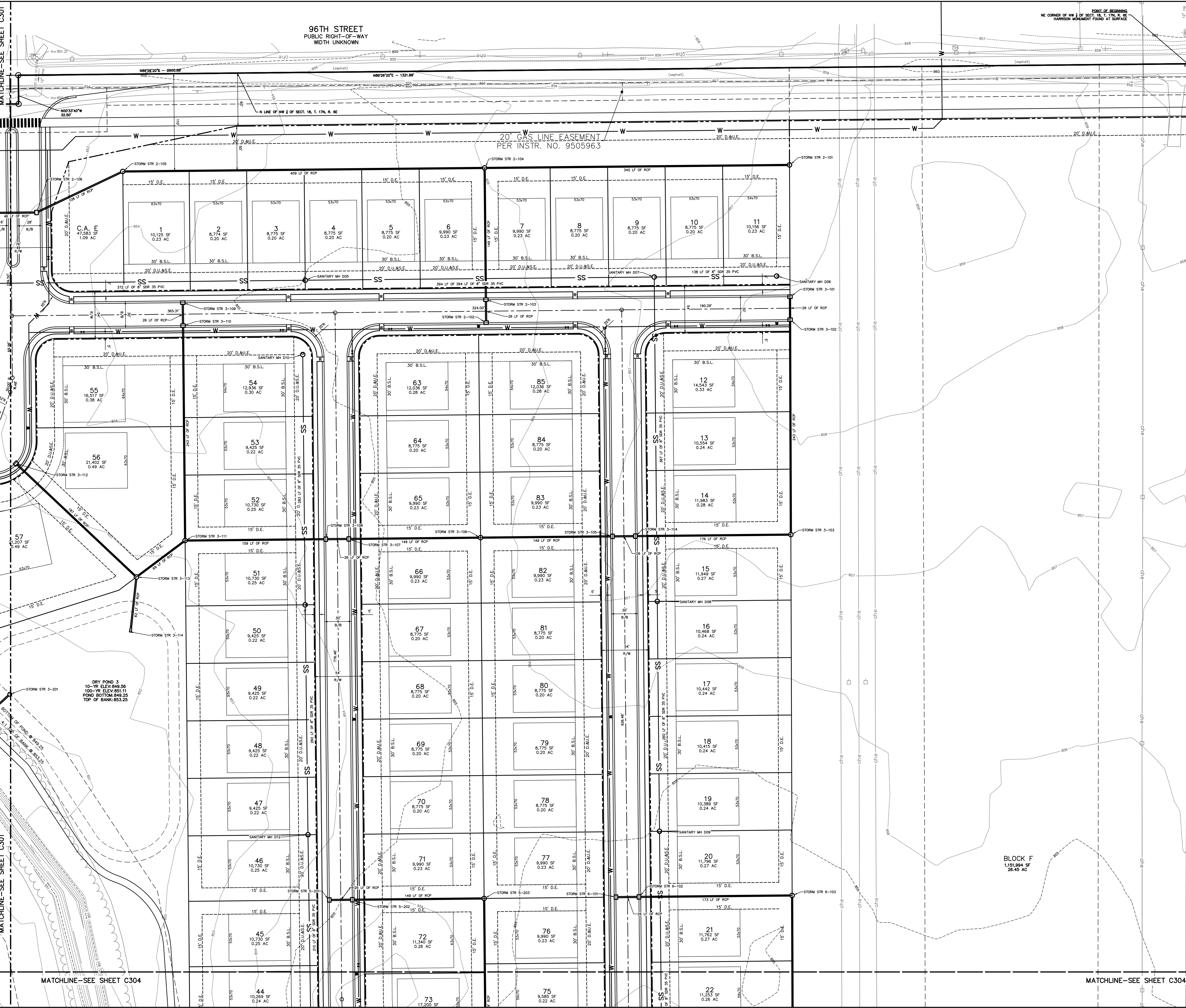
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Project Number 2020.03087

UTILITY PLAN

C301



EXISTING LEGEND

- Beehive Inlet
- Combination Pole
- Fire Hydrant
- Guy Wire
- Mail Box
- Power Pole
- Sign
- Stand Pipe
- Stump
- Telephone Handhole
- Telephone Marker
- Telephone Pedestal
- Telephone Pole
- Temporary Bench Mark
- Water Valve
- Buried Gas Line
- Buried Telephone Line
- Overhead Electric Line
- Overhead Telephone Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- SWALE (1.00 % MIN SLOPE)
- DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN (SWALE/CURB)
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
- WATER TEE, CROSS & BEND
- B.S.L. BUILDING SETBACK LINE
- C.A. COMMON AREA
- D.E. DRAINAGE EASEMENT
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT.
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- R/W RIGHT-OF-WAY
- STREET LIGHT SIGN

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CERTIFIED BY

James H. Criswell

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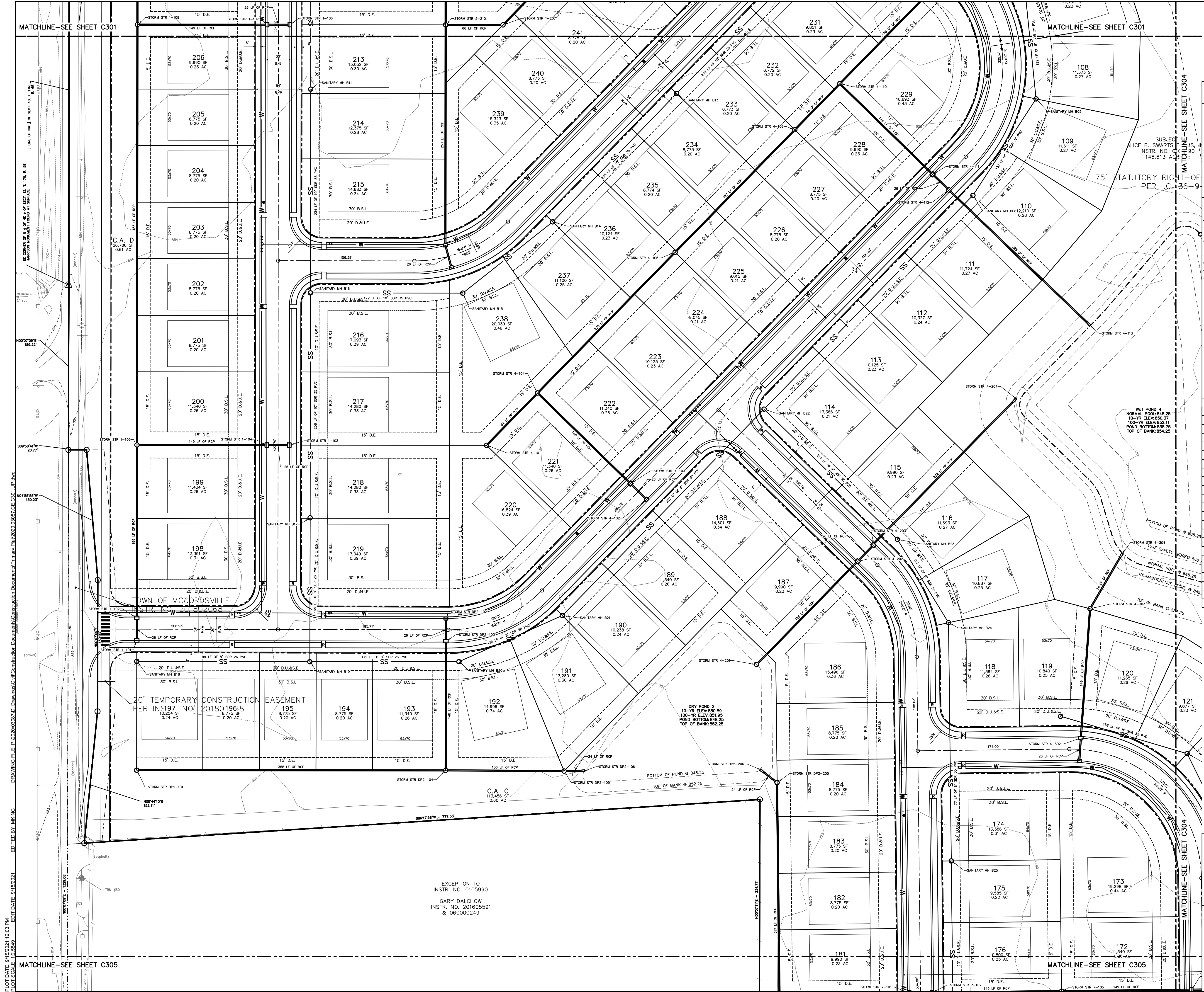
Project Number 2020.03087

UTILITY PLAN

C302

PROPOSED

- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- EASEMENT
- LOT LINE
- WET DETENTION POND NORMAL POOL
- WATER MAIN
- SANITARY MAIN
- SWALE (1.00 % MIN SLOPE)
- DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN (SWALE/CURB)
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
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- D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT.
- L.E. LANDSCAPE EASEMENT
- R/W RIGHT-OF-WAY
- STREET LIGHT SIGN



0' 10' 20'

SCALE: 1"=10'

EXISTING LEGEND

| | |
|--|------------------------------|
| | Telephone Marker |
| | Telephone Pedestal |
| | Telephone Pole |
| | Temporary Bench Mark |
| | Water Valve |
| | -g- Buried Gas Line |
| | -t- Buried Telephone Line |
| | -oh- Overhead Electric Line |
| | -oh- Overhead Telephone Line |
| | |

PROPOSED LEGEND

| | |
|--|---|
| | RIGHT-OF-WAY (R/W) LINE |
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| | STREET LIGHT |
| | SIGN |

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OPEN SPACE TABLE

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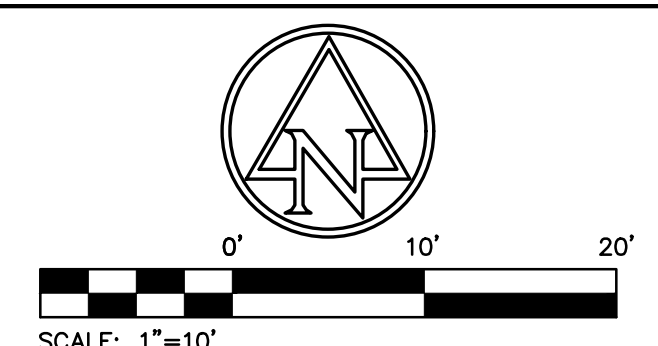
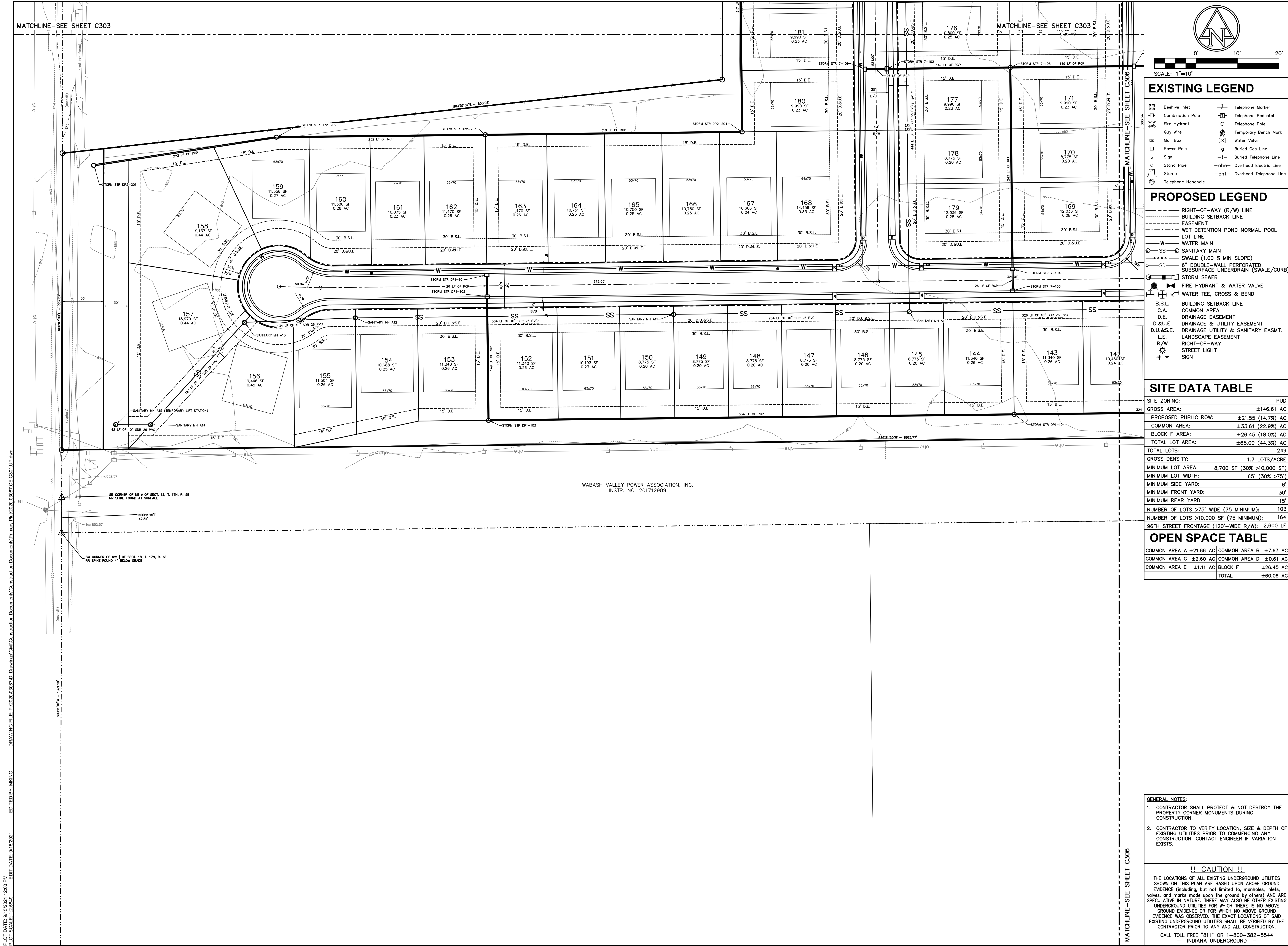
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Project Number 2020.03087

UTILITY PLAN

C303

DRAWING FILE: P:\2020\03087.Dwg Drawing/Child Construction Document/Construction Documents/Primary Plat/2020.03087.CE.C301.LUP.DWG
EDIT DATE: 8/15/2021
PLOT DATE: 9/15/2021 12:03 PM
PLOT SCALE: 1"=10'



- ### EXISTING LEGEND
- | | | | |
|--|--------------------|--|-------------------------|
| | Beehive Inlet | | Telephone Marker |
| | Combination Pole | | Telephone Pedestal |
| | Fire Hydrant | | Temporary Bench Mark |
| | Guy Wire | | Water Valve |
| | Mail Box | | Buried Gas Line |
| | Power Pole | | Buried Telephone Line |
| | Sign | | Overhead Electric Line |
| | Stand Pipe | | Overhead Telephone Line |
| | Stump | | |
| | Telephone Handhole | | |

- ### PROPOSED LEGEND
- | | |
|--|--|
| | RIGHT-OF-WAY (R/W) LINE |
| | BUILDING SETBACK LINE |
| | EASEMENT |
| | WET DETENTION POND NORMAL POOL |
| | LOT LINE |
| | WATER MAIN |
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| | BUILDING SETBACK LINE |
| | COMMON AREA |
| | DRAINAGE EASEMENT |
| | DRAINAGE & UTILITY EASEMENT |
| | DRAINAGE UTILITY & SANITARY EASMT. |
| | LANDSCAPE EASEMENT |
| | RIGHT-OF-WAY |
| | STREET LIGHT |
| | SIGN |

SITE DATA TABLE

| | |
|---|---------------------------|
| SITE ZONING: | PUD |
| GROSS AREA: | ±146.61 AC |
| PROPOSED PUBLIC ROW: | ±21.55 (14.7%) AC |
| COMMON AREA: | ±33.61 (22.9%) AC |
| BLOCK F AREA: | ±26.45 (18.0%) AC |
| TOTAL LOT AREA: | ±65.00 (44.3%) AC |
| TOTAL LOTS: | 249 |
| GROSS DENSITY: | 1.7 LOTS/ACRE |
| MINIMUM LOT AREA: | 8,700 SF (30% >10,000 SF) |
| MINIMUM LOT WIDTH: | 65' (30% >75') |
| MINIMUM SIDE YARD: | 6' |
| MINIMUM FRONT YARD: | 30' |
| MINIMUM REAR YARD: | 15' |
| NUMBER OF LOTS >75' WIDE (75 MINIMUM): | 103 |
| NUMBER OF LOTS >10,000 SF (75 MINIMUM): | 164 |
| 96TH STREET FRONTAGE (120'-WIDE R/W): | 2,600 LF |

OPEN SPACE TABLE

| | |
|-------------------------|------------------------|
| COMMON AREA A ±21.66 AC | COMMON AREA B ±7.63 AC |
| COMMON AREA C ±2.60 AC | COMMON AREA D ±0.61 AC |
| COMMON AREA E ±1.11 AC | BLOCK F ±26.45 AC |
| TOTAL ±60.06 AC | |

- ### GENERAL NOTES:
- CONTRACTOR SHALL PROTECT & NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
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!! CAUTION !!

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CALL TOLL FREE "811" OR 1-800-382-5544
— INDIANA UNDERGROUND —

SILVERTHORNE HOMES
9225 HARRISON PARK CT
INDIANAPOLIS, IN 46216

9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

HAVEN PONDS PRIMARY PLAT

E 96TH ST &
C.R. N 500 W
MCCORDSVILLE, IN

CERTIFIED BY
Joshua H. Crisler

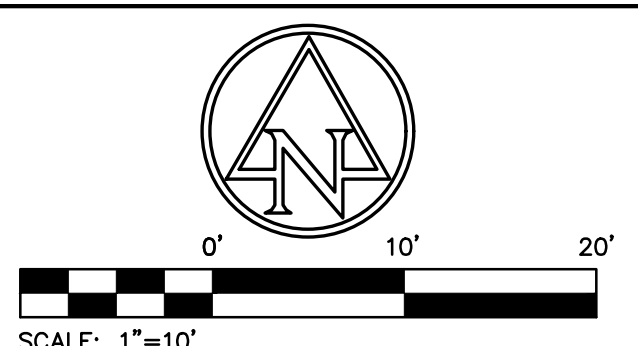
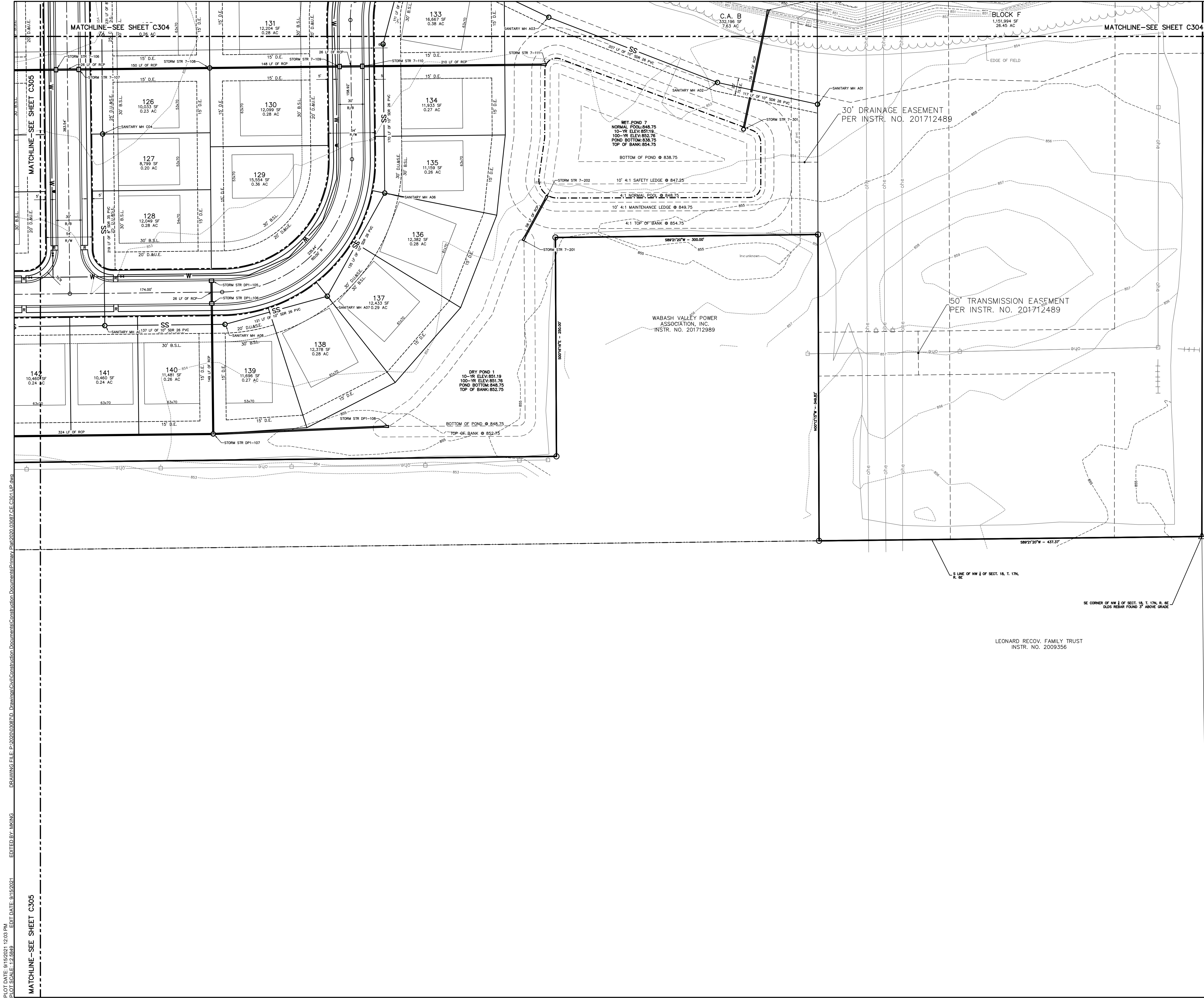
| ISSUANCE INDEX | |
|----------------|--------------|
| DATE: | 8/20/2021 |
| PROJECT PHASE: | PRIMARY PLAT |

| REVISION SCHEDULE | | |
|-------------------|-------------|------|
| NO. | DESCRIPTION | DATE |
| | | |
| | | |
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Project Number 2020.03087

UTILITY PLAN

C305



EXISTING LEGEND

- Beehive Inlet
- Combination Pole
- Fire Hydrant
- Guy Wire
- Mail Box
- Power Pole
- Sign
- Stand Pipe
- Stump
- Telephone Handhole
- Telephone Marker
- Telephone Pedestal
- Telephone Pole
- Temporary Bench Mark
- Water Valve
- Buried Gas Line
- Buried Telephone Line
- Overhead Electric Line
- Overhead Telephone Line

PROPOSED LEGEND

- RIGHT-OF-WAY (R/W) LINE
- BUILDING SETBACK LINE
- EASEMENT
- WET DETENTION POND NORMAL POOL
- LOT LINE
- WATER MAIN
- SANITARY MAIN
- SWALE (1.00 % MIN SLOPE)
- DOUBLE-WALL PERFORATED SUBSURFACE UNDERDRAIN (SWALE/CURB)
- STORM SEWER
- FIRE HYDRANT & WATER VALVE
- WATER TEE, CROSS & BEND
- B.S.L. BUILDING SETBACK LINE
- C.A. COMMON AREA
- D.E. DRAINAGE EASEMENT
- D.&U.E. DRAINAGE & UTILITY EASEMENT
- D.U.&S.E. DRAINAGE UTILITY & SANITARY EASMT.
- L.E. LANDSCAPE EASEMENT
- R/W RIGHT-OF-WAY
- STREET LIGHT
- SIGN

SITE DATA TABLE

| | |
|---|---------------------------|
| SITE ZONING: | PUD |
| GROSS AREA: | ±146.61 AC |
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| COMMON AREA: | ±33.61 (22.9%) AC |
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| TOTAL LOTS: | 249 |
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OPEN SPACE TABLE

| | |
|-------------------------|------------------------|
| COMMON AREA A ±21.66 AC | COMMON AREA B ±7.63 AC |
| COMMON AREA C ±2.60 AC | COMMON AREA D ±0.61 AC |
| COMMON AREA E ±1.11 AC | BLOCK F ±26.45 AC |
| TOTAL | ±60.06 AC |

- GENERAL NOTES:
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C.R. N 500 W
MCCORDSVILLE, IN

CERTIFIED BY
Joshua H. Crisler

ISSUANCE INDEX

| | |
|----------------|--------------|
| DATE: | 8/20/2021 |
| PROJECT PHASE: | PRIMARY PLAT |

REVISION SCHEDULE

| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
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| | | |
| | | |
| | | |


Project Number 2020.03087

UTILITY PLAN

C306




D= 12"
1) 1" HMA, TYPE A, 9.5 MM SURFACE
2) 3" HMA, TYPE A, 19.0 MM INTERMEDIATE
3) 4" COMPACTED AGGREGATE BASE #53
4" COMPACTED AGGREGATE BASE #2

 (SEE KEYMAP, THIS SHEET, FOR DEN
LOCAL ROAD PAVEMENT THICKNESS
DESIGNATION)



D= 15"

- 1) 1" HMA, TYPE A, 9.5 MM SURFACE
- 2) 3" HMA, TYPE A, 19.0 MM INTERMEDIATE
- 3) 3" HMA, TYPE A, 25.0 MM BASE
- 4) 4" COMPACTED AGGREGATE BASE #53
- 4" COMPACTED AGGREGATE BASE #2

 (SEE KEYMAP, THIS SHEET, FOR DENOTATION OF LOCAL ARTERIAL ROAD PAVEMENT THICKNESS DESIGNATION)



TYPICAL DRY POND CROSS-SECTION

NOT TO SCALE



NOT TO SCALE



| | | | |
|---|--------------------|---|-------------------------|
|  | Beehive Inlet |  | Telephone Marker |
|  | Combination Pole |  | Telephone Pedestal |
|  | Fire Hydrant |  | Telephone Pole |
|  | Guy Wire |  | Temporary Bench Mark |
|  | Mail Box |  | Water Valve |
|  | Power Pole |  | Buried Gas Line |
|  | Sign |  | Buried Telephone Line |
|  | Stand Pipe |  | Overhead Electric Line |
|  | Stump |  | Overhead Telephone Line |
|  | Telephone Handhole | | |

| | |
|-------------|------------------------------------|
| _____ | RIGHT-OF-WAY (R/W) LINE |
| _____ | BUILDING SETBACK LINE |
| _____ | EASEMENT |
| _____ | WET DETENTION POND NORMAL POOL |
| _____ | LOT LINE |
| B.S.L. | BUILDING SETBACK LINE |
| C.A. | COMMON AREA |
| D.E. | DRAINAGE EASEMENT |
| D. & U.E. | DRAINAGE & UTILITY EASEMENT |
| D.U. & S.E. | DRAINAGE UTILITY & SANITARY EASMT. |
| L. | LANDSCAPE EASEMENT |
| R/W | RIGHT-OF-WAY |
| ★ | STREET LIGHT |
| + | SIGN |
| R | ADA CURB RAMP |

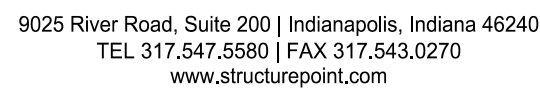
| | | |
|---|----------------------------|-------------|
| SITE ZONING: | | PURPOSE: |
| GROSS AREA: | | ±146.61 (A) |
| PROPOSED PUBLIC ROW: | ±21.55 (14.7%) | A |
| COMMON AREA: | ±33.61 (22.9%) | A |
| BLOCK F AREA: | ±26.45 (18.0%) | A |
| TOTAL LOT AREA: | ±65.00 (44.3%) | A |
| TOTAL LOTS: | 24 | |
| GROSS DENSITY: | 1.7 LOTS/ACR | |
| MINIMUM LOT AREA: | 8,700 SF (30') x 10,000 SF | 15 |
| MINIMUM LOT WIDTH: | 65' (30% >75' MINIMUM) | 15 |
| MINIMUM SIDE YARD: | 6' | 15 |
| MINIMUM FRONT YARD: | 30' | 15 |
| MINIMUM REAR YARD: | 10' | 15 |
| NUMBER OF LOTS >75' WIDE (75 MINIMUM): | | 10 |
| NUMBER OF LOTS >10,000 SF (75 MINIMUM): | | 16 |
| 96TH STREET FRONTAGE (120' - WIDE R/W): | 2,600 LF | |

| | | | | | |
|---------------|--------|----|---------------|--------|---|
| COMMON AREA A | ±21.66 | AC | COMMON AREA B | ±7.63 | A |
| COMMON AREA C | ±2.60 | AC | COMMON AREA D | ±0.61 | A |
| COMMON AREA E | ±1.11 | AC | BLOCK F | ±26.45 | A |
| | | | TOTAL | ±60.06 | A |

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C.R. N 500 W
MCCORDSVILLE, IN



| |
|----------------|
| DATE: |
| 8/20/2021 |
| PROJECT PHASE: |
| PRIMARY PLAT |

[illegible]

SITE DETAILS

C400