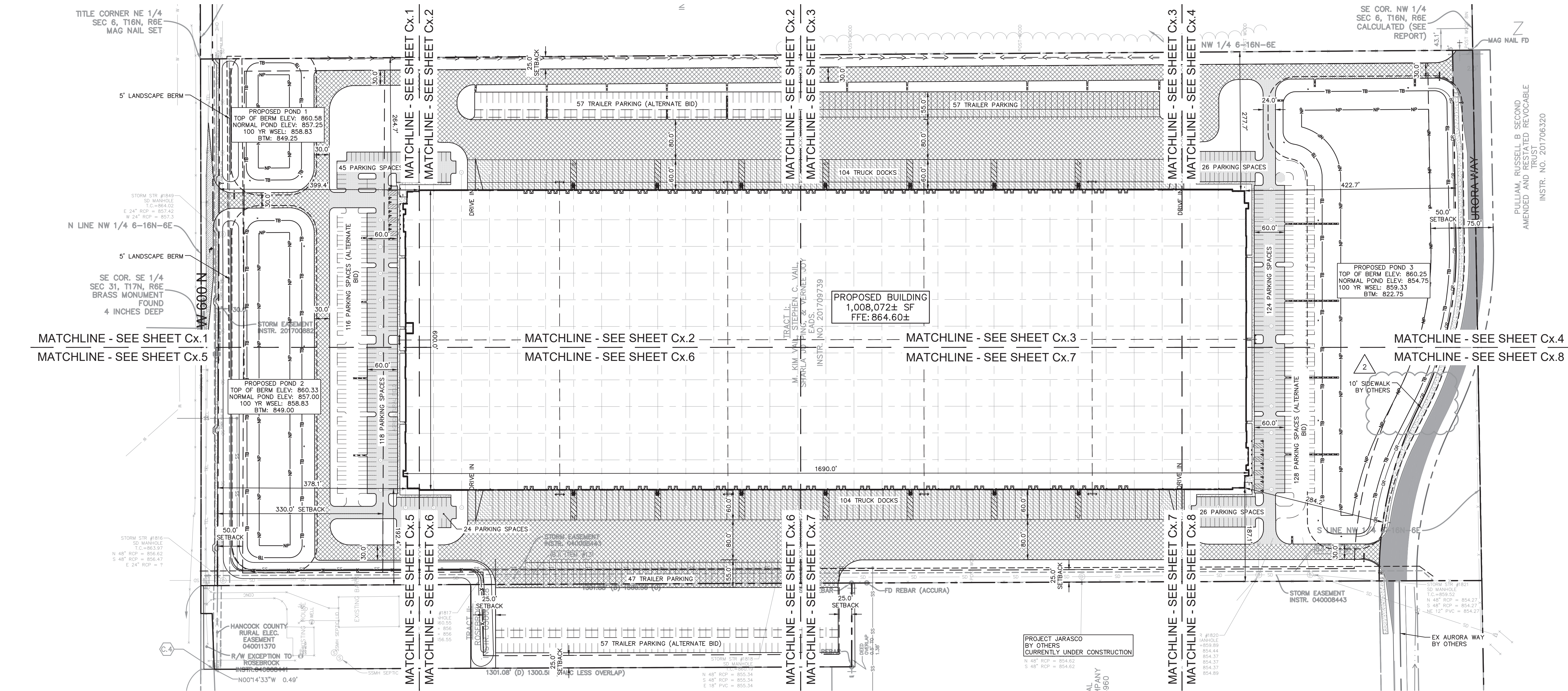


Drawing name: K:\IND_LDEV\170243000_M_Neyer_Vail Property_McCordsville\IND\2 Design\CADD\PlanSheets\C3.0-OVERALL SITE PLAN.dwg C3.0 Sep 07, 2021 4:32pm by: Kendal Gindling
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BENCHMARKS	
SITE BENCHMARKS: INDIANA GPS NETWORK, NTRIP USING STATE PLANE NAD83 AND NAVD88 GEIOD12	
SBM #1 SET REBAR (RED CAP S1ST CONTROL)	
NORTHING	= 1683470.2630
EASTING	= 259865.9724
ELEVATION	= 862.94
SBM #2 MAG NAIL FD (102)	
NORTHING	= 1683481.5712
EASTING	= 259226.7163
ELEVATION	= 865.22

EXISTING LEGEND	
	STORM INLET
	CURB INLET
	SANITARY SEWER MANHOLE (SSMH)
	STORM DRAIN MANHOLE (SDMH)
	TELEPHONE MANHOLE (TMH)
	RIGHT OF WAY MONUMENT
	WATER VALVE
	POWER POLE
	POWER METER
	TELEPHONE BOX/PEDESTAL
	ELECTRICAL MANHOLE
	UNDERGROUND FIBER OPTIC
	UNDERGROUND CABLE
	UNDERGROUND ELECTRIC
	DITCH FLOWLINE
	STORM DRAIN
	SEWER LINE
	GAS LINE
	WATER LINE
	PARKING SPACE
	H/C PARKING SPACE
	TRAFFIC SIGNAL POLE
	LIGHT POLE
	TREE
	MAILBOX
	MONITOR WELL

PROPERTY SUMMARY	
VAIL PROPERTY - MCCORDSVILLE, IN	
TOTAL PROPERTY AREA*	2,704,179 SF (62.08 AC)
TOTAL DISTURBED AREA*	2,704,179 SF (62.08 AC)
EXISTING IMPERVIOUS AREA	0
PROPOSED IMPERVIOUS AREA	937,929 SF (21.53 AC)
*TOTAL PROPERTY AREA IS AFTER ROW DEDICATIONS. TOTAL DISTURBED AREA INCLUDES DISTURBANCE WITHIN ROW.	
ZONING SUMMARY	
EXISTING ZONING	N/A (UNANNEXED)
PROPOSED ZONING	I-2
BUILDING SETBACKS	FRONT (CR 600 N)= 330'
	FRONT (AURORA WAY)= 50'
	REAR= 50'
MAX LOT COVERAGE	75% / 74.28% PROVIDED INCLUDING ALTERNATE BID
BUILDING DATA	
PROPOSED PROPERTY	2,822,145 SF (64.79 AC)
BUILDING AREA	±1,008,072 SF
PARKING/LOADING	
REQUIRED PARKING SPACES	363 (9'X18')
PROPOSED PARKING SPACES	363 (9'X18')
PARKING SPACES (ALTERNATE BID)	232 (9'X18')
ADA STALLS REQ'D/PROVIDED	16
PROPOSED TRAILER SPACES	312
TRAILER SPACES (ALTERNATE BID)	114

PAVING & CURB LEGEND	
	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
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	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	GRAVEL SEE CONSTRUCTION DETAILS FOR GRAVEL SECTION
	AURORA WAY EXTENSION SEE ROADWAY PLANS
	STANDARD CONCRETE CURB



CLIENT COMMENTS		8/2/21	9/7/21
TAC COMMENTS			
AS NOTED			
DESIGNED BY: AM			
DRAWN BY: KLG			
CHECKED BY: WAB			
NO.			
REVISIONS			
DATE			
BY			

William A. Bui

REGISTERED PROFESSIONAL ENGINEER

INDIANA

9/7/2021

NOT APPROVED FOR CONSTRUCTION

9/7/2021

Kimley»Horn

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250 EAST 86TH STREET, SUITE 580,

INDIANAPOLIS, IN 46240

WWW.KIMLEY-HORN.COM

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OVERALL SITE PLAN

VAIL INDUSTRIAL XXX AURORA WAY MCCORDSVILLE, IN

ORIGINAL ISSUE: 7/23/2021

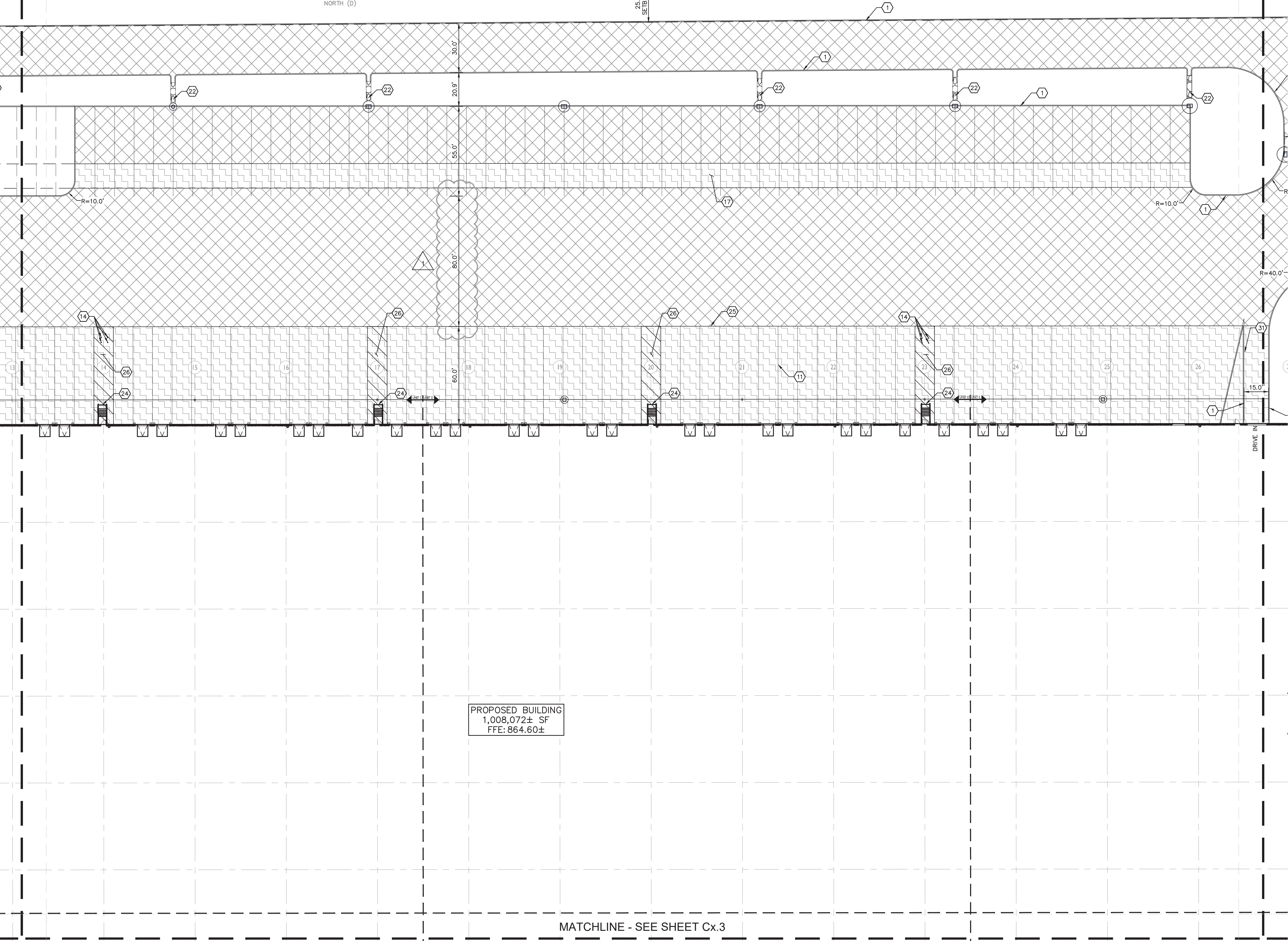
KHA PROJECT NO. 170243000

SHEET NUMBER C3.0

Drawing name: K:\IND_LDEV\170243000_A\Neyer_Vail Property_McCordville\IN\2 Design\CADD\PlanSheets\C3.1-SITE PLAN.dwg C3.3 - Sep 07, 2021 3:59pm by: Anthony/Magnity

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MATCHLINE - SEE SHEET Cx.2
MATCHLINE - SEE SHEET Cx.3



MATCHLINE - SEE SHEET Cx.3
MATCHLINE - SEE SHEET Cx.4

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GRAPHIC SCALE IN FEET
0 15' 30' 60'

NORTH

PAVING & CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT
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- ASPHALT TRAIL
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- GRAVEL
SEE CONSTRUCTION DETAILS FOR GRAVEL SECTION
- AURORA WAY EXTENSION
SEE ROADWAY PLANS
- STANDARD CONCRETE CURB

KEY NOTES

1. CONCRETE CURB, TYP. (SEE DETAILS)
2. DEPRESSED CURB (SEE DETAILS)
3. CONCRETE SIDEWALK, TYP. (SEE DETAILS)
4. CONCRETE CURB AND WALK (SEE DETAIL) (5' FROM FACE OF CURB)
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7. ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
8. ACCESSIBLE PARKING SIGN, TYP. (SEE PLAN FOR VAN LOCATION) (MUTCD R7-8, SEE DETAILS)
9. ACCESSIBLE RAMP (SEE DETAILS)
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13. STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
14. BOLLARD, TYP. (SEE DETAILS)
15. TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
16. TRANSFORMER PAD (SEE ARCHITECTURAL PLANS FOR DETAILS)
17. CONCRETE DOLLY PAD
18. MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
19. LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLAN)
20. BIKE RACK (SEE LANDSCAPE PLAN FOR DETAILS)
21. POND SAFETY SIGN (SEE DETAILS)
22. 2' CURB TURNOUT (SEE DETAILS)
23. 3-FT TRANSITION CURB
24. TRUCK DOCK STAIRS (4' VERT. HEIGHT) SEE ARCHITECTURAL PLANS
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27. HEAD-ACHE BAR
28. 6" FENCE
29. 5" LANDSCAPE BERM
30. 4' WIDE CURB CUT
31. CONCRETE DRIVE IN TRANSITION (SEE DETAILS)
32. GUARDRAIL (SEE DETAILS)
33. 18" STONE MULCH - SEE LANDSCAPE PLANS FOR DETAILS

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 4. NO SEMI-TRUCKS/TRAILERS SHALL BE PARKED CLOSER THEN 330 FEET FROM THE SOUTH RIGHT-OF-WAY LINE OF OR 600N.
 5. NO PRIMARY STRUCTURE SHALL BE LOCATED CLOSER THAN 330 FEET FROM THE SOUTH RIGHT-OF-WAY LINE OR 600N.
 6. THE PROPERTY OWNER OF LOT 2 IS REQUIRED TO MAINTAIN ALL LANDSCAPING AND OTHER DEVELOPMENT FEATURES, REQUIRED BY THE TOWN, IN PERPETUITY.

GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

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250 EAST 96TH STREET, SUITE 580,
INDIANAPOLIS, IN 46240
WWW.KIMLEY-HORN.COM

AS NOTED
DESIGNED BY: AMM
DRAWN BY: KLG
CHECKED BY: WAB

CLIENT COMMENTS
TAC COMMENTS

8/2/21
9/7/21

AMM
AMM

REVISIONS
No.

DATE
BY

WILLIAM A. BU...
REGISTERED PROFESSIONAL ENGINEER
NOT APPROVED FOR CONSTRUCTION
9/7/2021

NEAYER
AL NEAYER EST. 1894

SITE PLAN

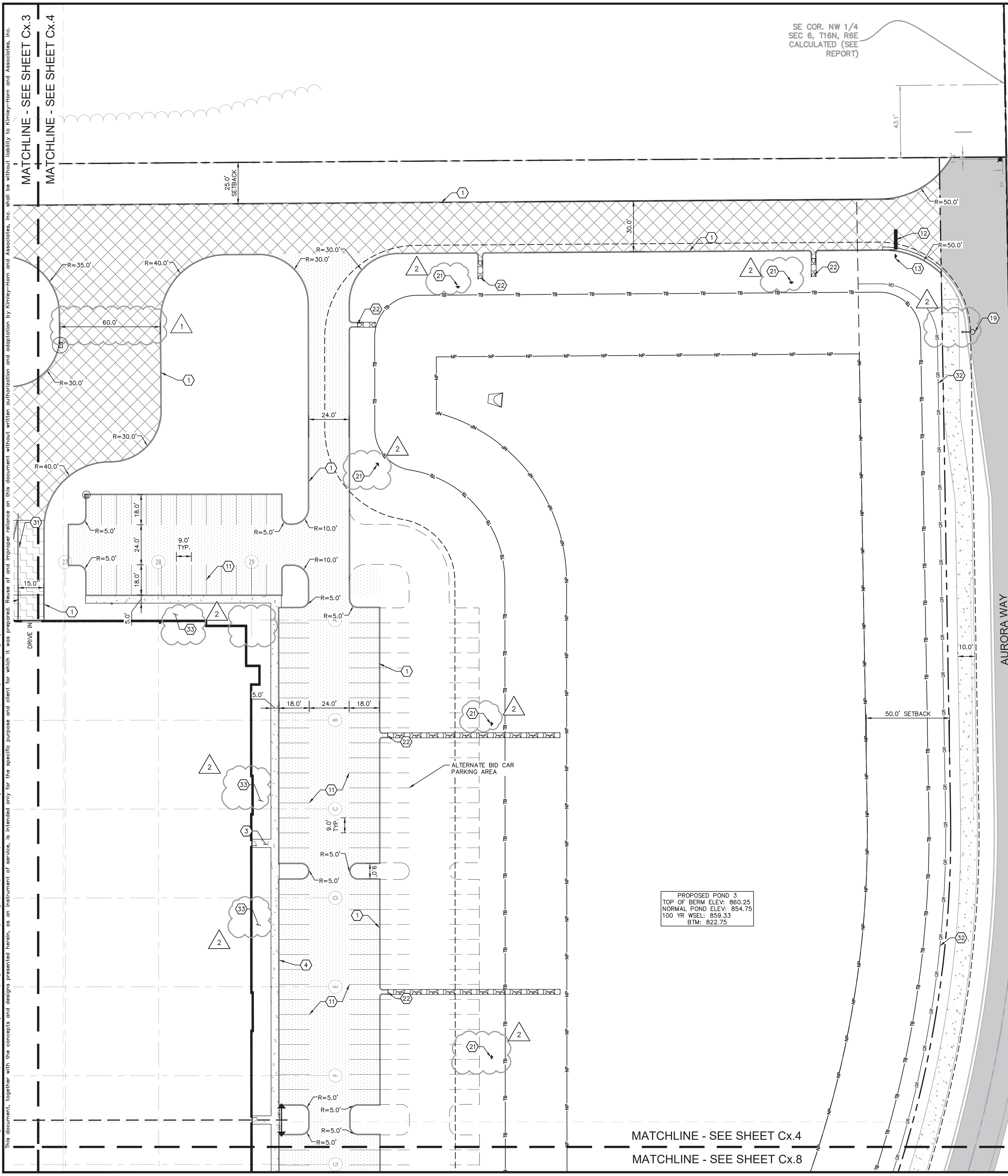
VAIL INDUSTRIAL
XXX AURORA WAY
MCCORDSVILLE, IN

ORIGINAL ISSUE:
7/23/2021
KHA PROJECT NO.
170243000
SHEET NUMBER
C3.3

Drawing name: K:\IND_LDEV\170243000_A\Neyer_Vail Property_McCordville.IN\2 Design\CADD\PlanSheets\C3.1-SITE PLANK.dwg C3.4 Sep 07, 2021 3:59pm by: Anthony/Magnity

MATCHLINE - SEE SHEET Cx.3
MATCHLINE - SEE SHEET Cx.4

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PROPOSED POND 3
TOP OF BERM ELEV: 860.25
NORMAL POND ELEV: 854.75
100 YR WSEL: 859.33
BTM: 822.75

SE COR. NW 1/4
SEC 6, T16N, R6E
CALCULATED (SEE
REPORT)

PULLIAM, RUSSELL, B. SECOND
AMENDED AND RESTATED REVOCABLE
TRUST
INSTR. NO. 201706320

MATCHLINE - SEE SHEET Cx.4
MATCHLINE - SEE SHEET Cx.8

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GRAPHIC SCALE IN FEET
0 15' 30' 60'

PAVING & CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- RIGHT OF WAY PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
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SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- ASPHALT TRAIL
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- GRAVEL
SEE CONSTRUCTION DETAILS FOR GRAVEL SECTION
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SEE ROADWAY PLANS
- STANDARD CONCRETE CURB

KEY NOTES

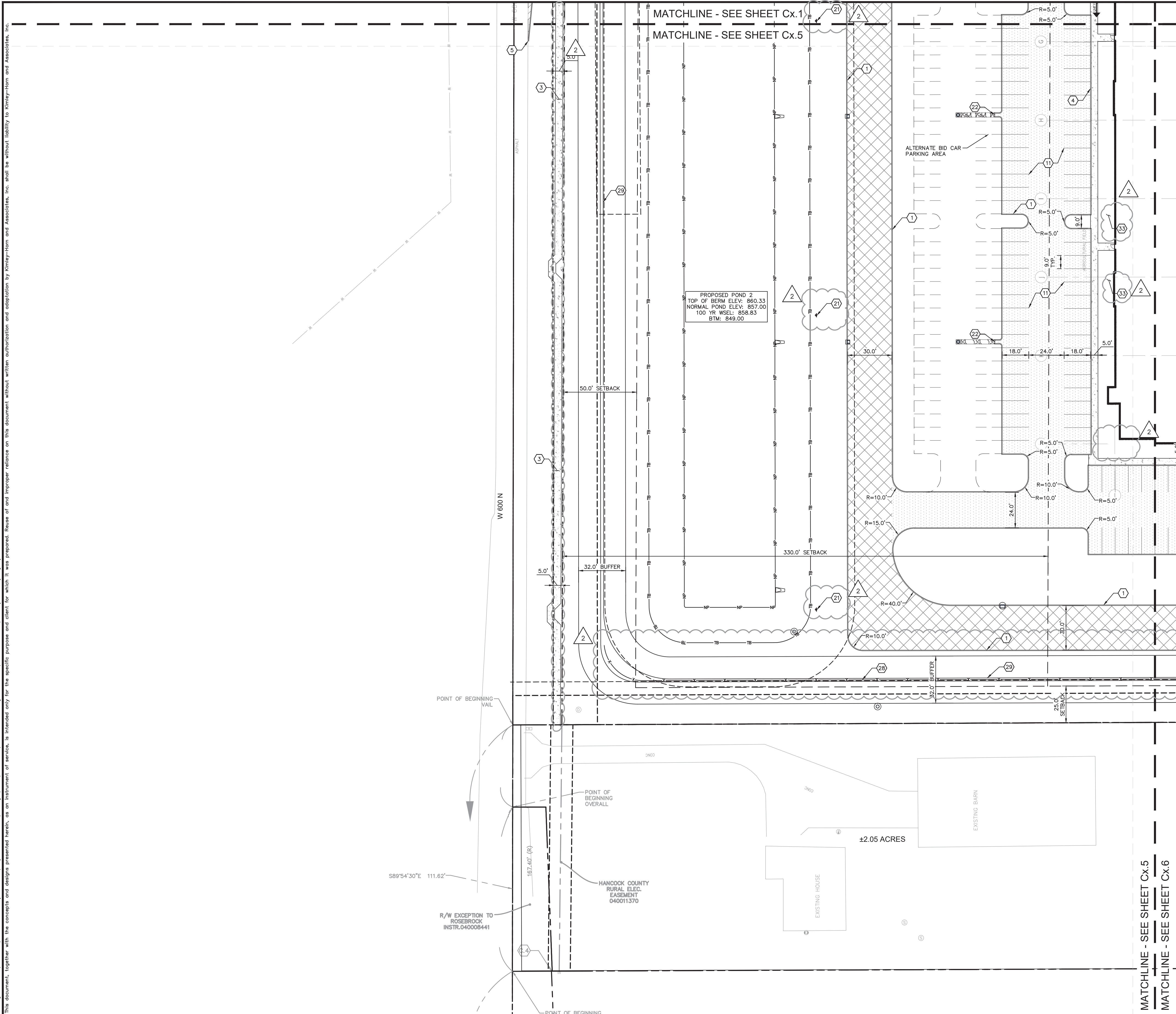
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GENERAL PLAN NOTES

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AMM	8/2/21	CLIENT COMMENTS	AS NOTED	DESIGNED BY AMM	WILLIAM A. BULLIAM, P.E. REGISTERED PROFESSIONAL ENGINEER INDIANA NOT APPROVED FOR CONSTRUCTION 9/7/2021	SITE PLAN	VAIL INDUSTRIAL XXX AURORA WAY MCCORDSVILLE, IN	ORIGINAL ISSUE: 7/23/2021 KHA PROJECT NO. 170243000 SHEET NUMBER C3.4
AMM	9/7/21	TAC COMMENTS	DRAWN BY: KLG	CHECKED BY: WAB				
		REVISIONS	NO.	DATE	BY			



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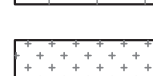
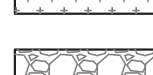


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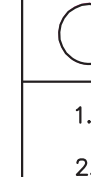

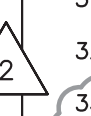


GRAPHIC SCALE IN FEET

0 15' 30' 60'



	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
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	GRAVEL SEE CONSTRUCTION DETAILS FOR GRAVEL SECTION
	AURORA WAY EXTENSION SEE ROADWAY PLANS
	STANDARD CONCRETE CURB

- 
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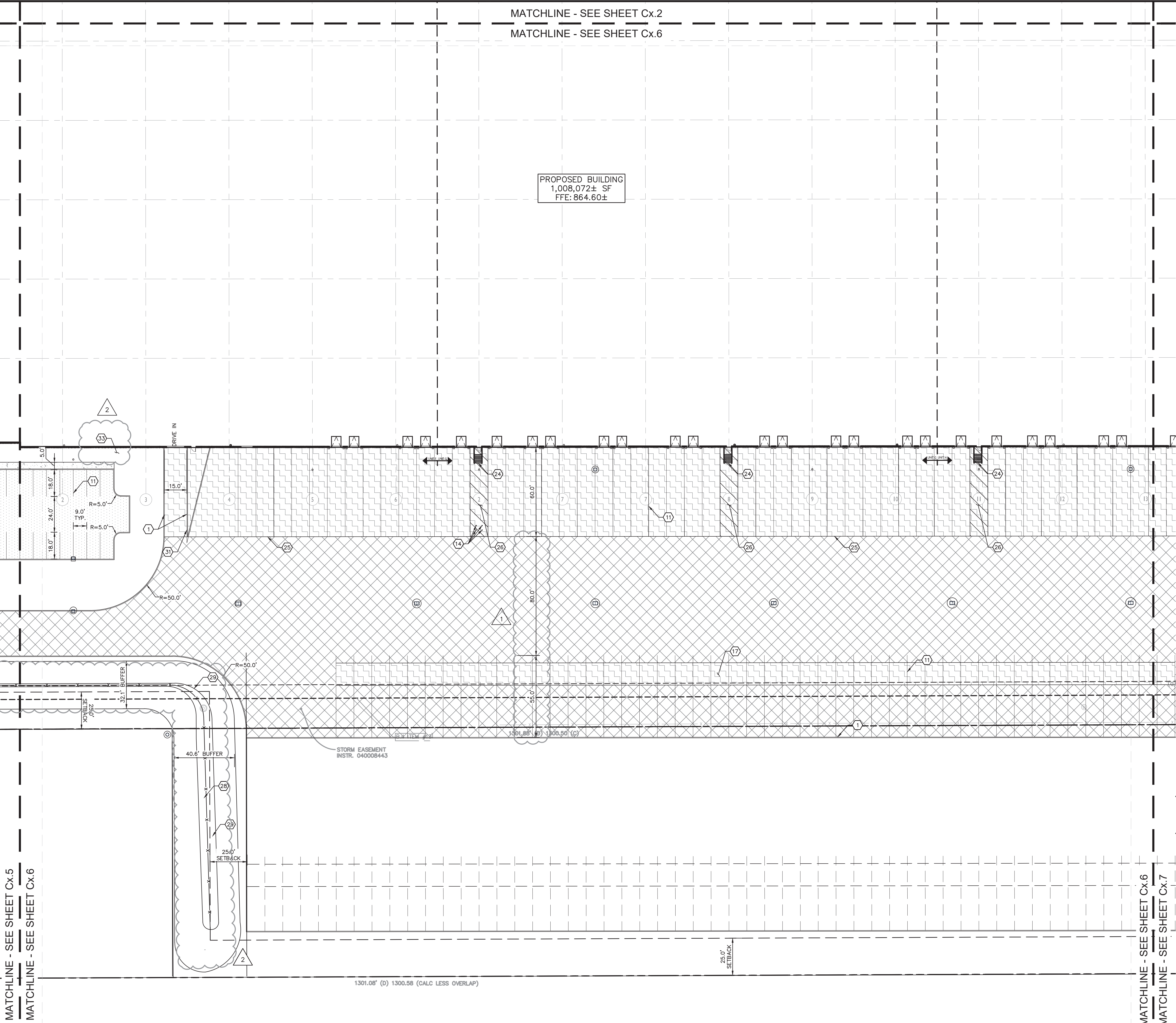
<h2>GENERAL PLAN NOTES</h2> <p>REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)</p>
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[illegible]

Drawing name: K:\IND_LDEV\170243000_M_Neyer_Vail Property_McCordville\IN\2 Design\CADD\PlanSheets\C3.1-SITE PLANK.dwg C3.6 Sep 07, 2021 3:59pm by: Anthony/Magnity

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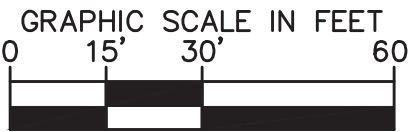
MATCHLINE - SEE SHEET Cx.5
MATCHLINE - SEE SHEET Cx.6



MATCHLINE - SEE SHEET Cx.6

MATCHLINE - SEE SHEET Cx.7

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PAVING & CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
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SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
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- GUARDRAIL (SEE DETAILS)
- 18" STONE MULCH - SEE LANDSCAPE PLANS FOR DETAILS

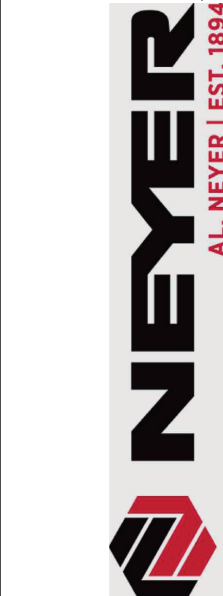
- NOTES:
- REFER TO ARCHITECTURAL PLANS FOR INTERIOR TRASH LOCATION AND DETAILS.
 - OUTDOOR STORAGE OF ANY MATERIALS AND EQUIPMENT ARE NOT PERMITTED PER THE TOWN. ALL ITEMS SHALL BE STORED INSIDE OF THE BUILDING.
 - ALL PRIVATE SITE LIGHT WITH WALL AND POLE MOUNTED FIXTURES SHALL FACE DIRECTLY DOWN, AND THE TOWN RESERVES THE RIGHT TO REQUIRE SHIELDING IN THE FUTURE IF LIGHT LEVELS ARE DEEMED TO HIGH.
 - NO SEMI-TRUCKS/TRAILERS SHALL BE PARKED CLOSER THEN 330 FEET FROM THE SOUTH RIGHT-OF-WAY LINE OF OR 600N.
 - NO PRIMARY STRUCTURE SHALL BE LOCATED CLOSER THAN 330 FEET FROM THE SOUTH RIGHT-OF-WAY LINE OR 600N.
 - THE PROPERTY OWNER OF LOT 2 IS REQUIRED TO MAINTAIN ALL LANDSCAPING AND OTHER DEVELOPMENT FEATURES, REQUIRED BY THE TOWN, IN PERPETUITY.

GENERAL PLAN NOTES

REFER TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING THE FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIFIC GENERAL PLAN NOTES.)

VAIL INDUSTRIAL
XXX AURORA WAY
MCCORDSVILLE, IN

SITE PLAN



SCALE:
AS NOTED
DESIGNED BY: AMM
DRAWN BY: KLG
CHECKED BY: WAB

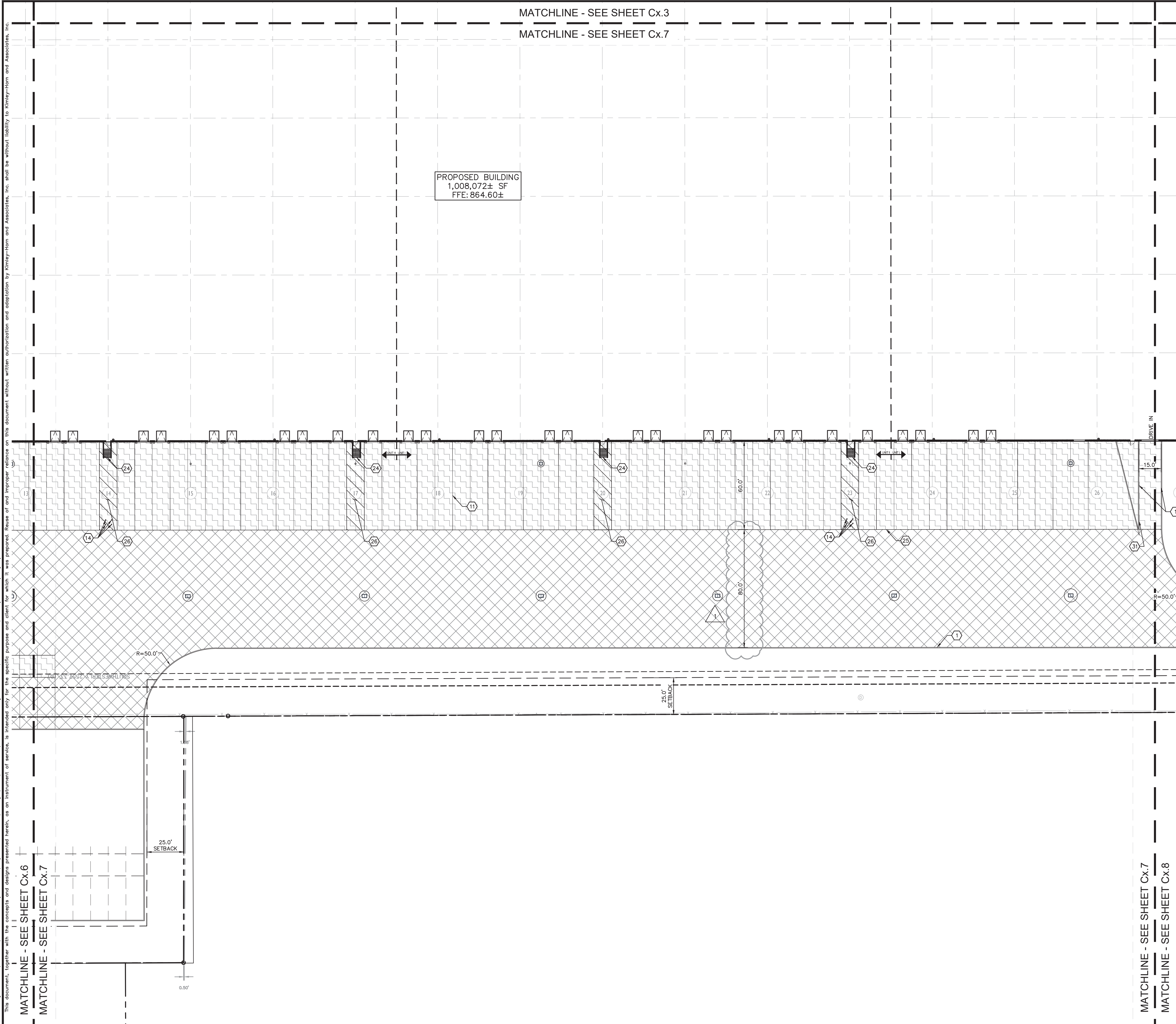
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CLIENT COMMENTS	CLIENT COMMENTS	CLIENT COMMENTS
AMM	8/2/21	AMM
TAC COMMENTS	9/7/21	AMM
REVISIONS	DATE	BY
No.		

ORIGINAL ISSUE:
7/23/2021
KHA PROJECT NO.
170243000
SHEET NUMBER
C3.6

Drawing name: K:\IND_LDEV\170243000_A\Neyer_Vail Property_McCordville.IN\2 Design\CADD\PlanSheets\C3.1-SITE PLANK.dwg C3.7 Sep 07, 2021 4:00pm by: Anthony Maginity
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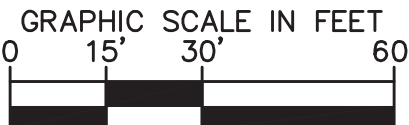
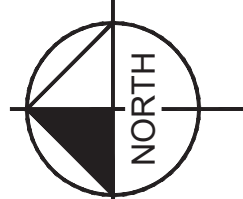
MATCHLINE - SEE SHEET Cx.6
MATCHLINE - SEE SHEET Cx.7



MATCHLINE - SEE SHEET Cx.3
MATCHLINE - SEE SHEET Cx.7

Indiana Utilities Protection Service

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PAVING & CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- RIGHT OF WAY PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY CONCRETE PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- ASPHALT TRAIL
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- GRAVEL
SEE CONSTRUCTION DETAILS FOR GRAVEL SECTION
- AURORA WAY EXTENSION
SEE ROADWAY PLANS
- STANDARD CONCRETE CURB

KEY NOTES

- CONCRETE CURB, TYP. (SEE DETAILS)
- DEPRESSED CURB (SEE DETAILS)
- CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- CONCRETE CURB AND WALK (SEE DETAIL) (5' FROM FACE OF CURB)
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- CONCRETE PARKING BUMPER TYP. (SEE DETAILS)
- ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- ACCESSIBLE PARKING SIGN, TYP. (SEE PLAN FOR VAN LOCATION) (MUTCD R7-8, SEE DETAILS)
- ACCESSIBLE RAMP (SEE DETAILS)
- 2' WIDE TACTILE WARNING STRIP
- 4" WIDE PAINTED WHITE SOLID LINE, TYP.
- 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- BOLLARD, TYP. (SEE DETAILS)
- TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- TRANSFORMER PAD (SEE ARCHITECTURAL PLANS FOR DETAILS)
- CONCRETE DOLLY PAD
- MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLAN)
- BIKE RACK (SEE LANDSCAPE PLAN FOR DETAILS)
- POND SAFETY SIGN (SEE DETAILS)
- 2' CURB TURNOUT (SEE DETAILS)
- 3-FT TRANSITION CURB
- TRUCK DOCK STAIRS (4' VERT. HEIGHT) SEE ARCHITECTURAL PLANS
- ASPHALT / CONCRETE INTERFACE (SEE DETAILS)
- 4" WIDE PAINTED YELLOW SOLID LINE, TYP.
- HEAD-ACHE BAR
- 6" FENCE
- 5' LANDSCAPE BERM
- 4' WIDE CURB CUT
- CONCRETE DRIVE IN TRANSITION (SEE DETAILS)
- GUARDRAIL (SEE DETAILS)
- 18" STONE MULCH - SEE LANDSCAPE PLANS FOR DETAILS

- NOTES:
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SCALE:
AS NOTED
DESIGNED BY: AMM
DRAWN BY: KLG
CHECKED BY: WAB

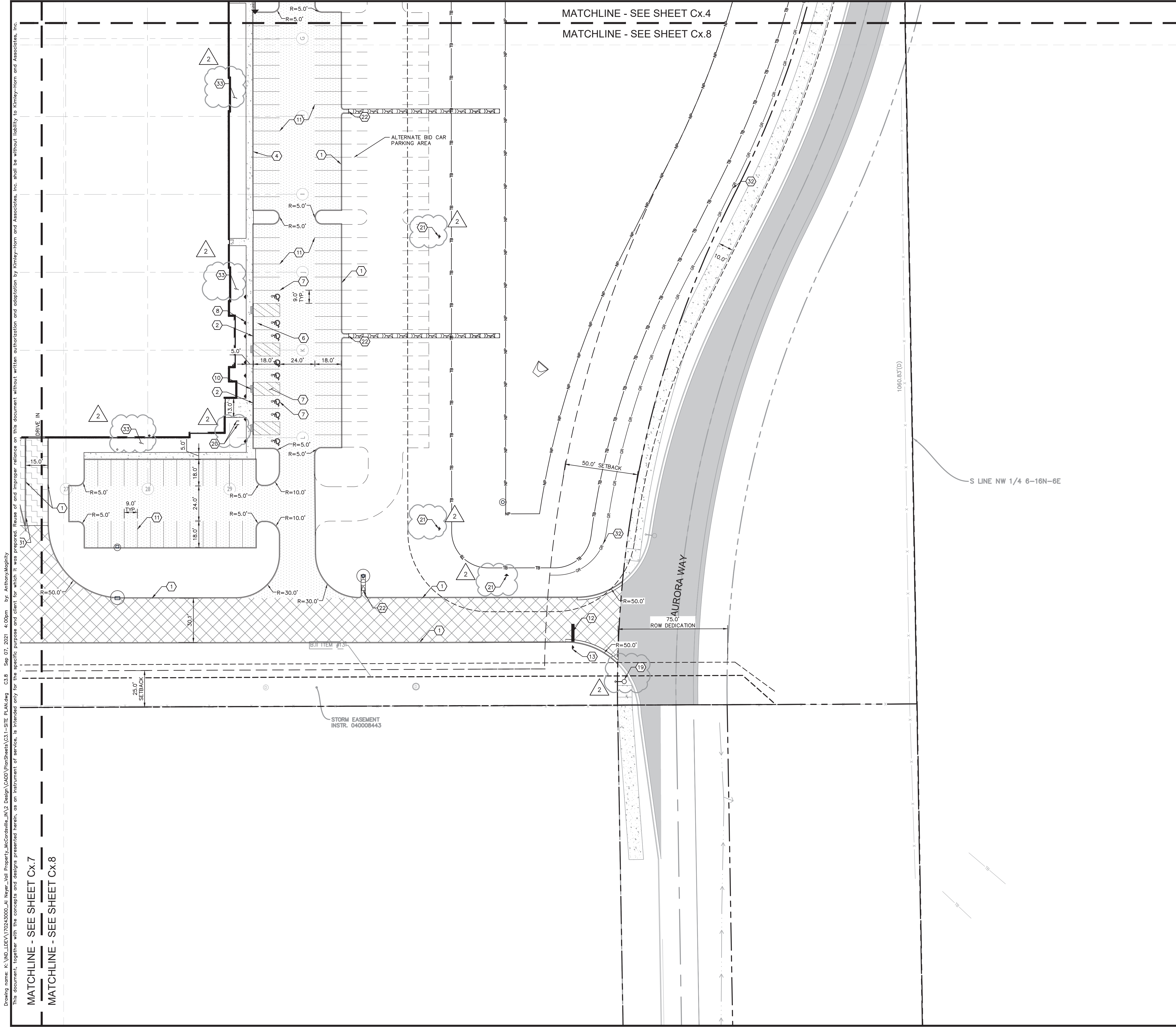


SITE PLAN

VAIL INDUSTRIAL
XXX AURORA WAY
MCCORDSVILLE, IN

ORIGINAL ISSUE:
7/23/2021
KHA PROJECT NO.
170243000
SHEET NUMBER

C3.7



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NORTH

GRAPHIC SCALE IN FEET
0 15' 30' 60'

PAVING & CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	GRAVEL SEE CONSTRUCTION DETAILS FOR GRAVEL SECTION
	AURORA WAY EXTENSION SEE ROADWAY PLANS
	STANDARD CONCRETE CURB

KEY NOTES

- CONCRETE CURB, TYP. (SEE DETAILS)
- DEPRESSED CURB (SEE DETAILS)
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- CONCRETE DOLLY PAD
- MONUMENT SIGN (SEE ARCHITECTURAL PLANS FOR DETAILS)
- LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLAN)
- BIKE RACK (SEE LANDSCAPE PLAN FOR DETAILS)
21. POND SAFETY SIGN (SEE DETAILS)
2. CURB TURNOUT (SEE DETAILS)
- 3-FT TRANSITION CURB
- TRUCK DOCK STAIRS (4' VERT. HEIGHT) SEE ARCHITECTURAL PLANS
- ASPHALT / CONCRETE INTERFACE (SEE DETAILS)
- 4" WIDE PAINTED YELLOW SOLID LINE, TYP.
- HEAD-ACHE BAR
- 6" FENCE
- 5' LANDSCAPE BERM
- 4' WIDE CURB CUT
- CONCRETE DRIVE IN TRANSITION (SEE DETAILS)
- GUARDRAIL (SEE DETAILS)
33. 18" STONE MULCH - SEE LANDSCAPE PLANS FOR DETAILS

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CLIENT COMMENTS	AMM	8/2/21
TAC COMMENTS	AMM	9/7/21
AS NOTED		
DESIGNED BY AMM		
DRAWN BY: KLG		
CHECKED BY: WAB		
NO.		
REVISIONS		
DATE		
BY		

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WWW.KIMLEY-HORN.COM

WILLIAM A. BUI
REGISTERED PROFESSIONAL ENGINEER
STATE OF INDIANA
NO. 45807
EXPIRES 9/7/2021

AL. NEVER EST. 1894

SITE PLAN

VAIL INDUSTRIAL
XXX AURORA WAY
MCCORDSVILLE, IN

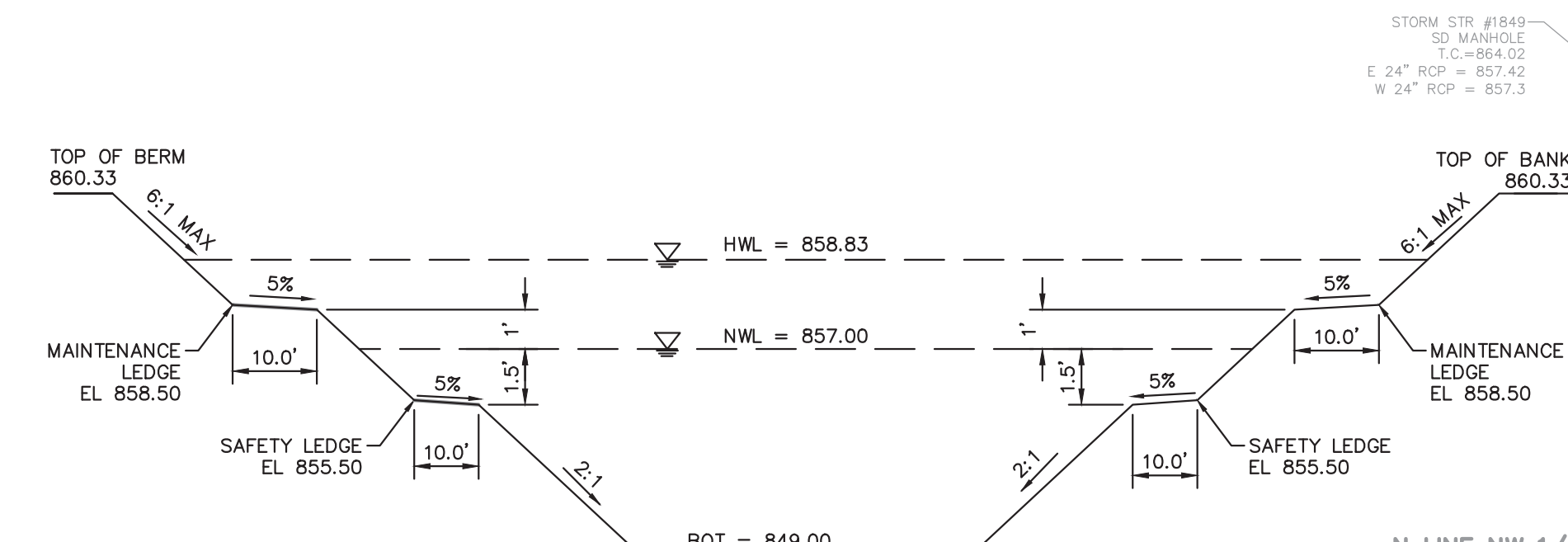
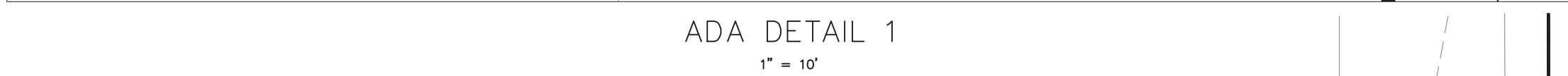
ORIGINAL ISSUE:
7/23/2021

KHA PROJECT NO.
170243000

SHEET NUMBER

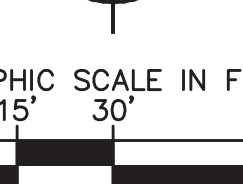
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C	862.0
C	861.5

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XXX.XX FINISHED GRADE SPOT ELEVATION

- Figure 6**

FOR TO GENERAL NOTES SHEET FOR MORE INFORMATION INCLUDING
 FOLLOWING: (EXISTING LEGEND, BENCHMARK INFORMATION, AND SPECIAL
 PLAN NOTES.)

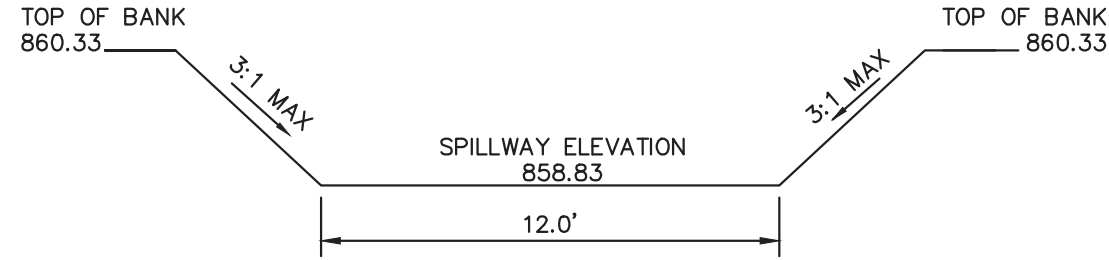
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VAIL INDUSTRIAL
XXX AURORA WAY
MCCORDSVILLE IN

C5 1

Drawing name: K:\IND_LDEV\170243000_A\Neyer_Vol Property_McCordville_IN\2 Design\CADD\PlanSheets\C5.1-GRADING AND DRAINAGE PLAN.dwg CS.5 Sep 07, 2021 4:35pm by: AnthonyMagnity
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EMERGENCY OVERFLOW WEIR SECTION F-F
N.T.S.



STORM STR. #1816
SD MANHOLE
TC=863.97
N 48° RCP = 856.62
S 48° RCP = 856.47
E 24° RCP = ?

POINT OF BEGINNING
VAIL

R/W EXCEPTION TO
ROSEBROOK
INSTR.040008441

POINT OF BEGINNING
ROSEBROOK

HANCOCK COUNTY
RURAL ELEC.
EASEMENT
040011370

MATCHLINE - SEE SHEET Cx.1
MATCHLINE - SEE SHEET Cx.5

PROPOSED POND 2
TOP OF BERM ELEV.: 860.33
NORMAL POND ELEV.: 857.00
100 YR WSEL: 858.83
BTM: 849.00

±2.05 ACRES

CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF
EXISTING 42" PIPES. REMOVE A SECTION & REPLACE WITH
A NEW TYPE L MANHOLE. CONNECT WITH WATERTIGHT
CONNECTORS.

MATCHLINE - SEE SHEET Cx.5
MATCHLINE - SEE SHEET Cx.6

Indiana Utilities Protection Service

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GRAPHIC SCALE IN FEET
0 15' 30' 60'

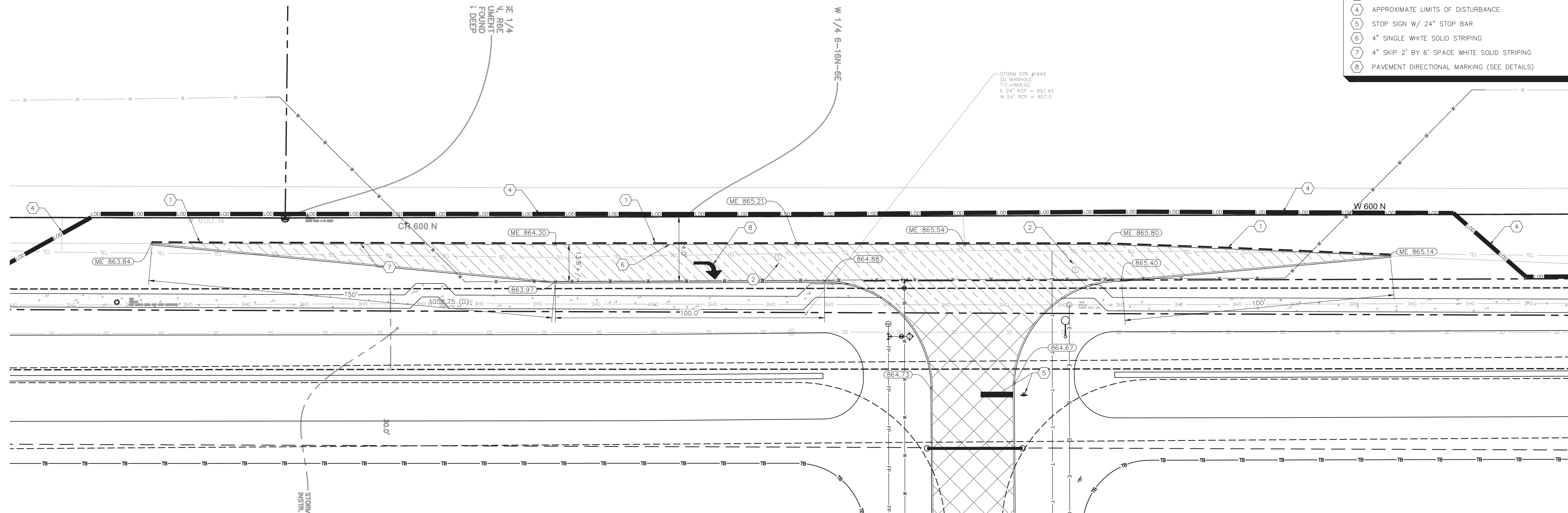
GRADING LEGEND



XXX.XX	FINISHED GRADE SPOT ELEVATION
TC XXX.XX BC XXX.XX	TOP OF CURB / BOTTOM OF CURB SPOT ELEVATION
FL XXX.XX	FLOW LINE SPOT ELEVATION
ME XXX.XX	MATCH EXISTING SPOT ELEVATION
FF XXX.XX	FINISHED FLOOR SPOT ELEVATION
FG XXX.XX	FINISHED GRADE NEAR BUILDING SPOT ELEVATION
TW XXX.XX	TOP OF WALL SPOT ELEVATION
SW XXX.XX	BOTTOM OF WALL SPOT ELEVATION
R XXX.XX	RIM ELEVATION
STR XX R XXX.XX	STRUCTURE ID & RIM ELEVATION
STR XX INV XXX.XX	STRUCTURE ID & INVERT ELEVATION
620	PROPOSED CONTOUR
RIDGE	RIDGE LINE
XXX%	SLOPE AND FLOW DIRECTION
←	100-YEAR OVERLAND OVERFLOW ROUTE
↑	DETENTION BASIN 100-YEAR EMERGENCY
—	PROPOSED SWALE
—	PROPOSED STORM SEWER
—	PROPOSED STORM STRUCTURES
—	PROPOSED SANITARY MANHOLE
—	PROPOSED STORM/SANITARY CLEANOUT
—	PROPOSED WATER STRUCTURES
—	PROPOSED LIGHT POLES
—	PROPOSED TRANSFORMER PAD

CLIENT COMMENTS	AMM	8/2/21
TAC COMMENTS	AMM	9/7/21
AS NOTED	DESIGNED BY AMM	SCALE:
WILLIAM A. BULL	DRAWN BY: KLG	DRAWN BY: KLG
REGISTERED PROFESSIONAL ENGINEER	CHECKED BY: WAB	CHECKED BY: WAB
NOT FOR CONSTRUCTION	DATE	BY
9/7/2021		
NEVER	AL NEVER EST. 1894	
GRADING AND DRAINAGE PLAN		
VAIL INDUSTRIAL XXX AURORA WAY MCCORDSVILLE, IN	ORIGINAL ISSUE: 7/23/2021	
	KHA PROJECT NO. 170243000	
	SHEET NUMBER	
	C5.5	

	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	SAWCUT LINE (FULL DEPTH)
	LIMITS OF DISTURBANCE
	EMERGENCY OVERFLOW ROUTE

1	SAWCUT LINE
2	UTILITY CABINET/PEDESTAL TO BE RELOCATED (COORDINATE WITH PROVIDER)
3	UTILITY POLE TO BE RELOCATED (COORDINATE WITH PROVIDER)
4	APPROXIMATE LIMITS OF DISTURBANCE
5	STOP SIGN W/ 24" STOP BAR
6	4" SINGLE WHITE SOLID STRIPING
7	4" SKIP 2' BY 6' SPACE WHITE SOLID STRIPING
8	PAVEMENT DIRECTIONAL MARKING (SEE DETAILS)



VAIL INDUSTRIAL XXX AURORA WAY MCCORDSVILLE, IN	CR 600 W ENTRANCE PLAN			Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 98TH STREET, SUITE 550, INDIANAPOLIS, IN 46240 PHONE: 317.552.8300 WWW.KIMLEY-HORN.COM	△	CLIENT COMMENTS	8/2/21	AMM
					△	TAC COMMENTS	9/7/21	AMM
ORIGINAL ISSUE: 7/23/2021 KHA PROJECT NO. 170243000 SHEET NUMBER C5.9								

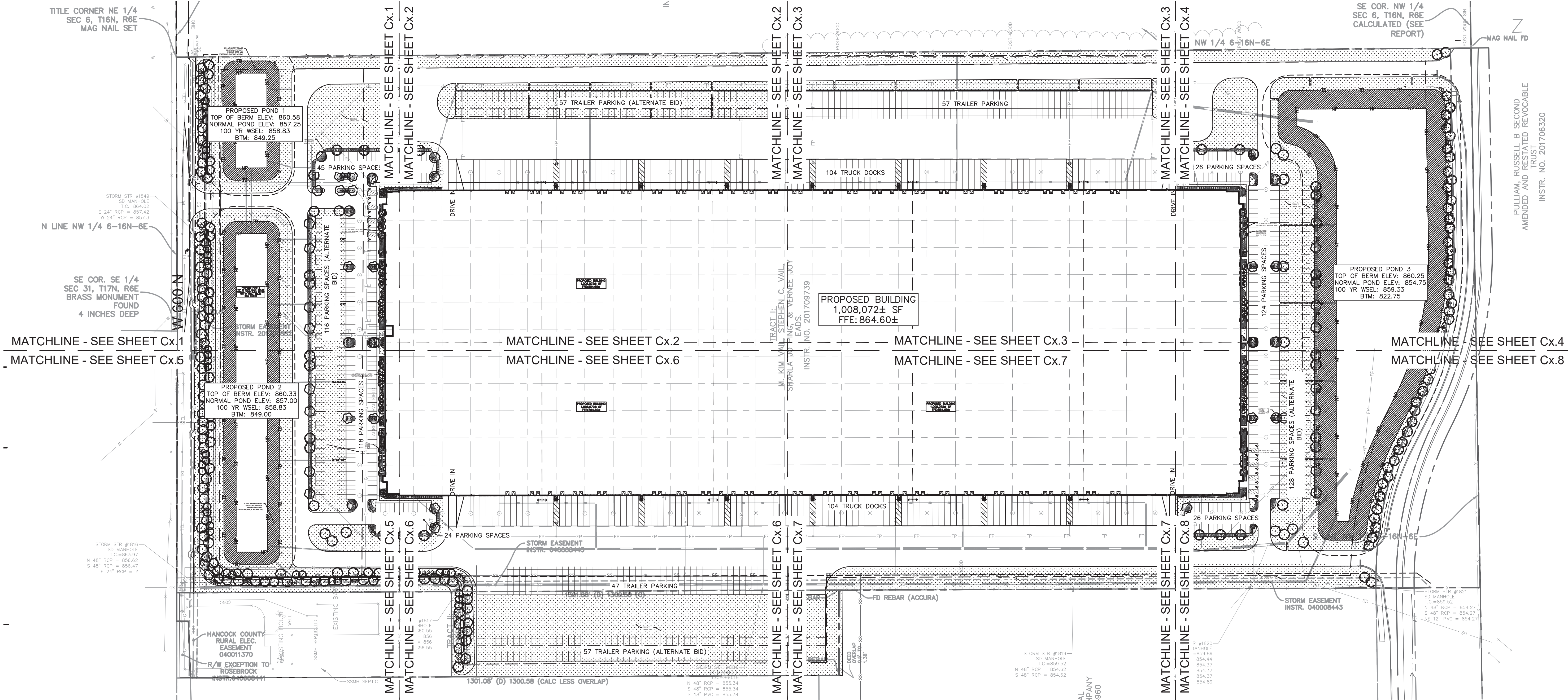


N.T.S



N.T.S.

C7.4



VAIL INDUSTRIAL
XXX AURORA WAY
MCCORDSVILLE, IN

OVERALL
LANDSCAPE
PLAN

ORIGINAL ISSUE:
7/23/2021

KHA PROJECT NO.
170243000

SHEET NUMBER

L1.0

AS NOTED

DESIGNED BY: AMM

DRAWN BY: KLG

CHECKED BY: WAB

Kimley»Horn

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WWW.KIMLEY-HORN.COM

NOT APPROVED FOR
CONSTRUCTION

Michael Payne

9/7/2021

NEAYER

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CLIENT COMMENTS

TAC COMMENTS

AMM 8/2/21

AMM 9/7/21

REVISIONS

DATE

BY

PULLIAM, RUSSELL B SECOND
AMENDED AND RESTATED REVOCABLE
POWER OF ATTORNEY
INSTR. NO. 201706320

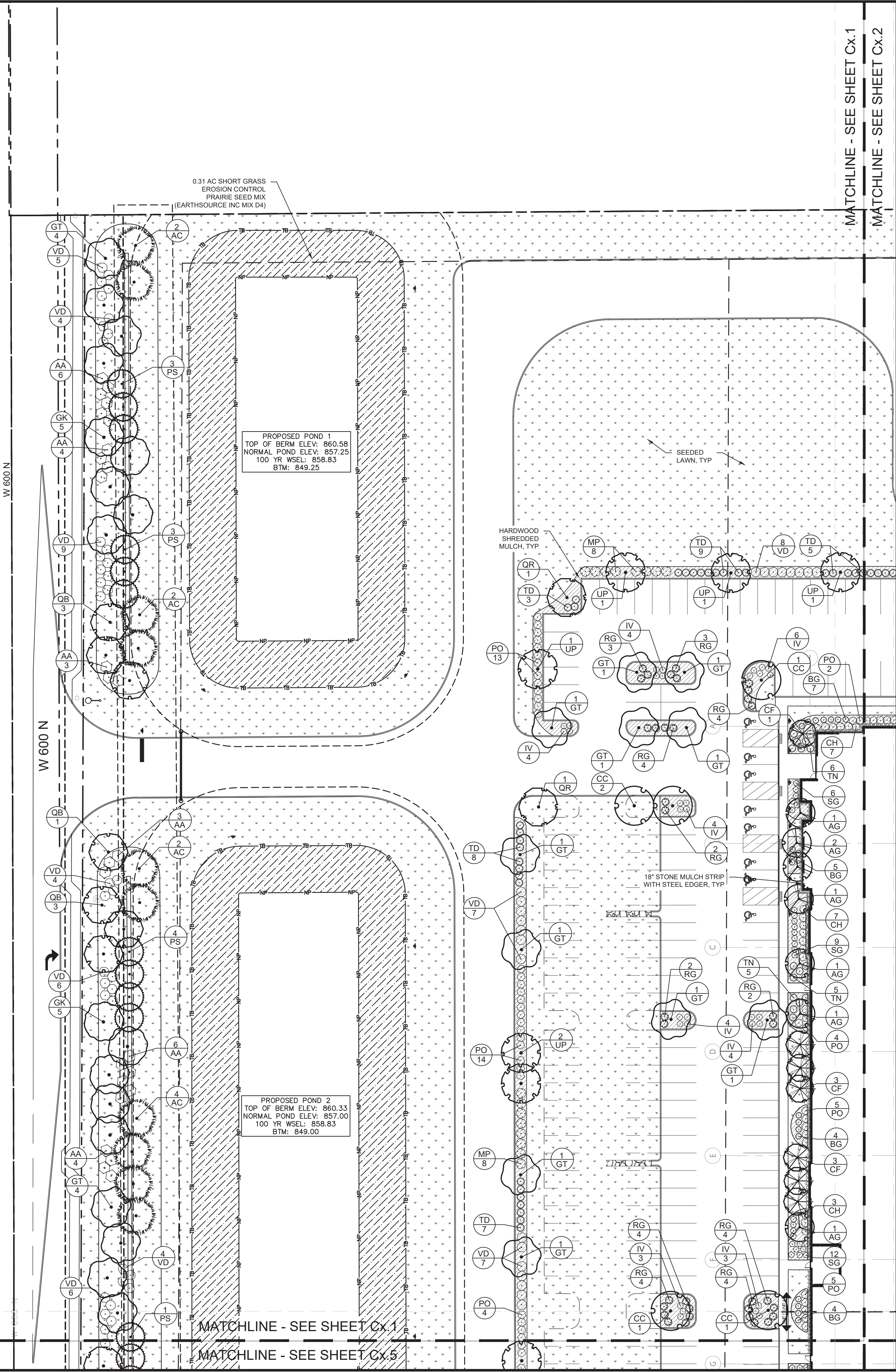
GRAPHIC SCALE IN FEET

0 50' 100' 200'

NORTH

Drawing name: K:\IND_DEV\170243000_M_Neyer_Vol Property_McCordville\IN\2 Design\CADD\PlanSheets\L1.0-LANDSCAPE PLAN.dwg L1.1 LANDSCAPE PLAN Sep 07, 2021 4:34pm By: KendalGindling

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GRAPHIC SCALE IN FEET

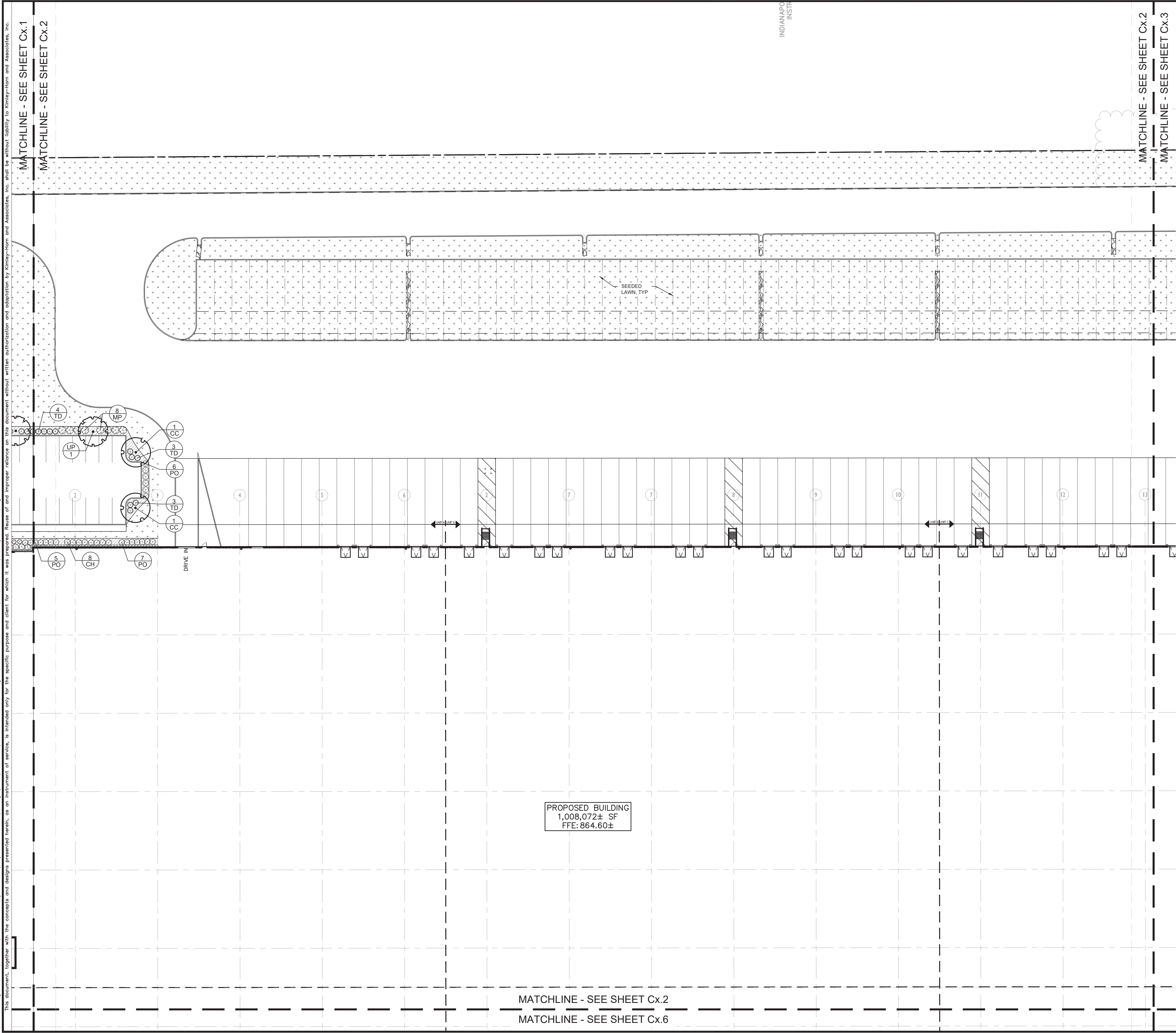
0 15' 30' 60'

NORTH

VAIL INDUSTRIAL XXX AURORA WAY MCCORDSVILLE, IN		LANDSCAPE PLAN				 NOTED MICHAEL C. CORTY ARCHITECT APPROVED FOR CONSTRUCTION Michael Rye 9/7/2021		SCALE: AS NOTED DESIGNED BY: AMM DRAWN BY: KLG CHECKED BY: WAB		Kimley»Horn © 2021 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 96TH STREET, SUITE 550, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM		△ △ CLIENT COMMENTS TAC COMMENTS		8/2/21 9/7/21 AMM AMM	
ORIGINAL ISSUE: 7/23/2021		KHA PROJECT NO. 170243000		SHEET NUMBER		L1.1									

Drawing name: K:\IND_DEV\170243000_A\Neyer_Vail Property_McCordville\1\2 Design\CADD\PlanSheets\L1.2-LANDSCAPE PLAN.dwg L1.2 LANDSCAPE PLAN Sep 07, 2021 4:34pm by KendalGindling

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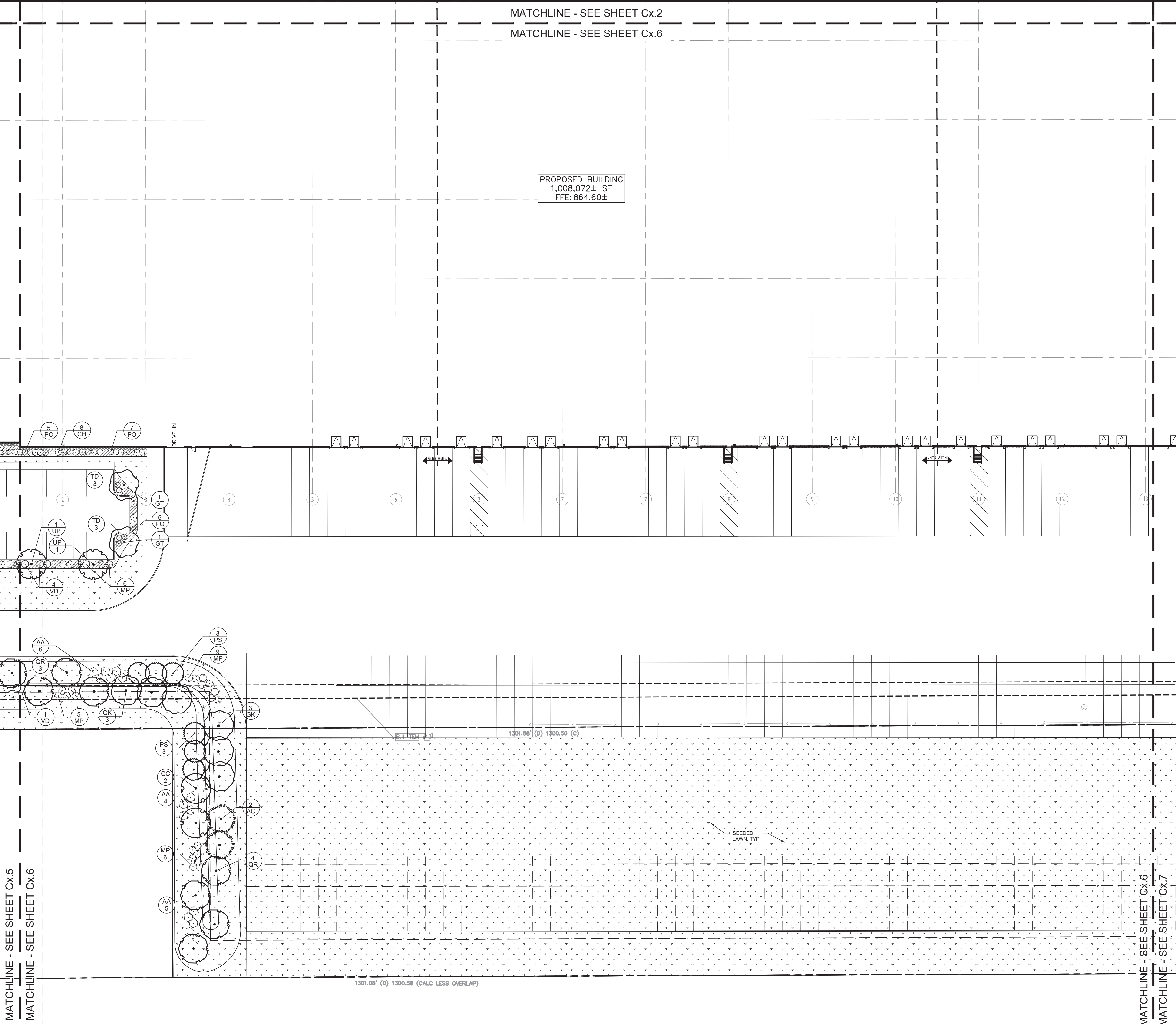
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GRAPHIC SCALE IN FEET
0 15' 30' 60'

NORTH

VAIL INDUSTRIAL XXX AURORA WAY MCCORDSVILLE, IN	LANDSCAPE PLAN			9/7/2021		SCALE: AS NOTED DESIGNED BY: AMM DRAWN BY: KLG CHECKED BY: WAB	 KIMLEY-HORN AND ASSOCIATES, INC. 2520 EAST 94TH STREET, SUITE 500 INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM	CLIENT COMMENTS	8/2/21	AMM
								TAC COMMENTS	9/7/21	AMM
ORIGINAL ISSUE: 7/23/2021	KHA PROJECT NO. 170243000	SHEET NUMBER L1.2								

Drawing name: K:\IND_LDEV\170243000_A1_Neyer_Vail Property_McCordville\170243000-L1.6-LANDSCAPE PLAN.dwg L1.6 LANDSCAPE PLAN Sep 07, 2021 4:35pm by KendalGinding
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[illegible]

WATCHLINE	SEE SHEET CX.7	1	1
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MATCHLINE - SEE SHEET Cx.7

A horizontal line with arrows at both ends. Above the line, the text "UNIT H" is positioned on the left and "UNIT I" is positioned on the right, separated by a vertical tick mark in the center.

Q

MATCHLINE - SEE SHEET Cx.8

GRAPHIC SCALE IN FEET

A horizontal line with vertical tick marks at 0, 15, 30, and 60 feet. The segment between 0 and 15 is white, 15 and 30 is black, 30 and 60 is white, and the segment after 60 is black.

LANDSCAPE
PLAN

NEYER
AL - NEYER | EST. 1894

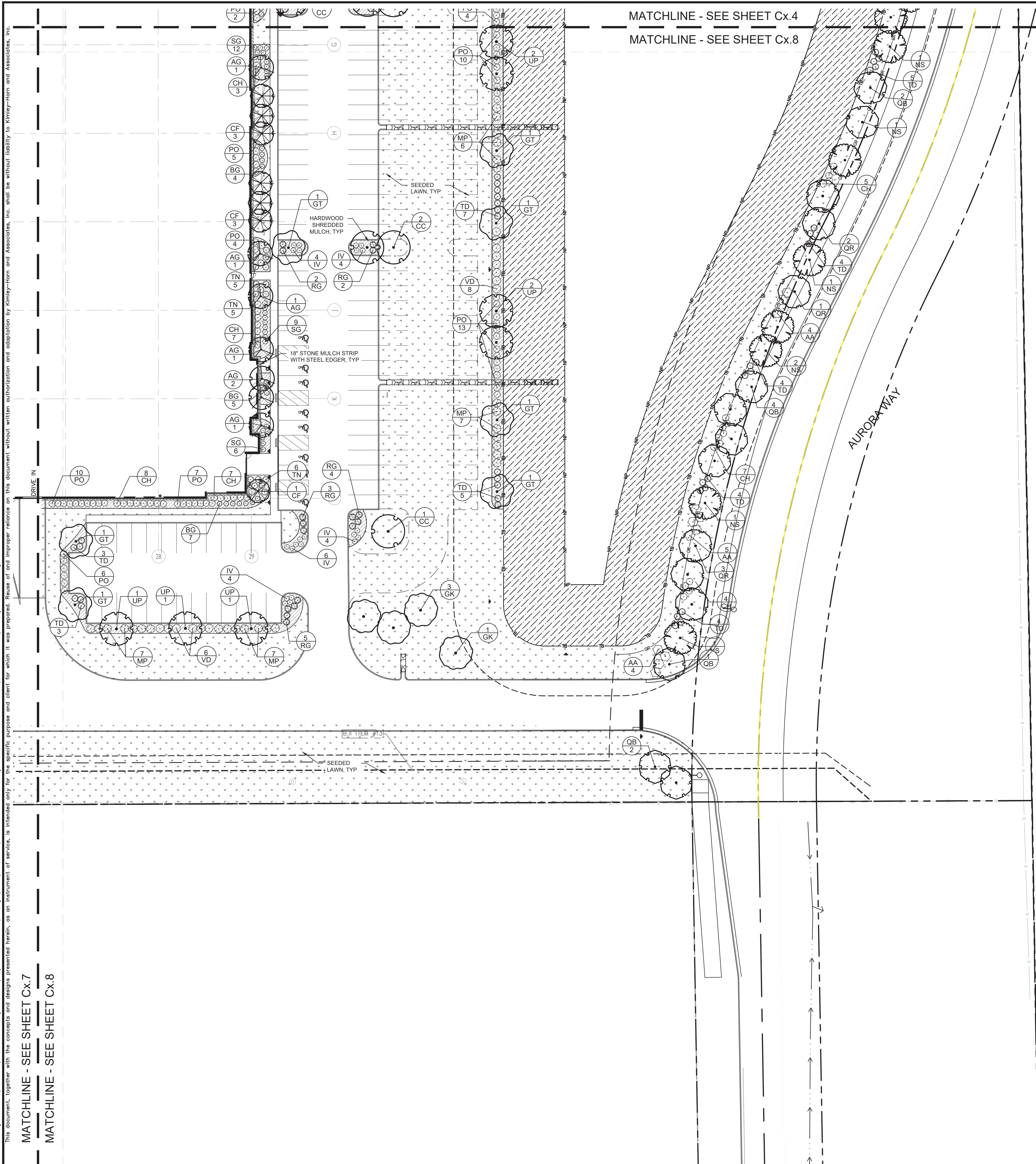
Kimley»Horn
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250 EAST 96TH STREET, SUITE 580,
INDIANAPOLIS, IN 46240
PHONE: 317-218-9560
WWW.KIMLEY-HORN.COM

CLIENT COMMENTS
TAC COMMENTS

△	CLIENT COMMENTS	8/2/21	AMM
△	TAC COMMENTS	9/7/21	AMM

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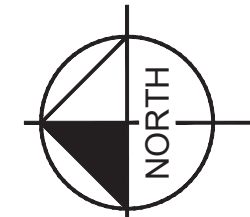
MATCHLINE - SEE SHEET Cx.7



MATCHLINE - SEE SHEET Cx.4
MATCHLINE - SEE SHEET Cx.8

Indiana Utilities Protection Service

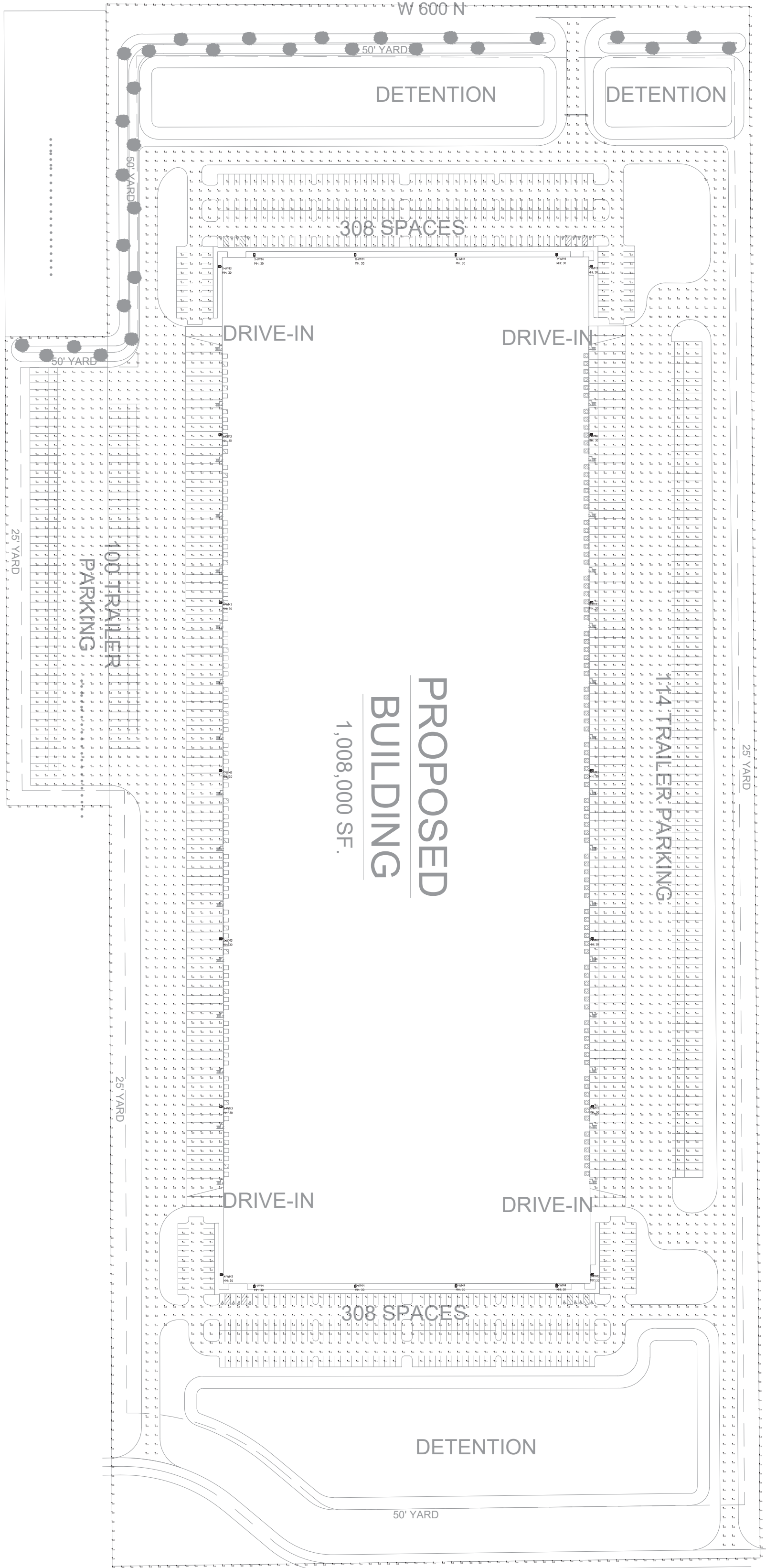
Call 811
before you dig



GRAPHIC SCALE IN FEET

A horizontal line with vertical tick marks at 0, 15, 30, and 60 feet. The segment between 0 and 15 is white, 15 and 30 is black, 30 and 60 is white, and the segment after 60 is black.

VAIL INDUSTRIAL XXX AURORA WAY MCCORDSVILLE, IN	LANDSCAPE PLAN		 NOT APPROVED FOR CONSTRUCTION MICHELLE RYE ARCHITECT	Kimley»Horn <small>© 2021 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 96TH STREET, SUITE 580, INDIANAPOLIS, IN 46209 PHONE: 317-218-9550 WWW.KIMLEY-HORN.COM</small>	SCALE: AS NOTED DESIGNED BY: AMM DRAWN BY: KLG CHECKED BY: WAB	<div>△ CLIENT COMMENTS</div> <div>△ TAC COMMENTS</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div>No.</div>	<div>8/2/21</div> <div>9/7/21</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div>DATE</div>	<div>AMM</div> <div>AMM</div> <div></div> <div></div> <div></div> <div></div> <div></div> <div></div> <div>BY</div>
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Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
	14	X-WM3	WALL MOUNT	13423	0.900	94	MRM-LED-12L-SIL-3-50-70CRI
	8	X-WM4	WALL MOUNT	45192	0.900	390	MRM-LED-42L-SIL-FT-50-70CRI

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Car Parking & Drives - Bottom	Iluminance	Fc	1.12	5.5	0.0	N.A.	N.A.
Car Parking & Drives - Top	Iluminance	Fc	1.16	5.5	0.0	N.A.	N.A.
Property Line	Iluminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Trailer Paved Areas & Drives	Iluminance	Fc	0.14	2.0	0.0	N.A.	N.A.
60' Dock Area - Left	Iluminance	Fc	0.54	2.0	0.0	N.A.	N.A.
60' Dock Area - Right	Iluminance	Fc	0.53	2.0	0.0	N.A.	N.A.

LIGHTING NOTES:

- Mounting Height = 30'
- Light Loss Factor = 0.90
- Footcandle Values Calculated @ Grade
- Reflectance Values - 80/50/20 (office spaces)
50/30/20 (warehouse areas)

National Lighting Vendor:

For pricing and technical assistance contact:
Russ Miller of CBMC INC, tel# 317-697-7510,
rmiller@cbmcinc.com

All electrical work shall comply with National, State, and Local codes including and not limited to the National Electric Code, NFPA 101 Life Safety Code, ASHREA and /or IECC Energy Codes.

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This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with IESNA approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and LED lumen package, location adjustments, and other variable field conditions.

Contractor to check and verify all dimensions on site before commencing any work shown.

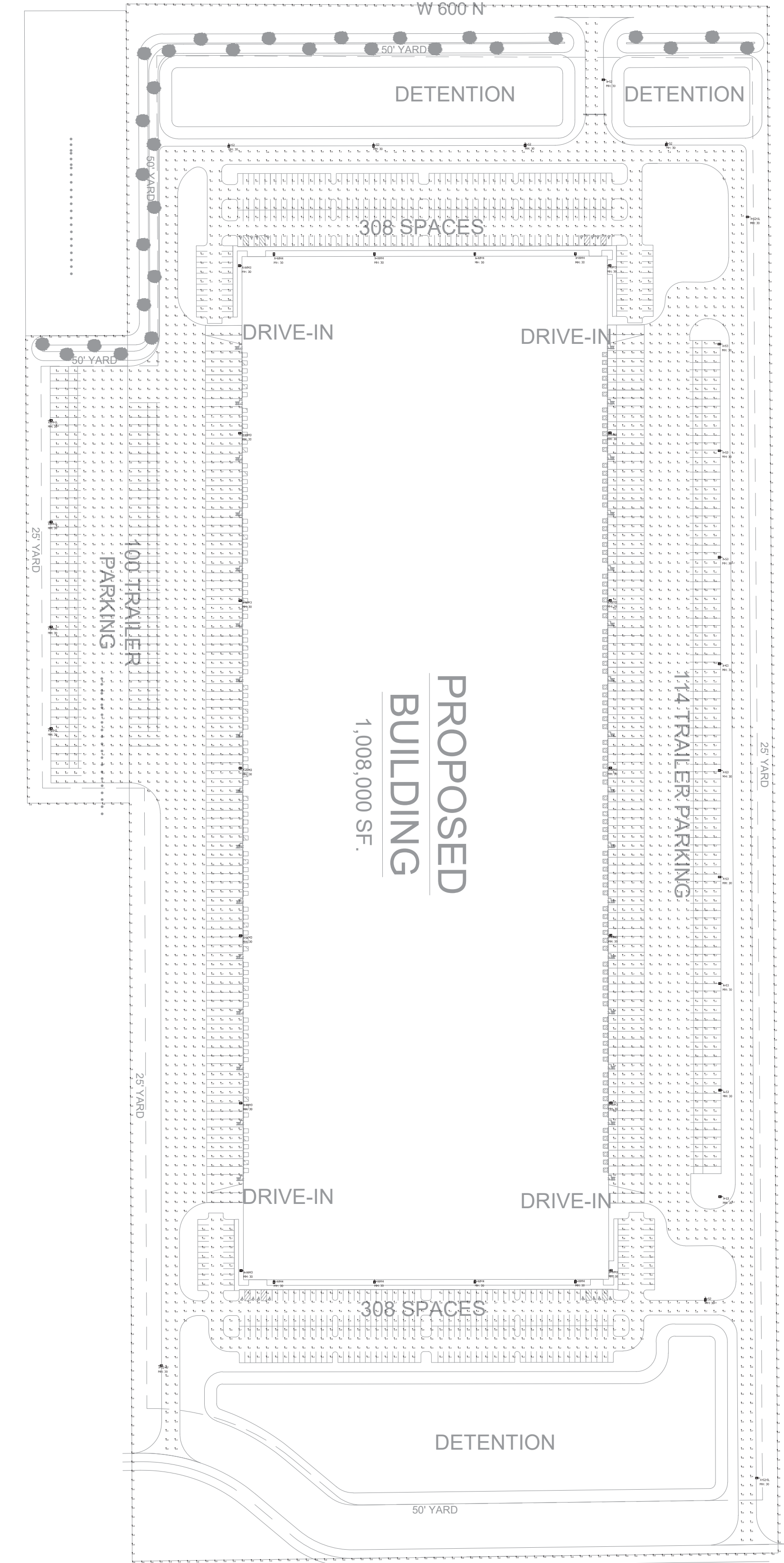
Neyer - Vail Property

SITE LAYOUT

Scale:	1" = 150'	Drawing No:	LP1
Date:	5/19/21	Project No:	
Drawn By:	SJM		

CB18667-SITE-1

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Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Lum. Watts	Description
— [Symbol] —	14	X-WM3	WALL MOUNT	13423	0.900	94	MRM-LED-12L-SIL-3-50-70CRI
— [Symbol] —	8	X-WM4	WALL MOUNT	45192	0.900	390	MRM-LED-42L-SIL-FT-50-70CRI
— [Symbol] —	4	X-S4-IL	SINGLE	28632	0.900	390	MRM-LED-42L-SIL-FT-50-70CRI-IL
— [Symbol] —	9	X-S3	SINGLE	13423	0.900	94	MRM-LED-12L-SIL-3-50-70CRI
— [Symbol] —	6	X-S2	SINGLE	13057	0.900	94	MRM-LED-12L-SIL-2-50-70CRI
— [Symbol] —	3	X-S2-IL	SINGLE	27395	0.900	390	MRM-LED-42L-SIL-2-50-70CRI-IL

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Car Parking & Drives - Bottom	Illuminance	Fc	1.19	5.4	0.1	11.90	54.00
Car Parking & Drives - Top	Illuminance	Fc	1.17	5.5	0.1	11.70	55.00
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.
Trailer Paved Areas & Drives	Illuminance	Fc	0.52	6.7	0.0	N.A.	N.A.
60' Dock Area - Left	Illuminance	Fc	0.54	2.0	0.0	N.A.	N.A.
60' Dock Area - Right	Illuminance	Fc	0.53	2.0	0.0	N.A.	N.A.

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Contractor to check and verify all dimensions on site before commencing any work shown.

Neyer - Vail Property

SITE LAYOUT

Scale:	1" = 150'	Drawing No:	LP1
Date:	5/19/21	Project No:	
Drawn By:	SJM		

CB18667-SITE-2

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