



STOEPPELWERTH & ASSOCIATES, INC.
THIS INSTRUMENT PREPARED BY:
DENNIS D. OLMSTEAD
7965 E. 106TH STREET
FISHERS, INDIANA 46038
PHONE: (317) 849-5935

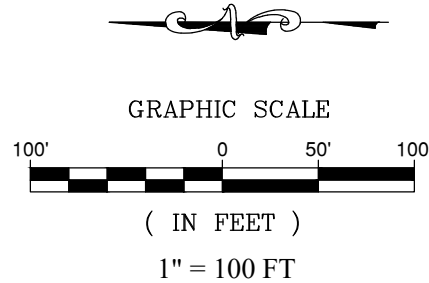
THIS INSTRUMENT PREPARED FOR:
PREMIER LAND COMPANY LLC
11691 FALL CREEK ROAD, SUITE 210
INDIANAPOLIS, IN 46256
RICHARD HENDERSON
PHONE: 317-501-9172

Vintner's Park

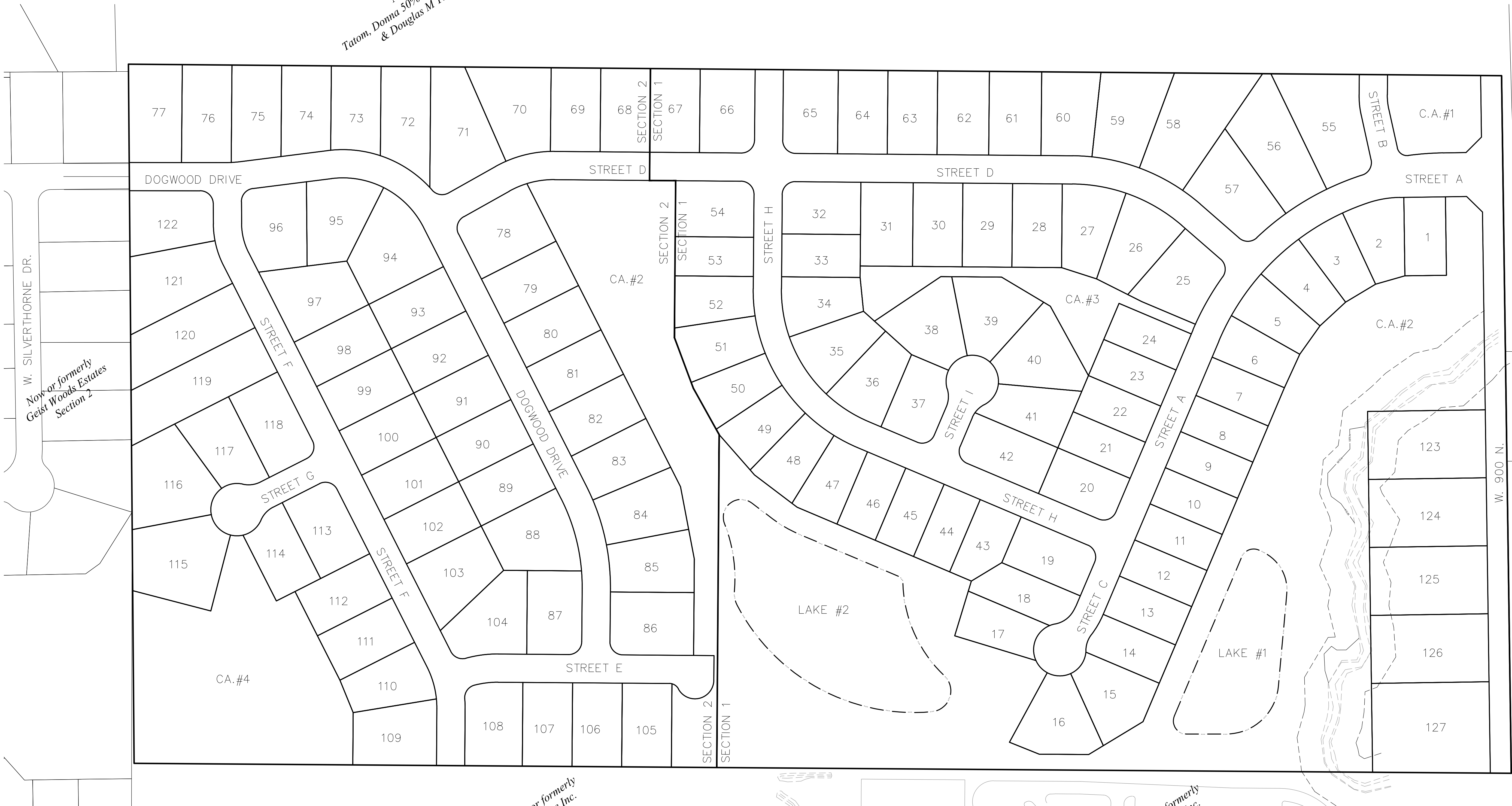
PRELIMINARY PLAN

ZONING: PUD

SITE DATA	
ZONING	PUD
SIDE YARD	6' MIN.
FRONT YARD	25' MIN.
REAR YARD	25' MIN.
BUILDING SEPARATION	15' MIN.



Now or formerly
Tatom, Donna 50% Int. Carla Delay 25% Int
& Douglas M Tatom 25% Int.



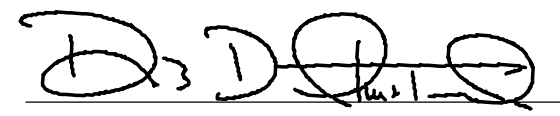
W. SILVERTHORNE DR.

Now or formerly
Geist Woods Estates
Section 2

LAND DESCRIPTION

The East Half of the Southwest Quarter of Section 14, Township 17 North, Range 05 East, Vernon Township, Hancock County, Indiana, more particularly described as follows:

Beginning at the Southeast corner of said Half-Quarter Section; thence South 89 degrees 12 minutes 08 seconds West (assumed bearing), along the South line of said Half-Quarter Section, a distance of 1,333.83 feet to the Southwest corner thereof; thence North 00 degrees 25 minutes 200 seconds East, along the West line of said Half-Quarter Section, a distance of 2632.71 feet to the Northwest corner thereof; thence North 89 degrees 31 minutes 45 seconds East, along the North line of said Half-Quarter Section, a distance of 1,336.68 feet to the Northeast corner thereof; thence South 00 degrees 28 minutes 55 seconds West, along the East line of said Half-Quarter Section, a distance of 2625.14 feet to the Point of Beginning, containing 80.570 acres, more or less.


Dennis D. Olmstead
Registered Land Surveyor
No. 900012



Now or formerly
Traverse Inc.

Now or formerly
Traverse Inc.



THIS DRAWING IS NOT INTENDED TO BE
REPRESENTED AS A RE-RETRACEMENT OR
SURVEY OR A SURVEYOR LOCATION
REPORT.
CERTIFIED: 12/18/2020

STOEPPELWERTH
ALWAYS ON

PRELIMINARY PLAN

PREPARED FOR:
VINTNER'S PARK

SECTION: 14 TOWNSHIP: 17N RANGE: 5E
DRAWN BY: LAF CHECKED BY: GDK
SHEET NO. 1
OF 8 SHEETS
S & A BOOK NO. 84800HEN

DATE REVISIONS BY

STOEPPELWERTH & ASSOCIATES, INC.
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INDIANAPOLIS, IN 46256
RICHARD HENDERSON
PHONE: 317-501-9172

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD BEARING	CHORD	DELTA
C1	101.70'	500.00'	51.03'	N6°37'29"W	101.53'	11°39'14"
C2	33.86'	150.00'	17.00'	S84°00'55"W	33.79'	12°56'01"
C3	318.64'	500.00'	164.94'	N30°42'29"W	313.27'	36°30'46"
C4	157.77'	500.00'	79.55'	S58°00'16"W	157.12'	18°04'47"
C5	47.69'	150.00'	24.05'	S57°56'08"E	47.49'	18°13'02"
C6	247.73'	350.00'	129.31'	N20°45'31"E	242.59'	40°33'12"
C7	353.57'	300.00'	200.55'	S56°43'08"W	333.46'	67°31'35"
C8	103.94'	200.00'	53.17'	N14°24'23"W	102.78'	29°46'37"
C9	8.44'	200.00'	4.22'	N61°54'49"E	8.44'	2°25'01"
C10	237.03'	200.00'	134.66'	N26°45'10"E	223.40'	67°54'16"
C11	25.36'	200.00'	12.70'	S3°34'02"E	25.34'	7°15'52"
C12	69.13'	150.00'	35.19'	S76°19'32"W	68.52'	26°24'26"
C13	36.87'	200.00'	18.49'	N68°24'13"E	36.82'	10°33'47"
C14	58.40'	200.00'	29.41'	N82°03'03"E	58.20'	16°43'54"
C15	58.40'	200.00'	29.41'	N7°56'57"W	58.20'	16°43'54"
C16	190.55'	400.00'	97.12'	N76°46'10"E	188.76'	27°17'41"

Vintner's Park

PRELIMINARY PLAN

ZONING: PUD

- 25
B.L.
D.&U.E.
D.U.&S.S.E.
C.A.
L.M.A.E.
R/W
T.C.E.
- LOT NUMBER
BUILDING LINE
DRAINAGE & UTILITY EASEMENT
DRAINAGE UTILITY & SANITARY SEWER
EASEMENT
COMMON AREA
LANDSCAPE MAINTENANCE ACCESS EASEMENT
RIGHT OF WAY
TREE CONSERVATION AREA

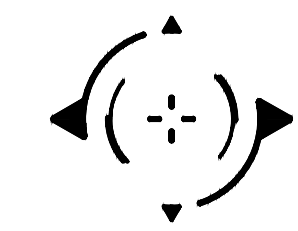
- LEGEND
- * HANDICAP RAMP
☼ STREET LIGHT
—●— PROPOSED SANITARY SEWER LINE; MANHOLE
—●— PROPOSED STORM SEWER; MANHOLE & END SECTION
—●— PROPOSED WATER LINE; FIRE HYDRANT



THIS DRAWING IS NOT INTENDED TO BE
REPRESENTED AS A RETRACEMENT OR
SURVEY OF A SURVEYOR LOCATION
REPORT.

CERTIFIED: 12/18/2020

STOEPPELWERTH



PRELIMINARY PLAN

VINTNER'S PARK

HANCOCK COUNTY, INDIANA

VERNON TOWNSHIP

PREPARED FOR:

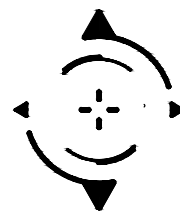
SECTION: 14 TOWNSHIP: 17N RANGE: 5E
DRAWN BY: LAF CHECKED BY: GDK

SHEET NO. 2

OF 6 SHEETS
S & A 300 SQ.
84800HEN

BY

REVISIONS



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INDIANAPOLIS, IN 46256
RICHARD HENDERSON
PHONE: 317-501-9172

Vintner's Park

PRELIMINARY PLAN

ZONING: PUD

25
B.L.
D.&U.E.
D.U.&S.S.E.
C.A.
L.M.A.E.
R/W
T.C.E.

LEGEND

LOT NUMBER
BUILDING LINE
DRAINAGE & UTILITY EASEMENT
DRAINAGE UTILITY & SANITARY SEWER
EASEMENT
COMMON AREA
LANDSCAPE MAINTENANCE ACCESS EASEMENT
RIGHT OF WAY
TREE CONSERVATION AREA

LEGEND

* HANDICAP RAMP
STREET LIGHT
PROPOSED SANITARY SEWER LINE; MANHOLE
PROPOSED STORM SEWER;
MANHOLE & END SECTION
PROPOSED WATER LINE; FIRE
HYDRANT

GRAPHIC SCALE
(IN FEET)
1" = 50 FT



STOEPPELWERTH

PRELIMINARY PLAN

VINTNER'S PARK

PREPARED FOR:

SECTION: 14
DRAWN BY: LAF

TOWNSHIP: 17N

RANGE: 5E

CHECKED BY: GDK

SHEET NO. 3

OF 6 SHEETS

S & A JOB NO. 84800HEN

REVISIONS

BY

DATE

DESCRIPTION

REVISIONS

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THIS INSTRUMENT PREPARED FOR:
PRIMIER LAND COMPANY LLC
11691 FALL CREEK ROAD, SUITE 210
INDIANAPOLIS, IN 46256
RICHARD HENDERSON
PHONE: 317-501-9172

Vintner's Park

PRELIMINARY PLAN

ZONING: PUD

25 LOT NUMBER
B.L. BUILDING LINE
D.&U.E. DRAINAGE & UTILITY EASEMENT
D.U.&S.S.E. DRAINAGE UTILITY & SANITARY SEWER EASEMENT
C.A. COMMON AREA
L.M.A.E. LANDSCAPE MAINTENANCE ACCESS EASEMENT
R/W RIGHT OF WAY
T.C.E. TREE CONSERVATION AREA

LEGEND

* HANDICAP RAMP
☼ STREET LIGHT
—●— PROPOSED SANITARY SEWER LINE; MANHOLE
—●— PROPOSED STORM SEWER; MANHOLE & END SECTION
—●— PROPOSED WATER LINE; FIRE HYDRANT

LEGEND

GRAPHIC SCALE
(IN FEET)
1" = 50 FT



STOEPPELWERTH

PRELIMINARY PLAN

VINTNER'S PARK

PREPARED FOR: TOWNSHIP 17N, RANGE 5E, SECTION 14

DRAWN BY: LAF CHECKED BY: GDK

4
OF 4 SHEETS
S & A JOB NO. 84800HEN

THIS DRAWING IS NOT INTENDED TO BE
REPRESENTED AS A RETRACTION OR
MODIFICATION OF ANY PREVIOUS
SURVEY OR A SURVEYOR LOCATION.

CERTIFIED: 12/18/2020

ALWAYS ON
7965 East 106th Street, Fishers, IN 46038-2905
phone: 317.849.5935 fax: 317.849.5942

VERNON TOWNSHIP
HANCOCK COUNTY, INDIANA

REVISIONS

BY



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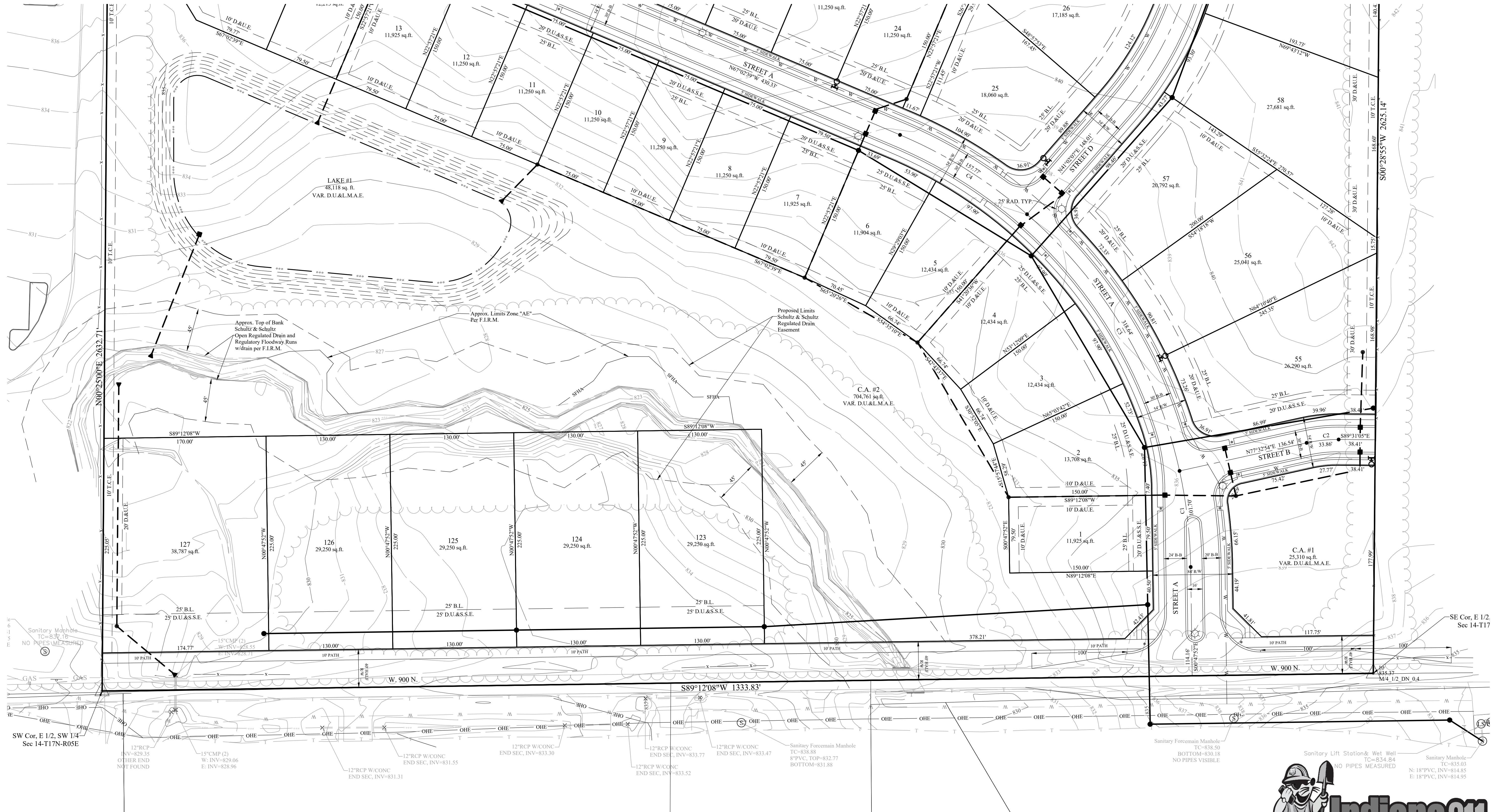
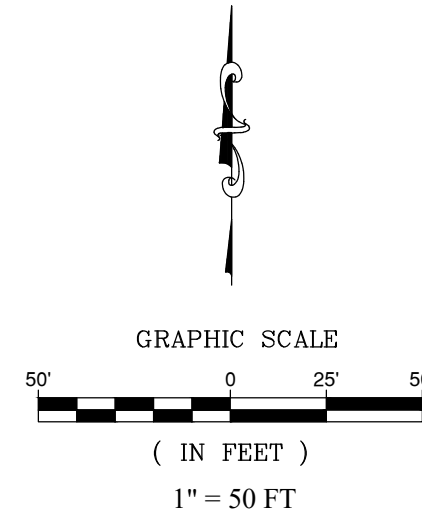
Vintner's Park

PRELIMINARY PLAN

ZONING: PUD

- 25
B.L.
D.&U.E.
D.U.&S.S.E.
C.A.
L.M.A.E.
R/W
T.C.E.
- LOT NUMBER
BUILDING LINE
DRAINAGE & UTILITY EASEMENT
DRAINAGE UTILITY & SANITARY SEWER
EASEMENT
COMMON AREA
LANDSCAPE MAINTENANCE ACCESS EASEMENT
RIGHT OF WAY
TREE CONSERVATION AREA

- LEGEND
- * HANDICAP RAMP
☼ STREET LIGHT
—●— PROPOSED SANITARY SEWER LINE; MANHOLE
—●— PROPOSED STORM SEWER;
MANHOLE & END SECTION
—●— PROPOSED WATER LINE; FIRE
HYDRANT



STOEPPELWERTH

PRELIMINARY PLAN

VINTNER'S PARK

PREPARED FOR:

SECTION: 14 TOWNSHIP: 17N RANGE: 5E
DRAWN BY: LAF CHECKED BY: GDK

SHEET NO. 5
OF 6 SHEETS
S & A JOB NO. 84800HEN

THIS DRAWING IS NOT INTENDED TO BE
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SURVEY OF ANY KIND WITHOUT A
SURVEY OR A SURVEYOR LOCATION
REPORT.
CERTIFIED: 12/18/2020

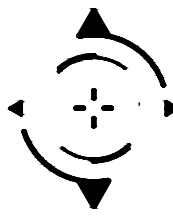
ALWAYS ON

7965 East 106th Street, Fishers, IN 46038-2905
Phone: 317.849.5935 Fax: 317.849.5942

HANCOCK COUNTY, INDIANA

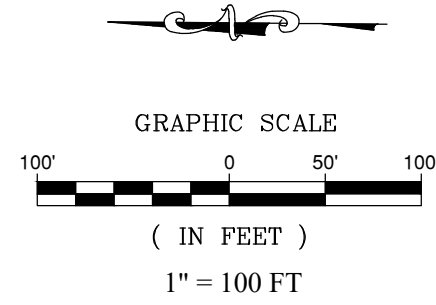
VERNON TOWNSHIP





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INDIANAPOLIS, IN 46256
RICHARD HENDERSON
PHONE: 317-501-9172



Vintner's Park

PRELIMINARY PLAN

ZONING: PUD

LEGEND

- | | | | |
|-------|--|----------|---------------------|
| —•••— | FLOW LINE | —WP— | POWER POLE |
| —•••— | BURIED ELECTRIC LINE | —LP— | LIGHT POLE |
| —•••— | OVERHEAD ELECTRIC LINES | —E.T.— | ELECT. TRANSFORMER |
| —•••— | BURIED TELEPHONE LINE | —E.P.— | ELECT. PEDESTAL |
| —•••— | TELEPHONE LINE | —E.M.— | ELECT. METER |
| —•••— | BURIED CABLE T.V. LINE | —G.W.— | GUY WIRE |
| —•••— | CABLE T.V. LINE | —T.P.— | TELEPHONE POLE |
| —•••— | GAS LINE | —T.P.— | TELEPHONE PEDESTAL |
| —•••— | WATER LINE | —T.M.— | TELEPHONE MANHOLE |
| —•••— | SANITARY SEWER LINE, MANHOLE | —C.T.P.— | CABLE T.V. POLE |
| —•••— | SANITARY CLEANOUT | —C.T.P.— | CABLE T.V. PEDESTAL |
| —•••— | STORM SEWER LINE, MANHOLE & END SECTION | —T.S.P.— | TRAFFIC SIGNAL POLE |
| —•••— | CURB INLET | —T.C.B.— | TRAFFIC CONTROL BOX |
| —•••— | BEEHIVE OR ROUND INLET | —G.V.— | GAS VALVE |
| —•••— | SQUARE FLAT INLET | —G.M.— | GAS METER |
| —•••— | FENCE LINE | —W.M.— | WATER METER |
| —•••— | SET NAIL - UNLESS OTHERWISE NOTED | —W.V.— | WATER VALVE |
| —•••— | SET CAPPED REBAR STAMPED S&A FIRM #0008 | —F.H.— | FIRE HYDRANT |
| —•••— | SET PIPE UP 1" CAPPED STAMPED S&A FIRM #0008 | —M.B.— | MAILBOX |
| —•••— | M.C.S. MARION COUNTY SURVEYOR | | |
| —•••— | (M) MEASURED | | |
| —•••— | (R) RECORDED | | |
| —•••— | N.A.E. NO ACCESS EASEMENT | | |



SCHULTZ & SCHULTZ
OPEN REGULATED DRAIN



TOPOGRAPHICAL SURVEY

VINTNER'S PARK

VERNON TOWNSHIP HANCOCK COUNTY, INDIANA

PREPARED FOR:

SECTION: 14 TOWNSHIP: 17N RANGE: 5E
DRAWN BY: LAF CHECKED BY: GDK
SHEET NO. 6
OF 6 SHEETS
S & A JOB NO. 84800HEN

STOEPPEL WERTH

ALWAYS ON

7965 East 106th Street, Fishers, IN 46038-2505
phone 317.849.5935 fax 317.849.5942

THIS DRAWING IS NOT INTENDED TO BE
REPRODUCED OR USED FOR ANY OTHER
ORIGINAL BOUNDARY SURVEY, A ROUTE
SURVEY OR A SURVEYOR LOCATION
REPORT.

CERTIFIED: 12/18/2020

DATE

REVISIONS

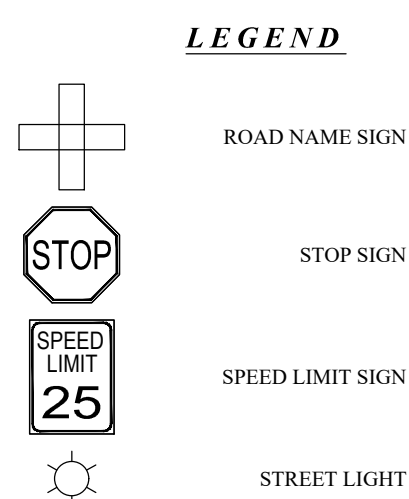
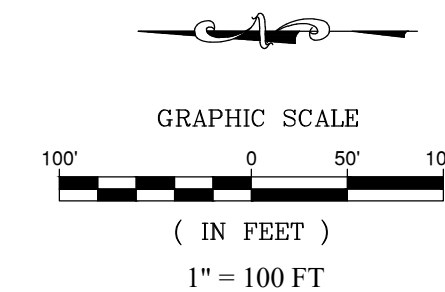
BY




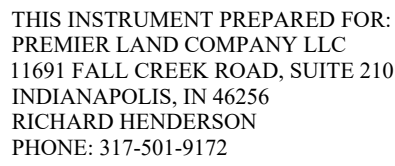
Vintner's Park

PRELIMINARY PLAN

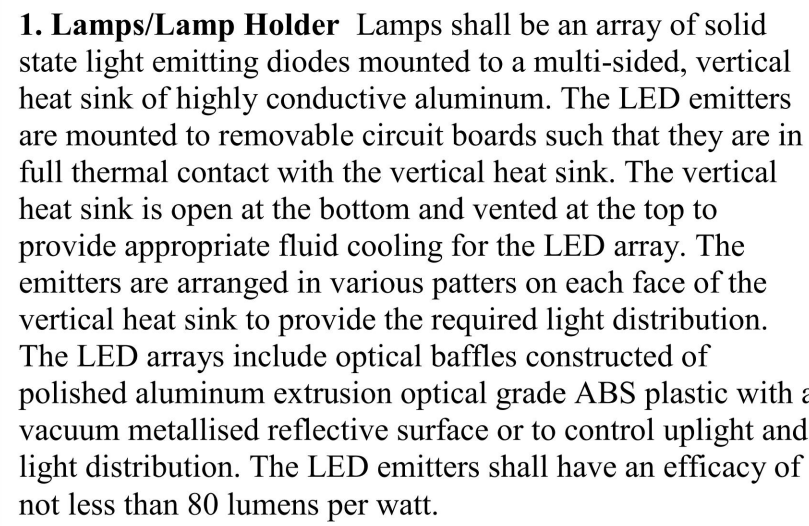
ZONING: PUD



THIS DRAWING IS NOT INTENDED TO BE USED FOR ANY PURPOSES OTHER THAN THE ORIGINAL BOUNDARY SURVEY LOCATION REPORT.			CERTIFIED: 12/18/2020		
<div>STOEPPELWERTH</div> <div>ALWAYS ON</div> <div>7965 East 106th Street, Fishers, IN 46038-2505 phone: 317.849.5935 fax: 317.849.5942</div>					
					
PRELIMINARY PLAN					
VINTNER'S PARK					
PREPARED FOR:					
SECTION: 14	TOWNSHIP: 17N	RANGE: 5E			
DRAWN BY: LAF	CHECKED BY: GDK				
SHEET NO. 7					
OF 8 SHEETS					
S & B JOB NO. 84800HEN					



Decorative Lighting Specification - K124R-BAAR



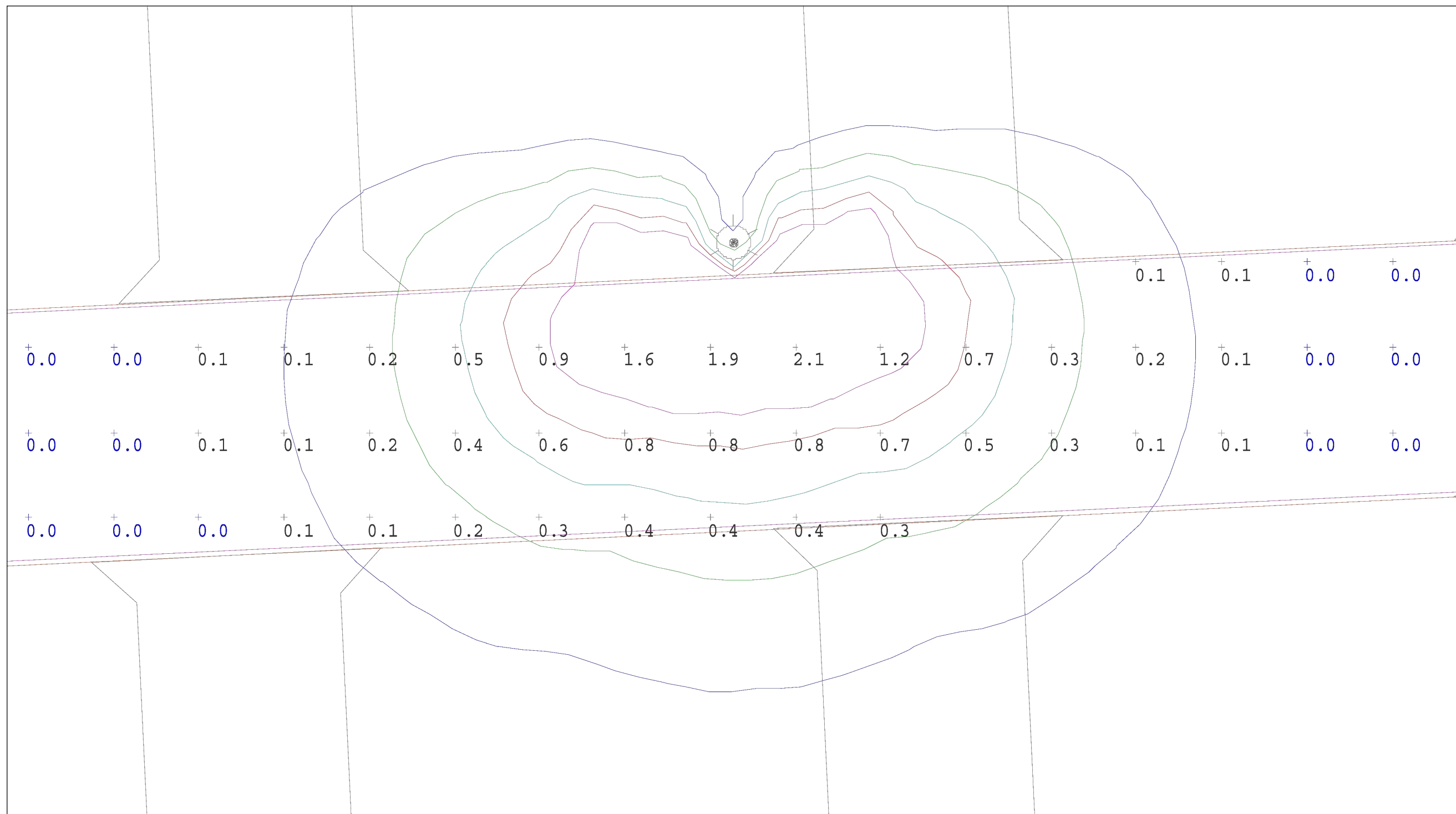
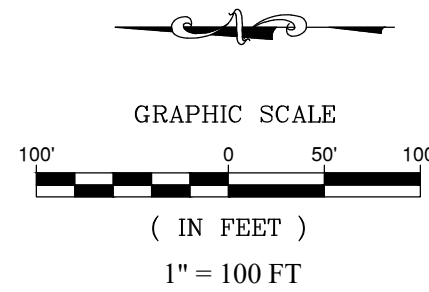
3.Driver The driver, or ballast, for the LED emitters shall be Class 2 electronic capable of input voltages from 120V through to 277V. The case shall be minimum IP66 seal rated. The driver shall have an input voltage and max wattage clearly identified. The ballast assembly will be mounted on a heavy duty fabricated aluminum mounting bracket to allow complete tool-less maintenance.

6. Miscellaneous. All exterior hardware and fasteners, wholly or partly exposed, shall be stainless-steel alloy. All internal fasteners shall be stainless-steel or zinc coated steel. All remaining internal hardware shall be stainless steel, aluminium alloy, or zinc coated steel.

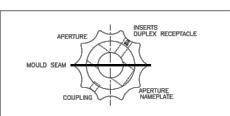
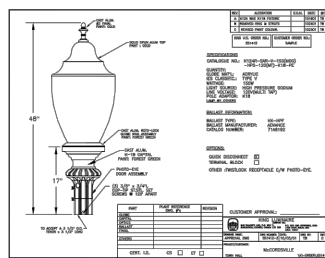
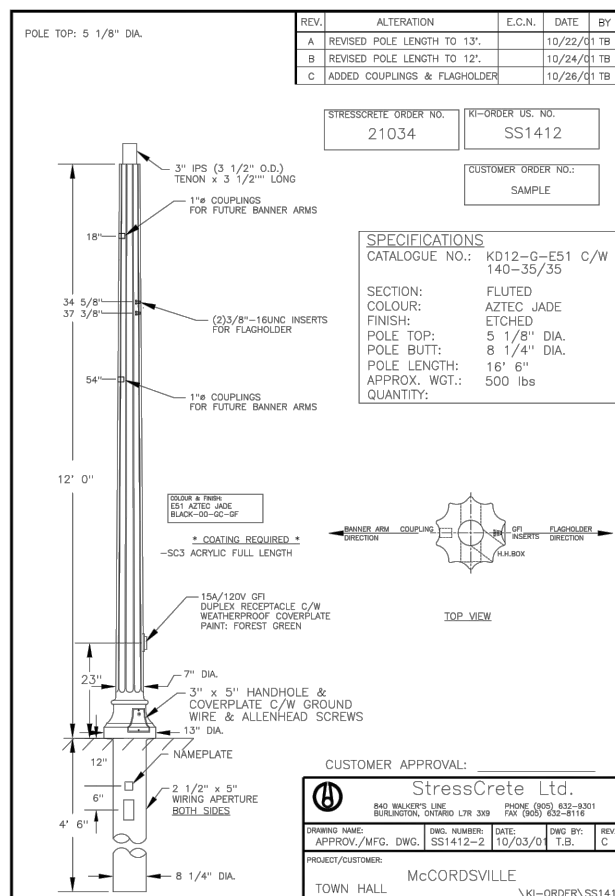
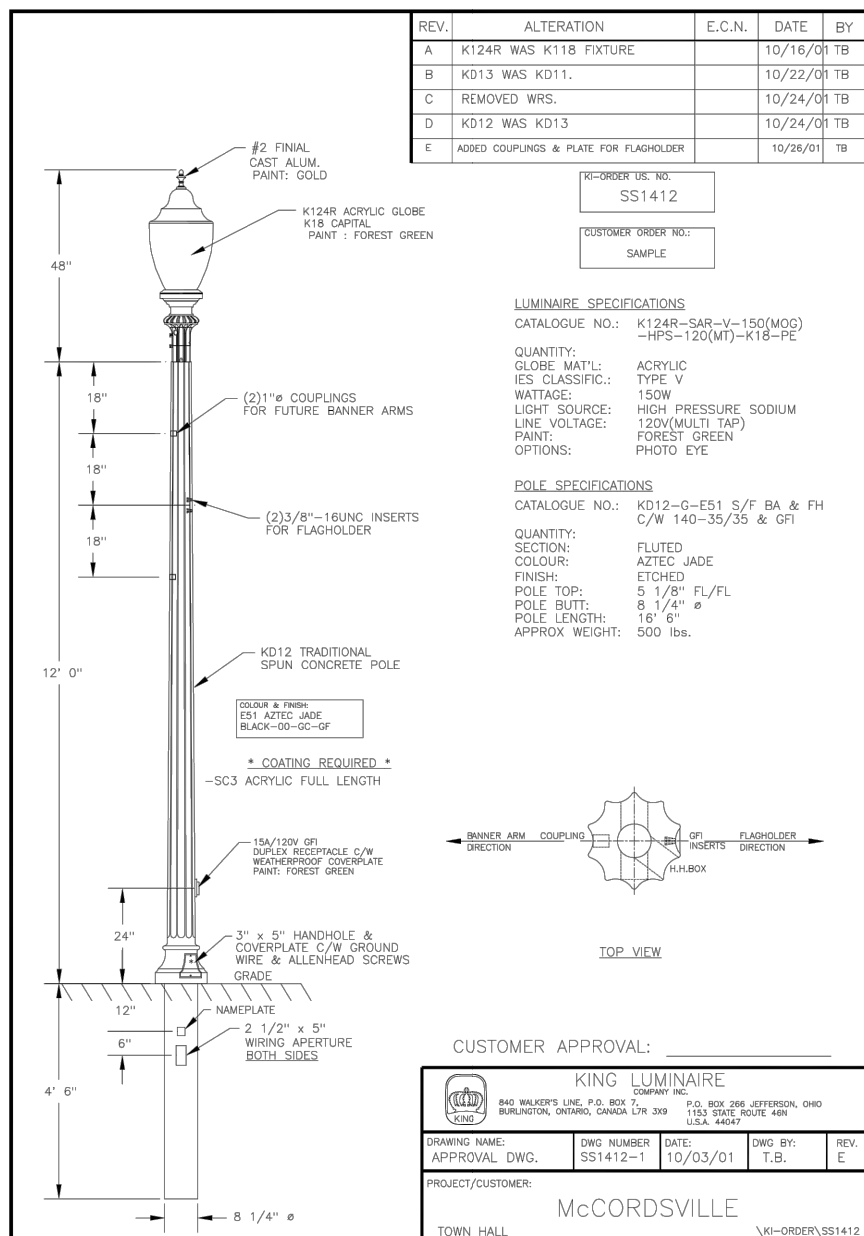
4. Luminaire Housing . All K124 cast components shall consist of a heavy grade A319 cast aluminium. The Main Body, or Capitol, acts as an enclosure for the ballast assembly and is of adequate thickness so as to give sufficient structural rigidity. The Capitol shall have an opening at the base Tenon Body to allow the luminaire to be mounted to a tenon of 3-1/2" maximum diameter. The Luminaire shall be locked in place by means of heavy duty, stainless-steel set-screws.

All metal parts shall be factory cleaned and painted with the king coat process—detailing available on request

(Specification Document K124R-BAAR Jan 2009)



LUMINAIRE DETAIL

[illegible]

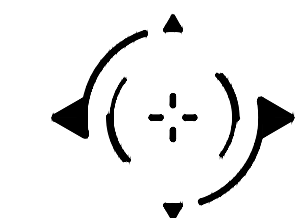
THIS DRAWING IS NOT INTENDED TO BE REPRESENTED AS A RETRACEMENT OR ORIGINAL BOUNDARY SURVEY, A ROUTE SURVEY OR A SURVEYOR LOCATION REPORT.

CERTIFIED: 12/18/2020

STOEPPELWERTH

ALWAYS ON

77965 East 106th Street, Fishers, IN 46038-2505
phone: 317.849.5935 fax: 317.849.5942



LIGHTING DETAILS

PRELIMINARY PLAN

VINTNER'S PARK

HANCOCK COUNTY INDIANA

VERNON TOWNSHIP

PREPARED FOR:

SECTION: 14	TOWNSHIP: 17N	RANGE: 5E
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DRAWN BY: LAF	CHECKED BY: GDK
SHEET NO.	

8
OF 8 SHEETS
S & A JOB NO.
84800HEN