

OVERALL FLOOR PLAN

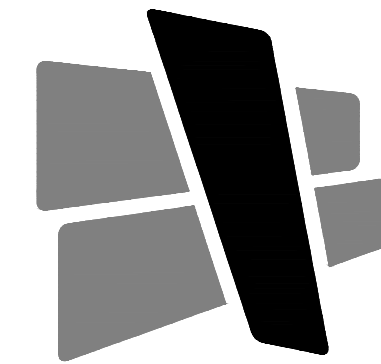
1/32"=1'-0"



KEYED NOTES

*NOT ALL NOTES PERTAIN TO ALL SHEETS.

- CASEWORK. SEE ELEVATIONS FOR DETAILS.
- FLOOR MOUNTED ADA COMPLIANT TANK TYPE TOILET.
- STANDARD HEIGHT FLOOR MOUNT TANK TYPE TOILET.
- ADA COMPLIANT WALL HUNG LAVATORY. PROVIDE SCALD GUARDS ON ALL EXPOSED PLUMBING.
- ADA COMPLIANT URINAL.
- STANDARD HEIGHT URINAL.
- TWO-COMPARTMENT STAINLESS STEEL SINK W/ LEVER FAUCET.
- FIRE-RATED BLOCKING IN WALL FOR TENANT PROVIDED TELEVISION @ 48" & 60".
- ALIGN WALLS.
- FUR OUT COLUMN TIGHT W/ METAL STUD FURRING & 1/2" GYP. BOARD. SEE WALL TYPE W3.
- SLIDING GLASS WINDOW W/ ADA TRANSACTION TOP. SEE DETAIL 3/A210.
- MOP SINK W/ WALL MOUNTED LEVER FAUCET. FRP-1 BEHIND MOP SINK TO 66" AFF. EXTEND 24" ON EACH WALL PAST SINK. NOTES #13-23 ARE NOT USED.
- REFRIGERATOR LOCATION - TENANT FURNISHED, CONTRACTOR INSTALLED. VERIFY WITH TENANT PLUMBING AND ELECTRICAL REQUIREMENTS.
- MICROWAVE - TENANT FURNISHED, CONTRACTOR INSTALLED.
- IT RACK, TENANT FURNISHED, CONTRACTOR INSTALLED.
- 6" DIA. CONCRETE FILLED PIPE BOLLARDS. PROVIDE PROTECTIVE SLEEVES. SEE DETAIL 5/A502 & DOOR DETAILS.
- NOT USED.
- ADA COMPLIANT HI-LOW WATER FOUNTAIN.
- FLOOR DRAIN.
- SEE DETAILS 5/A503 AND 6/A503 FOR SILLS & HEADS @ WINDOW.
- PROVIDE SLIP RESISTANT FINISH IN EPOXY AND SAFETY YELLOW STRIPPING THIS LOCATION.
- WORK SURFACE. SEE DETAIL 3/A210.
- WALL INTERSECTION. SEE DETAILS 10/A501 & 7/A501.
- GALVANIZED, OPEN GRATE STAIR WITH GUARDRAIL AND HANDRAIL. CHECKER PLATE RISERS. SEE DETAILS ON SHEET A502.
- ROOF ACCESS LADDER. SEE STRUCTURAL. CENTER BETWEEN ROOF JOISTS ABOVE THIS LOCATION. LADDER TO LOCATE ADJACENT TO WALL AS SHOWN AND BE FREE STANDING. SEE PLAN AND SECTION DETAILS 6/A502 AND 3/A303.
- SEE STRUCTURAL PLANS FOR FLOOR SLAB INFORMATION INCLUDING VAPOR RETARDER/INTRUSION BARRIER UNDER SLAB.
- OVERHANG ABOVE. REFER TO WALL SECTIONS.
- TYPICAL INSULATED PRECAST CONCRETE WALLS. PAINT INTERIOR FACE OF WALL BRIGHT WHITE FLOOR TO ROOF DECK. TWO COATS LATEX PAINT. SEE ADDITIONAL PAINT NOTES ON ELEVATION SHEETS.
- METAL LOCKERS. TENANT FURNISHED, CONTRACTOR INSTALLED.
- CONTINUOUS BACKER ROD AND SEALANT FULL HEIGHT BOTH SIDES OF PRECAST PANEL JOINTS.
- PROVIDE KNOX BOX THIS LOCATION WITH ADDRESSED KEY.
- WALL INTERSECTION. SEE DETAIL 2/A501.
- FRP FROM FLOOR TO 48" AFF. CAULK BASE PAINT ALL WALL BRIGHT WHITE ABOVE FRP.
- ROOF DRAIN. SEE PLUMBING & ROOF PLANS FOR PROTECTIONS DETAIL.
- CONCRETE CURB.
- 24"-0" WIDE X 20'-0" TALL KNOCK OUT CENTERED ON PANEL AS SHOWN.
- DOCK LEVELER. COORDINATE W/ MANUFACTURER FOR SIZING & SLAB PREP.
- EQUIPMENT. TENANT SUPPLIED, TENANT INSTALLED. SHOWN FOR REFERENCE ONLY.
- TYPICAL COLUMNS PAINTED GRAY FROM FLOOR TO GIRDER. RED IF FIRE EXTINGUISHER IS LOCATED ON COLUMN. LOCATE FIRE EXTINGUISHERS PER LIFE SAFETY PLAN.
- DOCK SEALS.
- STEEL CHECKER-PLATE TREAD STAIRS. SEE DETAILS 3 & 6/A105.
- 60" ROUND WATER BASIN WITH FOOT PEDAL.
- EMERGENCY SHOWER STATION.
- EMERGENCY EYE WASH STATION.
- OSHA COMPLIANT MEZZANINE METAL LADDER. PAINT SAFETY YELLOW.
- METAL BENCH. TENANT SUPPLIED, CONTRACTOR INSTALLED.
- 14'-0" WIDE X 14'-0" TALL OPENING. HEADER TO BE DESIGNED BY STUD SUPPLIER. WRAP NEW OPENINGS WITH 1/2" GYPSUM BOARD.
- 1 1/2" DIA GUARDRAIL. PAINT. SEE DETAIL 4/A105.
- 1 1/2" DIA. HANDRAIL. PAINT. SEE PLAN FOR EXTENTS.
- CENTER WALL ON COLUMN LINE J.
- PRECAST PLANTERS.
- EIFS COLUMN WRAP.
- MEZZANINE ABOVE.
- PROVIDE ACID RESISTANT FINISH IN EPOXY THIS LOCATION.
- GUARDRAIL. SEE DETAIL 2/A503.



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PROJECT INFORMATION

SOUTHWARK
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MT COMFORT ROAD
MCCORDSVILLE INDIANA

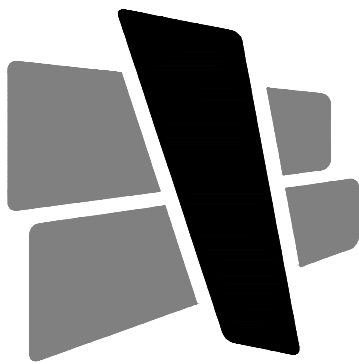
ISSUE DATES

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FLOOR PLAN

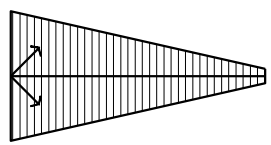
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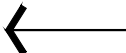
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ROOF PLAN LEGEND



DENOTES TAPERED INSULATION OR ROOF CRICKETS TO ROOF DRAIN LOCATIONS. SLOPE MIN OF 1/4" FOOT AS INDICATED BY ARROWS OR TWICE THE AMOUNT OF THE UNDERLYING DECK WHICHEVER IS GREATER.



DENOTES ROOF SLOPE AT 1/4" / FOOT MINIMUM.

MECHANICALLY FASTENED 45 MIL TPO MEMBRANE WITH RIGID POLYISOCYANURATE INSULATION AT MINIMUM OF R-20. ROOF TO HAVE FULL 20 YEAR WARRANTY MEMBRANE AND LABOR. INSULATION TO BE TWO LAYERS WITH STAGGERED JOINTS. MEMBRANE SHEETS RUN PERPENDICULAR TO THE DECK FLUTES. FOAM PERIMETER OF INSULATION. SEE DETAIL. PROVIDE ALTERNATE FOR INDUCTION WELDED SEAMS.

ROOF TYPE #1

KEYED NOTES

1. PRE-FINISHED METAL ROOF EDGE W/ DRIP TO MEET ROOF MANUFACTURER'S REQUIREMENTS. SEE ELEVATIONS FOR TALL PARAPET LOCATIONS.
2. TAPERED INSULATION TO DIRECT WATER TOWARDS DRAINS.
3. ROOF DRAIN WITH OVERFLOW. SET OVERFLOW 1" ABOVE ROOF DRAIN. COORDINATE SIZE & LOCATION WITH MECHANICAL CONTRACTOR. SEE STRUCTURAL FOR ROOF OPENING REINFORCEMENT. SEE DETAIL 8/A502.
4. ROOF ACCESS HATCH W/ LADDER UP RAIL. SIZE & CONFIGURATION TO BE DETERMINED. COORDINATE LOCATION W/ LADDER IN FIELD. SEE STRUCTURAL FOR ROOF OPENING REINFORCEMENT. SEE SECTIONS. BILCO S-20 48" X 48" EQUIPMENT HATCH OR EQUAL.
5. LINE DEPICTS GENERAL SLOPE OF ROOF STRUCTURE.
6. LINE OF AWNING BELOW.

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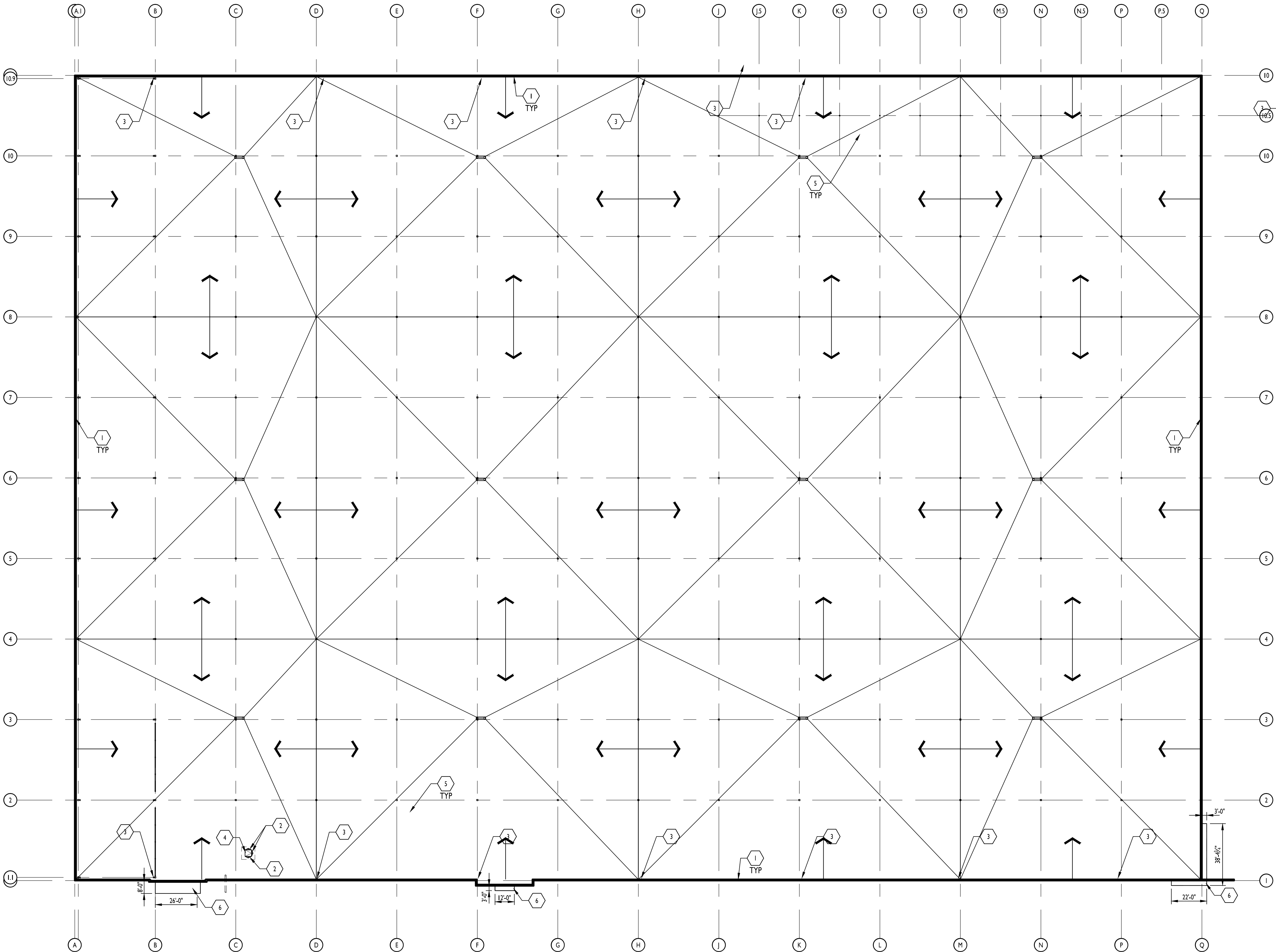
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ROOF PLAN

A120



ROOF PLAN

1/32" = 1'-0"



RENDERING 1
NTS



RENDERING 3
NTS



RENDERING 2
NTS



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RENDERINGS

A201



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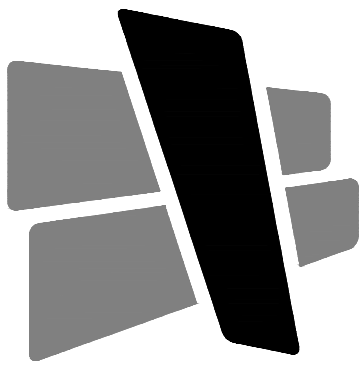
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OVERALL EXTERIOR ELEVATIONS

A202



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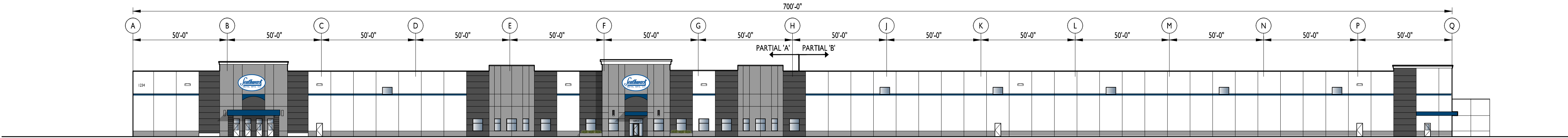
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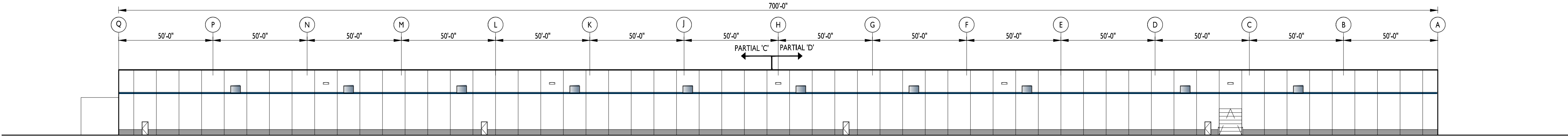
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OVERALL EXTERIOR
ELEVATIONS

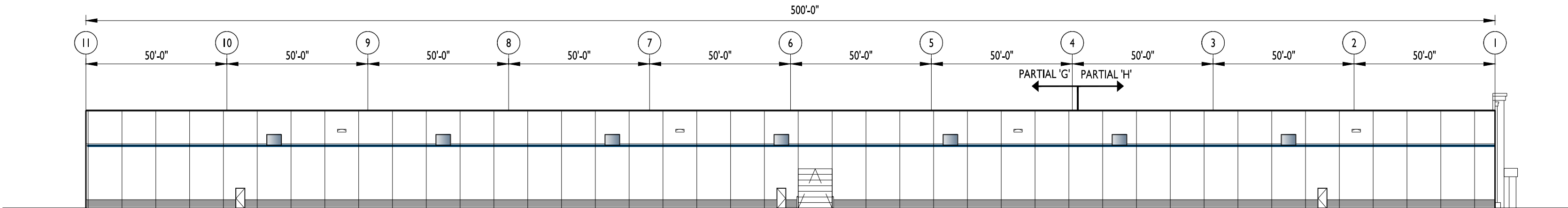
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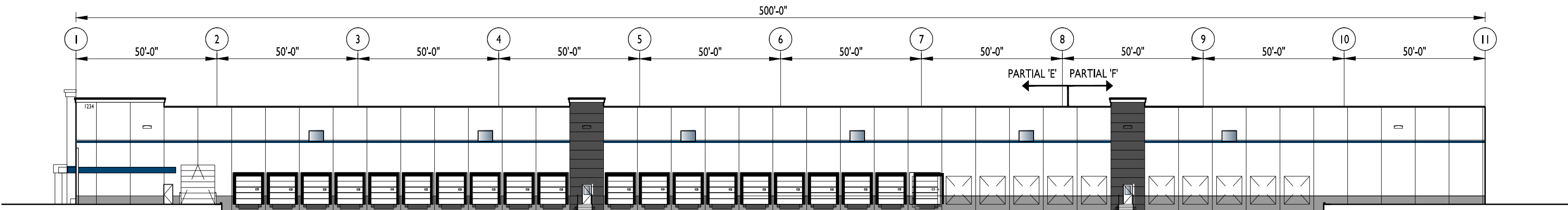
OVERALL WEST ELEVATION **1**
1/32"=1'-0"



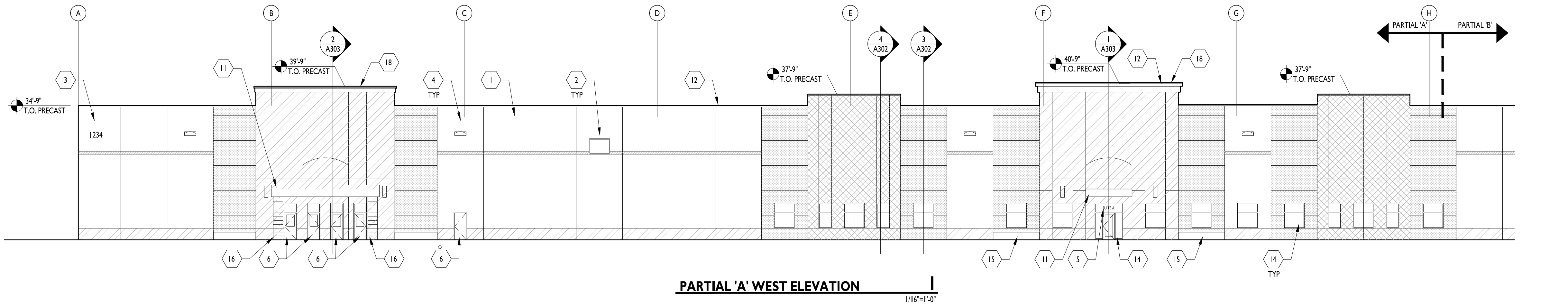
OVERALL NORTH ELEVATION **2**
1/32"=1'-0"



OVERALL EAST ELEVATION **3**
1/32"=1'-0"

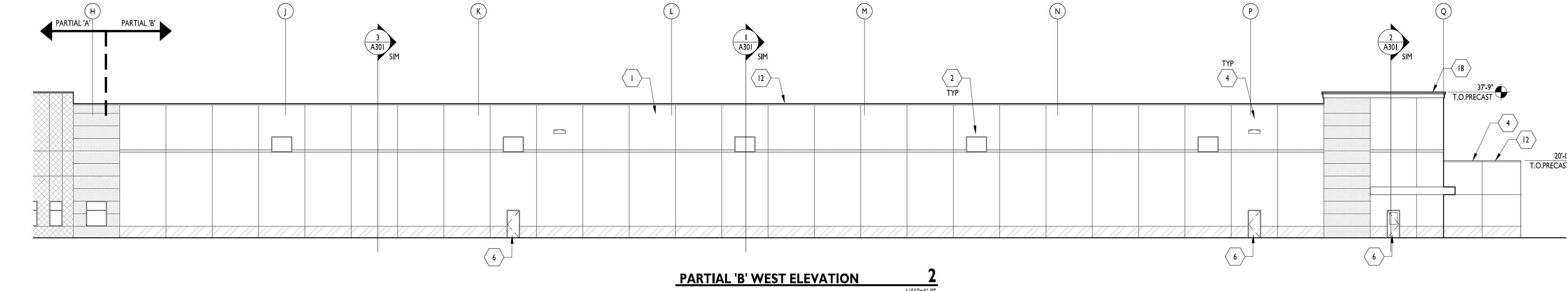


OVERALL SOUTH ELEVATION **4**
1/32"=1'-0"



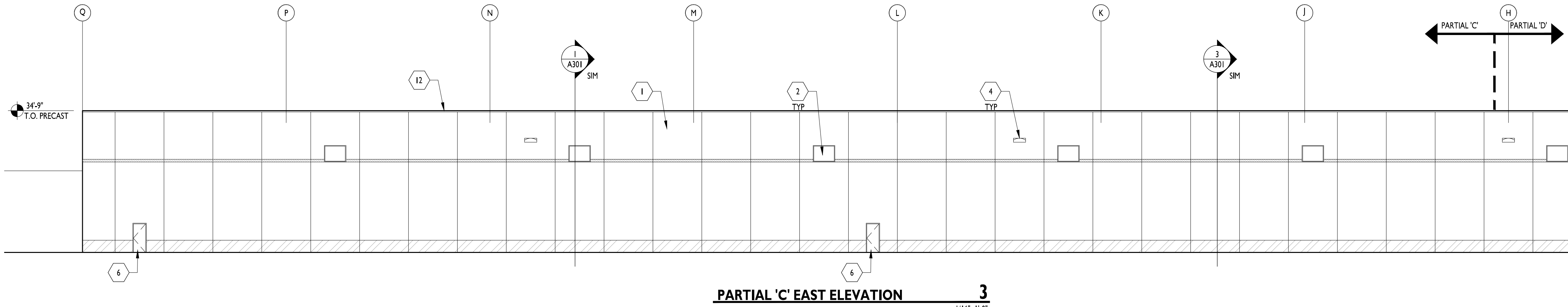
PARTIAL 'A' WEST ELEVATION

1
1/16"=1'-0"



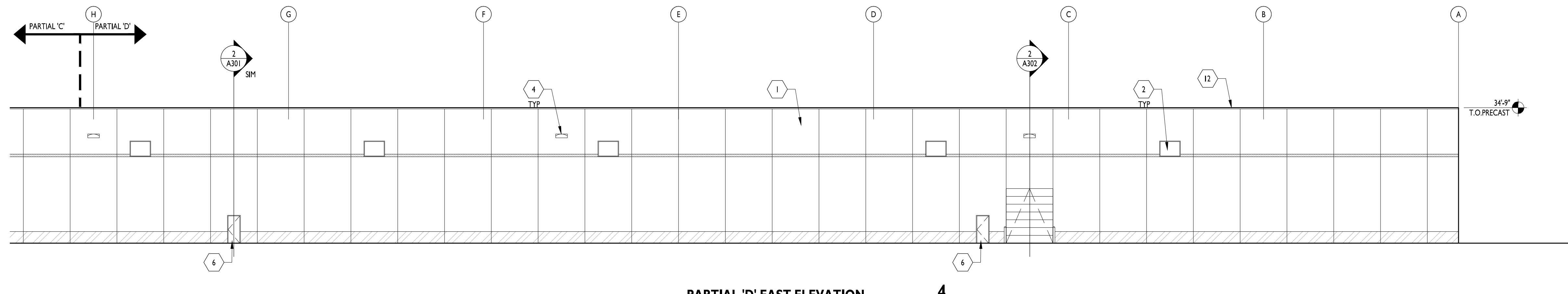
PARTIAL 'B' WEST ELEVATION

2
1/16"=1'-0"



PARTIAL 'C' EAST ELEVATION

3
1/16"=1'-0"



PARTIAL 'D' EAST ELEVATION

4
1/16"=1'-0"

KEYED NOTES

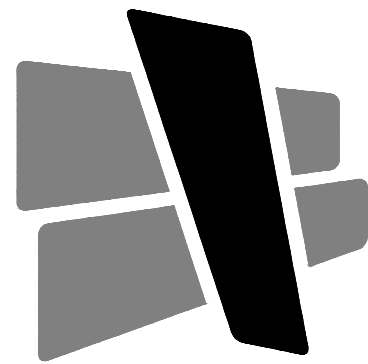
- PRE-CAST CONCRETE PANEL WITH PAINTED FINISH. REVEALS CAST IN AS SHOWN. REFER TO WALL SECTIONS FOR ADDITIONAL DETAIL.
- TYPICAL CLERESTORY WINDOW. THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING WITH INSULATED TINTED GLASS. REFER TO STOREFRONT ELEVATIONS. CENTER ON WIDTH OF PANEL. SEE SECTION FOR HEIGHTS.
- FIN MOUNTED ANODIZED ALUMINUM BUILDING ADDRESS NUMBER. COORDINATE WITH ARCHITECT ON FONT AND SIZE. MINIMUM HEIGHT TO BE 12".
- WALL PACK LOCATION. SEE SITE LIGHTING PLAN. CENTER ON PRECAST PANEL.
- VINYL SUITE NUMBER ON GLASS. CENTERED OVER DOOR. COORDINATE WITH FIRE MARSHALL ON SIZE AND COLOR.
- INSULATED STEEL MAN-DOOR AND FRAME. PAINTED TO MATCH WALL COLOR.
- INSULATED STEEL OVERHEAD DOOR. PRE-FINISHED WHITE.
- DOCK SEAL AND DOCK LEVELER. TYPICAL AT ALL DOCK DOORS.
- PRE-CAST CONCRETE PANEL FABRICATED TO ALLOW FOR FUTURE CUT IN OF DOCK DOOR.
- GALVANIZED STEEL DOCK STAIR. WITH GUARDRAIL AND CONCRETE BOLLARDS. SEE DETAIL 11 & 12/A502.
- PRE-FABRICATED METAL AWNING BY COOL PLANET OR EQUAL. DESIGN INTENT TO MATCH MAPES ILLUMIDECK.
- PRE-FINISHED METAL COPING. COLOR BY ARCHITECT FROM MANUFACTURER'S FULL RANGE OF COLORS.
- LINE REPRESENTS APPROXIMATE TOP OF ROOF INSULATION. SHOWN FOR REFERENCE ONLY. COORDINATE WITH STRUCTURAL DRAWINGS FOR JOIST BEARING ELEVATIONS AND SLOPES TO ROOF DRAINS.
- 1" INSULATED TINTED GLASS IN THERMALLY BROKEN ALUMINUM FRAMING. REFER TO STOREFRONT ELEVATIONS FOR MORE INFORMATION.
- PRECAST PLANTERS.
- PAINTED STEEL COLUMN.
- PRECAST SCREEN WALL.
- EIFS CORNICE APPLIED TO PRECAST. SEE DETAILS X/AXXX.

GENERAL PRECAST PAINT NOTES

- CONCRETE TO CURE 30 DAYS PRIOR TO PAINT OR VERIFY PH LEVEL IS BETWEEN 6-8. IF PH IS HIGHER THAN 8, A PRIMER THAT IS TOLERANT OF A HIGH ALKALINE SUBSTRATE IS REQUIRED. VERIFY PRODUCT WITH PAINT MANUFACTURER DATA SHEETS FOR ACCEPTABLE MATERIALS TO MEET THE PH OF THE PANELS. TYPICAL LOXON PRIMERS. PROVIDE REPORT STATING PH LEVEL OF PANEL PRIOR TO PAINT APPLICATION.
- PRECASTER TO VERIFY AND CONFIRM TO GENERAL CONTRACTOR THAT ALL BOND BREAKERS HAVE BEEN REMOVED FROM THE FACE OF THE CONCRETE VIA PRESSURE WASHING OR SAND BLASTING. PROCESS IS DEPENDENT ON THE TYPE OF BOND BREAKER USED. PRECASTER TO SUPPLY A LETTER CONFIRMING THAT BOND BREAKER IS REMOVED.
- PRIOR TO PAINTING, VERIFY THAT PRECAST CONCRETE MOISTURE LEVEL IS 15% OR LOWER.
- ALL ACRYLIC PAINTS TO BE 100% ACRYLIC SHERWIN WILLIAMS A-100, SUPER PAINT OR EQUAL.
- ELASTOMERIC PAINTS WILL BE ACCEPTABLE. CONFLX OR SHERLASTIC OR EQUAL. MUST BE APPLIED AT 10 MILS TO 30+ MILS WET. MUST APPLY TWO COATS. VERIFY PH REQUIREMENTS WITH DATA SHEETS.
- BASE LINE SPECIFICATION FOR THIS PROJECT:
PRIMER COAT: LOXON SEALER A24V8300
FIRST COAT: SHERWIN WILLIAMS SUPER PAINT
SECOND COAT: SHERWIN WILLIAMS SUPER PAINT

PAINT COLORS

- SW __ XX
- SW __ XX
- SW __ XX
- SW __ XX



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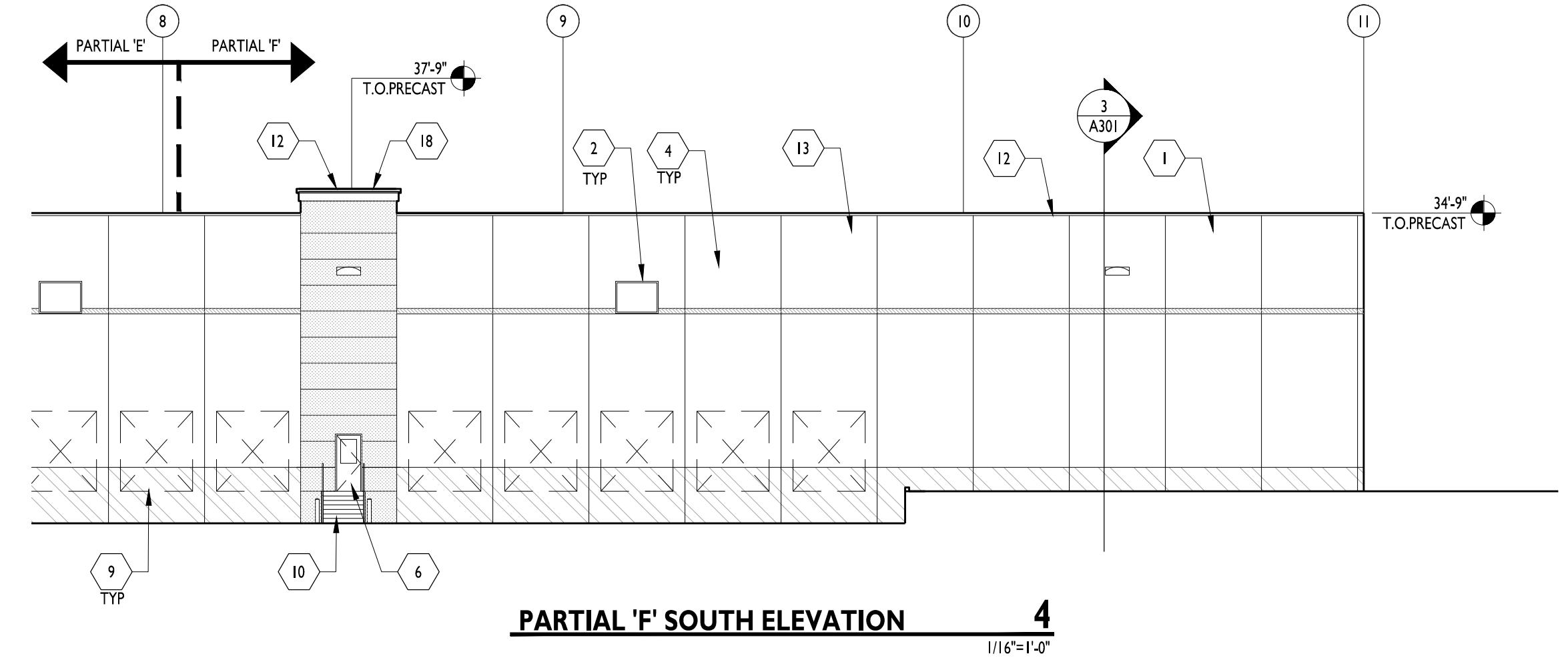
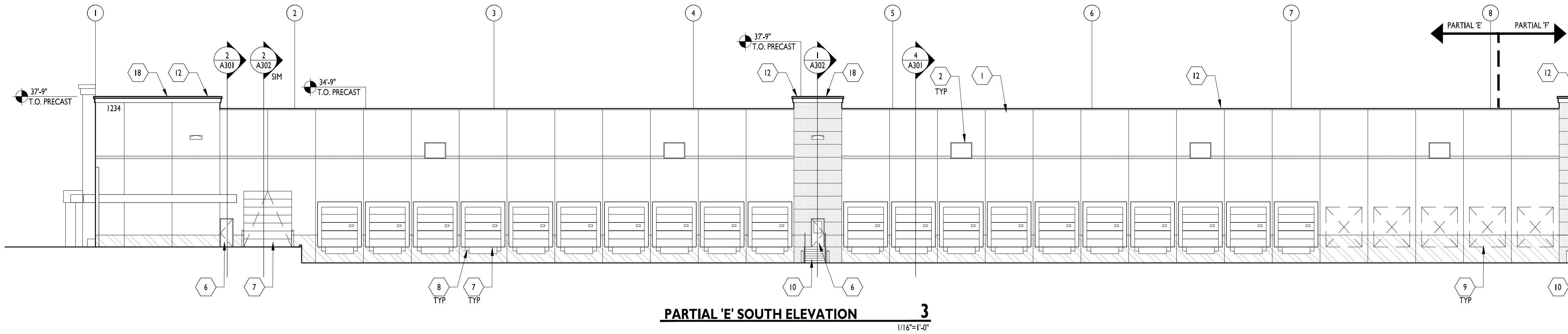
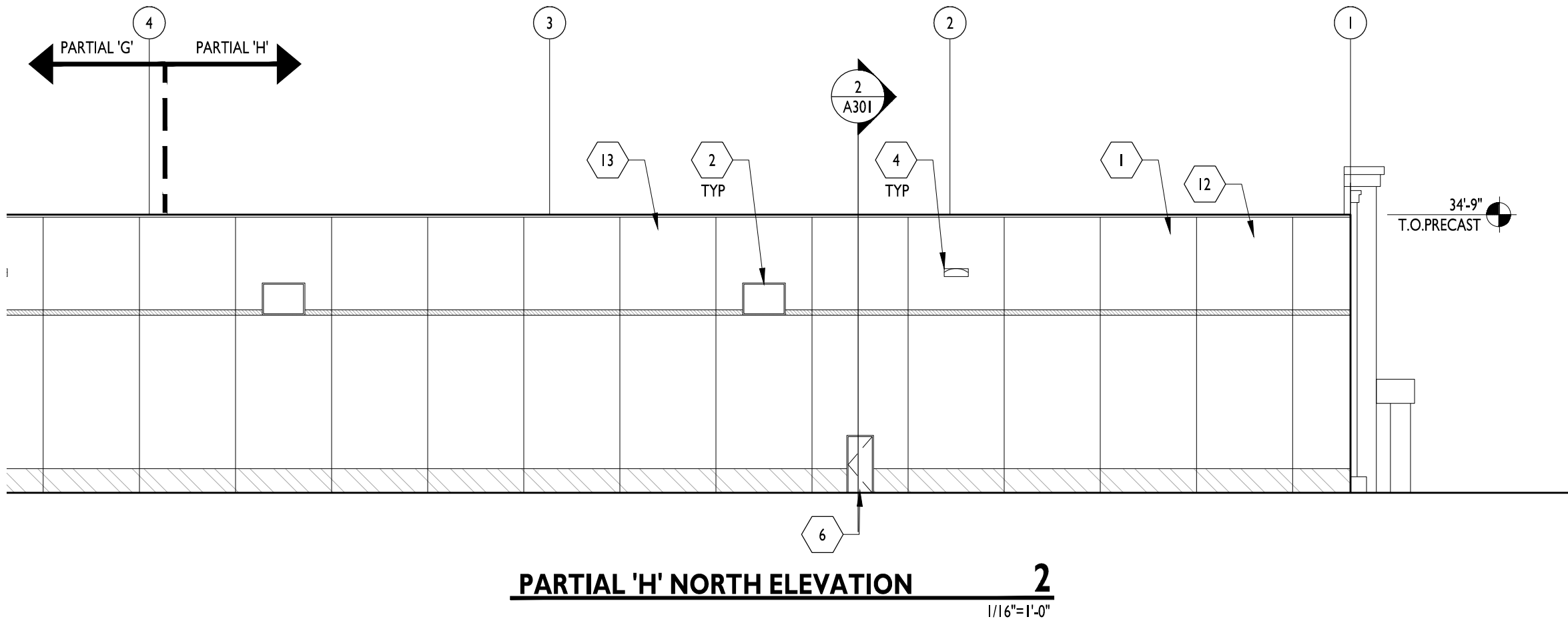
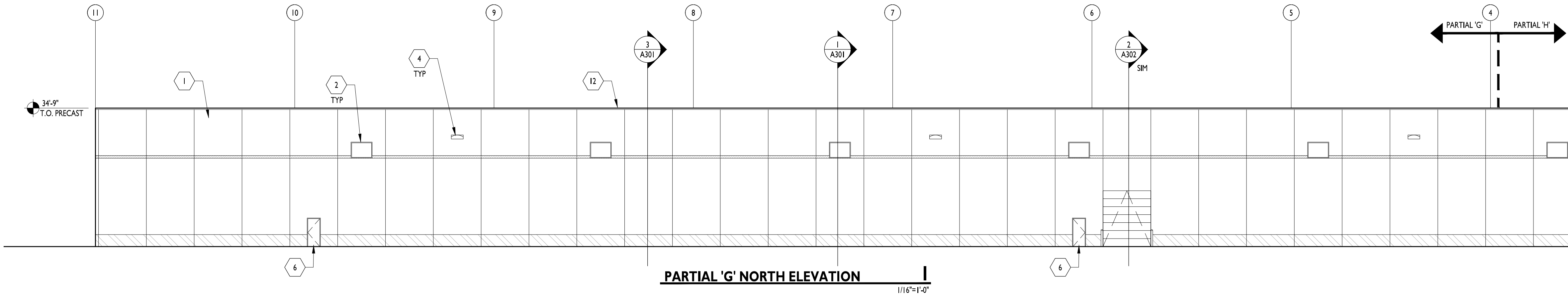
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EXTERIOR ELEVATIONS

A203



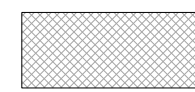
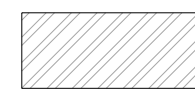
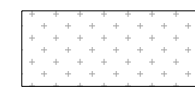

KEYED NOTES

1. PRE-CAST CONCRETE PANEL WITH PAINTED FINISH. REVEALS CAST IN AS SHOWN. REFER TO WALL SECTIONS FOR ADDITIONAL DETAIL.
2. TYPICAL CLERESTORY WINDOW. THERMALLY BROKEN ALUMINUM STOREFRONT FRAMING WITH INSULATED TINTED GLASS. REFER TO STOREFRONT ELEVATIONS. CENTER ON WIDTH OF PANEL. SEE SECTION FOR HEIGHTS.
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6. INSULATED STEEL MAN-DOOR AND FRAME. PAINTED TO MATCH WALL COLOR.
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10. GALVANIZED STEEL DOCK STAIR. WITH GUARDRAIL AND CONCRETE BOLLARDS. SEE DETAIL 11 & 12/A502.
11. PRE-FABRICATED METAL AWNING BY COOL PLANET OR EQUAL. DESIGN INTENT TO MATCH MAPES ILLUMIDECK.
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13. LINE REPRESENTS APPROXIMATE TOP OF ROOF INSULATION. SHOWN FOR REFERENCE ONLY. COORDINATE WITH STRUCTURAL DRAWINGS FOR JOIST BEARING ELEVATIONS AND SLOPES TO ROOF DRAINS.
14. 1" INSULATED TINTED GLASS IN THERMALLY BROKEN ALUMINUM FRAMING. REFER TO STOREFRONT ELEVATIONS FOR MORE INFORMATION.
15. PRECAST PLANTERS.
16. PAINTED STEEL COLUMN.
17. PRECAST SCREEN WALL.
18. EPS CORNICE APPLIED TO PRECAST. SEE DETAILS X/A00X.

GENERAL PRECAST PAINT NOTES

- A. CONCRETE TO CURE 30 DAYS PRIOR TO PAINT OR VERIFY PH LEVEL IS BETWEEN 6-8. IF PH IS HIGHER THAN 8, A PRIMER THAT IS TOLERANT OF A HIGH ALKALINE SUBSTRATE IS REQUIRED. VERIFY PRODUCT WITH PAINT MANUFACTURER DATA SHEETS FOR ACCEPTABLE MATERIALS TO MEET THE PH OF THE PANELS. TYPICAL LOXON PRIMERS. PROVIDE REPORT STATING PH LEVEL OF PANEL PRIOR TO PAINT APPLICATION.
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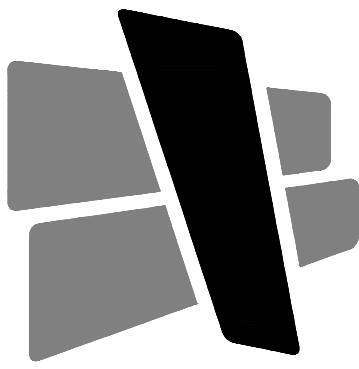
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CERTIFICATION

PRELIMINARY
NOT FOR CONSTRUCTION

01.14.2021

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PROJECT INFORMATION

**SOUTHWARK
MANUFACTURING**

MT COMFORT ROAD
MCCORDSVILLE INDIANA

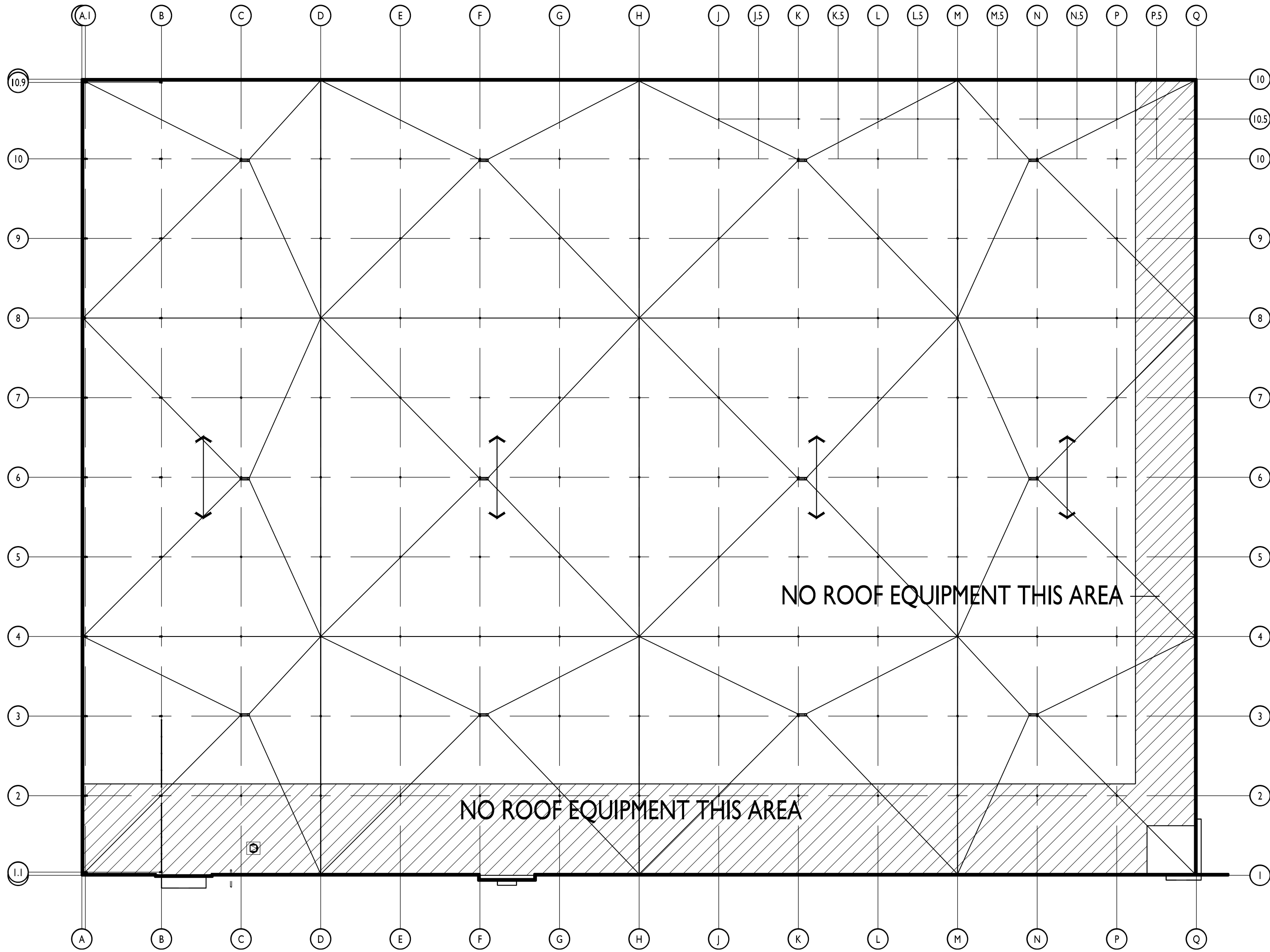
ISSUE DATES

ISSUE	DATE
DESIGN DEVELOPMENT SET	12.31.2020

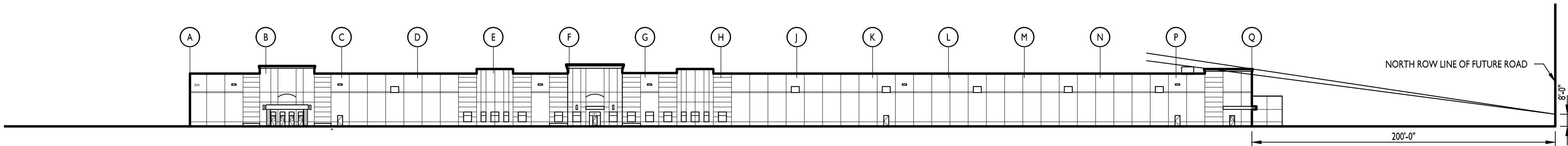
200087

LINE OF SIGHT EXHIBIT

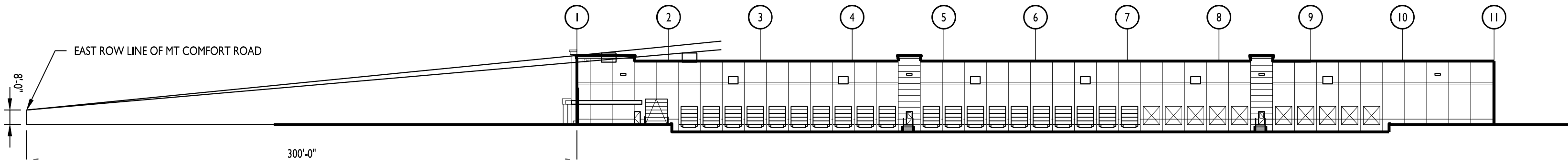
A120A



ROOF PLAN 1
1:50



WEST ELEVATION 2
1:50



SOUTH ELEVATION 2
1:50