



November 30, 2020

Architectural Review Committee &
Ryan Crum
Director of Planning & Building
Town of McCordsville
6280 W. 800 N.
McCordsville, IN 46055

RE: Architectural Review Approval for McCord Pointe

Lennar Homes is requesting architectural approval for the Spencer elevation to be built at McCord Pointe Area B. The plan and colored rendering is included with this package.

This letter shall serve as written confirmation that Lennar stipulates it will meet the Architectural Standards approved as part of Ordinance No. 101017B for McCord Pointe. Some of the architectural standards are not shown on our drawings. However, via this letter, Lennar commits to meet each of architectural standards identified in the ordinance. Lennar requests this letter be used in conjunction with the architectural drawings submitted to the Architectural Review Committee.

All homes shall have the following:

- Dimensional shingles;
- All siding shall be cement fiber board;
- Minimum roof overhang of eleven inches on all sides of a house as measured from the exterior wall material to the fascia board;
- All two-story homes shall contain a minimum of two (2) windows on all four sides with the exception of a façade facing a public street which shall contain a minimum of three (3) windows. The plans submitted at the time of building permit will identify the included windows meeting the above standard;
- Unless adjacent to brick or stone wrap, all side and rear windows shall have a minimum nominal one inch by six inch wood wrap;
- All homes shall contain a minimum of a two car garage with a minimum width or depth of twenty-two feet. If the base home garage shown on the prints does not meet this requirement, a side or front extension will be identified on the prints submitted at the time of building permit.
- Front-loading garages shall contain a decorative garage door;

The omission of any specific architectural requirements from the above list is not intended to waive any obligations by Lennar to meet the Architectural Standards approved as part of Ordinance No.

101017B. This letter is intended to be a supplement to the specific architectural drawings submitted by Lennar to the Architectural Review Committee as further clarification.

Sincerely,

A handwritten signature in black ink, appearing to read "Ty Rinehart". The signature is written in a cursive, slightly stylized font. The first name "Ty" is written with a large, prominent "T" and a small "y". The last name "Rinehart" is written in a more fluid, cursive script.

Ty Rinehart
Land Acquisition Manager
Lennar Homes of Indiana

Masonry = 30" masonry wainscot

EXTERIOR TRIM KEY

V

VINYL
CORNER

1

1 x 4

2

3

4

5

NOTE: EXTERIOR TRIM NOTATIONS
INDICATE TRIM PIECE SIZE ONLY.
ACTUAL TRIM MATERIAL / FINISH
PER DIVISION SPECIFICATIONS.

NOTE:

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY
COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION
CONDITION. SLAB FOUNDATION SIMILAR

NOTE:

STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE
GARAGE DOORS SHALL COMPLY WITH THE 2020
INDIANA RESIDENTIAL CODE, SECTION R 103.8.3

INDIANAPOLIS DIVISION

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EVERYTHING'S
INCLUDED*

REMARKS	DATE	REV. NO.	1	2	3	4	5
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		5					

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MODEL
SPENCER B

DRAWING TITLE
FRONT ELEVATION

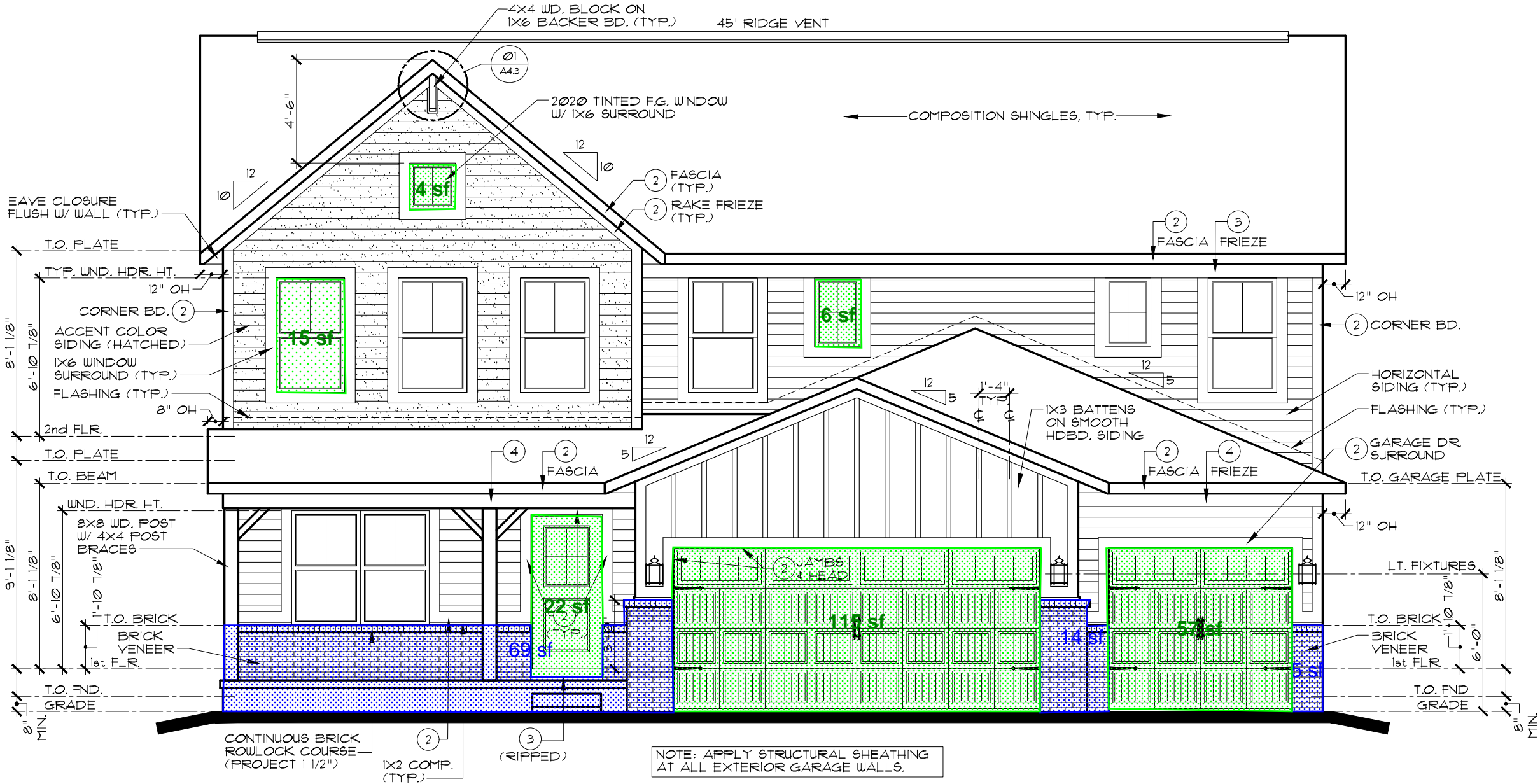
OPTION DESCRIPTION

SFT. NO.
976950

DRAWN BY
DAR

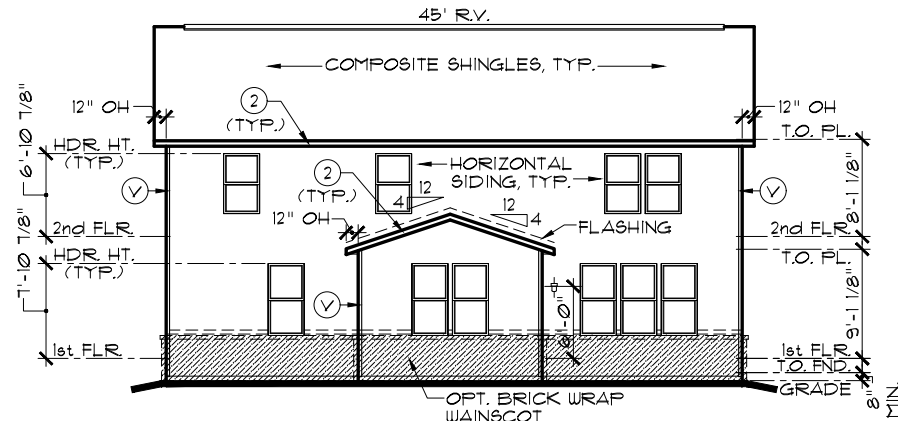
COLLECTION
CORNERSTONE

SHEET NO.
A1.1B



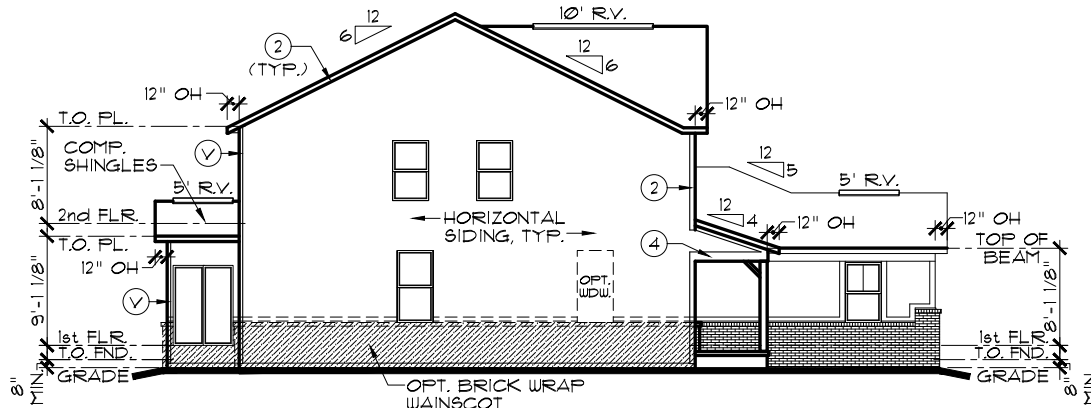
FRONT ELEVATION B

SCALE: 3/16" = 1'-0"



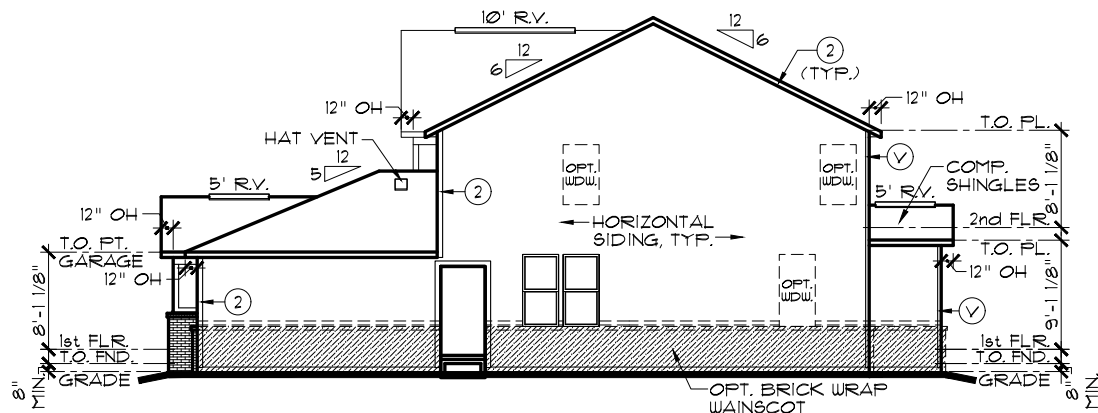
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- V VINYL CORNER
- 1 1 x 4
- 2 1 x 6
- 3 1 x 8
- 4 1 x 10
- 5 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

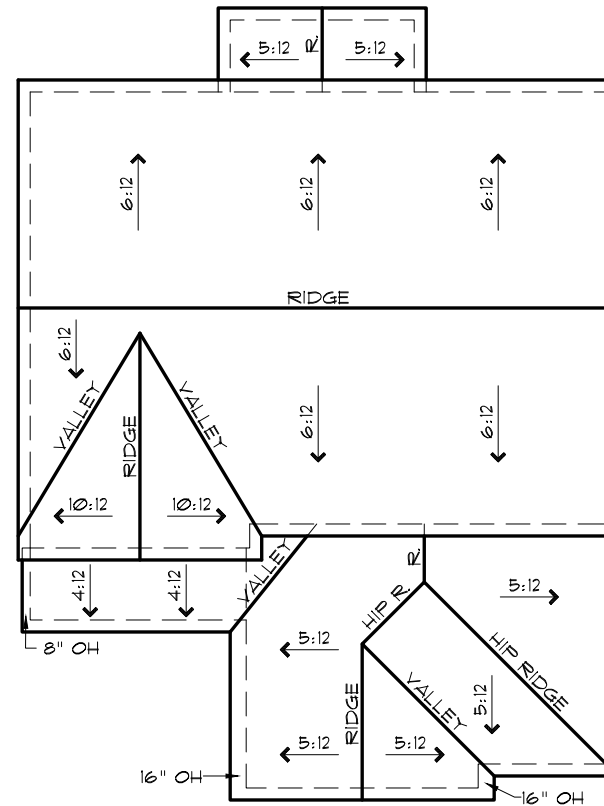
NOTE:

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN B

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



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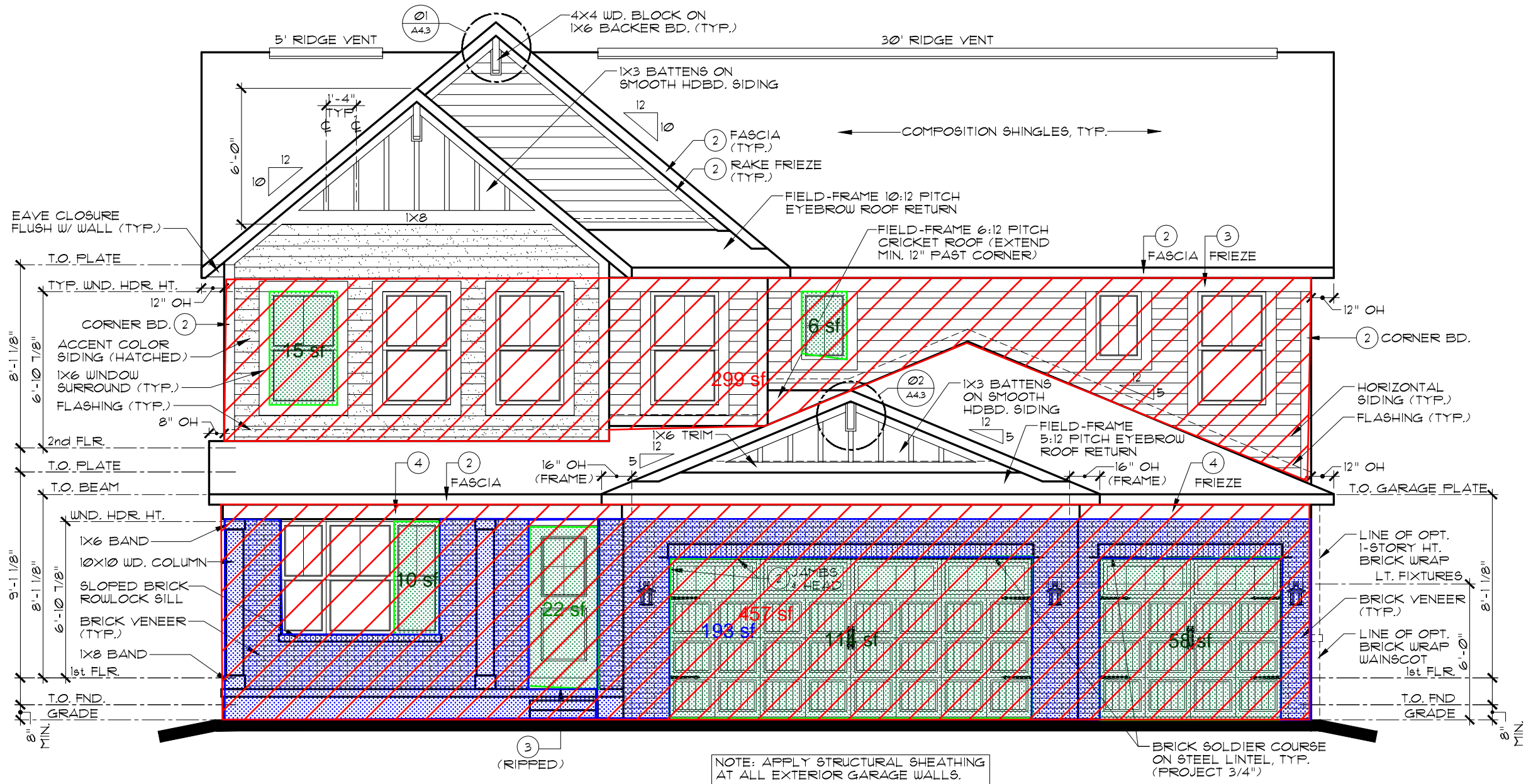
LENNAR®

MODEL	SFT. NO.	DRAWN BY	COLLECTION	OPTION DESCRIPTION
SPENCER B	976950	DAR	CORNERSTONE	
DRAWING TITLE	SIDE, REAR ELEVATIONS			

SHEET NO.

A1.2B

Primary facade = 756 s.f.
Windows and doors = 316 s.f.
Masonry = 194 s.f.
Masonry Percentage 44%



FRONT ELEVATION C

SCALE: 3/16" = 1'-0"

EXTERIOR TRIM KEY			
1	VINYL CORNER	3	1 x 8
2	1 x 4	4	1 x 10
3	1 x 6	5	1 x 12
NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.			

NOTE:
SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION
NOTE:
ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR
NOTE:
STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE GARAGE DOORS SHALL COMPLY WITH THE 2020 INDIANA RESIDENTIAL CODE, SECTION R 103.8.3

INDIANAPOLIS DIVISION

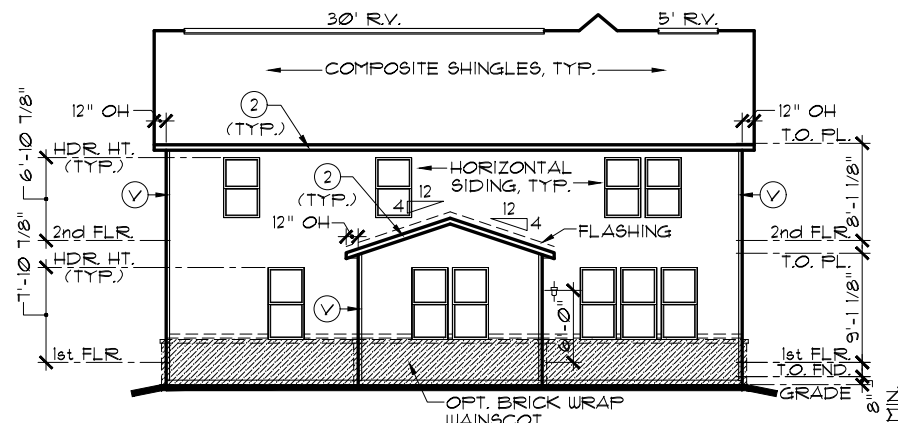


REMARKS	DATE	REV. NO.	1	2	3	4	5
	10/20/20						

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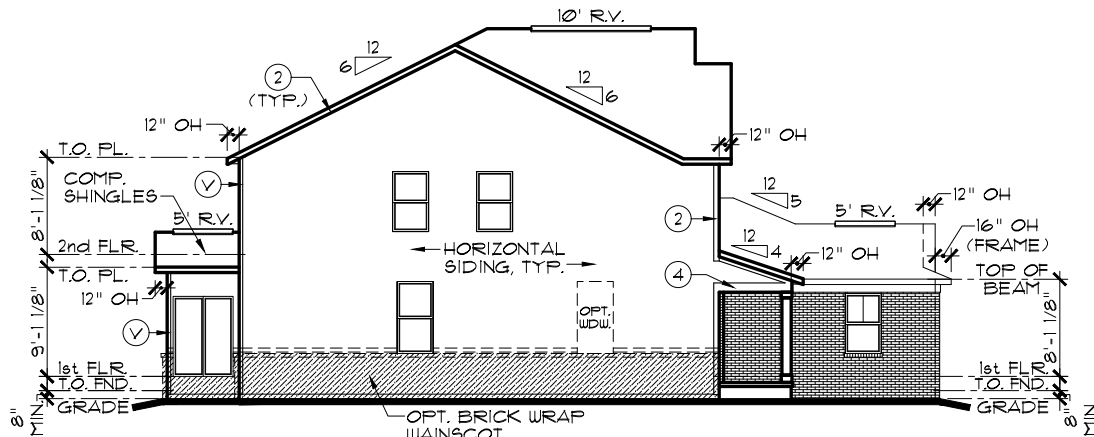
MODEL	SFT. NO.	DRAWN BY	COLLECTION	CORNERSTONE
SPENCER C	9769CO	DAR		
FRONT ELEVATION				
OPTION DESCRIPTION				

SHEET NO. A1.1C



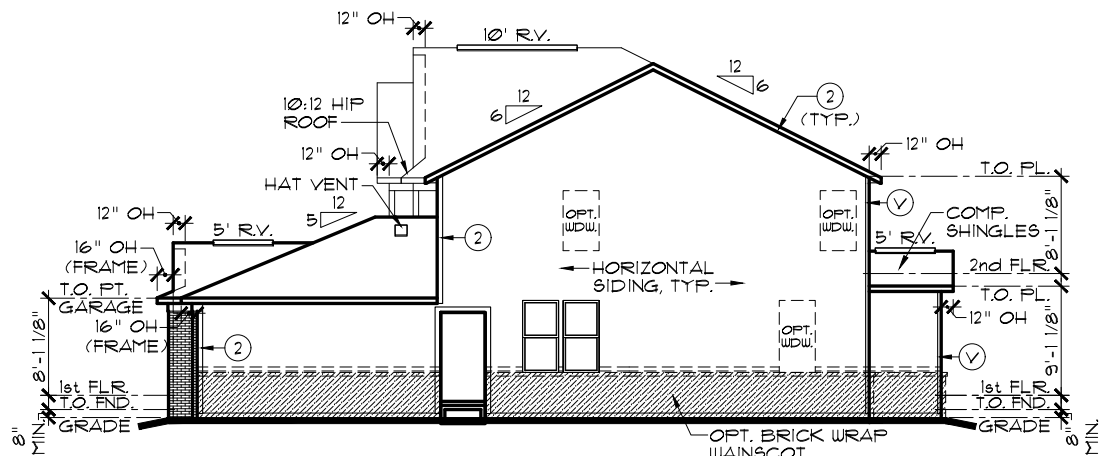
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- V VINYL CORNER
- 1 1 x 4
- 2 1 x 6
- 3 1 x 8
- 4 1 x 10
- 5 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

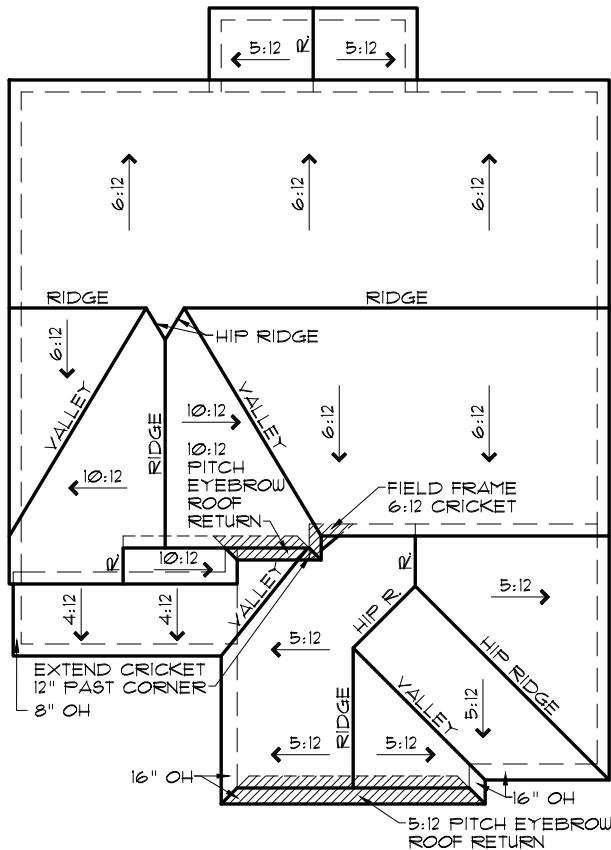
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NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN C

SCALE: 1/16" = 1'-0"

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EVERYTHING'S INCLUDED*

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MODEL	SFT. NO.	DRAWN BY	COLLECTION	OPTION DESCRIPTION
SPENCER C	9769C0	DAR	CORNERSTONE	
DRAWING TITLE	SIDE, REAR ELEVATIONS			

SHEET NO.

A1.2C

Primary facade = 764 s.f.
Windows and doors = 308 s.f.
Masonry = 201 s.f.
Masonry Percentage 44%

EXTERIOR TRIM KEY

V

VINYL
CORNER

1

1 x 4

2

3

4

5

NOTE: EXTERIOR TRIM NOTATIONS
INDICATE TRIM PIECE SIZE ONLY.
ACTUAL TRIM MATERIAL / FINISH
PER DIVISION SPECIFICATIONS.

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	10/20/20	1					

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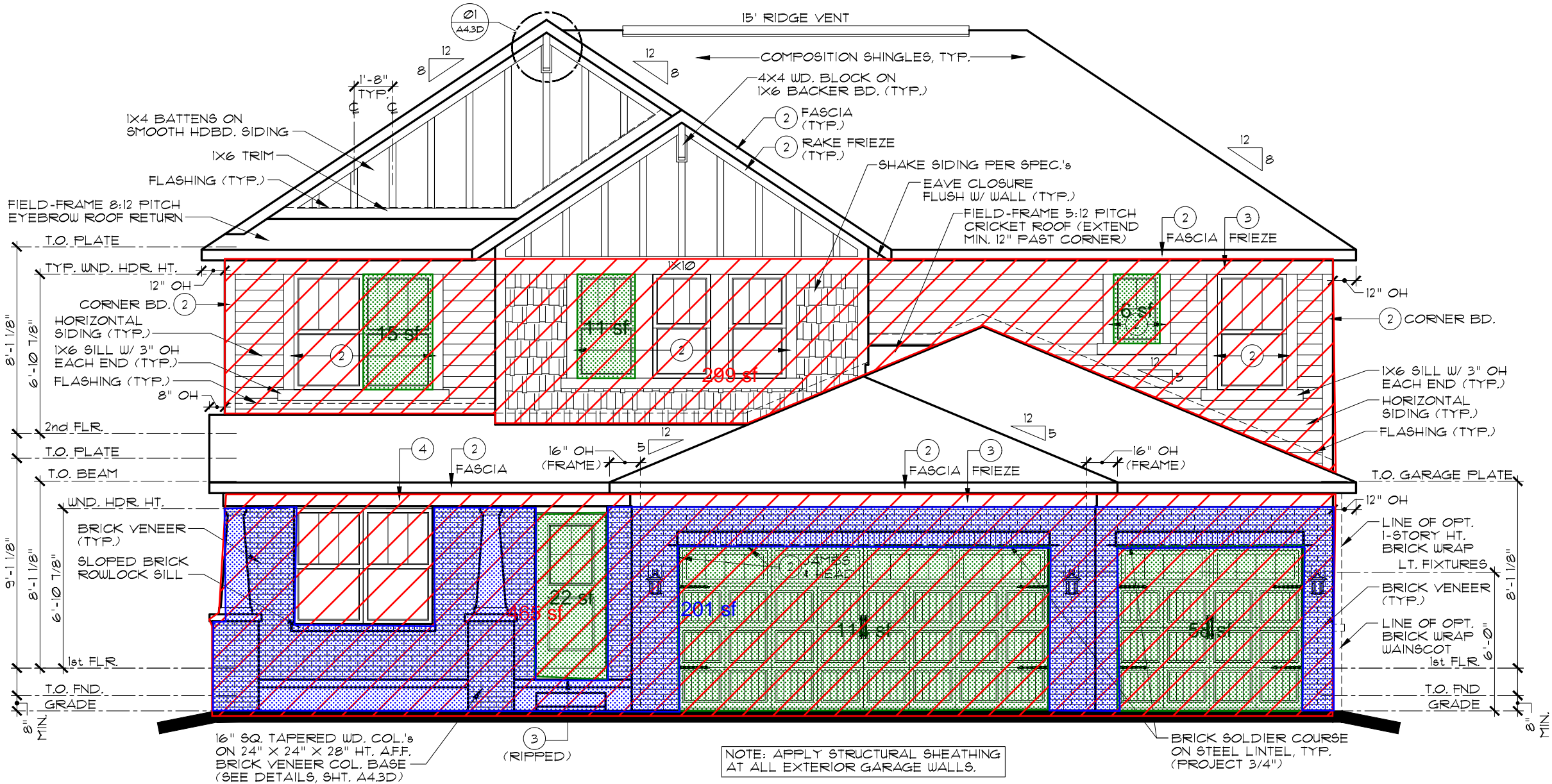
SFT. NO.	DRAWN BY	COLLECTION	CORNERSTONE
9769D0	DAR		

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MODEL	DRAWING TITLE	OPTION DESCRIPTION
SPENCER D	FRONT ELEVATION	

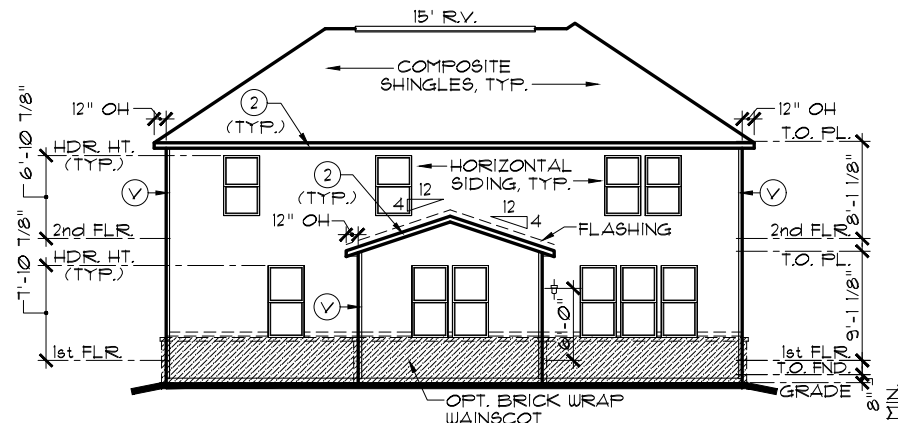
SHEET NO.

A1.1D



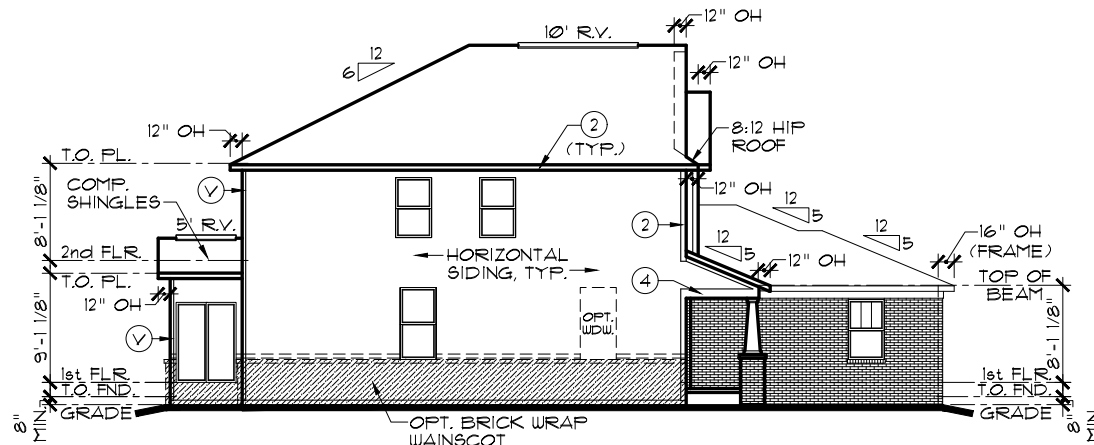
FRONT ELEVATION D

SCALE: 3/16" = 1'-0"



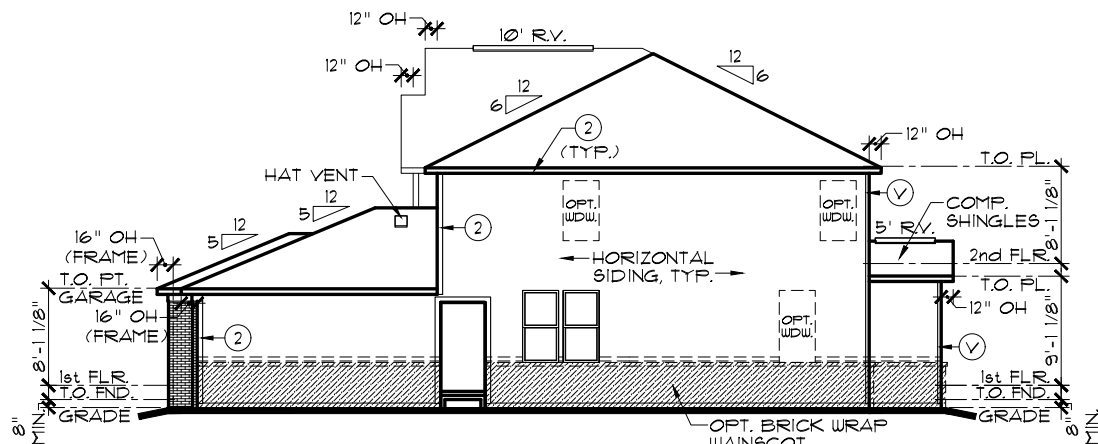
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- V VINYL CORNER
- 1 1 x 4
- 2 1 x 6
- 3 1 x 8
- 4 1 x 10
- 5 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

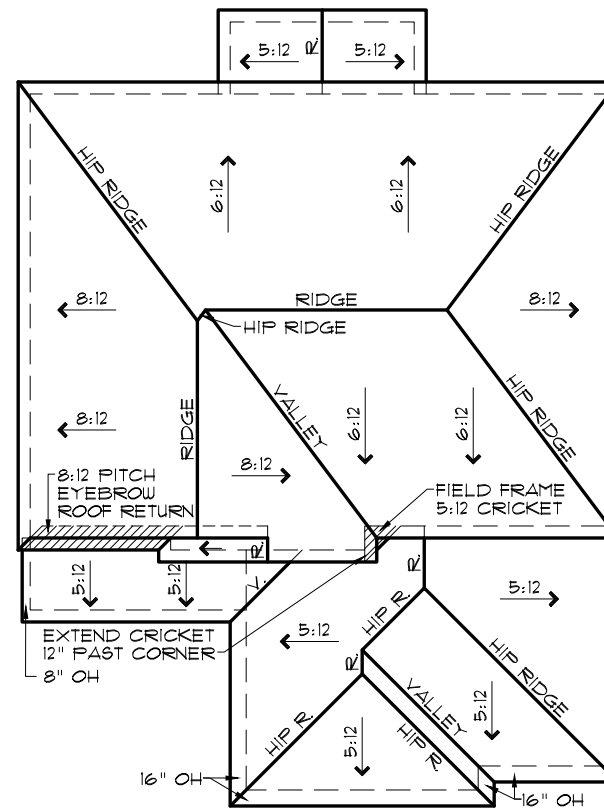
NOTE:

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NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN D

SCALE: 1/16" = 1'-0"

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



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MODEL	SFT. NO.	DRAWN BY	COLLECTION	OPTION DESCRIPTION
SPENCER D	9769D0	DAR	CORNERSTONE	
DRAWING TITLE	SIDE, REAR ELEVATIONS			

SHEET NO.

A1.2D

Primary facade = 811 s.f.
Windows and doors = 301 s.f.
Masonry = 251s.f.
Masonry Percentage 49%

EXTERIOR TRIM KEY	
 VINYL CORNER	 1 x 8
 1 x 4	 1 x 10
 1 x 6	 1 x 12

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

NOTE:
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COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

NOTE:
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CONDITION. SLAB FOUNDATION SIMILAR.

NOTE:
STEEL LINTELS AND MASONRY CONSTRUCTION ABOVE
GARAGE DOORS SHALL COMPLY WITH THE 2010
INDIANA RESIDENTIAL CODE, SECTION R 103.8.3

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1	10/20/20	FULL RELEASE
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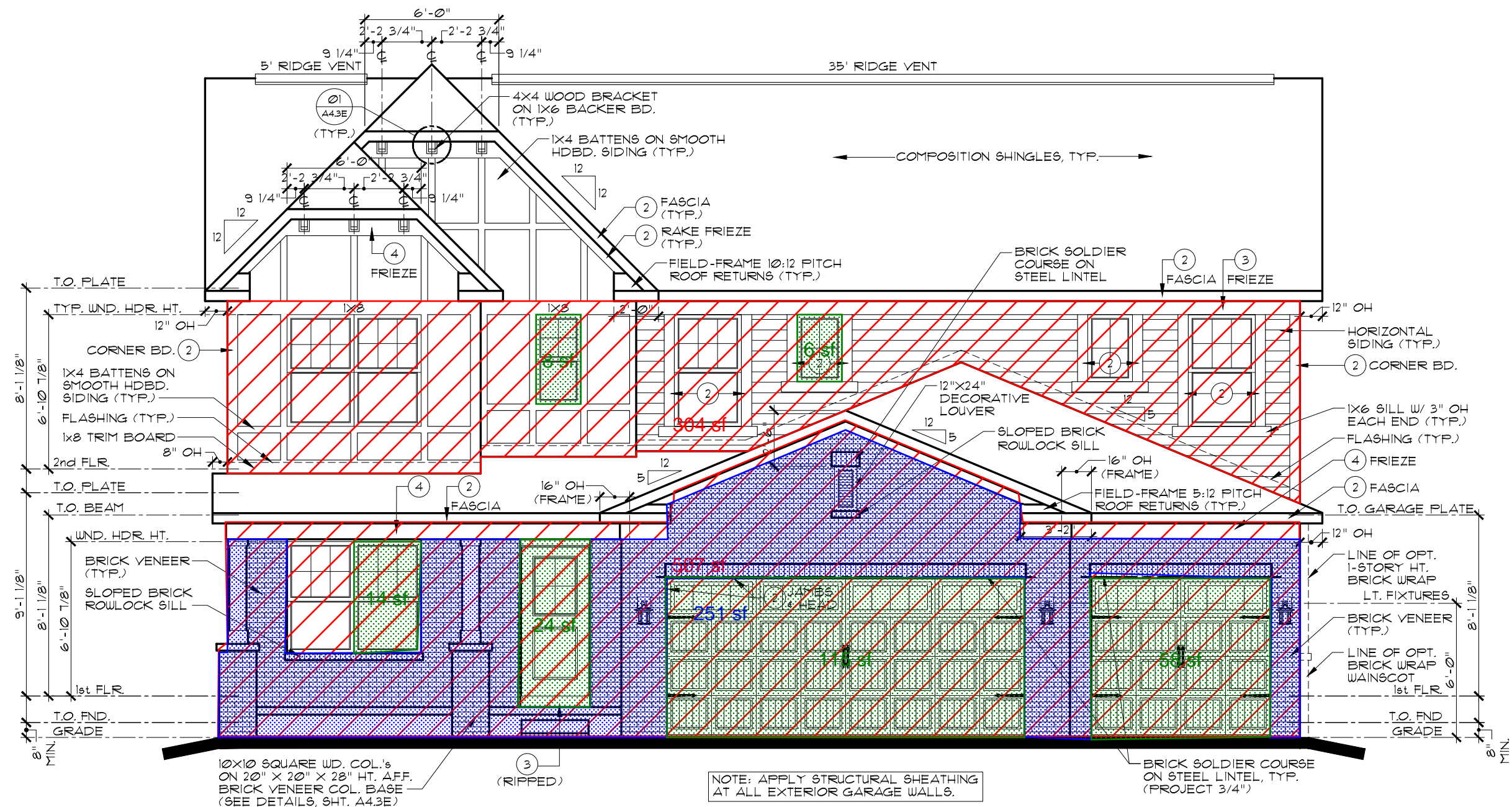
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LENNAR®	
MODEL	SPENCER E
	DRAWING TITLE
	FRONT ELEVATION
OPTION DESCRIPTION	
SET NO.	
9769E0	
DRAWN BY	
DAR	
COLLECTION	
CORNERSTONE	

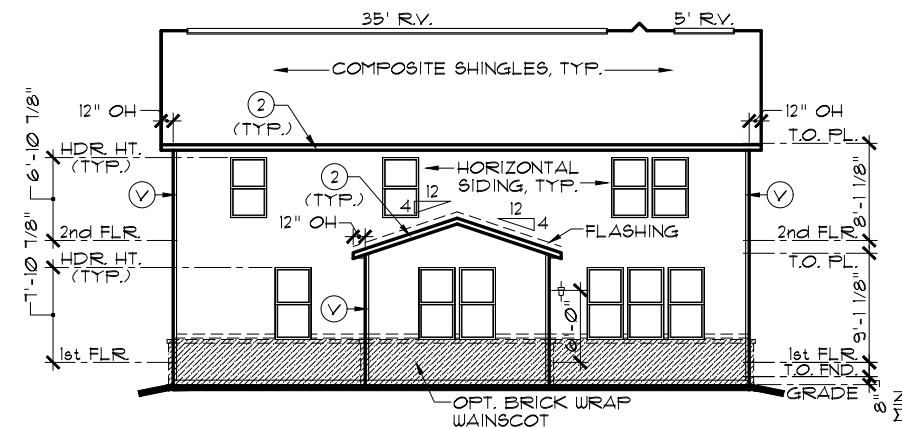
SHEET NO.

A1.1E



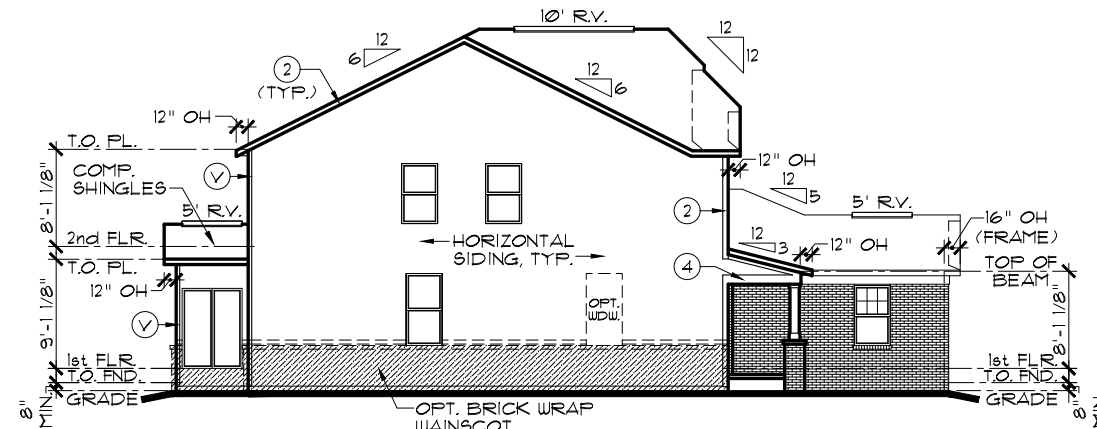
FRONT ELEVATION E

SCALE: 3/16" = 1'-0"



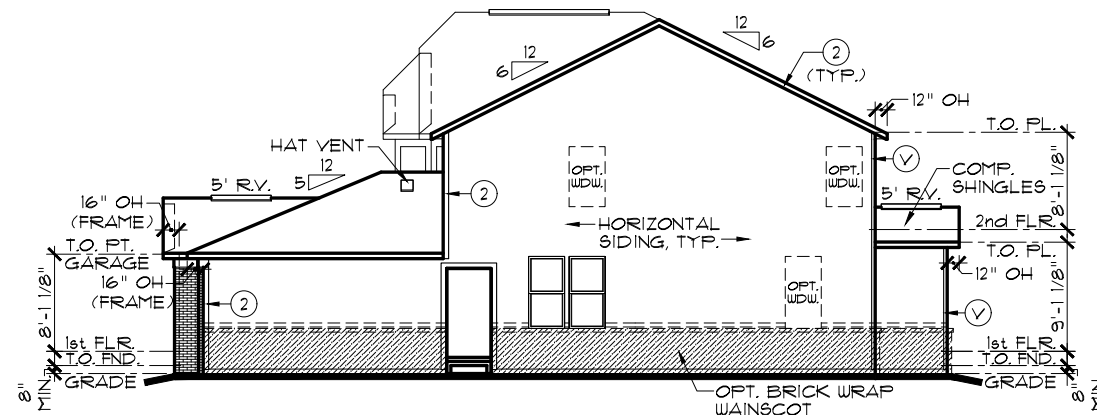
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

(V) VINYL CORNER (3) 1×8
 (1) 1×4 (4) 1×10
 (2) 1×6 (5) 1×12

NOTE: EXTERIOR TRIM NOTATIONS
INDICATE TRIM PIECE SIZE ONLY.
ACTUAL TRIM MATERIAL / FINISH
PER DIVISION SPECIFICATIONS.

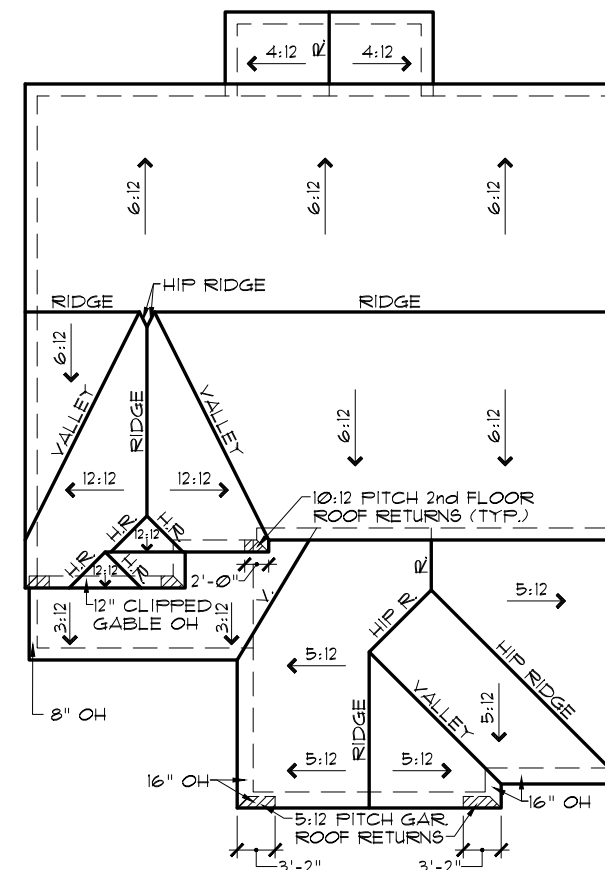
NOTE:

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION
CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO
BE 12" EXCEPT AS NOTED.



ROOF PLAN E

SCALE: 1/16" = 1'-0"



EVERYTHING'S INCLUDED*

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LENNAR®

SET NO.
0769E0

ODEL
SPENCER E

DRAWING TITLE

DRAWING TITLE
SIDE, REAR ELEVATIONS
 SECTION DESCRIPTION

DESCRIPTION

CORNERSTONE

SHEET NO.

A1.2E

NOTE:

HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.

ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X JACK STUDS EACH END, EXCEPT AS NOTED

DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

GENERAL NOTES:

1. ALL WINDOW HEADERS HEIGHTS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

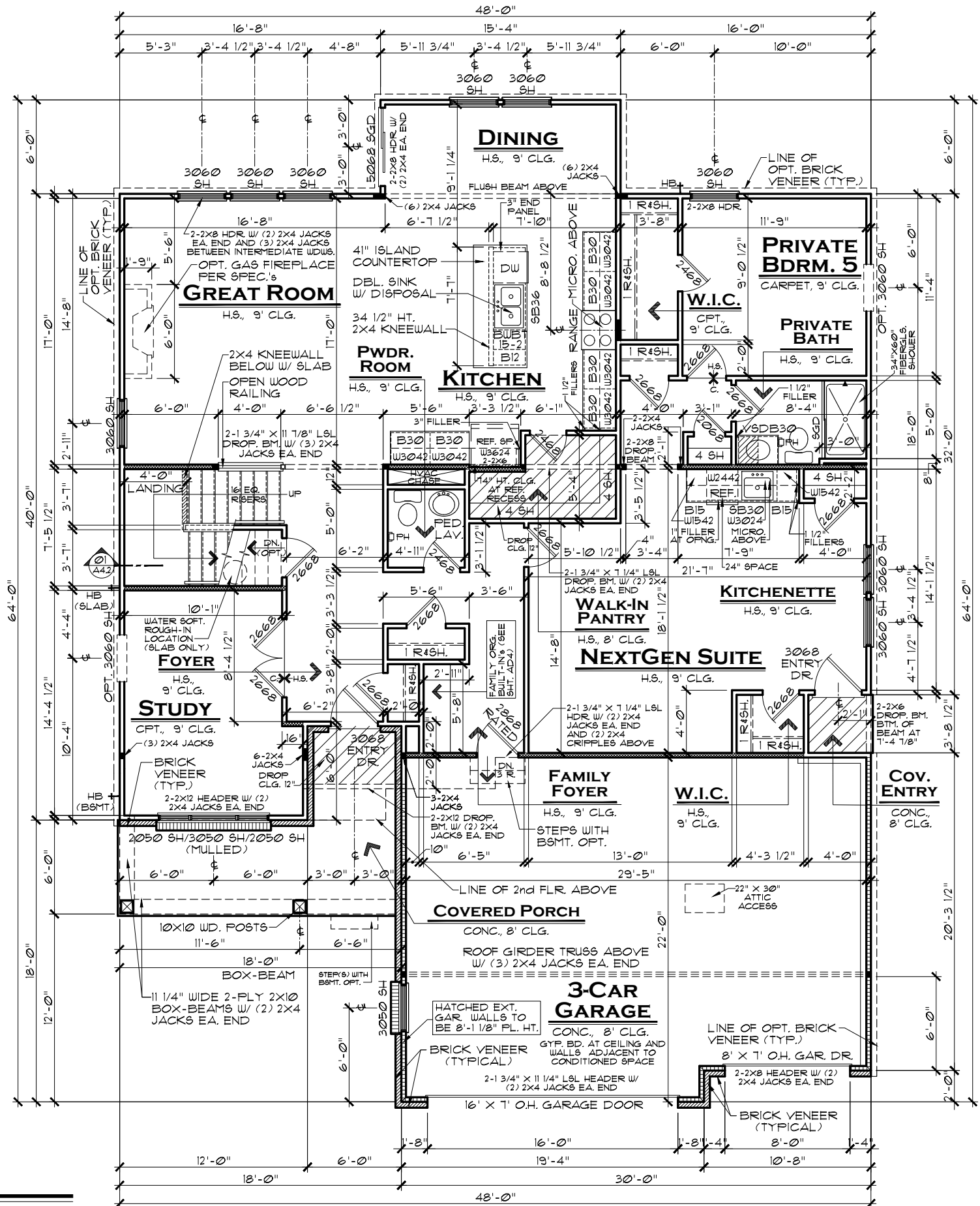
AREA TABULATION

1st FLOOR LIVING AREA:	1,840 S.F.
2nd FLOOR LIVING AREA:	1,733 S.F.
TOTAL LIVING AREA:	3,573 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	144 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,312 S.F.

COVERED PATIO OPTION ADDS 169 SF
UNCONDITIONED LIVING SPACE.
CARRIAGE GARAGE ADDS 240 SF

FIRST FLOOR PLAN C

SCALE: 1/8" = 1'-0"



INDIANAPOLIS DIVISION



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LENNAR®

MODEL
SPENCER C

DRAWING TITLE
1ST FLOOR PLAN

OPTION DESCRIPTION

SFT. NO.
9769C0

DRAWN BY
SAM

COLLECTION
CORNERSTONE

REVISIONS

DATE

REMARKS

REV. NO.

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NOTE:

HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.

ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X JACK STUDS EACH END, EXCEPT AS NOTED

DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

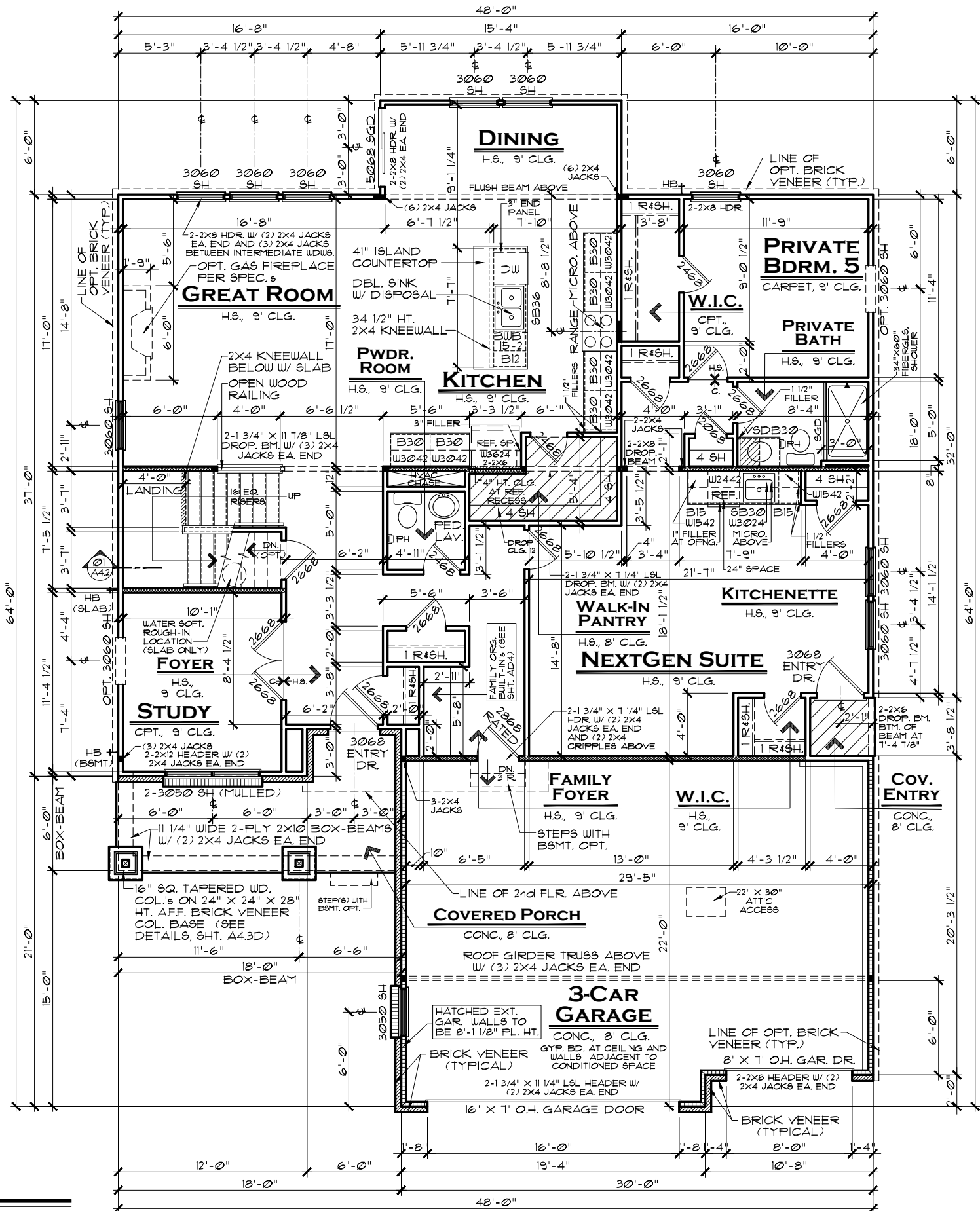
- GENERAL NOTES:**
1. ALL WINDOW HEADERS HEIGHTS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
 2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
 3. ALL INTERIOR ROUGH OPENINGS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
 4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

AREA TABULATION	
1st FLOOR LIVING AREA:	1,804 S.F.
2nd FLOOR LIVING AREA:	1,695 S.F.
TOTAL LIVING AREA:	3,499 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	126 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,280 S.F.

COVERED PATIO OPTION ADDS 169 SF UNCONDITIONED LIVING SPACE.
CARRIAGE GARAGE ADDS 240 SF

FIRST FLOOR PLAN D

SCALE: 1/8" = 1'-0"



INDIANAPOLIS DIVISION



REV. NO.	DATE	REMARKS
1	10/20/20	FULL RELEASE
2		
3		
4		
5		

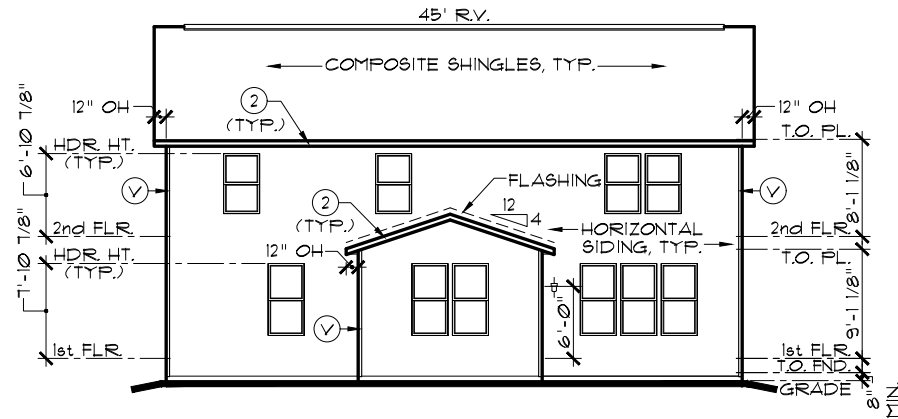
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LENNAR®		SPENCER D		1ST FLOOR PLAN	
MODEL	SFT. NO.	DRAWN BY	COLLECTION	OPTION DESCRIPTION	
	9769D0	SAM	CORNERSTONE		

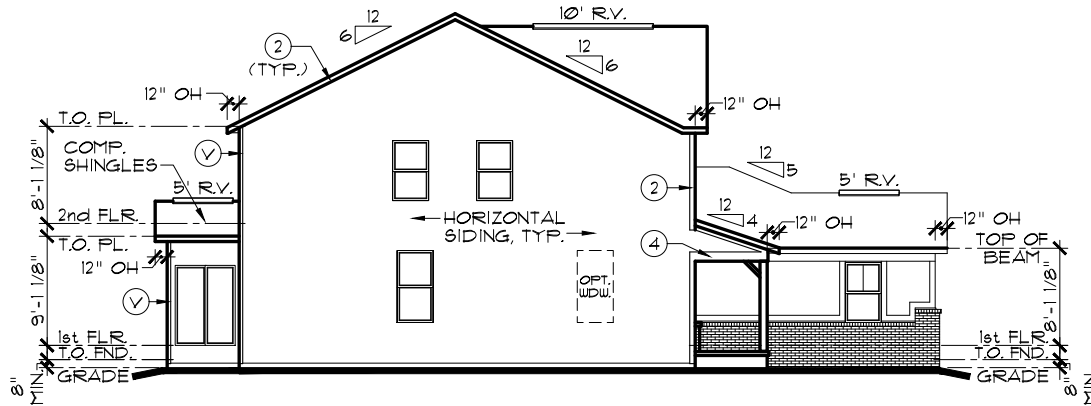
SHEET NO.

A3.1D



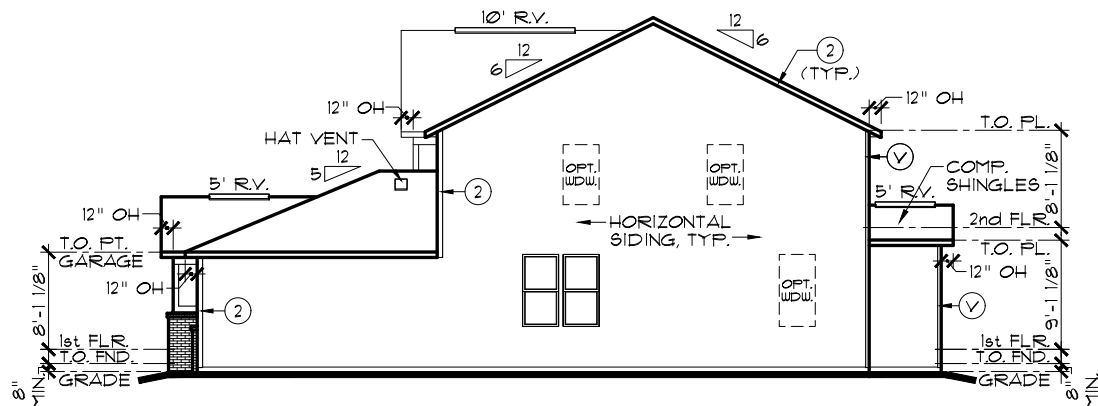
REAR ELEVATION

SCALE: 1/16" = 1'-0"



LEFT ELEVATION

SCALE: 1/16" = 1'-0"



RIGHT ELEVATION

SCALE: 1/16" = 1'-0"

EXTERIOR TRIM KEY

- | | |
|------------------|------------|
| (V) VINYL CORNER | (3) 1 x 8 |
| (1) 1 x 4 | (4) 1 x 10 |
| (2) 1 x 6 | (5) 1 x 12 |

NOTE: EXTERIOR TRIM NOTATIONS INDICATE TRIM PIECE SIZE ONLY. ACTUAL TRIM MATERIAL / FINISH PER DIVISION SPECIFICATIONS.

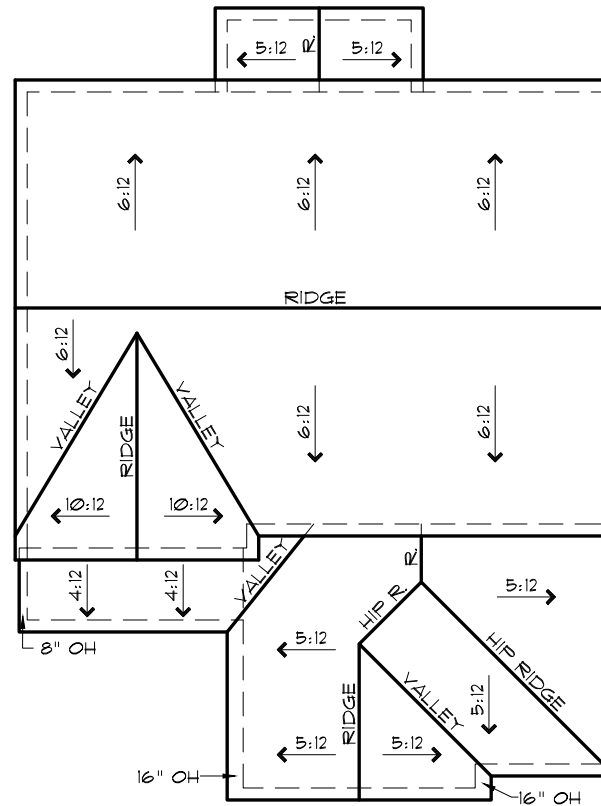
NOTE:

SIDES AND REAR WINDOW GRIDS, WHEN REQUIRED BY COMMUNITY, SHALL MATCH THOSE OF FRONT ELEVATION

NOTE:

ALL ELEVATIONS DRAWN AS BASEMENT FOUNDATION CONDITION. SLAB FOUNDATION SIMILAR.

NOTE: ALL OVERHANGS TO BE 12" EXCEPT AS NOTED.



ROOF PLAN B

SCALE: 1/16" = 1'-0"

INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

REV.NO.	DATE	REMARKS
1	TBD	FULL RELEASE
2		
3		
4		
5		

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LENNAR®

MODEL	SFT. NO.	DRAWN BY	COLLECTION	OPTION
SPENCER B	976950	DAR	CORNERSTONE	
DRAWING TITLE	SIDE, REAR ELEVATIONS			
DESCRIPTION				

SHEET NO.

A1.2B

NOTE:

HATCHED WALL INDICATES INTERIOR LD.-BRG. WALL WITH STUDS @ 16" O.C. AND DOUBLE TOP PLATE, TYP.

ALL LOAD-BEARING HEADERS TO BE 2-2X6 W/ 1/2" PLYWD. FILLER and (2) 2X JACK STUDS EACH END, EXCEPT AS NOTED

DOUBLE AND TRIPLE NON-MULLED WINDOWS TO HAVE 2-2X6 HEADER W/ (2) 2X4 JACK EACH END AND (3) 2X4 JACKS BETWEEN INTERMEDIATE WINDOWS

GENERAL NOTES:

1. ALL WINDOW HEADERS HEIGHTS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 1ST FLOOR WALL HT. TO BE 9'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 7'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.

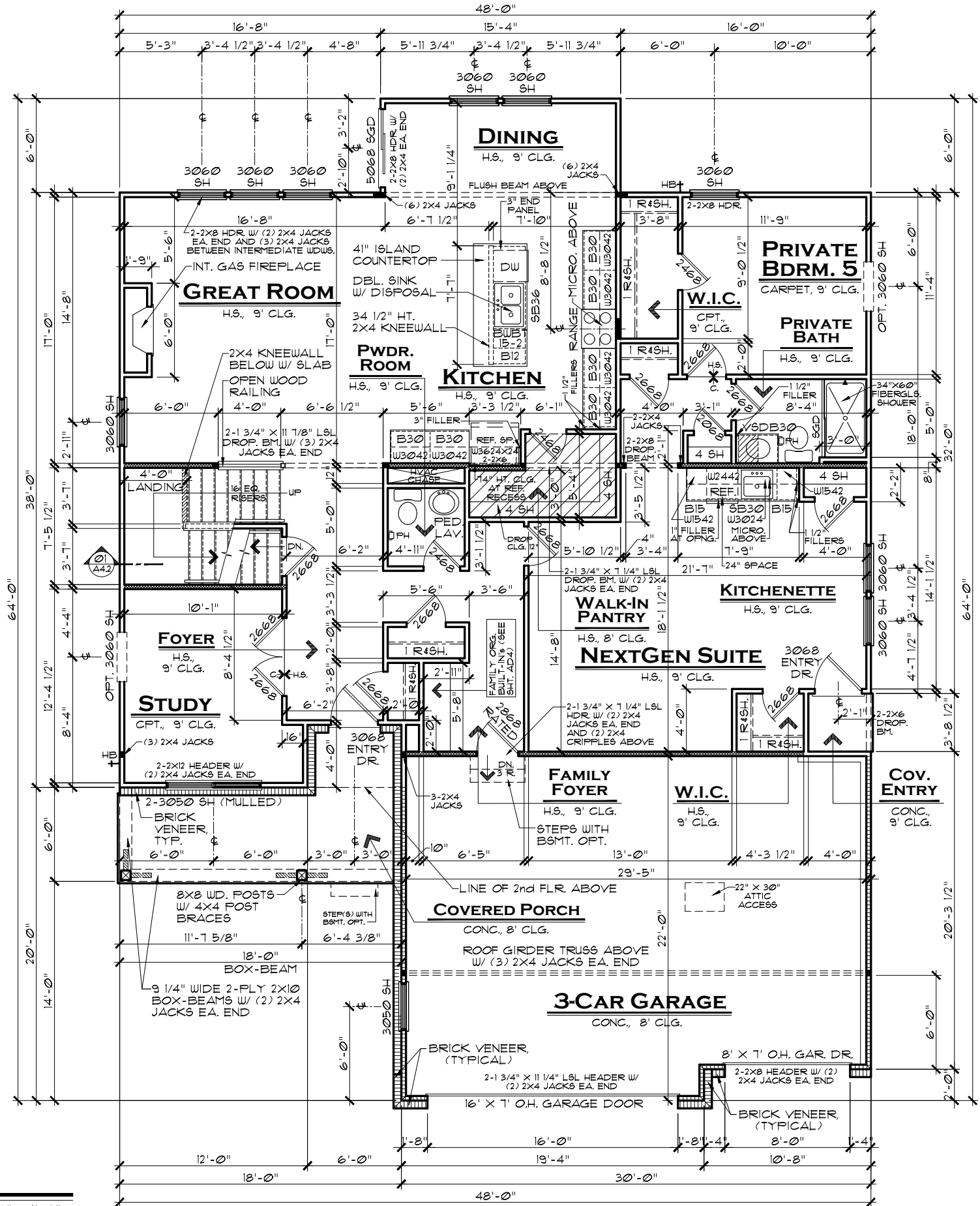
AREA TABULATION

1st FLOOR LIVING AREA:	1,816 S.F.
2nd FLOOR LIVING AREA:	1,687 S.F.
TOTAL LIVING AREA:	3,503 S.F.
GARAGE:	640 S.F.
COVERED ENTRY PORCH:	132 S.F.
PRIVATE COVERED ENTRY:	15 S.F.
TOTAL UNDER ROOF:	4,290 S.F.

COVERED PATIO OPTION ADDS 169 SF UNCONDITIONED LIVING SPACE.

FIRST FLOOR PLAN B

SCALE: 1/8" = 1'-0"



INDIANAPOLIS DIVISION



EVERYTHING'S INCLUDED*

REV. NO.	DATE	REMARKS
1	TBD	FULL RELEASE
2		
3		
4		
5		

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LENNAR®

SFT. NO.

976950

DRAWN BY

SAM

COLLECTION

CORNERSTONE

MODEL

SPENCER B

DRAWING TITLE

1ST FLOOR PLAN

OPTION DESCRIPTION

SHEET NO.

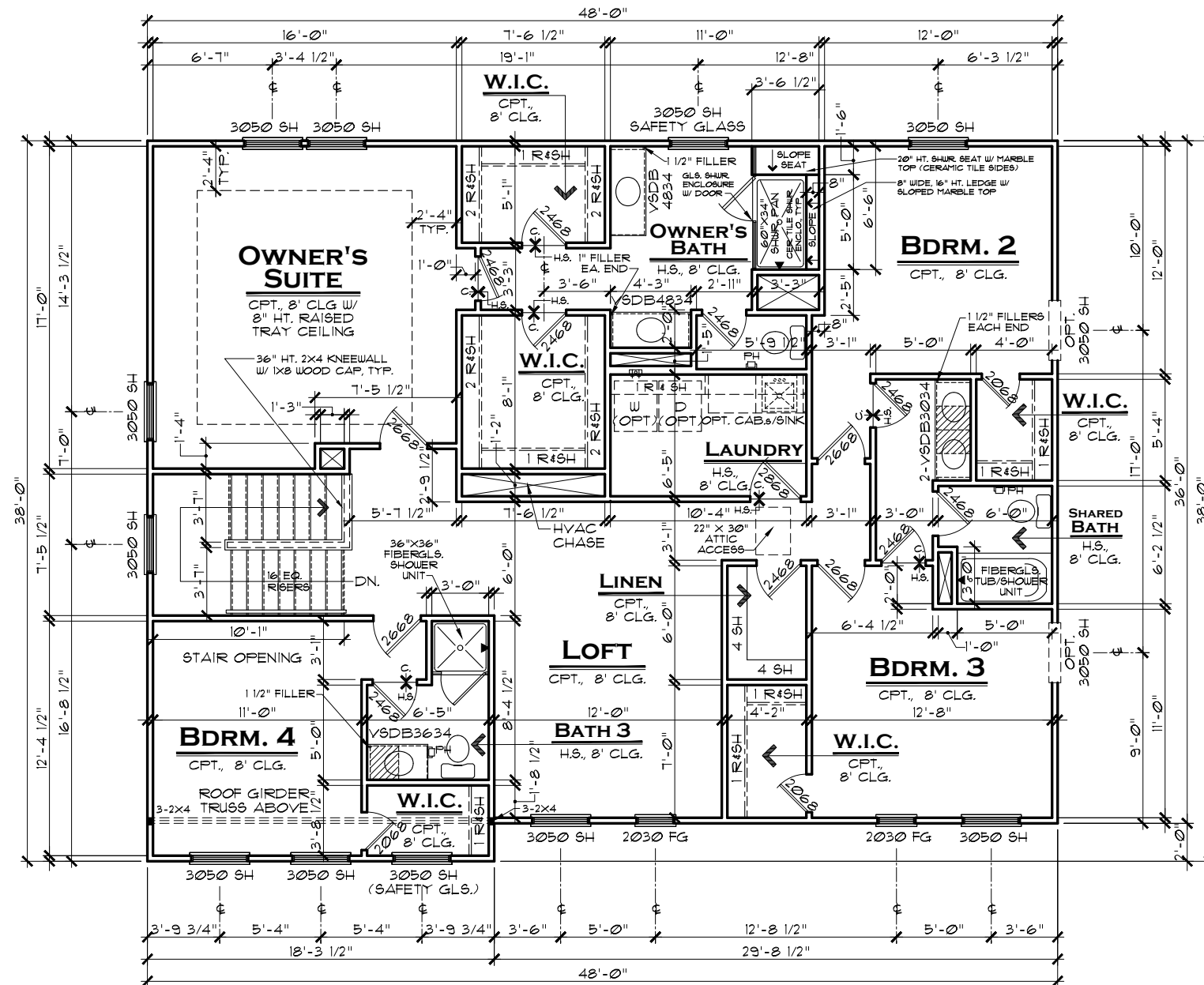
A3.1B

WINDOW HEADERS:
2-2X6 W/ (1) 2X4 JACK
EACH END TYP., UNLESS
NOTED OTHERWISE

DOUBLE AND TRIPLE
NON-MULLED WINDOWS TO
HAVE 2-2X6 HEADER W/
(2) 2X4 JACK EACH END
AND (3) 2X4 JACKS
BETWEEN INTERMEDIATE
WINDOWS

GENERAL NOTES:

1. ALL WINDOW HEADERS HEIGHTS TO BE 6'-10 7/8" HT. UNLESS NOTED OTHERWISE.
2. 2ND FLOOR WALL HT. TO BE 8'-1 1/8", EXCEPT WHERE NOTED OTHERWISE.
3. ALL INTERIOR ROUGH OPENINGS TO BE 6'-10 7/8" HT. UNLESS NOTED OTHERWISE.
4. ALL TRAY CEILINGS RAISE 8" UP INTO TRUSSES UNLESS NOTED OTHERWISE.
5. LOCATION OF DRAWERS IN VANITIES SHOWN HATCHED.



SECOND FLOOR PLAN B

SCALE: 1/8" = 1'-0"



EVERYTHING'S INCLUDED*

REV.NO.	DATE	REMARKS
1	TBD	FULL RELEASE
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THESE PLANS IS PROHIBITED.

LENNAR®

SET NO.
9769BC

MODEL
SPENCER B

DRAWING TITLE

2ND FLOOR PLAN

OPTION	DESCRIPTION
1	1.000000
2	2.000000
3	3.000000
4	4.000000
5	5.000000
6	6.000000
7	7.000000
8	8.000000
9	9.000000
10	10.000000
11	11.000000
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SHEET NO.

A3.2B