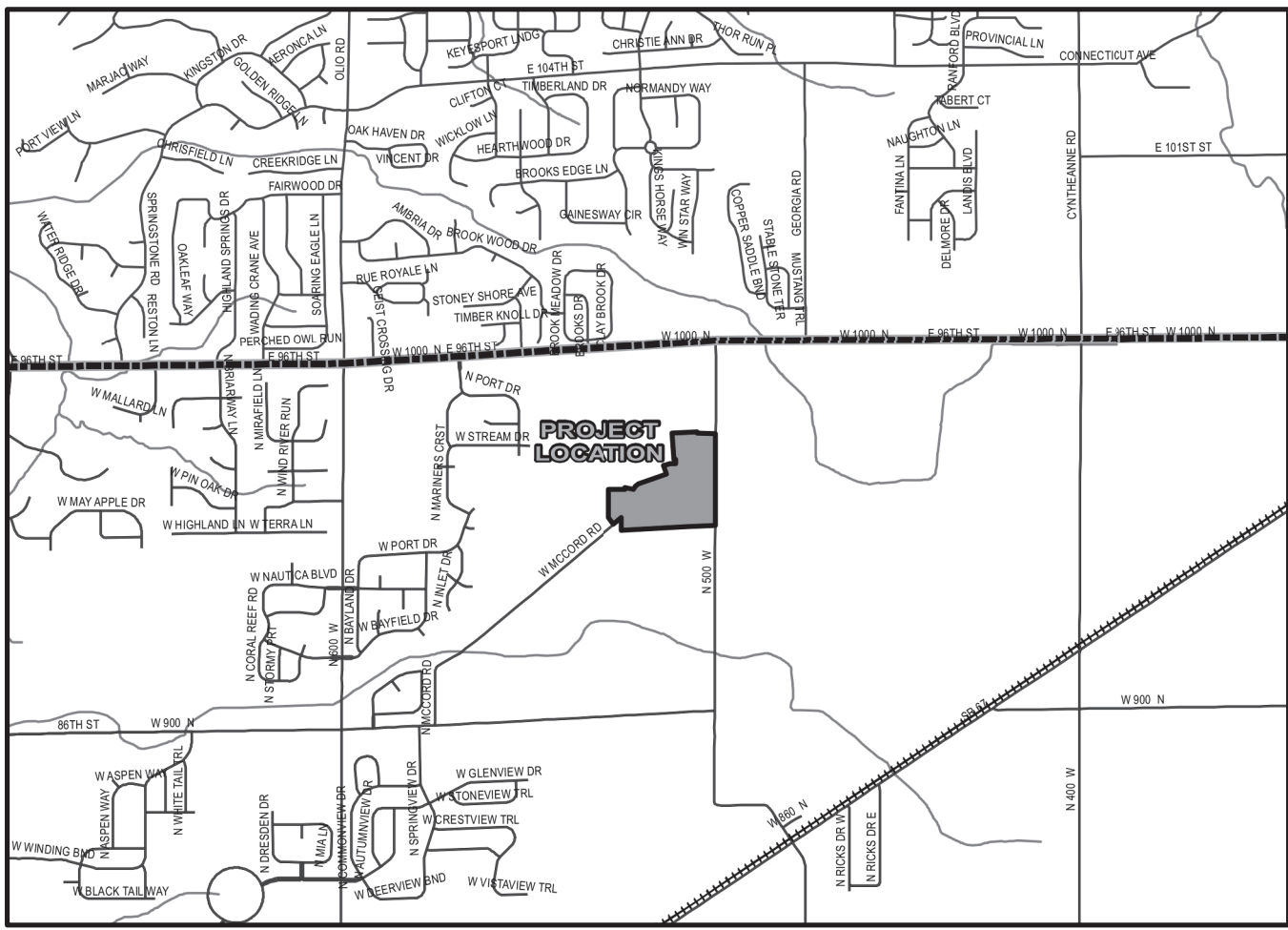


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LOCATION MAP
SCALE 1" = 1 MILE

McCORD POINTE SECTION 7

Lennar Homes of Indiana, Inc.

DEVELOPER:

LENNAR HOMES OF INDIANA, INC.
BILL BRYANT
9025 NORTH RIVER ROAD, SUITE 100
INDIANAPOLIS, INDIANA 46240
(317) 450-4634

CIVIL ENGINEER and SURVEYOR:

HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
(317) 347-3663
keichhorn@hwcengineering.com

COMMON AREAS	
C.A.#7-1	0.38 AC
C.A.#7-2	1.64 AC
C.A.#7-3	2.08 AC
C.A.#7-4	5.48 AC
C.A.#7-5	0.93 AC
TOTAL	10.51 AC

LINEAR FOOTAGE OF STREETS	
CANBERRA COURT	282 LF
BALMORAL AVENUE	405 LF
HOLBORN AVENUE	718 LF
PARKHURST CROSSING	948 LF
WORTHINGTON DRIVE	1,061 LF
TOTAL	3,414 LF

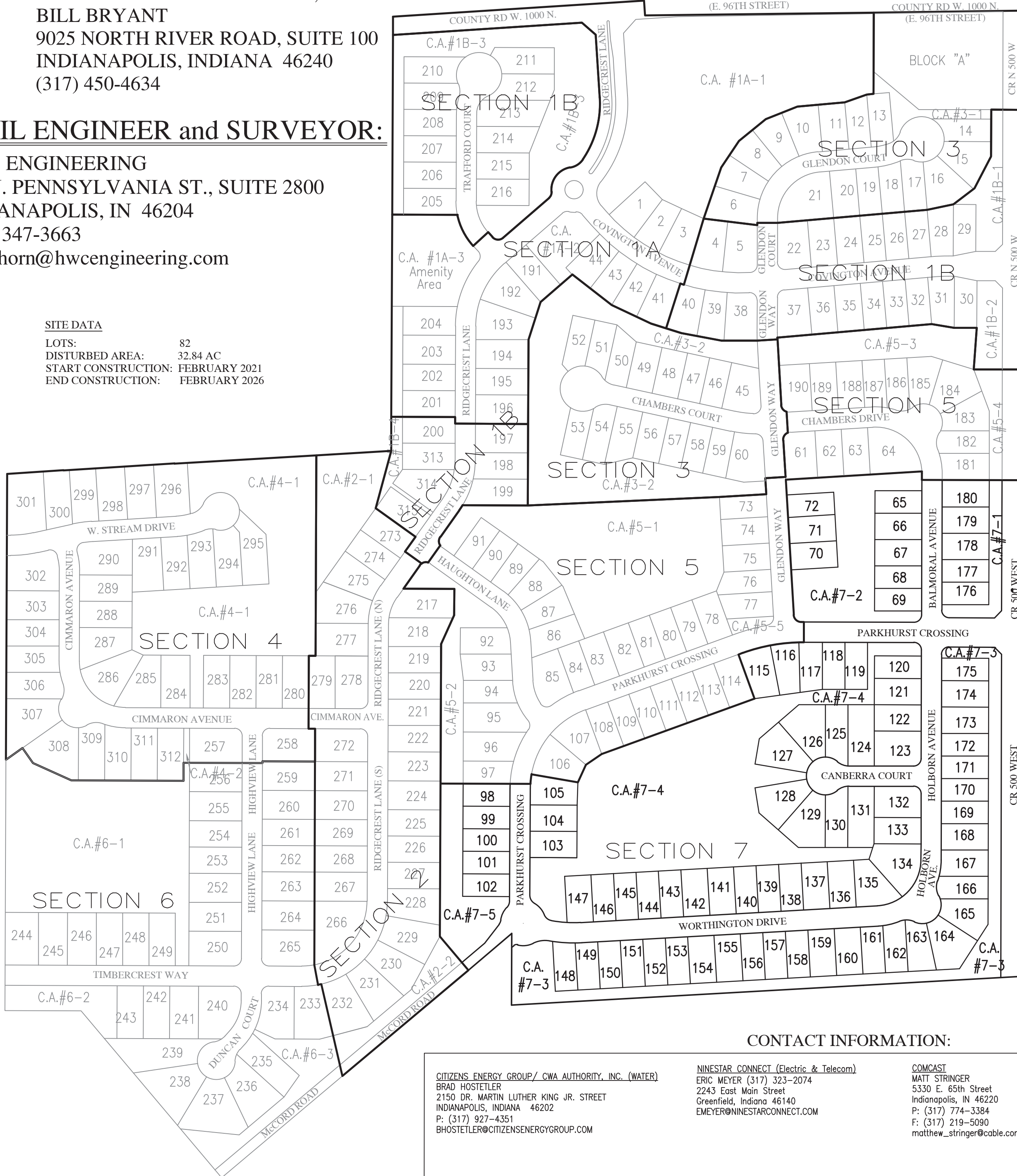
ZONED McCORD POINTE AMENDED PUD ORDINANCE NO. 101017B, AN ORDINANCE AMENDING THE TOWN OF MCCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

DEVELOPMENT STANDARDS

MAXIMUM NUMBER OF LOTS	135
MINIMUM LOT AREA	9,000 SQ. FT
MINIMUM LOT WIDTH	
AT BUILDING LINE	70
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	7.5 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY)
	1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	40%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET

SITE DATA

LOTS:	82
DISTURBED AREA:	32.84 AC
START CONSTRUCTION:	FEBRUARY 2021
END CONSTRUCTION:	FEBRUARY 2026



CONTACT INFORMATION:

CITIZENS ENERGY GROUP/ CWA AUTHORITY, INC. (WATER) BRAD HOSTETLER 2150 DR. MARTIN LUTHER KING JR. STREET INDIANAPOLIS, INDIANA 46202 P: (317) 927-4351 BHOSTETLER@CITIZENSENERGYGROUP.COM	NINESTAR CONNECT (Electric & Telecom) ERIC MEYER (317) 323-2074 2243 East Main Street Greenfield, Indiana 46140 EMEYER@NINESTARCONNECT.COM	COMCAST MATT STRINGER 5330 E. 65th Street Indianapolis, IN 46220 P: (317) 774-3384 F: (317) 219-5090 matthew_stringer@cable.comcast.com	VECTREN SANDRA CASEY 18000 Allisonville Road Noblesville, Indiana 46061 P: (317) 776-5532 F: (317) 776-5553 Mailing Address: P.O. Box 1700 Noblesville, Indiana 46061 sandra.casey@centerpointenergy.com
MCCORDSVILLE FIRE DEPARTMENT 7580 N Form Street McCordsville, Indiana 46055 P: (317) 335-9236	TOWN OF MCCORDSVILLE PLANNING AND BUILDING DEPT RYAN CRUM 6280 W 800 N McCordsville, Indiana 46055 P: (317) 335-3604 rcrum@mccordsville.org	TOWN OF MCCORDSVILLE ENGINEERING DEPARTMENT MARK WISMAN 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3604 mwisman@mccordsville.org	TOWN OF MCCORDSVILLE PUBLIC WORKS RON CRIDER 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3493 rcrider@mccordsville.org



SOILS MAP
NOT TO SCALE

SOILS LEGEND
BR CRA BROOKSTON SILTY CLAY LOAM
CROSBY SILT LOAM, 0 TO 3 PERCENT SLOPES

SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1-C1.2	DEVELOPMENT PLAN
C1.3-C1.4	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION & DEMOLITION PLAN
C1.5-C1.6	ACTIVE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.7-C1.8	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.9-C1.10	EMERGENCY FLOOD ROUTE PLAN
C1.11	MASTER UTILITY PLAN
C1.12-C1.13	SUBSURFACE DRAIN PLAN
C2.0-C2.4	STREET PLAN & PROFILE
C3.0-C3.1	INTERSECTION & CUL-DE-SAC DETAILS
C3.2	TRAFFIC CONTROL AND LIGHTING PLAN
C4.0-C4.2	SANITARY SEWER PLAN & PROFILE
C6.0-C6.4	STORM SEWER PLAN & PROFILE
C7.0-C7.1	WATER DISTRIBUTION PLAN
C8.0	STORMWATER POLLUTION PREVENTION NOTES
C8.1-C8.4	STORMWATER POLLUTION PREVENTION DETAILS
C8.5	CONSTRUCTION DETAILS
C8.6	CITIZENS WATER DETAILS
L1.0-L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE DETAILS

MCCORDSVILLE TOWN STANDARDS

SHEET LIST TABLE

Sheet Title	Sheet Description
1	DIRECTIONS FOR USE & GENERAL NOTES
2	RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS
3	RIGHT-OF-WAY DETAILS
4	UTILITY LOCATION GUIDELINES
5	DRIVE WAY & HANDICAP RAMP DETAILS
6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES
8	SANITARY SEWER SPECIFICATIONS
9	SANITARY SEWER DETAILS
10	SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES

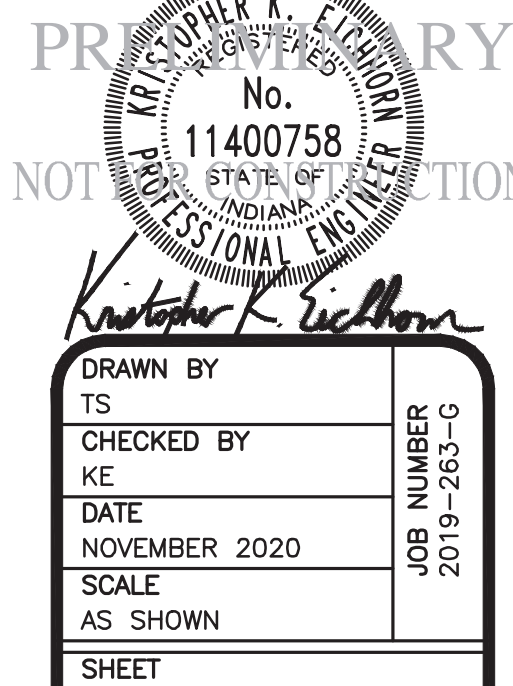
REVISIONS

DATE	DESCRIPTION	BY



MCCORD POINTE SECTION 7
MCCORDSVILLE, INDIANA

COVER SHEET



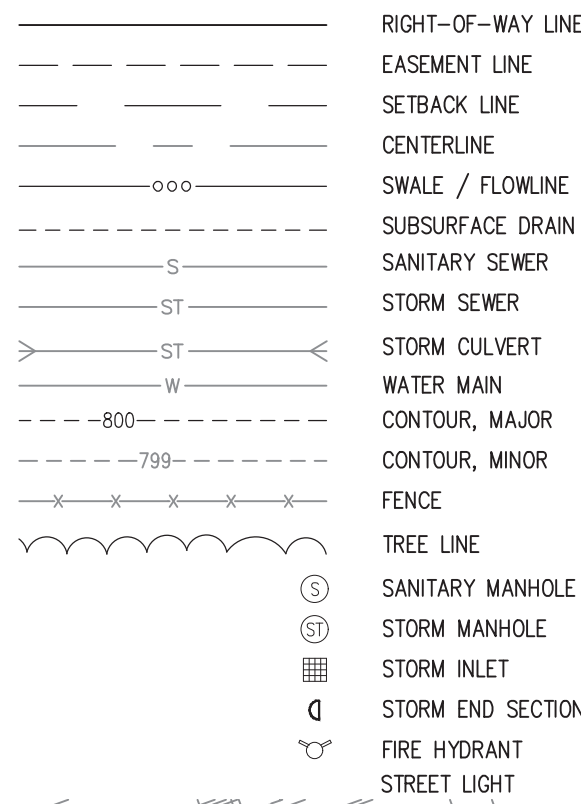
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COVER SHEET

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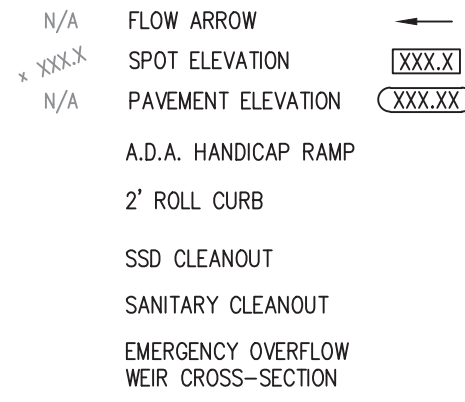
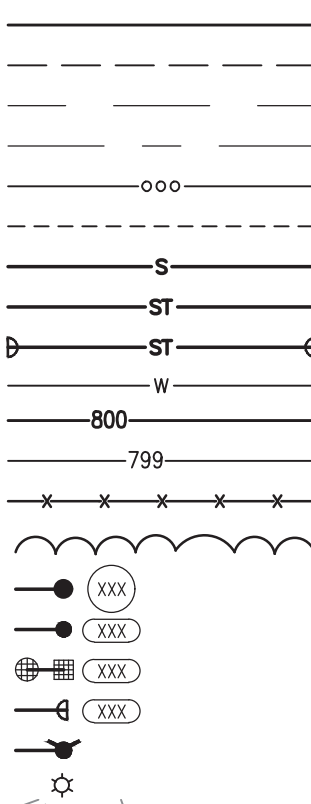
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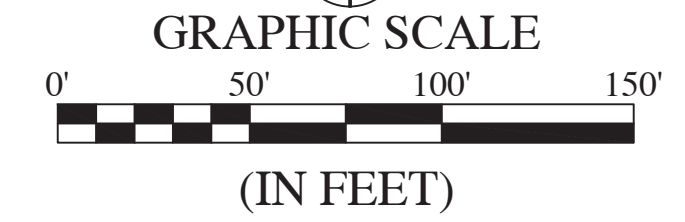


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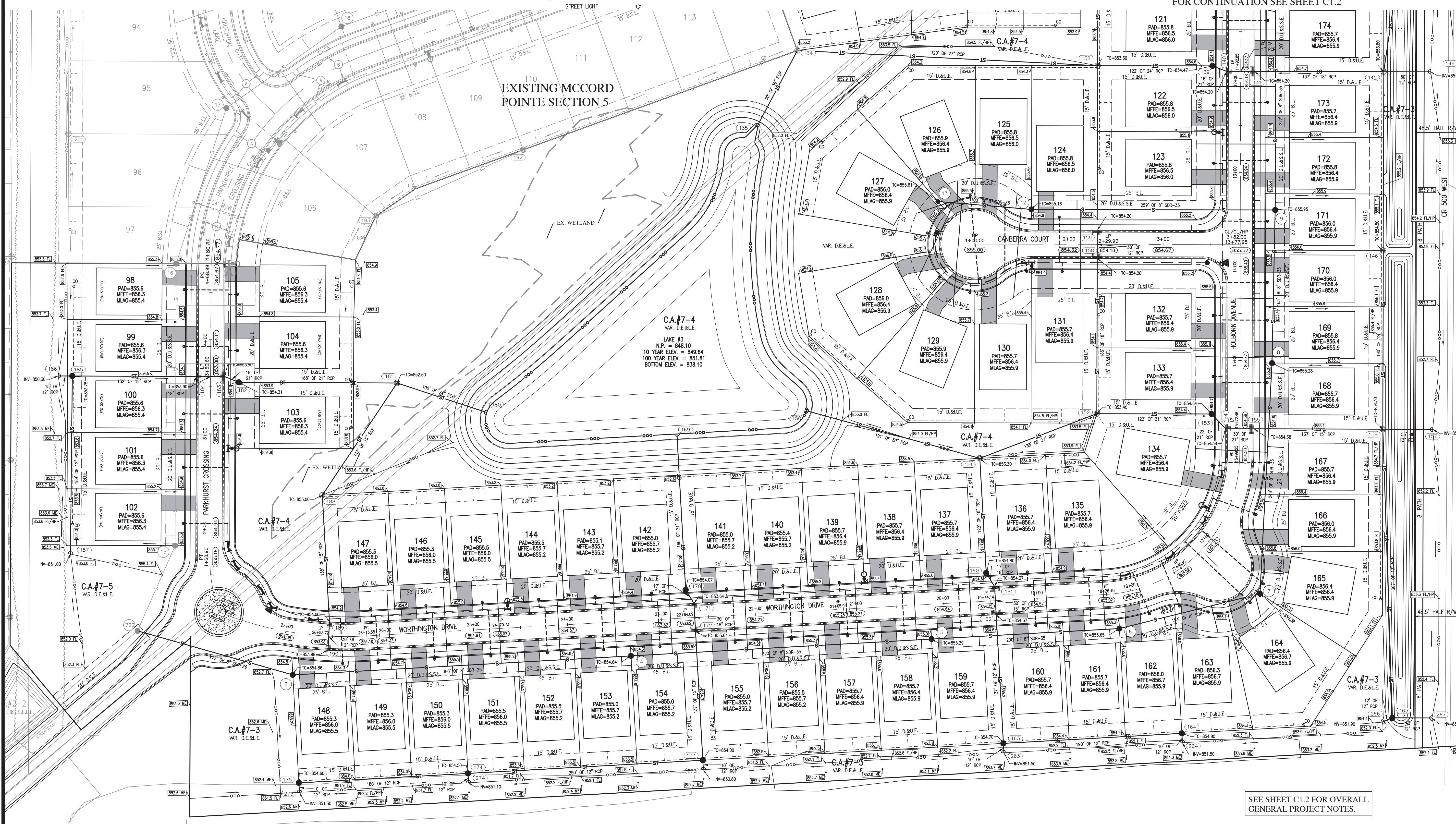
ABBREVIATIONS:

BC	- BACK OF CURB	TB	- TOP OF BANK GRADE
CL	- CENTERLINE	TC	- TOP OF CASTING GRADE
FG	- FINISHED GRADE	PAD	- PAD GRADE
FL	- FLOW LINE	MFG	- MINIMUM FLOOD PROTECTION GRADE
HP	- HIGH POINT	MFE	- MINIMUM FINISH FLOOR ELEVATION
INV	- INVERT ELEVATION	TW	- TOP OF WALL
LP	- LOW POINT	IE	- INGRESS / EGRESS EASEMENT
ME	- MATCH EXISTING GRADE	25	- LOT NUMBER
NP	- NORMAL POOL (ELEVATION)	C.A.	- COMMON AREA
PC	- POINT OF CURVATURE	D.E.	- DRAINAGE EASEMENT
PRC	- POINT OF REVERSE CURVATURE	S.S.D.&U.E.	- SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
PT	- POINT OF TANGENCY	D.&U.E.	- DRAINAGE AND UTILITY EASEMENT
PVC	- POLYVINYL CHLORIDE PIPE	ESMT	- EASEMENT
PVI	- POINT OF VERTICAL INTERSECTION	B.S.L.	- BUILDING SETBACK LINE
RCP	- REINFORCED CONCRETE PIPE	R/W	- RIGHT-OF-WAY



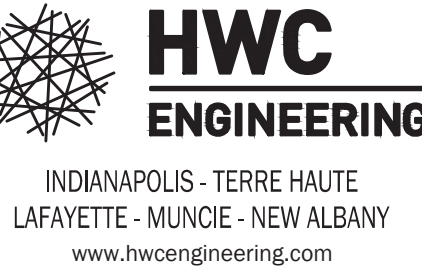
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EXISTING MCCORD POINTE SECTION 5



REVISIONS

DATE	DESCRIPTION	BY



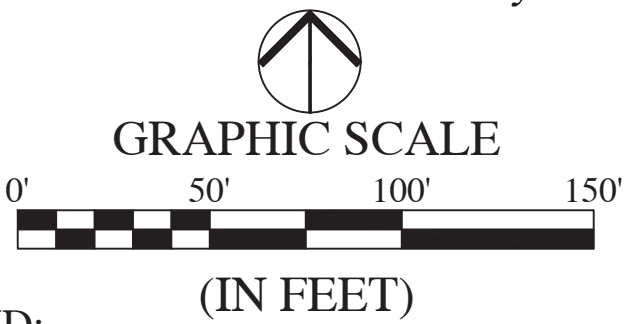
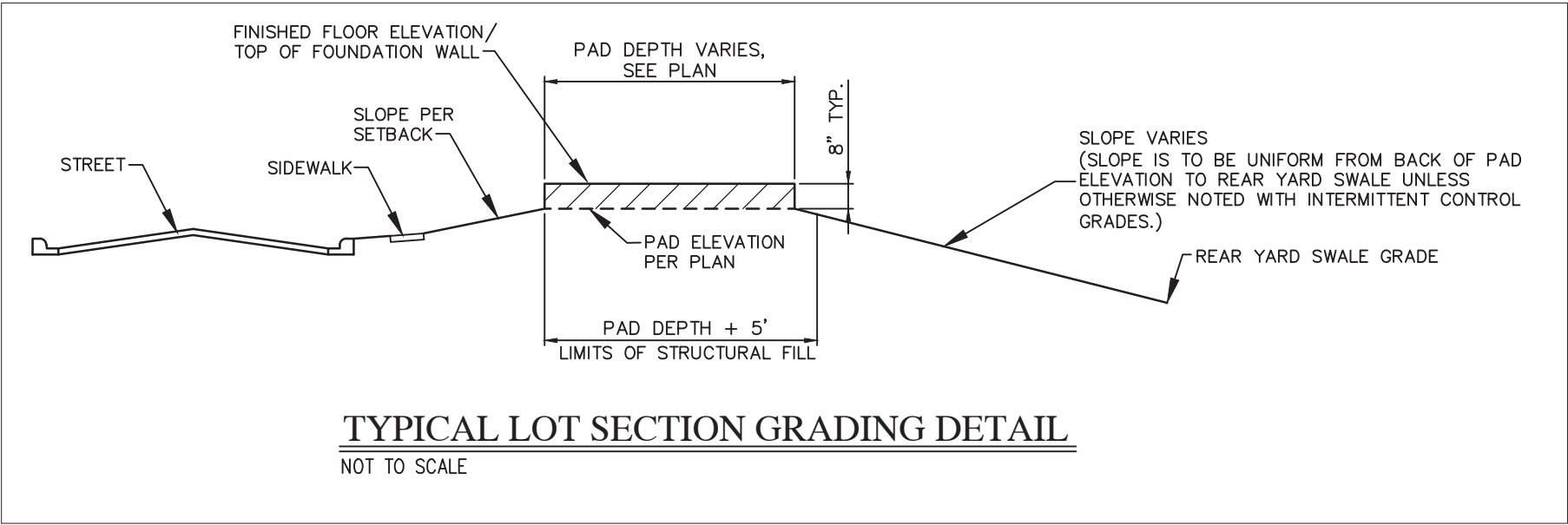
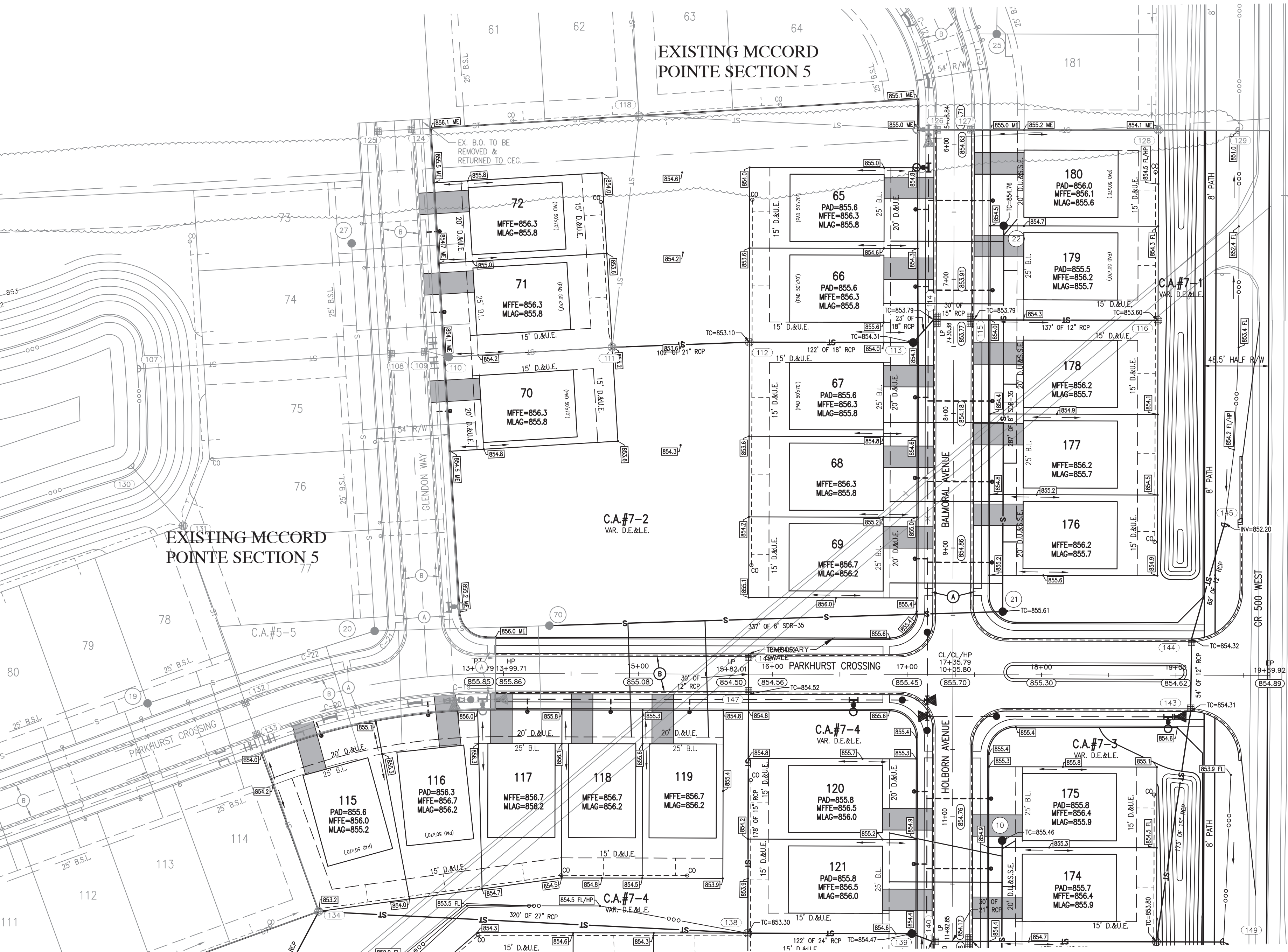
MCCORD POINTE SECTION 7 MCCORDSVILLE, INDIANA DEVELOPMENT PLAN

PROFESSIONAL ENGINEER
No. 11400758
NOTARY PUBLIC
STATE OF INDIANA
Christopher K. Eickhorn

DRAWN BY
TS
CHECKED BY
KE
DATE
NOVEMBER 2020
SCALE
AS SHOWN
SHEET

C1.1
DEVELOPMENT PLAN

File Name: W:\CalkHarris\Homes\2019-263-G_Lennar-- McCord Pointe Sec 7\Design\CA019263G_Development_Plan.dwg, Layout: C1.2 By: temth Plot Date: Nov 20, 2020 Plot Time: 9:37am



LEGEND:	
EXISTING	PROPOSED
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	CENTERLINE
---	SWALE / FLOWLINE
---	SUBSURFACE DRAIN
---	SANITARY SEWER
---	STORM SEWER
---	STORM CULVERT
---	WATER MAIN
---	CONTOUR, MAJOR
---	CONTOUR, MINOR
---	FENCE
---	TREE LINE
---	SANITARY MANHOLE
---	STORM MANHOLE
---	STORM INLET
---	STORM END SECTION
---	FIRE HYDRANT
---	STREET LIGHT
---	FLOW ARROW
---	SPOT ELEVATION
---	PAVEMENT ELEVATION
---	A.D.A. HANDICAP RAMP
---	2' ROLL CURB
---	SSD CLEANOUT
---	SANITARY CLEANOUT
---	EMERGENCY OVERFLOW
---	WEIR CROSS-SECTION

ABBREVIATIONS:

BC	- BACK OF CURB	TB	- TOP OF BANK GRADE
CL	- CENTERLINE	TC	- TOP OF CASTING GRADE
FG	- FINISHED GRADE	PAD	- PAD GRADE
FL	- FLOW LINE	MFG	- MINIMUM FLOOD PROTECTION GRADE
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LP	- LOW POINT	IEE	- INGRESS / EGRESS EASEMENT
ME	- MATCH EXISTING GRADE	ZS	- LOT NUMBER
NP	- NORMAL POOL (ELEVATION)	C.A.	- COMMON AREA
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RCP	- REINFORCED CONCRETE PIPE	R/W	- RIGHT-OF-WAY

BENCHMARK INFORMATION:

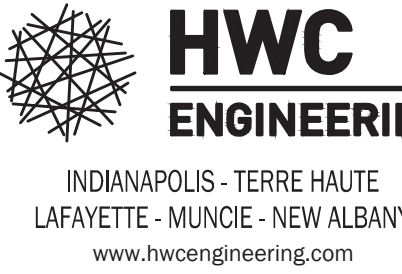
CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINER'S CREST. SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION 3' WEST OF A FIRE HYDRANT. ELEVATION = 847.28 (NGVD 29).

OVERALL GENERAL PROJECT NOTES

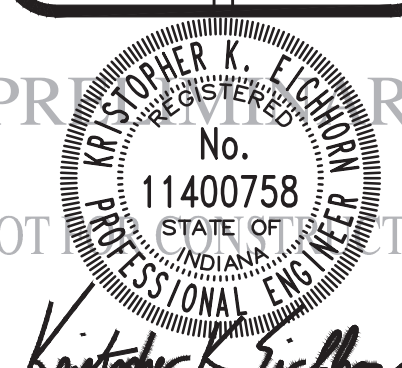
- NOT ALL GAS, POWER, OR TELEPHONE LINES, WHETHER ABOVE OR BELOW GROUND, HAVE BEEN SHOWN ON THE DRAWINGS. ANY UNDERGROUND INFORMATION SHOWN ON THE DRAWINGS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONTRACTOR'S BENEFIT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR PROTECTING ALL UTILITIES IN HIS WORK AREA WHETHER SHOWN OR NOT, AND MUST REALIZE THAT THE ACTUAL LOCATION OF THE UTILITIES MAY BE DIFFERENT FROM THAT SHOWN ON THE DRAWINGS. ALL EXISTING UTILITIES ENCOUNTERED IN THE WORK, WHETHER IN PUBLIC RIGHTS OF WAY OR ON PRIVATE PROPERTY, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ANY UTILITIES WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION TO SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR WITH THE PERMISSION OF THE UTILITY. IF MINOR CONFLICTS ARISE, THE CONTRACTOR MAY SHIFT THE PROPOSED LOCATION OF THE INSTALLATION OF THE WORK. BEFORE WORKING WITH OR AROUND UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR.
- SAFETY PROVISIONS FOR THE WORK SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE INDIANA OSHA AND ANY OTHER LOCAL STATE OR FEDERAL AGENCY HAVING JURISDICTION. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR SHALL AT MINIMUM, PROVIDE TRAFFIC CONTROL AS REQUIRED TO SAFELY PROTECT THE GENERAL PUBLIC, THE CONTRACTOR'S WORK FORCES AND THE WORK. TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, SPECIAL PROVISIONS, STANDARD DETAILS AND GENERAL INSTRUCTIONS TO FIELD EMPLOYEES. THE REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS. THE OPTION OF THE OWNER AND/OR ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, FENCES, WARNING SIGNS, FLASHING LIGHTS, TEMPORARY WALKWAYS, AND TRAFFIC CONTROL DURING CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL OSHA REGULATIONS, REQUIREMENTS, SAFETY MEETING REQUIREMENTS AND AGENCY REQUIREMENTS FOR TRAFFIC CONTROL AND SAFETY PRECAUTIONS, THERE WILL BE NO SEPARATE OR ADDITIONAL PAYMENT FOR THIS WORK.
- WHERE PROPERTY MARKERS, SECTION CORNERS, SURVEY MARKS OR BENCHMARKS, SUCH AS STONES, PIPES, OR OTHER SUCH MONUMENTS ARE ENCOUNTERED AND CONFLICT WITH THE WORK, THE ENGINEER SHALL BE NOTIFIED BEFORE THEY ARE DISTURBED. THE MARKERS SHALL BE PROTECTED AFTER THE OWNER, ENGINEER, AND AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR REFERENCED THEIR LOCATIONS.
- ALL MATERIALS DENOTED "SALVAGED" SHALL BE STORED AND PROTECTED AT THE SITE FOR THE OWNER TO COLLECT OR FOR THE CONTRACTOR TO RE-USE AS INDICATED.
- THERE SHALL BE NO CHANGES WITHOUT WRITTEN APPROVAL OF ENGINEER.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TILE CROSSES PROPOSED HOUSE PADS. ALL FIELD TILES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM OR LAKE. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS.
- CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB PERPENDICULAR TO THE LATERAL MARKER.
- STRUCTURES RECEIVING SUB-SURFACE DRAIN (SSD) SHALL HAVE BOTH PORTS CORE DRILLED. "T" OR "Y" DRIFT CONNECTIONS ARE NOT ALLOWED.
- ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE--DRAINS TO WATERWAY".
- STRUCTURAL FILL: SHALL BE COMPACTED TO AT LEAST 95% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698). SHALL BE FREE OF ORGANIC MATERIAL, DEBRIS, DELETERIOUS MATERIALS AND FROZEN SOLIDS.
- ALL ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO STRIPING, STONE SHOULDERS AND SIGNAGE. REPAIRS (i.e. STRIPING) SHALL COINCIDE WITH THE ADJOINING ROAD.
- CLAY POND LINERS ARE REQUIRED IF SIGNIFICANT SAND OR GRAVEL STRATIFICATIONS ARE ENCOUNTERED DURING EXCAVATION OF POND.
- ALL COMMON AREA SIDEWALKS OR PATHS ARE TO BE CONSTRUCTED AS PART OF THE SITE INFRASTRUCTURE. INDIVIDUAL LOT SIDEWALKS TO BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION.

REVISIONS

DATE	DESCRIPTION	BY



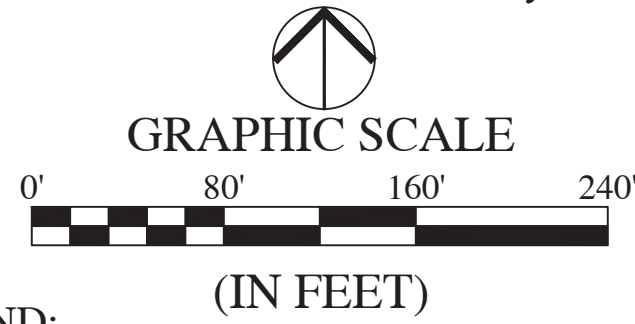
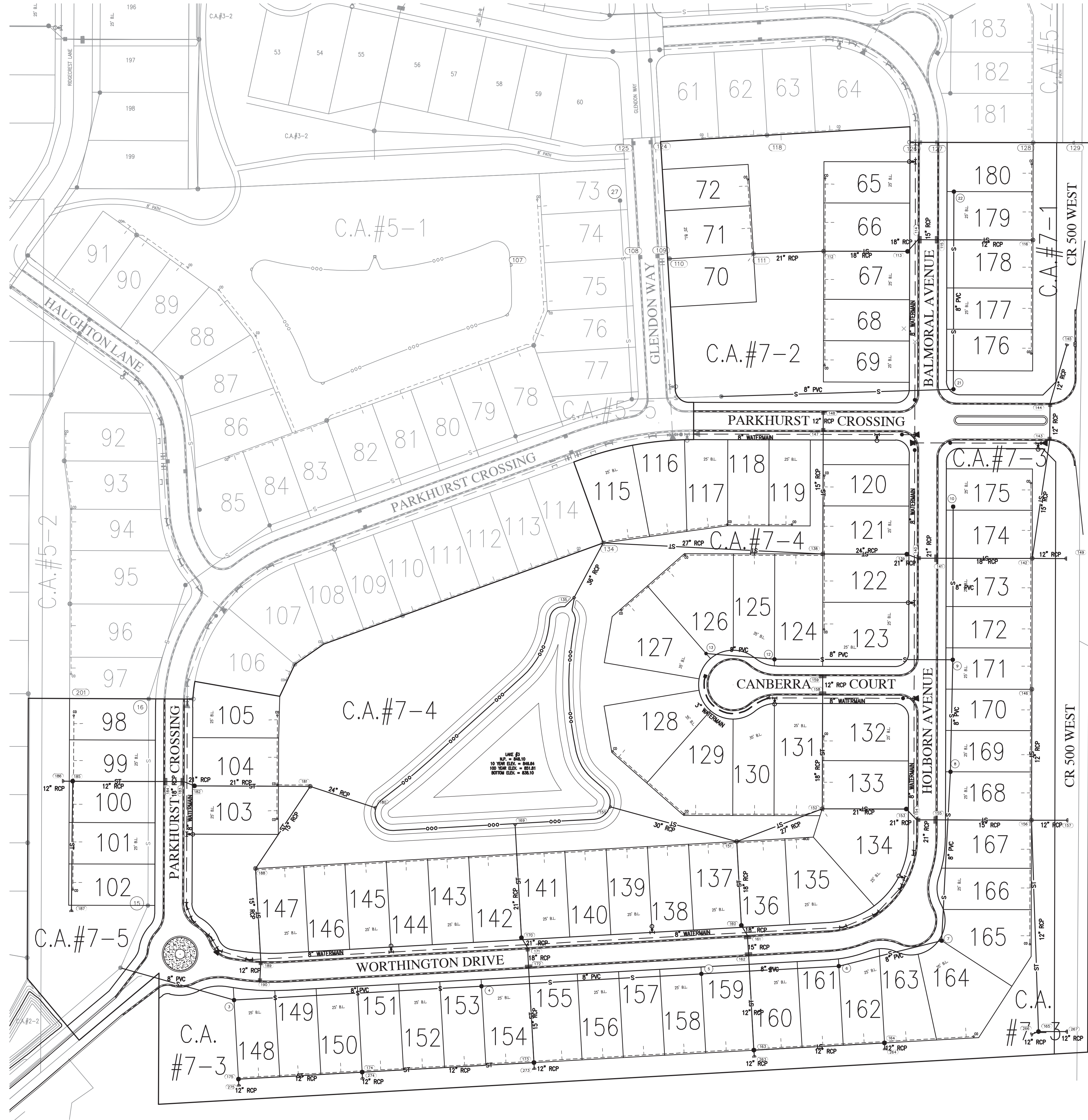
MCCORD POINTE SECTION 7
MCCORDSVILLE, INDIANA
DEVELOPMENT PLAN



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DATE NOVEMBER 2020	
SCALE AS SHOWN	
SHEET	

C1.2

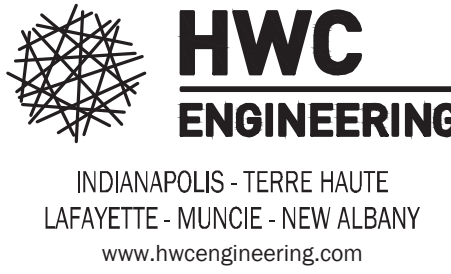
DEVELOPMENT PLAN



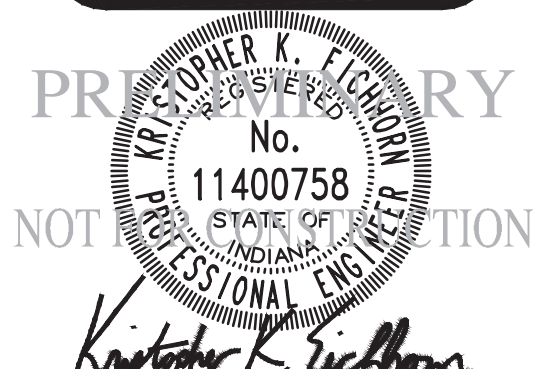
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---	EASEMENT LINE
---	SETBACK LINE
---	CENTERLINE
---	SWALE / FLOWLINE
---	SUBSURFACE DRAIN
---	SANITARY SEWER
---	STORM SEWER
---	STORM CULVERT
---	WATER MAIN
---	CONTOUR, MAJOR
---	CONTOUR, MINOR
---	FENCE
---	TREE LINE
---	SANITARY MANHOLE
---	STORM MANHOLE
---	STORM INLET
---	STORM END SECTION
---	FIRE HYDRANT
---	STREET LIGHT
---	FLOW ARROW
---	SPOT ELEVATION
---	PAVEMENT ELEVATION
---	A.D.A. HANDICAP RAMP
---	2' ROLL CURB
---	POND SIGNAGE
---	4 FT CONC. APRON (SEE CONCRETE SECTION - SHEET C3.2)
---	20' SAFETY RAMP @ 6:1 SLOPE (CONSTRUCTED WITH COMPACTED CLAY)
---	2' ROLL CURB (REVERSE SLOPE)
---	SSD CLEANOUT
---	SANITARY CLEANOUT

BENCHMARK INFORMATION:
CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST.
SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION
3' WEST OF A FIRE HYDRANT.
ELEVATION = 847.28 (NGVD 29)

REVISIONS		
DATE	DESCRIPTION	BY



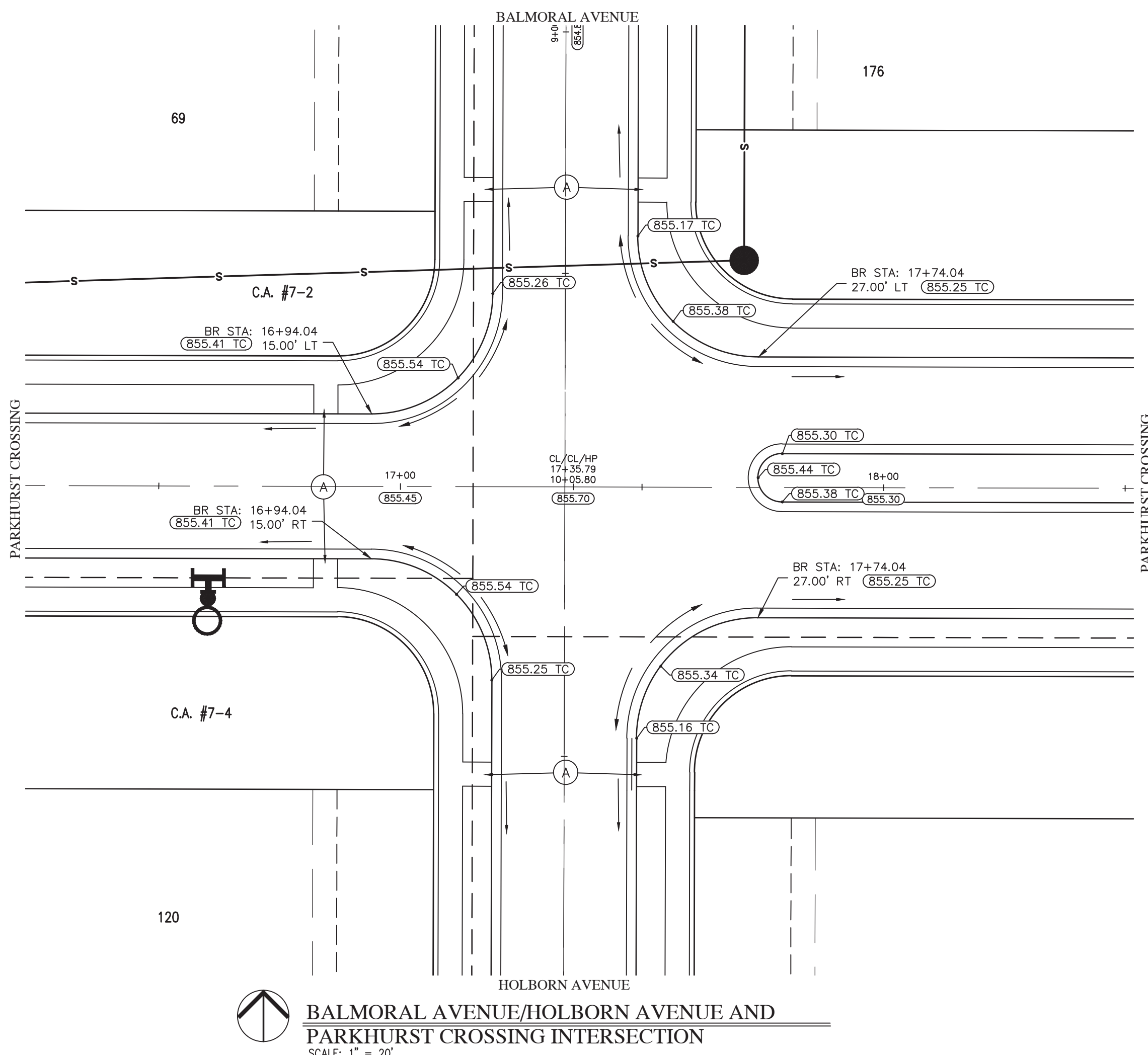
MCCORD POINTE SECTION 7
MCCORDSVILLE, INDIANA
MASTER UTILITY PLAN



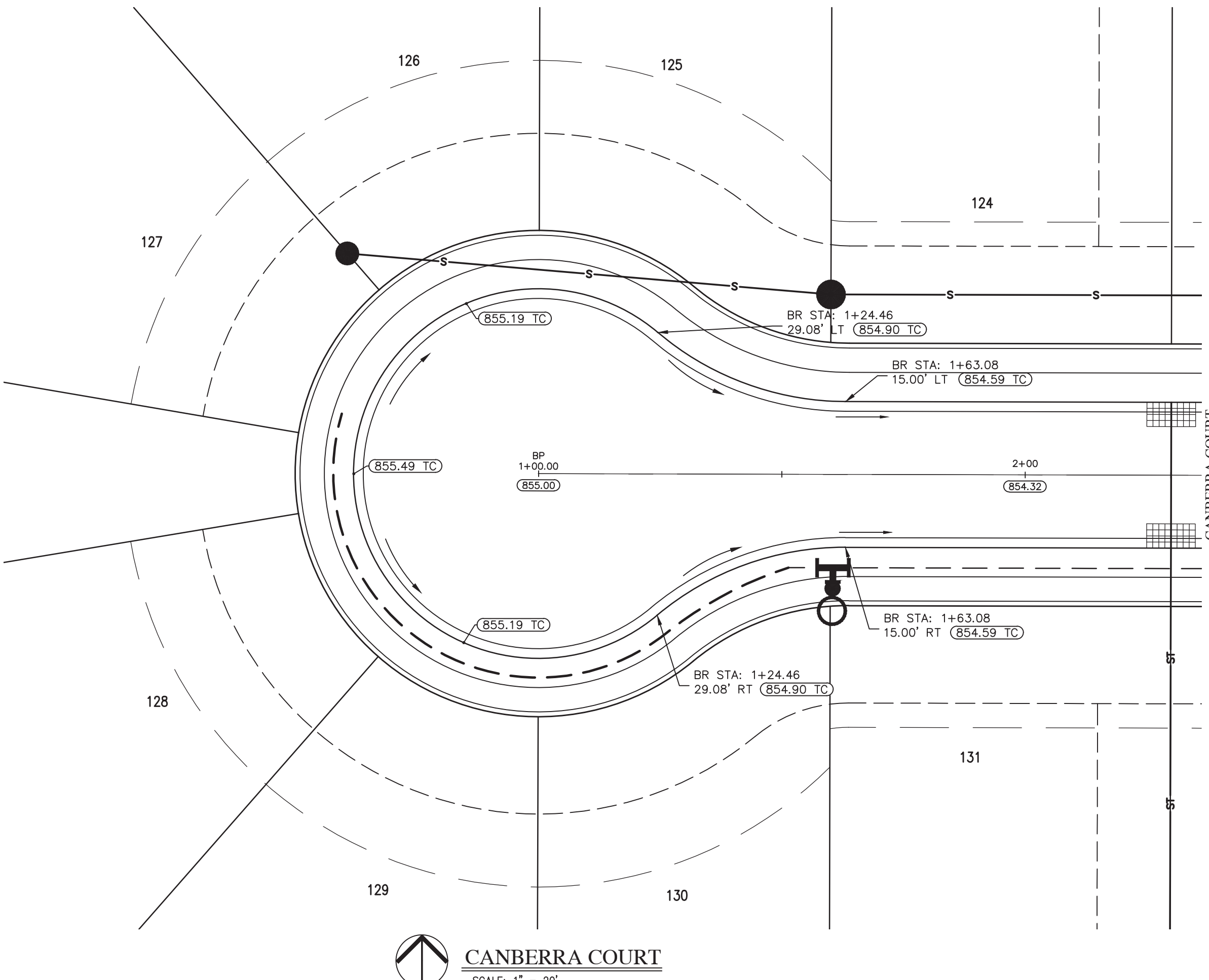
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CHECKED BY KE	
DATE NOVEMBER 2020	
SCALE AS SHOWN	
SHEET	

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MASTER UTILITY PLAN

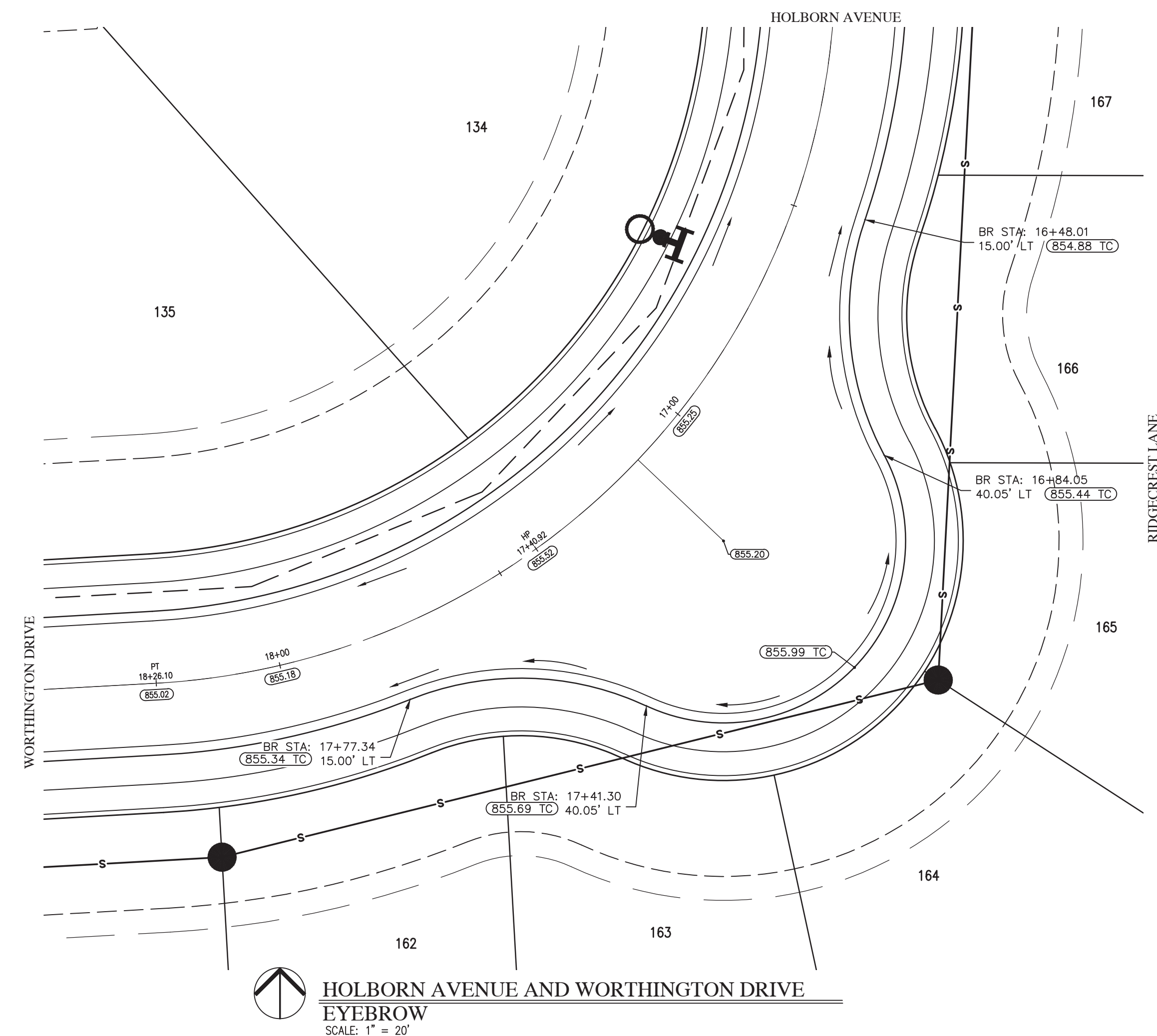
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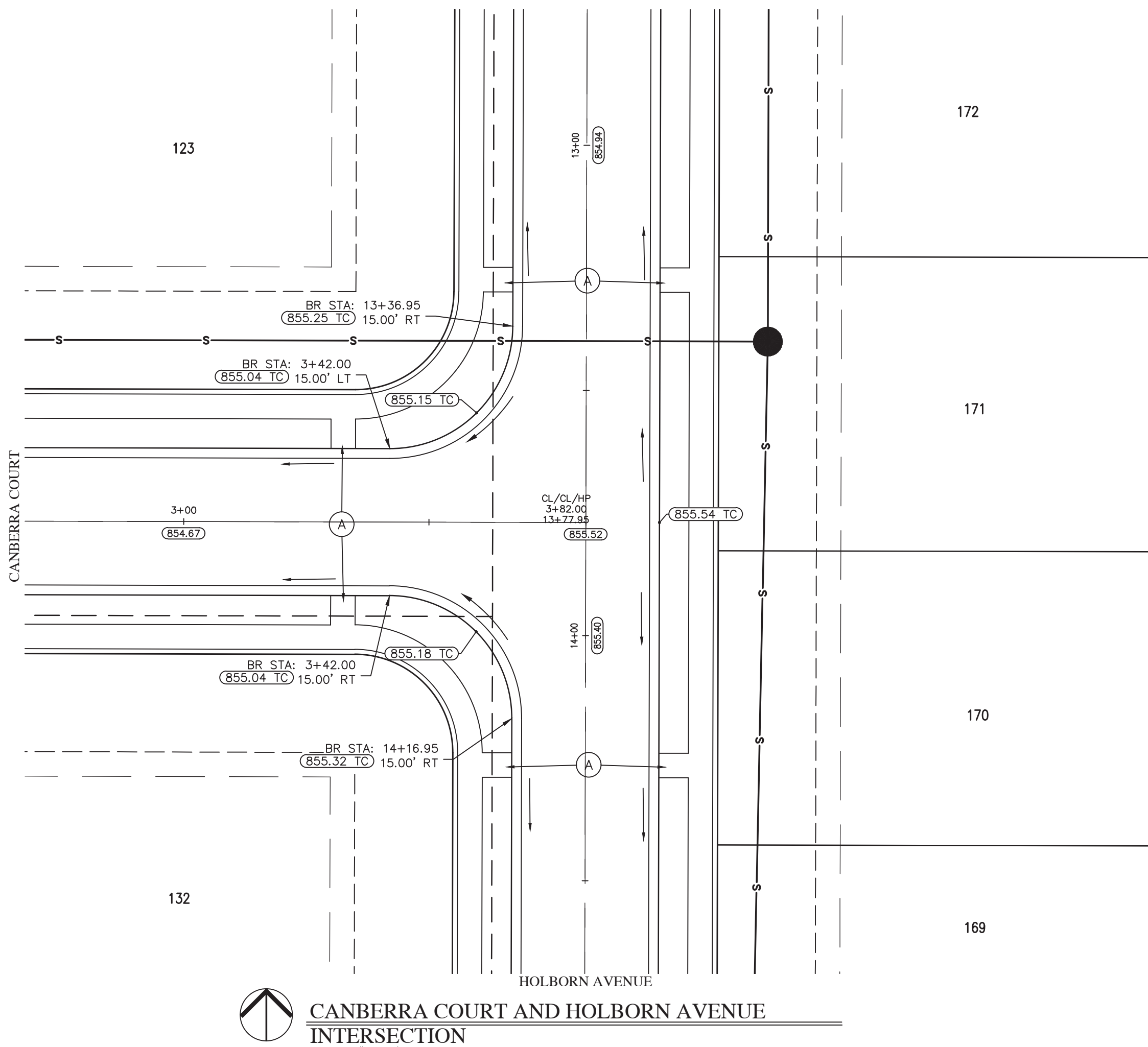
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SCALE: 1" = 20'



CANBERRA COURT
SCALE: 1" = 20'

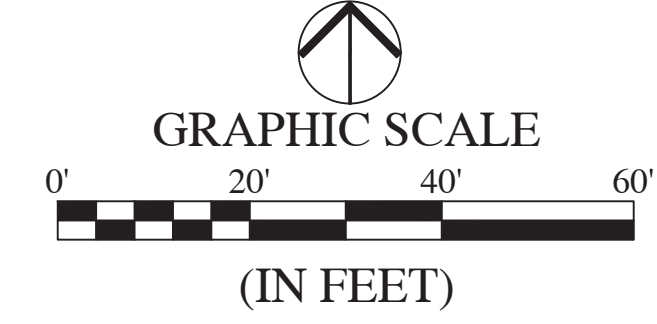


HOLBORN AVENUE AND WORTHINGTON DRIVE EYEBROW
SCALE: 1" = 20'



CANBERRA COURT AND HOLBORN AVENUE INTERSECTION
SCALE: 1" = 20'

Indiana 811
KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
Call 811 or 800-382-5544 Before you Dig!



LEGEND:

	PROPOSED
—	RIGHT-OF-WAY LINE
- - -	EASEMENT LINE
- - -	SETBACK LINE
- - -	CENTERLINE
—	SWALE / FLOWLINE
- - -	SUBSURFACE DRAIN
- - -	SANITARY SEWER
- - -	STORM SEWER
- - -	STORM CULVERT
- - -	WATER MAIN
○	SANITARY MANHOLE
○	STORM MANHOLE
○	STORM INLET
○	STORM END SECTION
○	FIRE HYDRANT
○	FLOW ARROW
○	SPOT ELEVATION
○	PAVEMENT ELEVATION
○	A.D.A HANDICAP RAMP
○	2' ROLL CURB

ABBREVIATIONS:

BR	- BEGIN RADIUS
CL	- CENTERLINE
GUT	- GUTTER GRADE
HP	- HIGH POINT
LP	- LOW POINT
ME	- MATCH EXISTING GRADE
PC	- POINT OF CURVATURE
PT	- POINT OF TANGENCY
PVI	- POINT OF VERTICAL INTERSECTION
R	- RADIUS
TC	- TOP OF CURB/TOP OF CASTING GRADE

BENCHMARK INFORMATION:

CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST. SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION 3' WEST OF A FIRE HYDRANT.
ELEVATION = 847.28 (NGVD 29)

REVISIONS		
DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

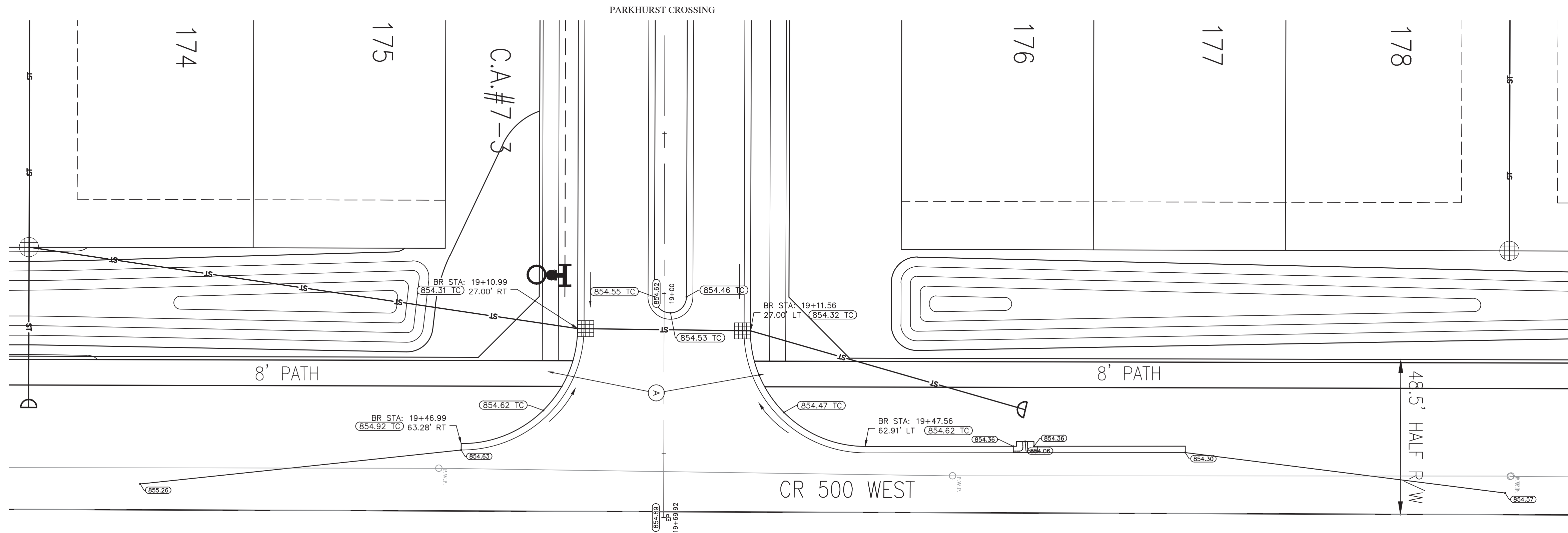
**MCCORD POINTE SECTION 7
MCCORDSVILLE, INDIANA
INTERSECTION DETAILS**

PROFESSIONAL ENGINEER
No. 11400758
STATE OF INDIANA
NOT FOR CONSTRUCTION

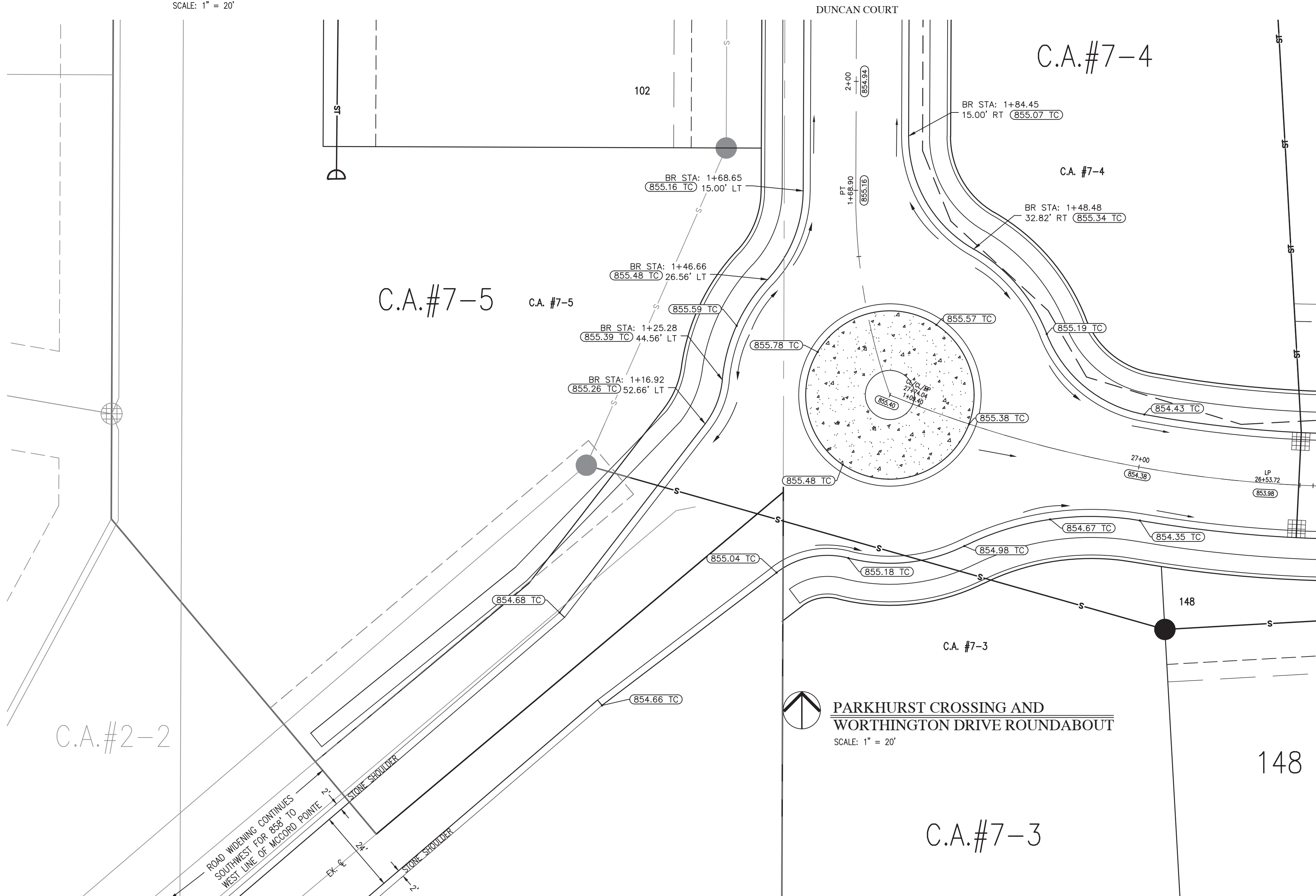
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CHECKED BY KE	
DATE NOVEMBER 2020	
SCALE AS SHOWN	
SHEET	

C3.0
INTERSECTION DETAILS

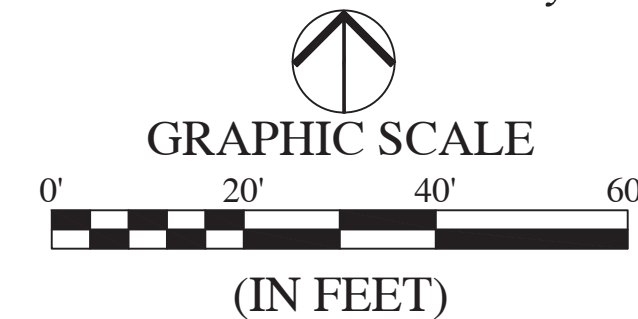
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Plot Date: Nov 20, 2020
Plot Time: 1:23pm
By: keichhorn



 **CR 500 WEST AND PARKHURST CROSSING**
ENTRANCE DETAIL
SCALE: 1" = 20'



 **PARKHURST CROSSING AND**
WORTHINGTON DRIVE ROUNDABOUT
SCALE: 1" = 20'



LEGEND:

	PROPOSED
—	RIGHT-OF-WAY LINE
- - -	EASEMENT LINE
- - -	SETBACK LINE
- - -	CENTERLINE
o-o-o	SWALE / FLOWLINE
- - -	SUBSURFACE DRAIN
S	SANITARY SEWER
ST	STORM SEWER
ST	STORM CULVERT
W	WATER MAIN
⊙	SANITARY MANHOLE
⊙	STORM MANHOLE
⊙	STORM INLET
⊙	STORM END SECTION
⊙	FIRE HYDRANT
N/A	FLOW ARROW
N/A	SPOT ELEVATION
N/A	PAVEMENT ELEVATION
N/A	A.D.A HANDICAP RAMP
N/A	2' ROLL CURB

ABBREVIATIONS:

BR	- BEGIN RADIUS
CL	- CENTERLINE
GUT	- GUTTER GRADE
HP	- HIGH POINT
LP	- LOW POINT
ME	- MATCH EXISTING GRADE
PC	- POINT OF CURVATURE
PT	- POINT OF TANGENCY
PVI	- POINT OF VERTICAL INTERSECTION
R	- RADIUS
TC	- TOP OF CURB/TOP OF CASTING GRADE

BENCHMARK INFORMATION:

CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST. SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION 3' WEST OF A FIRE HYDRANT.
ELEVATION = 847.28 (NGVD 29)

REVISIONS

DATE	DESCRIPTION	BY



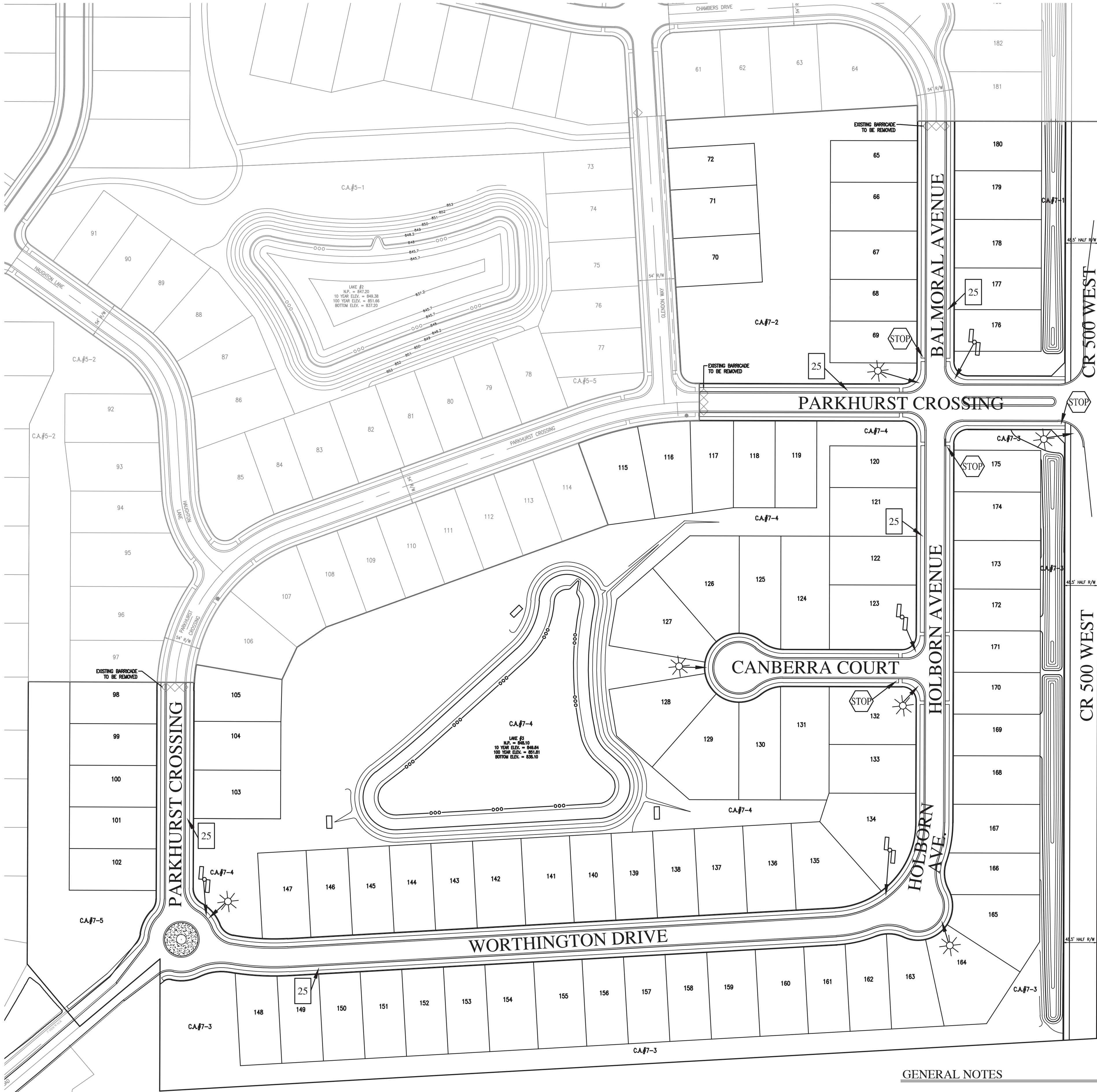
MCCORD POINTE SECTION 7
MCCORDSVILLE, INDIANA
INTERSECTION DETAILS



DRAWN BY TS	JOB NUMBER 2019-263-G SHEET
CHECKED BY KE	
DATE NOVEMBER 2020	
SCALE AS SHOWN	
SHEET	

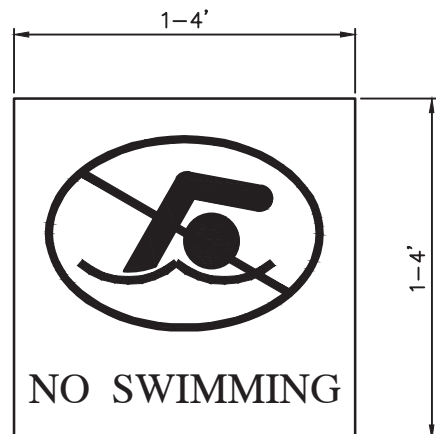
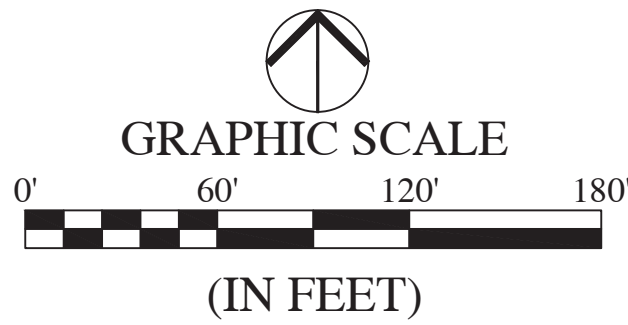
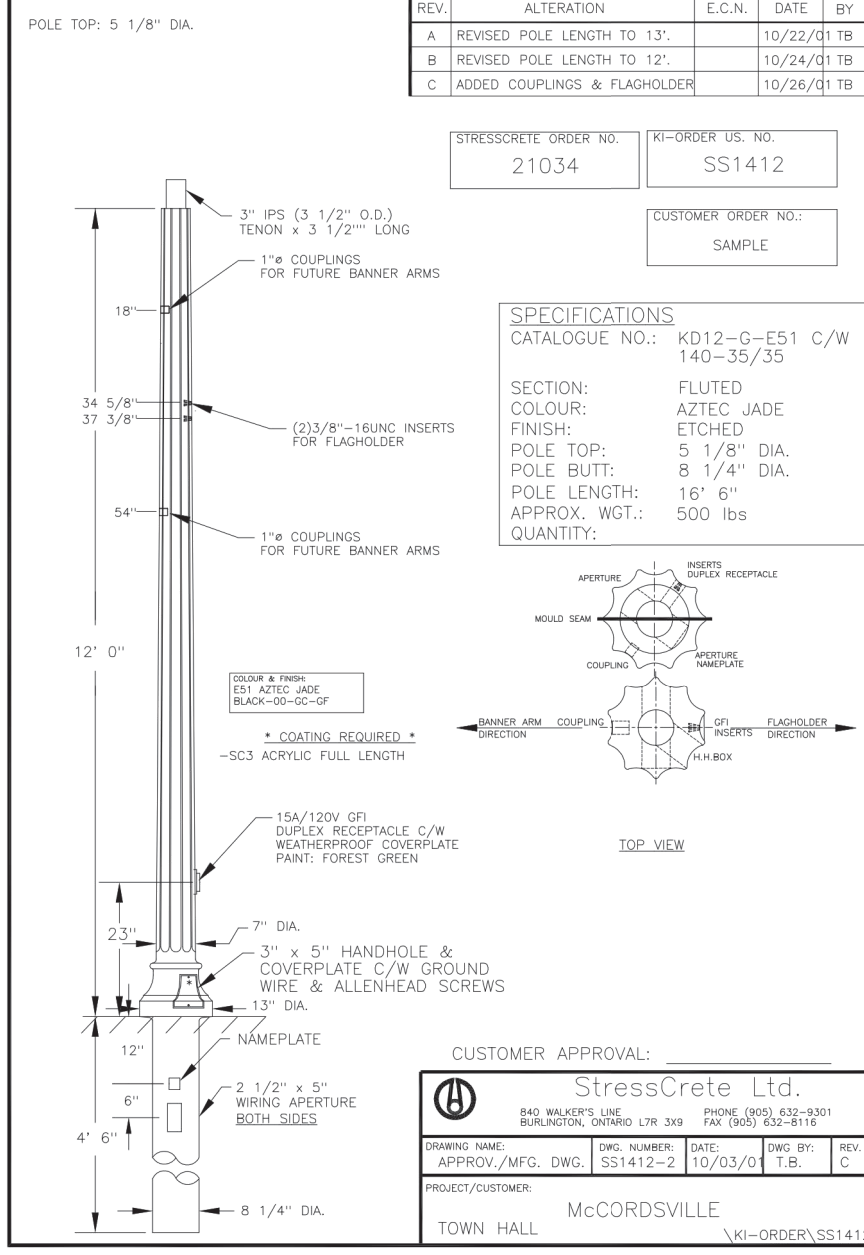
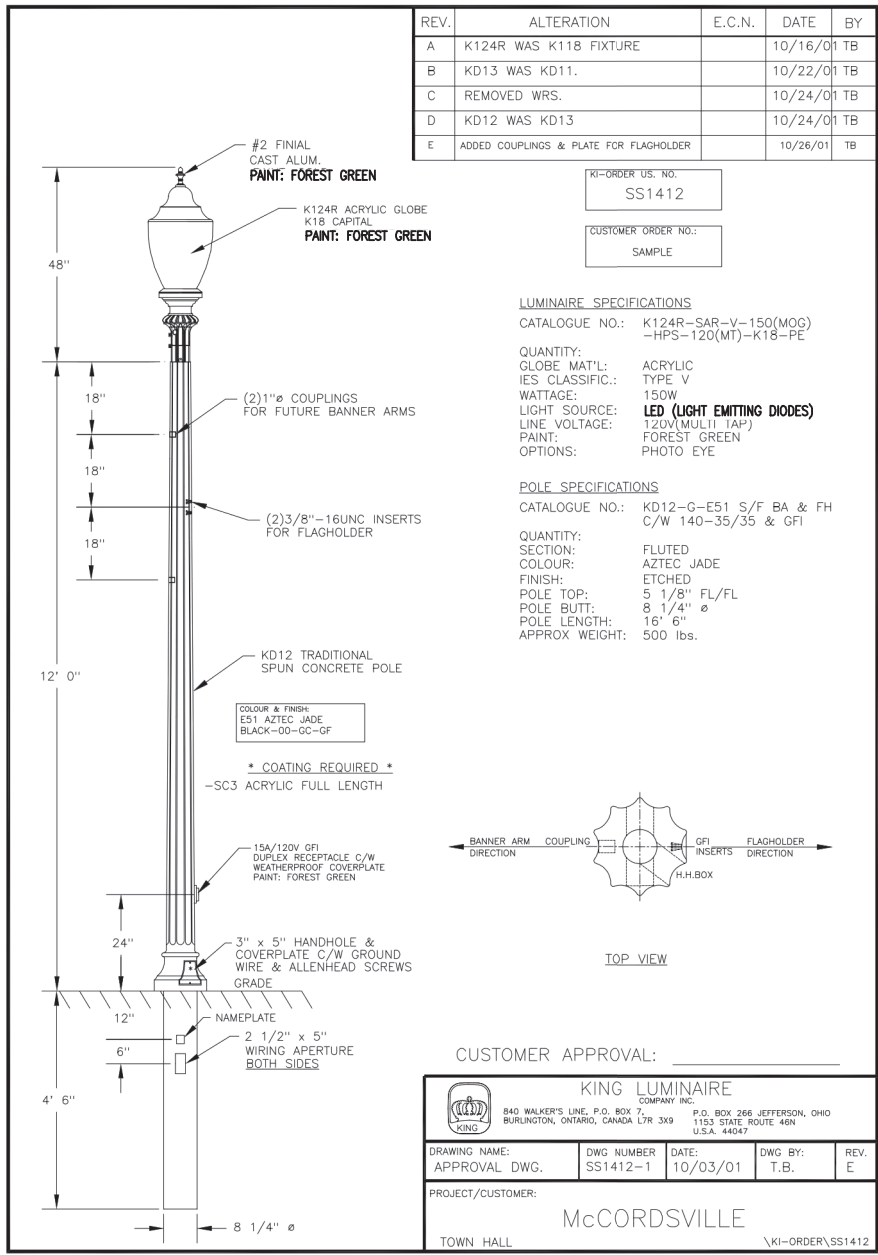
C3.1

INTERSECTION DETAILS



GENERAL NOTES

1. LIGHTING, SIGNS, IRRIGATION LINES, ETC. MUST BE CONSTRUCTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM THE CENTER OF THE SANITARY SEWER FACILITIES.
2. STREET LIGHTS ARE REQUIRED TO MATCH EXISTING STREET LIGHTS. TO INCLUDE POLE TYPE, FIXTURE TYPE, HEIGHT OF FIXTURE ETC.
3. ALL STREET LIGHTING SHALL BE INSTALLED WITH REFLECTORS OR OTHER SUCH DEVICES OR CONTROLS SO THAT LIGHT IS REFLECTED DOWNWARD TO MITIGATE LIGHT SPillover. ALL STREET LIGHTS ARE TO BE FULL CUT-OFF AND DARK SKY COMPLIANT.



POND SAFETY SIGN
NOT TO SCALE

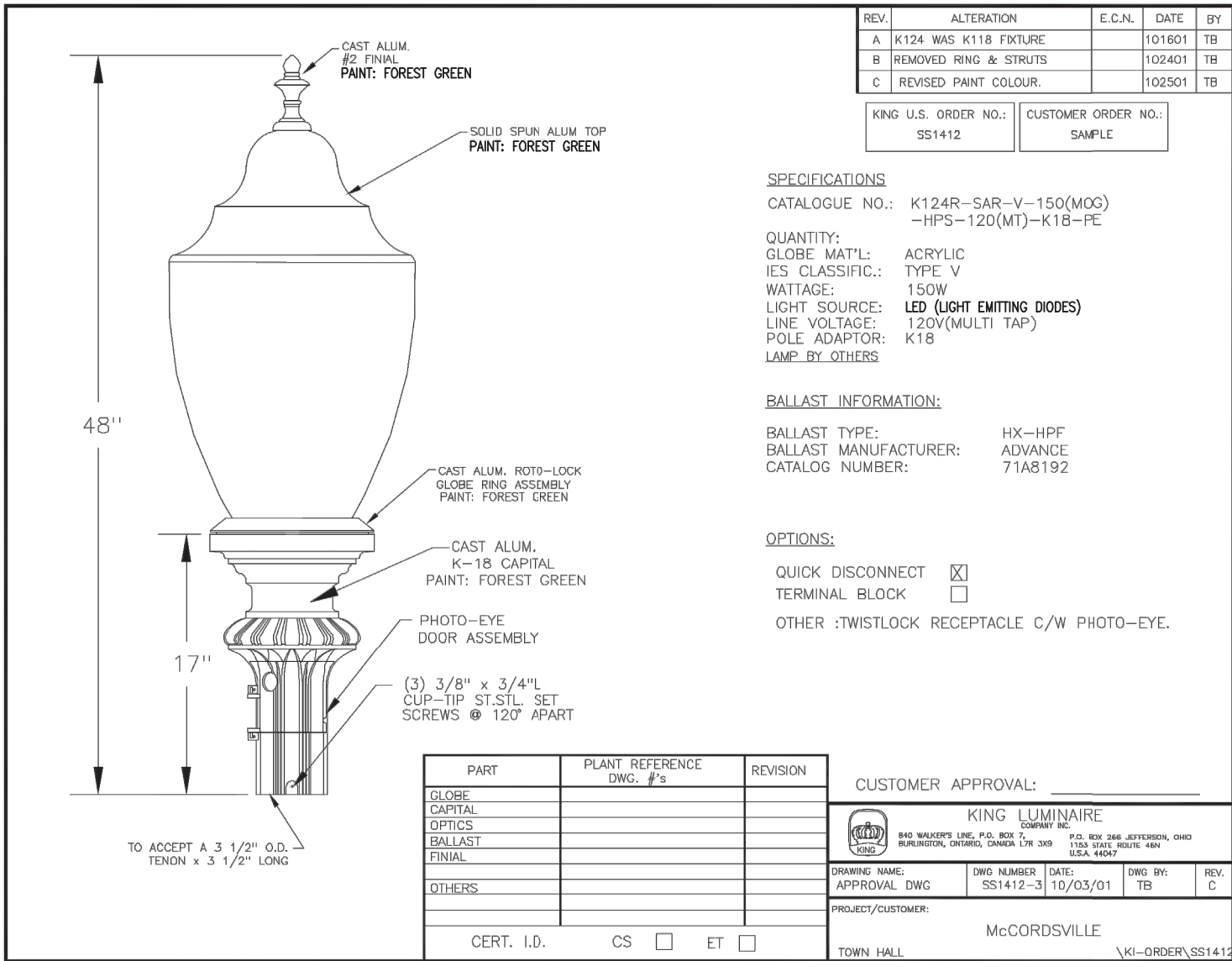
- NOTES:
1. SIZE SHOULD BE A MINIMUM OF ONE SQUARE FEET, MAXIMUM FOUR SQUARE FEET.
 2. SHOULD BE NO MORE THAN 500 FEET APART, WITH NO LESS THAN FOUR SIGNS PER POND.
 3. A SIGN MUST BE PLACED AT ALL PUBLIC ACCESS AND ENTRANCE AREAS TO POND.
 4. MUST HAVE THE WORDS "NO SWIMMING" AND A "NO SWIMMING" SYMBOL. CAN ALSO PROHIBIT TRESPASSING, SWIMMING, WADING OR OTHER RECREATIONAL ACTIVITIES THAT WOULD INVOLVE A PERSON ENTERING A POND.
 5. COLORS TO BE DETERMINED BY THE HOMEOWNERS ASSOCIATION DEVELOPER.



Call 811 or 800-382-5544 Before you Dig!

LEGEND:

EXISTING	RIGHT-OF-WAY LINE	PROPOSED
	STOP SIGN	STOP SIGN
	SPEED LIMIT SIGN	SPEED LIMIT SIGN
	STREET NAME SIGN	STREET NAME SIGN
	END OF ROAD MARKER: TYPE IN CONSTRUCTION BARRICADE	END OF ROAD MARKER: TYPE IN CONSTRUCTION BARRICADE
	HIGH POWERED LED STREET LIGHT	HIGH POWERED LED STREET LIGHT
	NOTE: ALL STREET LIGHTS TO BE FULL CUT-OFF AND DARK SKY COMPLIANT	NOTE: ALL STREET LIGHTS TO BE FULL CUT-OFF AND DARK SKY COMPLIANT
	POND SAFETY SIGN	POND SAFETY SIGN



REVISIONS		
DATE	DESCRIPTION	BY



MCCORD POINTE SECTION 7
MCCORDSVILLE, INDIANA
TRAFFIC CONTROL PLAN



DRAWN BY TS	CHECKED BY KE
DATE NOVEMBER 2020	SCALE AS SHOWN
SHEET	JOB NUMBER 2019-263-G

C3.2
TRAFFIC CONTROL PLAN

PLANT MATERIAL SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
AS	ACER SCCHARUM 'LEGACY'	LEGACY SUGAR MAPLE	5	2" B&B	CENTRAL LEADER, HEADED UP TO 4' MIN
CV	CRATEAGUS VIRDIS 'WINTER KING'	WINTER KING HAWTHORN	1	2" B&B	GOOD BRANCH STRUCTURE HEADED UP TO 4' MIN
PA	PICEA ABIES	NORWAY SPRUCE	7	6" B&B	SINGLE LEADER, FULL, MATCHING SPECIMENS
PV	PRUNUS VIRGINIANA 'CANADA RED'	CANADA RED CHOKECHERRY	6	2" B&B	CENTRAL LEADER, HEADED UP TO 4' MIN

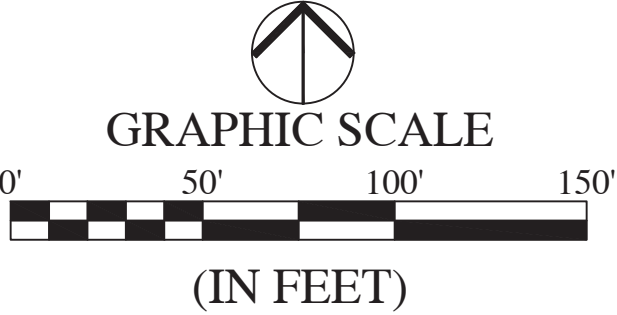
NOTE:
SUPPLEMENTAL TREE PLANTINGS AT A RATE OF 5 TREES PER ACRE ARE REQUIRED

LANDSCAPE LEGEND:

- XXX QUANTITY / KEY
- ENTRY MONUMENT
- PERENNIAL BED
- SHADE TREE
- EVERGREEN TREE
- ORNAMENTAL TREE
- DECIDUOUS SHRUB
- GRASSES

LEGEND:

- EXISTING
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - SETBACK LINE
 - CENTERLINE
 - SWALE / FLOWLINE
 - SUBSURFACE DRAIN
 - SANITARY SEWER
 - STORM SEWER
 - STORM CULVERT
 - WATER MAIN
 - CONTOUR, MAJOR
 - CONTOUR, MINOR
 - FENCE
 - TREE LINE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - STORM INLET
 - STORM END SECTION
 - FIRE HYDRANT
 - STREET LIGHT
- PROPOSED
 - RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - SETBACK LINE
 - CENTERLINE
 - SWALE / FLOWLINE
 - SUBSURFACE DRAIN
 - SANITARY SEWER
 - STORM SEWER
 - STORM CULVERT
 - WATER MAIN
 - CONTOUR, MAJOR
 - CONTOUR, MINOR
 - FENCE
 - TREE LINE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - STORM INLET
 - STORM END SECTION
 - FIRE HYDRANT
 - STREET LIGHT



FOR CONTINUATION SEE SHEET L1.1

EXISTING MCCORD
POINTE SECTION 5

LAKE #3
M.P. = 848.10
10 YEAR ELEV. = 849.64
100 YEAR ELEV. = 851.81
BOTTOM ELEV. = 838.10

REVISIONS

DATE	DESCRIPTION	BY



MCCORD POINTE SECTION 7
MCCORDSVILLE, INDIANA
LANDSCAPE PLAN



DRAWN BY TS/TD/GM	JOB NUMBER 2019-263-0
CHECKED BY KE	
DATE NOVEMBER 2020	
SCALE AS SHOWN	
SHEET	

L1.0
LANDSCAPE PLAN

Plot Date: Nov 19, 2020 Plot Time: 5:42pm File Name: W:\CalkAtlantic Homes\2019-263-G Lennar- McCord Pointe Sec 7\Design\CA0\19263G.Landscape Plan.dwg, Layout: L1.1 By: Lemith

PLANT MATERIAL SCHEDULE

KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	REMARKS
AS	ACER SCCHARUM 'LEGACY'	LEGACY SUGAR MAPLE	5	2" B&B	CENTRAL LEADER, HEADED UP TO 4' MIN
CV	CRATEAGUS VIRDIS 'WINTER KING'	WINTER KING HAWTHORN	1	2" B&B	GOOD BRANCH STRUCTURE HEADED UP TO 4' MIN
PA	PICEA ABIES	NORWAY SPRUCE	7	6" B&B	SINGLE LEADER, FULL, MATCHING SPECIMENS
PV	PRUNUS VIRGINIANA 'CANADA RED'	CANADA RED CHOKECHERRY	6	2" B&B	CENTRAL LEADER, HEADED UP TO 4' MIN

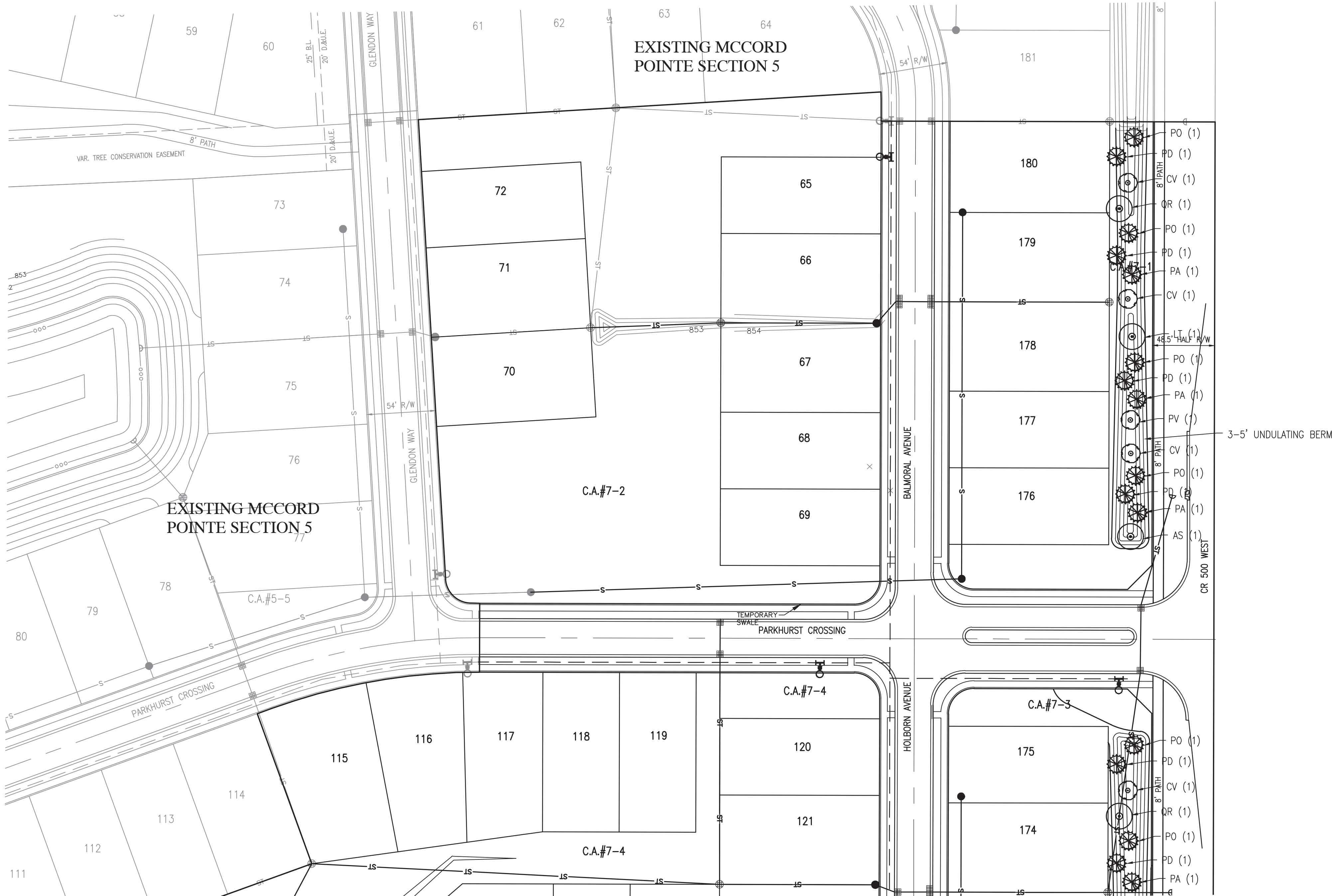
NOTE:
SUPPLEMENTAL TREE PLANTINGS AT A RATE OF 5 TREES PER ACRE ARE REQUIRED

LANDSCAPE LEGEND:

- # XXX QUANTITY / KEY
- ENTRY MONUMENT
 - PERENNIAL BED
 - SHADE TREE
 - EVERGREEN TREE
 - ORNAMENTAL TREE
 - DECIDUOUS SHRUB
 - GRASSES

LEGEND:

- EXISTING
- RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - SETBACK LINE
 - CENTERLINE
 - SWALE / FLOWLINE
 - SUBSURFACE DRAIN
 - SANITARY SEWER
 - STORM SEWER
 - STORM CULVERT
 - WATER MAIN
 - CONTOUR, MAJOR
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 - FENCE
 - TREE LINE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - STORM INLET
 - STORM END SECTION
 - FIRE HYDRANT
 - STREET LIGHT
- PROPOSED
- RIGHT-OF-WAY LINE
 - EASEMENT LINE
 - SETBACK LINE
 - CENTERLINE
 - SWALE / FLOWLINE
 - SUBSURFACE DRAIN
 - SANITARY SEWER
 - STORM SEWER
 - STORM CULVERT
 - WATER MAIN
 - CONTOUR, MAJOR
 - CONTOUR, MINOR
 - FENCE
 - TREE LINE
 - SANITARY MANHOLE
 - STORM MANHOLE
 - STORM INLET
 - STORM END SECTION
 - FIRE HYDRANT
 - STREET LIGHT



FOR CONTINUATION SEE SHEET L1.0

REVISIONS		
DATE	DESCRIPTION	BY

HWC
ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

MCCORD POINTE SECTION 7
MCCORDSVILLE, INDIANA
LANDSCAPE PLAN

PROFESSIONAL ENGINEER
NOT FOR CONSTRUCTION

DRAWN BY
TS/TD/GM
CHECKED BY
KE
DATE
NOVEMBER 2020
SCALE
AS SHOWN
SHEET

JOB NUMBER
2019-263-G
SHEET

L1.1
LANDSCAPE PLAN

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, INC.
9025 NORTH RIVER ROAD, SUITE 100
INDIANAPOLIS, IN 46240
PHONE: (317) 659-3200

ZONED McCORD POINTE AMENDED PUD ORDINANCE NO.
101017B, AN ORDINANCE AMENDING THE TOWN OF
McCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

DEVELOPMENT STANDARDS

MAXIMUM NUMBER OF LOTS	197
MINIMUM LOT AREA	7,500 SQ. FT
MINIMUM LOT WIDTH	
AT BUILDING LINE	60
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	5 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY) 1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	45%*
MAXIMUM HEIGHT - PRINCIPAL	35 FEET

*NOTE: LOTS 61,62,73-77 HAVE MAXIMUM LOT COVERAGE OF 55% PER ORDINANCE 091019 RECORDED
AS INST. #201909743 IN THE OFFICE OF THE RECORDER OF HANCOCK COUNTY, INDIANA.

McCORD POINTE SECTION 7

SECONDARY PLAT

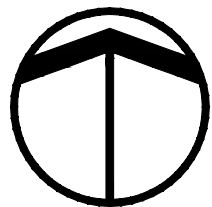
TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

CABINET: _____

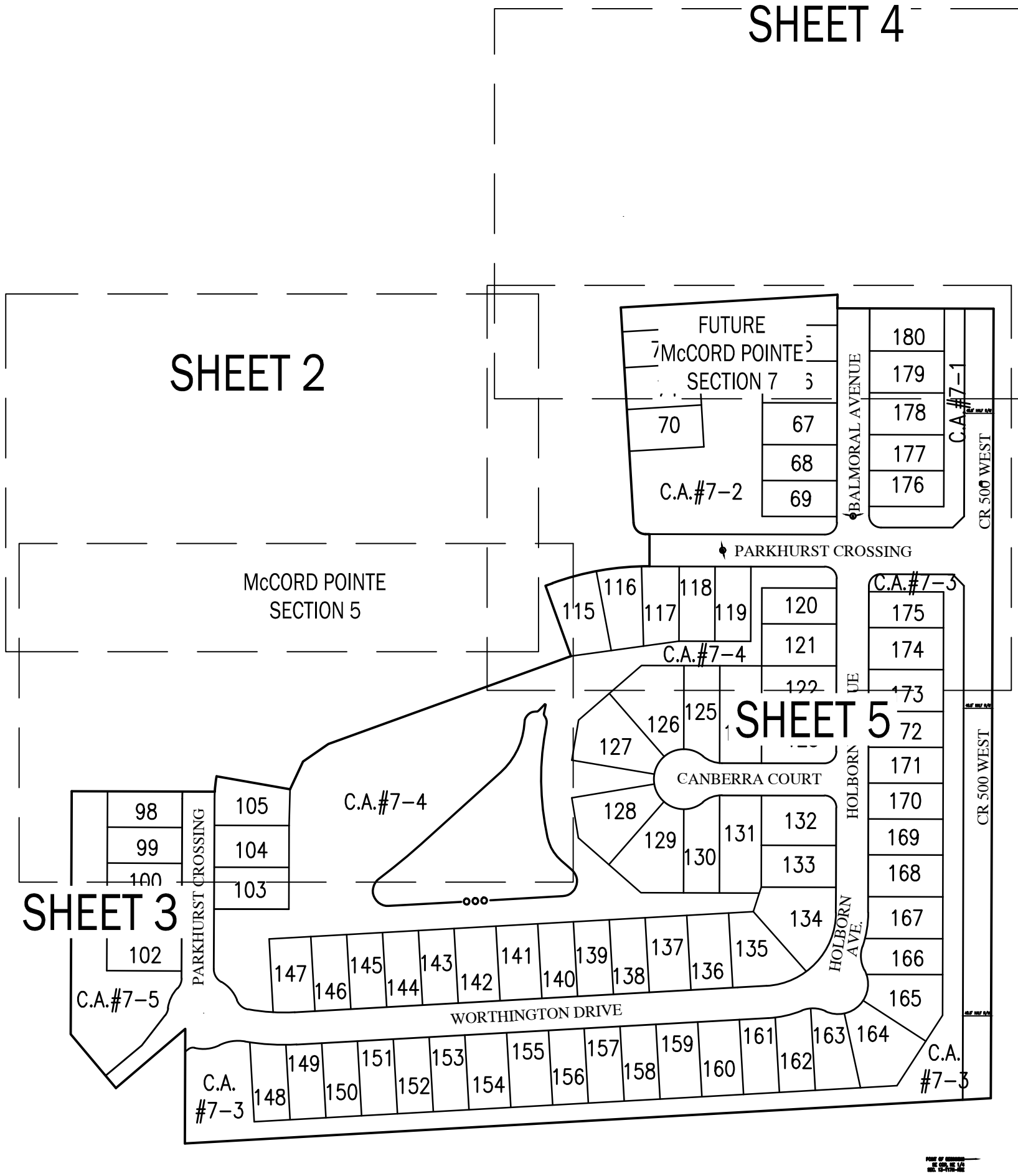
SLIDE: _____



Assumed North

0 100' 200' 400'

Scale: 1" = 200'



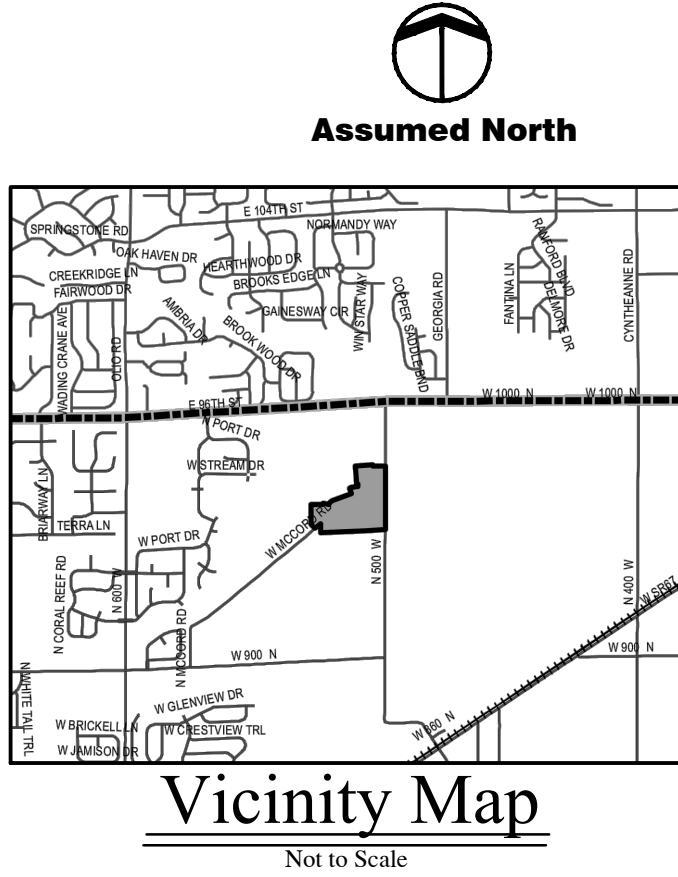
Site Map

SCALE: 1" = 100'

SEE SHEET 6 FOR LAND DESCRIPTION

Curve Table				
Curve #	Length	Radius	Chord Length	Chord Bearing
C-1	165.58'	473.00'	164.73'	S80°06'46"W
C-2	30.18'	20.00'	27.39'	S46°38'03"E
C-3	31.42'	20.00'	28.28'	N45°08'28"E
C-4	31.42'	20.00'	28.28'	S44°51'32"E
C-5	31.42'	20.00'	28.28'	S45°08'28"W
C-6	31.42'	20.00'	28.28'	N44°51'32"W
C-7	31.42'	20.00'	28.28'	N45°08'28"E
C-8	34.60'	50.00'	33.91'	S70°02'09"E
C-9	226.28'	50.00'	77.00'	S00°08'28"W
C-10	34.60'	50.00'	33.91'	S70°19'05"W
C-11	31.42'	20.00'	28.28'	N44°51'32"W
C-12	186.01'	123.00'	168.79'	N43°27'54"E
C-13	113.42'	150.00'	110.74'	N21°48'11"E
C-14	57.53'	177.00'	57.28'	N09°27'10"E
C-15	40.88'	50.00'	39.75'	S04°39'26"E
C-16	124.87'	50.00'	94.86'	N43°27'54"E
C-17	40.88'	50.00'	39.75'	N88°24'46"W
C-18	57.53'	177.00'	57.28'	N77°28'37"E
C-19	113.42'	150.00'	110.74'	N65°07'37"E
C-20	86.62'	384.00'	86.43'	S86°44'57"E
C-21	160.49'	357.00'	159.15'	S80°49'11"E
C-22	78.16'	330.00'	77.98'	S86°25'34"E
C-23	25.46'	25.00'	24.38'	S50°27'38"E
C-24	40.71'	60.00'	39.94'	N40°43'13"W
C-25	26.35'	25.00'	25.15'	S29°58'00"E
C-26	59.50'	170.00'	59.20'	S09°29'50"E
C-27	18.83'	25.00'	18.39'	N21°48'33"E
C-28	37.29'	60.00'	36.70'	S25°35'06"W
C-29	13.05'	25.00'	12.90'	N22°43'50"E
C-30	10.80'	12.00'	10.44'	S78°32'09"W
C-31	42.46'	60.00'	41.58'	N84°02'44"E
C-32	43.91'	70.00'	43.19'	S81°44'31"W
C-33	25.84'	223.00'	25.82'	S06°35'47"W

Kristopher K. Eichhorn
Professional Surveyor No. 21000230



Vicinity Map

Not to Scale

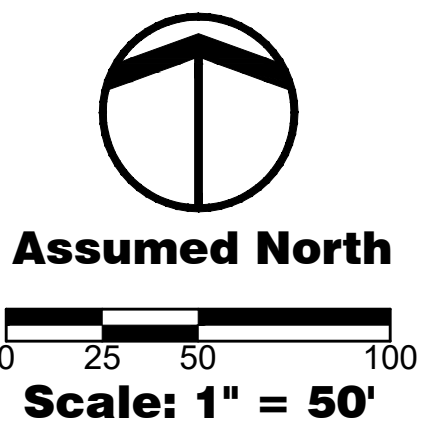


SHEET 1 OF 6

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
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135 N. PENNSYLVANIA STREET, SUITE 2800
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DEVELOPED BY:
LENNAR HOMES OF INDIANA, INC.
9025 NORTH RIVER ROAD, SUITE 100
INDIANAPOLIS, IN 46240
PHONE: (317) 659-3200



Assumed North

0 25 50 100'

Scale: 1" = 50'

McCORD POINTE SECTION 7

SECONDARY PLAT

TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

LEGEND	
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
T.P.A.	TREE PRESERVATION AREA

LEGEND	
RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	_____
SETBACK LINE	_____
CENTERLINE	_____
SECTION LINE	_____

- SUBDIVISION MONUMENTS
- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
 - DENOTES A 5/8" REBAR 30" LONG WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" TO BE SET AT LOT CORNERS, INCLUDING BEGINNING AND ENDING OF CURVES AND THE INTERSECTION OF LINES.
 - ☒ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH
 - DENOTES FOUND 5/8" REBAR 30" LONG WITH CAP STAMPED "S&A FIRM #0008"
 - ☒ DENOTES FOUND 4"x4" CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, FLUSH WITH GRADE



SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 6 FOR LAND DESCRIPTION

Kristopher K. Eichhorn
Professional Surveyor No. 21000230



SHEET 2 OF 6

Plot Date: Nov 20, 2020 Plot Time: 3:57pm File Name: W:\CalAtlantic Homes\2019-263-G Lennar-McCord Pointe Sec 7\Design\CAD\19263G.zbase.dwg, Layout: Plat 3-4 By: tsmith

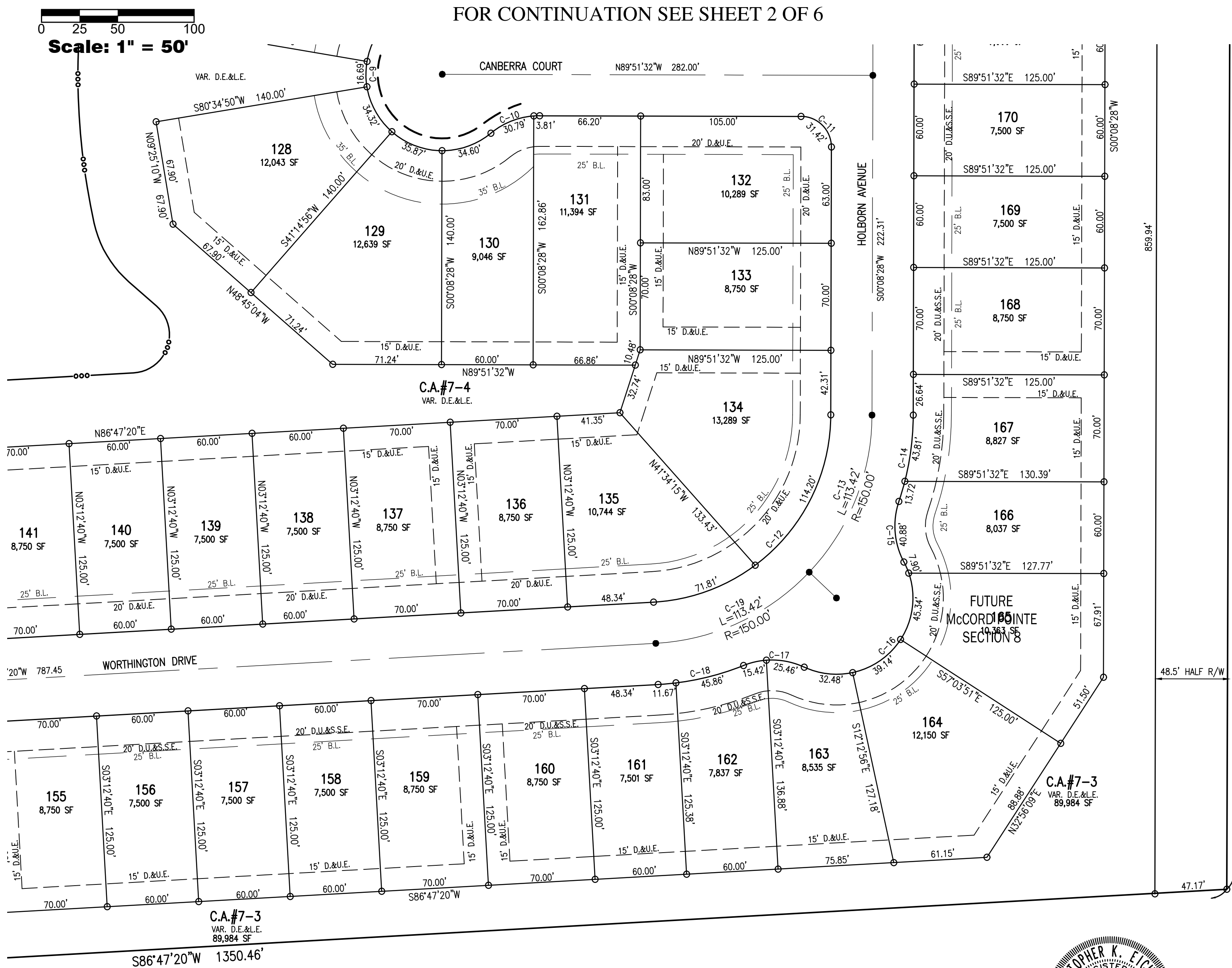
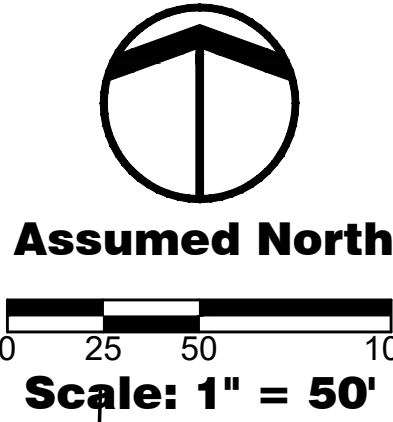
THIS INSTRUMENT PREPARED BY:
KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
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INDIANAPOLIS, IN 46240
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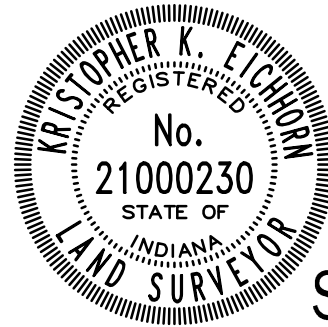
LEGEND	
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
T.P.A.	TREE PRESERVATION AREA

LEGEND	
RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	_____
SETBACK LINE	_____
CENTERLINE	_____
SECTION LINE	_____

- SUBDIVISION MONUMENTS
- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
 - DENOTES A 5/8" REBAR 30" LONG WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" TO BE SET AT LOT CORNERS, INCLUDING BEGINNING AND ENDING OF CURVES AND THE INTERSECTION OF LINES.
 - ☒ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH
 - DENOTES FOUND 5/8" REBAR 30" LONG WITH CAP STAMPED "S&A FIRM #0008"
 - ☒ DENOTES FOUND 4"x4" CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, FLUSH WITH GRADE



Kristopher K. Eichhorn
Professional Surveyor No. 21000230



SHEET 3 OF 6

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 6 FOR LAND DESCRIPTION

Plot Date: Nov 20, 2020 Plot Time: 3:57pm File Name: W:\CalAtlantic Homes\2019-263-G Lennar-McCord Pointe Sec 7\Design\CAD\19263G.zbase.dwg, Layout: Plat 3-4 By: tsmith

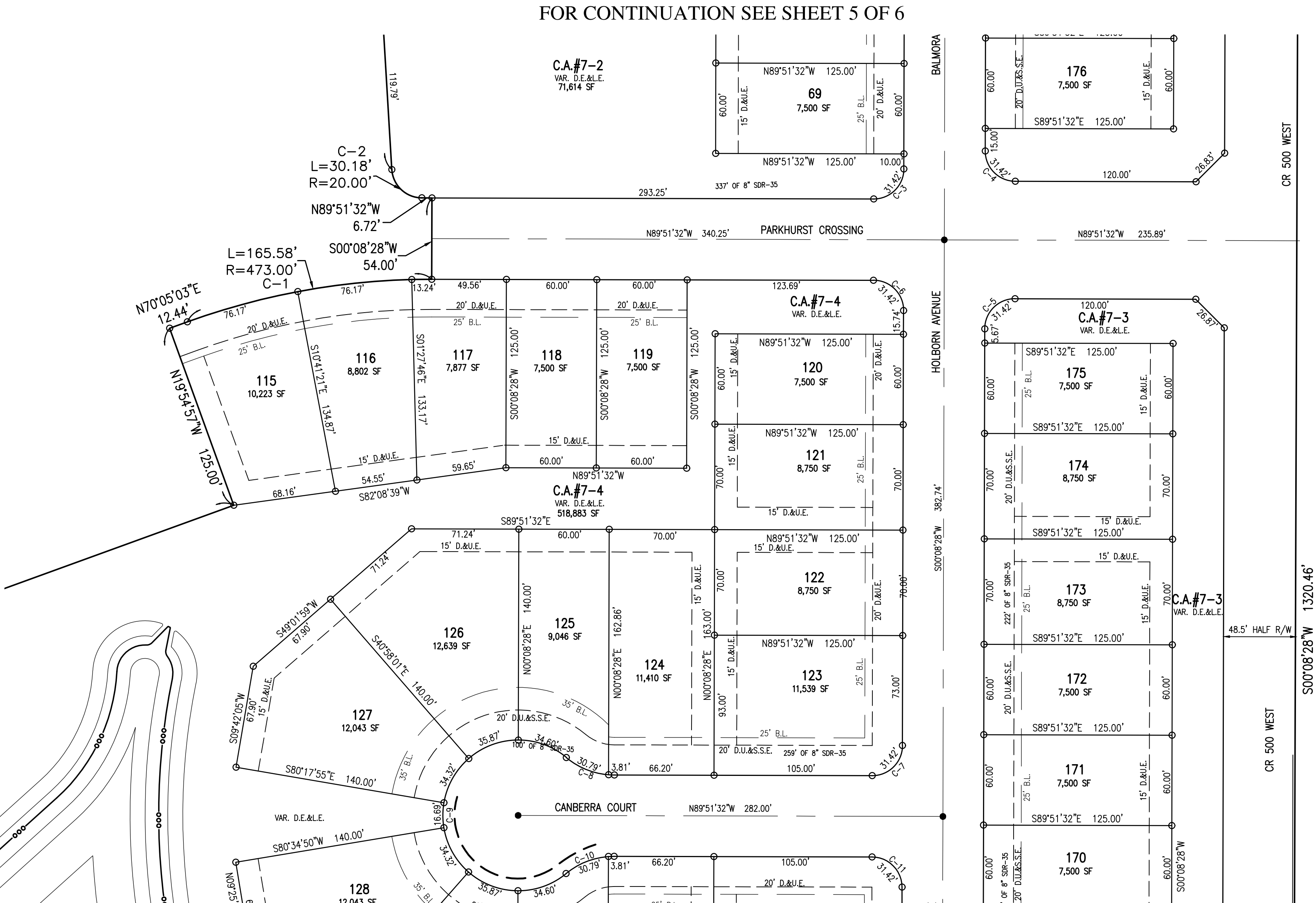
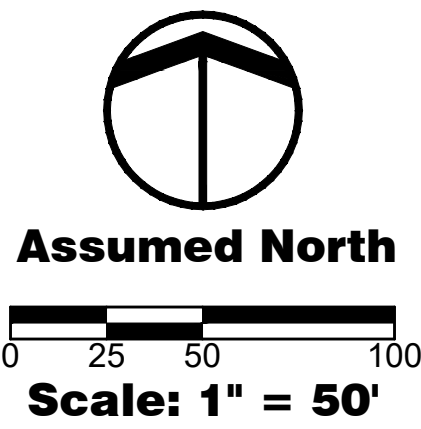
THIS INSTRUMENT PREPARED BY:
KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, INC.
9025 NORTH RIVER ROAD, SUITE 100
INDIANAPOLIS, IN 46240
PHONE: (317) 659-3200

LEGEND	
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
T.P.A.	TREE PRESERVATION AREA

LEGEND	
RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	_____
SETBACK LINE	_____
CENTERLINE	_____
SECTION LINE	_____

- SUBDIVISION MONUMENTS
- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
 - DENOTES A 5/8" REBAR 30" LONG WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" TO BE SET AT LOT CORNERS, INCLUDING BEGINNING AND ENDING OF CURVES AND THE INTERSECTION OF LINES.
 - ☒ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH
 - DENOTES FOUND 5/8" REBAR 30" LONG WITH CAP STAMPED "S&A FIRM #0008"
 - ☒ DENOTES FOUND 4"x4" CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, FLUSH WITH GRADE



Kristopher K. Eichhorn
Professional Surveyor No. 21000230



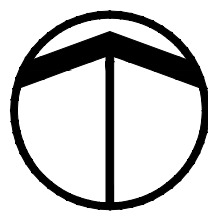
SHEET 4 OF 6

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 6 FOR LAND DESCRIPTION

File Name: W:\CalAtlantic Homes\2019-263-G Lennar-- McCord Pointe Sec. 7\Design\CAD\19263G.zbase.dwg, Layout: Plat 5-6
Plot Date: Nov 20, 2020
Plot Time: 3:56pm
By: tsmith

THIS INSTRUMENT PREPARED BY:
KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

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Assumed North

Scale: 1" = 50'

LEGEND

25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
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L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
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AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
T.P.A.	TREE PRESERVATION AREA

LEGEND

RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	_____
SETBACK LINE	_____
CENTERLINE	_____
SECTION LINE	_____

SUBDIVISION MONUMENTS

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McCORD POINTE SECTION 7

SECONDARY PLAT

TOWN OF McCORDSVILLE

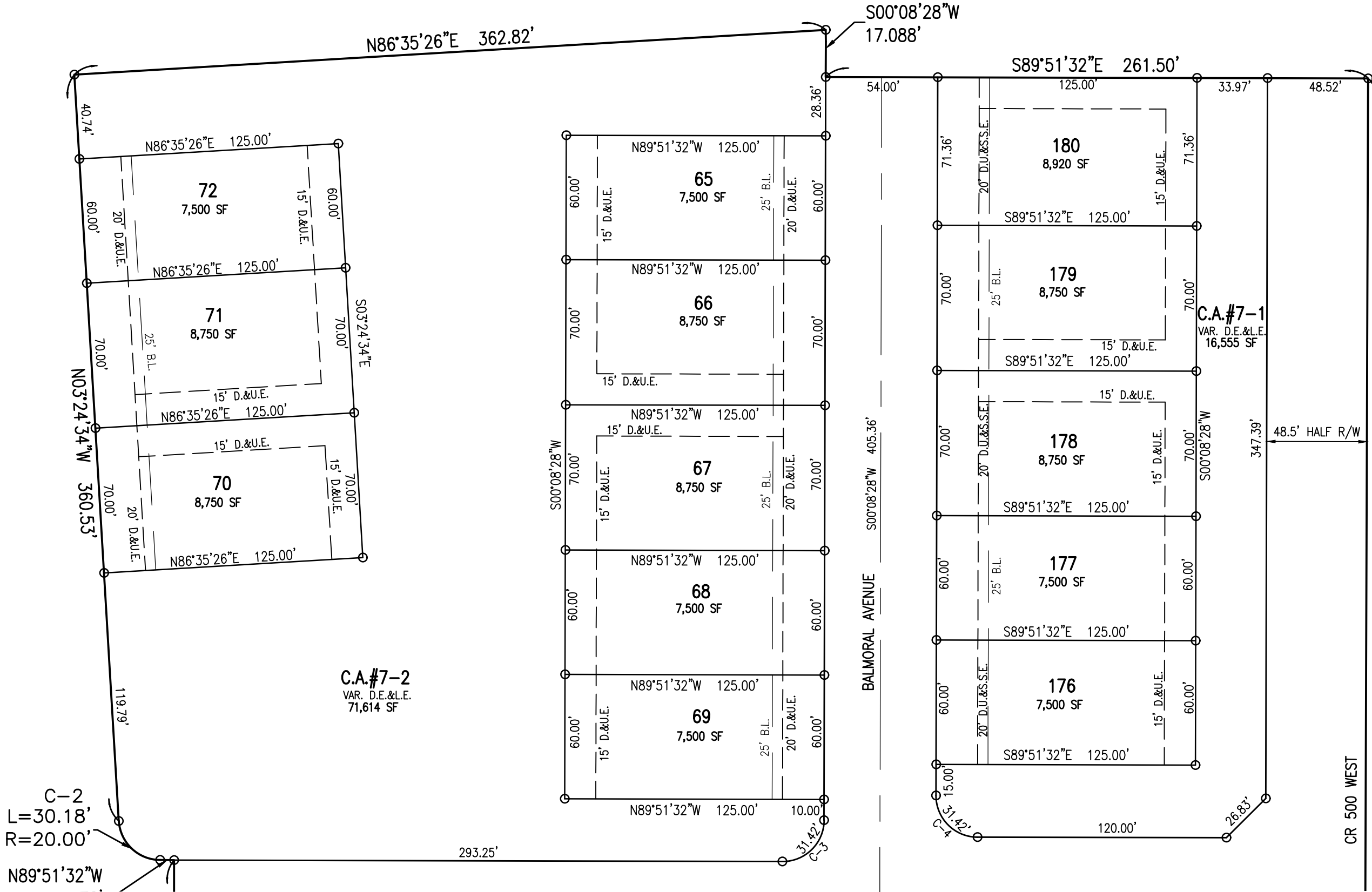
VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

FOR CONTINUATION SEE SHEET 4 OF 6

INSTRUMENT No.: _____

CABINET: _____

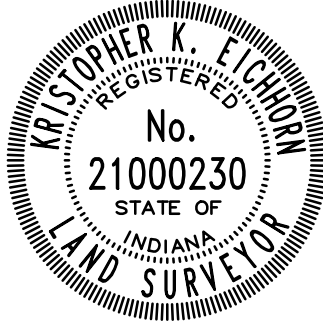
SLIDE: _____



FOR CONTINUATION SEE SHEET 4 OF 6

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 6 FOR LAND DESCRIPTION

Kristopher K. Eichhorn
Professional Surveyor No. 21000230



SHEET 5 OF 6

THIS INSTRUMENT PREPARED BY:

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PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, INC.
9025 NORTH RIVER ROAD, SUITE 100
INDIANAPOLIS, IN 46240
PHONE: (317) 659-3200

SOURCE OF TITLE

INST. #201801179
INST. #201801180
INST. #201900810

McCORD POINTE SECTION 7

SECONDARY PLAT

TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

ACCEPTANCE OF DEED OF DEDICATION

We, the undersigned Lennar Homes of Indiana, Inc., a Delaware Corporation, owners of the real estate shown and described on the plat herein and recorded in the Office of the Recorder of Hancock County, Indiana, do hereby lay off, plat and subdivide, said real estate in accordance with the within plat. We further certify that this plat is made and submitted with our free consent and desires.

This subdivision shall be known and designated as McCord Pointe, Section 7. All streets shown and not heretofore dedicated are hereby dedicated to the public.

Dedicated right-of-way in this subdivision consists of 3.031 acres and 2,430 lineal feet as measured along the centerline of the road.

Title to the foregoing real estate is subject to a certain Declaration of Covenants, Conditions and Restrictions for McCord Pointe, recorded as Instrument Number 201900184 in the Office of the Recorder of Hancock County, Indiana, and amended by Instrument Number 201903207 in said Recorder's Office, as the same may be amended or supplemented. Such Declaration and the Covenants and Restrictions set forth therein run with the land described hereon and are incorporated herein by reference. Each owner of a lot depicted on this plat shall take title to such lot subject to the terms and conditions of the Declaration.

Front yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no building or structure.

A perpetual utility easement is hereby granted to any private or public utility or municipal department, their successors and assigns, within the area shown on the plat and marked "Utility Easement", to install, lay, construct, renew, operate, maintain and remove conduits, cables, pipes, poles and wires, overhead and underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision and other property with telephone, internet, cable tv, electric and gas, sewer and water service as a part of the respective utility systems; also is granted (subject to the prior rights of the public therein or other governing codes and ordinances) the right to use the streets and lots with aerial service wires to serve adjacent lots and street lights, the right to cut down and remove or trim and keep trimmed any trees or shrubs that interfere or threaten to interfere with any of the said private or public utility equipment, and the right is hereby granted to enter upon the lots at all times for all of the purposes aforesaid. No permanent structures, fences, or trees shall be placed on said area as shown on the plat and marked "Utility Easement", but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid user or the rights herein granted.

Tree Preservation Area - A tree preservation area is shown on this plat an abbreviated as "T.P.A.". Within the tree preservation area, no trees with a diameter at breast height ("DBH") in excess of six inches (6") or more (the "Protected Trees") shall be removed unless the tree is damaged, diseased, dead, or is to be removed in order to: (1) comply with the safety requirements of any governmental agency; or (2) to accommodate the installation of drainage utilities, street connections, walking path or other infrastructure. If a Protected Tree is damaged or otherwise removed by the developer or builder, except as permitted to be removed as listed above, then the developer or builder shall reestablish the Protected Tree with a tree or trees of combined equal or greater DBH subject to the availability of space for their healthy growth in the tree preservation area.

In addition, this Deed shall dedicate to the Town of McCordsville, Indiana, any and all sewer infrastructure installed for, by or on behalf of the undersigned, said infrastructure to include but not be limited to the sewer collection system, force main, lift station, or any other component part of the sewer system which serves the subject subdivision.

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof, is hereby maintained in violation hereof, is hereby dedicated to the Town of McCordsville, Indiana, its assigns or designated agent or representative.

Be it resolved by the McCordsville Town Council, McCordsville, Indiana, that the dedications shown on this plat are hereby approved and accepted this ____ day of _____, 20____.

President

CERTIFICATE OF OWNERSHIP

We, Lennar Homes of Indiana, Inc., do hereby certify that we are the owner of the property described in the above caption and that as such owner it has caused the said above described property to be surveyed and subdivided as shown on the herein drawn plat, as its free and voluntary act and deed.

Owner/Developer
Lennar Homes of Indiana, Inc., a Delaware Corporation

By: _____
Keith Lash, Vice President Land Acquisition and Development

State of Indiana)
) SS
County of Hamilton)

Before me, the undersigned, a Notary Public in and for said County and State, personally appeared Keith Lash, Vice President Land Acquisition and Development, Lennar Homes of Indiana, Inc., and acknowledged the execution of this instrument as his voluntary act and deed and affixed his signature thereto.

Witness my signature and seal this ____ day of _____, 20____.

Notary Public

Printed Name

County of Residence: _____

My commission expires: _____

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

DRAINAGE COVENANT

Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association.

A petition addressed to the McCordsville Drainage Board has been filed in duplicate with the McCordsville Town Engineer, requesting that the subdivision's storm drainage system and its easements be accepted into the regulated drain system. Channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville Drainage Board and/or the McCordsville Public Works Commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its easements that are accepted in to the regulated drainage system are delineated on the plat as Regulated Drainage Easements (RDE's). Regulated Drainage Easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewers and tile drains as defined in McCordsville Stonnwater Management Ordinance. These drainage easements are established under authority of the Indiana Drainage Code and the said Board may exercise powers and duties as provided in said code. All other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of Stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The McCordsville Drainage Board assumes no responsibility relative to said improvements or the maintenance thereof. This subdivision contains 0 linear feet of open ditches and 0 feet of subsurface drains that will be included in the Town's Regulated Drainage System.

TOWN APPROVAL

McCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission

the ____ day of _____, 20____, under the authority provided by:

Signature

Signature

Printed Name

Printed Name

REDACTION STATEMENT

I affirm under the penalties for perjury, that I have taken reasonable care to redact each social security number in this document, unless required by law. Kristopher K. Eichhorn

PUD, COVENANTS & OTHER NOTES

The subject tract is zoned McCord Pointe Amended PUD ORDINANCE No. 101017B and Ordinance amending the Town of McCordsville ZONING ORDINANCE No. 121410, as amended.

SHEET 6 OF 6

26th August 20

Kristopher K. Eichhorn
Professional Surveyor No. 21000230

