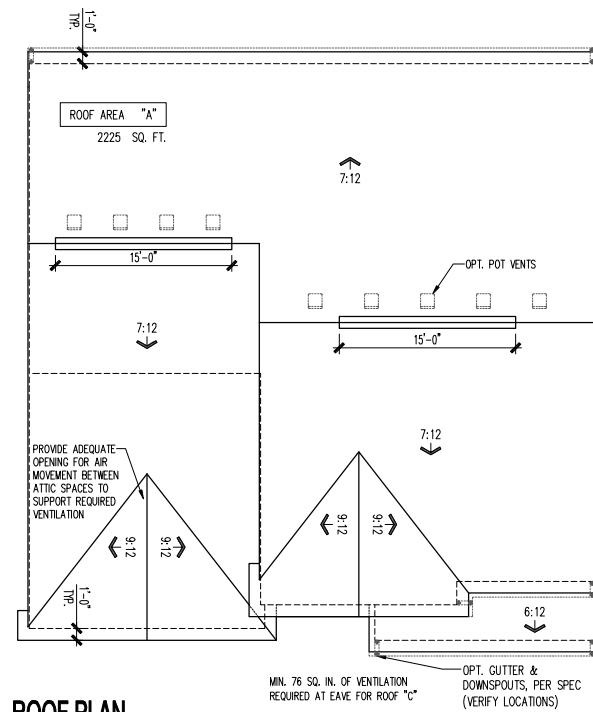


Westchester Heartland 2M





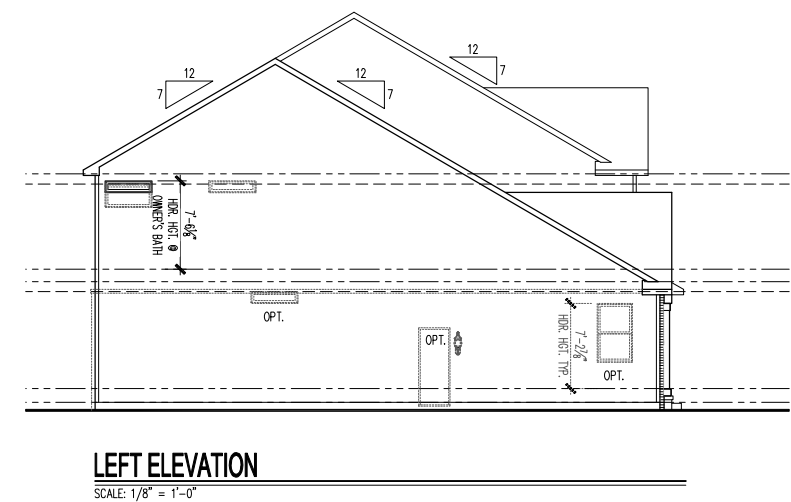
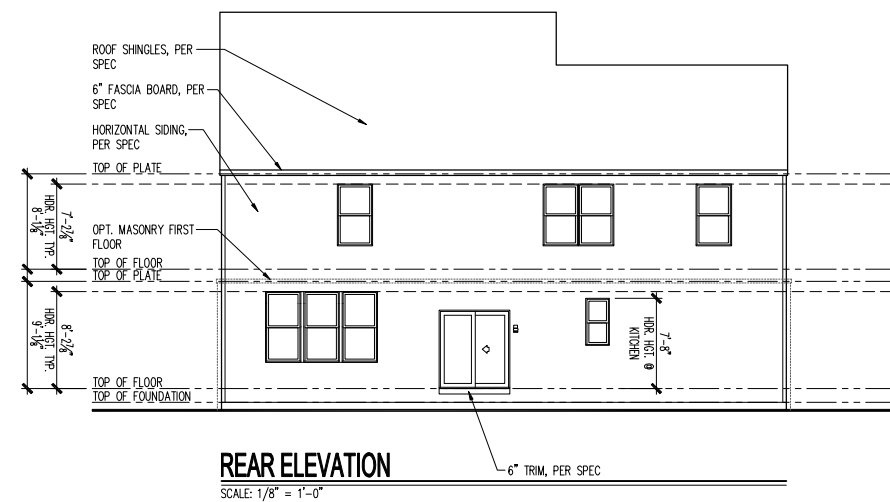
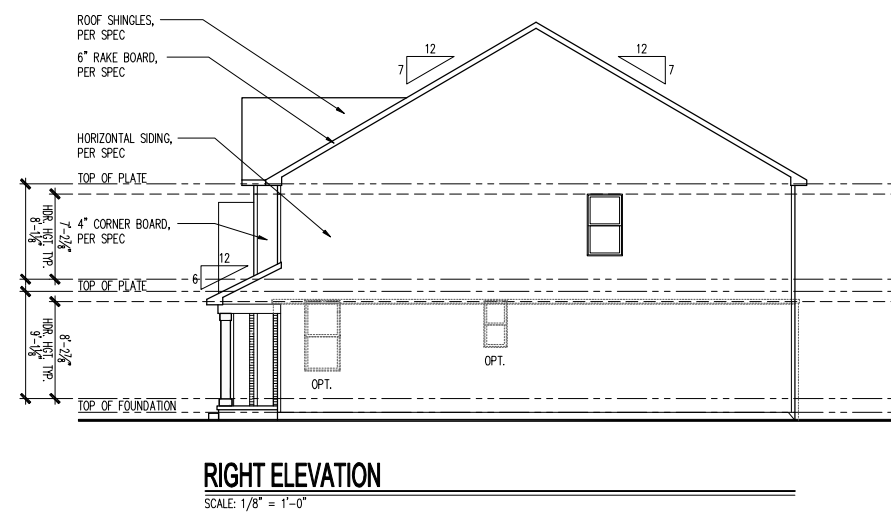
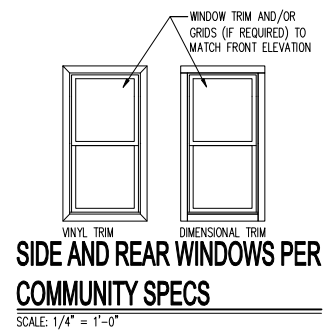


# ATTIC VENT SCHEDULE

VENTILATION REQUIRED AND SUPPLY IS BASED ON 100 CFM PER VENT VALUE AND 100 CFM PER VENT VALUE BASED ON 10000 BTU/HOUR  
 \* CONTINGENCY RESERVES VENTILATION ARE RESPONSIBLE FOR VENTING 100% VENTED AIRS SUPPLY VENTILATION TO MEET CODE REQUIREMENTS  
 \* TOTALS ARE NOT CALCULATED BASED ON TOTAL VENT VALUE BUT ARE A SUM OF TOTAL REQUIRED VENTILATION

Heartland 3M									
ROOF AREA "A"		SQ. FTG	2225	AT / NEAR RIDGE			AT / NEAR EAVE		
VENT TYPE	REQ. FTG. REQUIRED RANGE	REQ. FTG. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POI LARGE SUPPLY	POI SMALL SUPPLY	EDGE VENT SUPPLY	EAVE VENT SUPPLY	CONF. VENT SUPPLY	
				61.00	40.00	18.00	28.00	10.00	
WIND-POI VENT ONLY	3.97	3.71	3.81	49.30	9	0			
AT EAVE	4.45	3.71	3.81	49.30					
TOTAL	8.42	7.42	7.70	100.00			0	50.00	
WIND-ROOF VENT	3.97	3.71	3.70	49.20	0	0	30.00		
AT EAVE	4.45	3.71	3.81	49.31					
TOTAL	8.42	7.42	7.54	100.00			0	50.00	

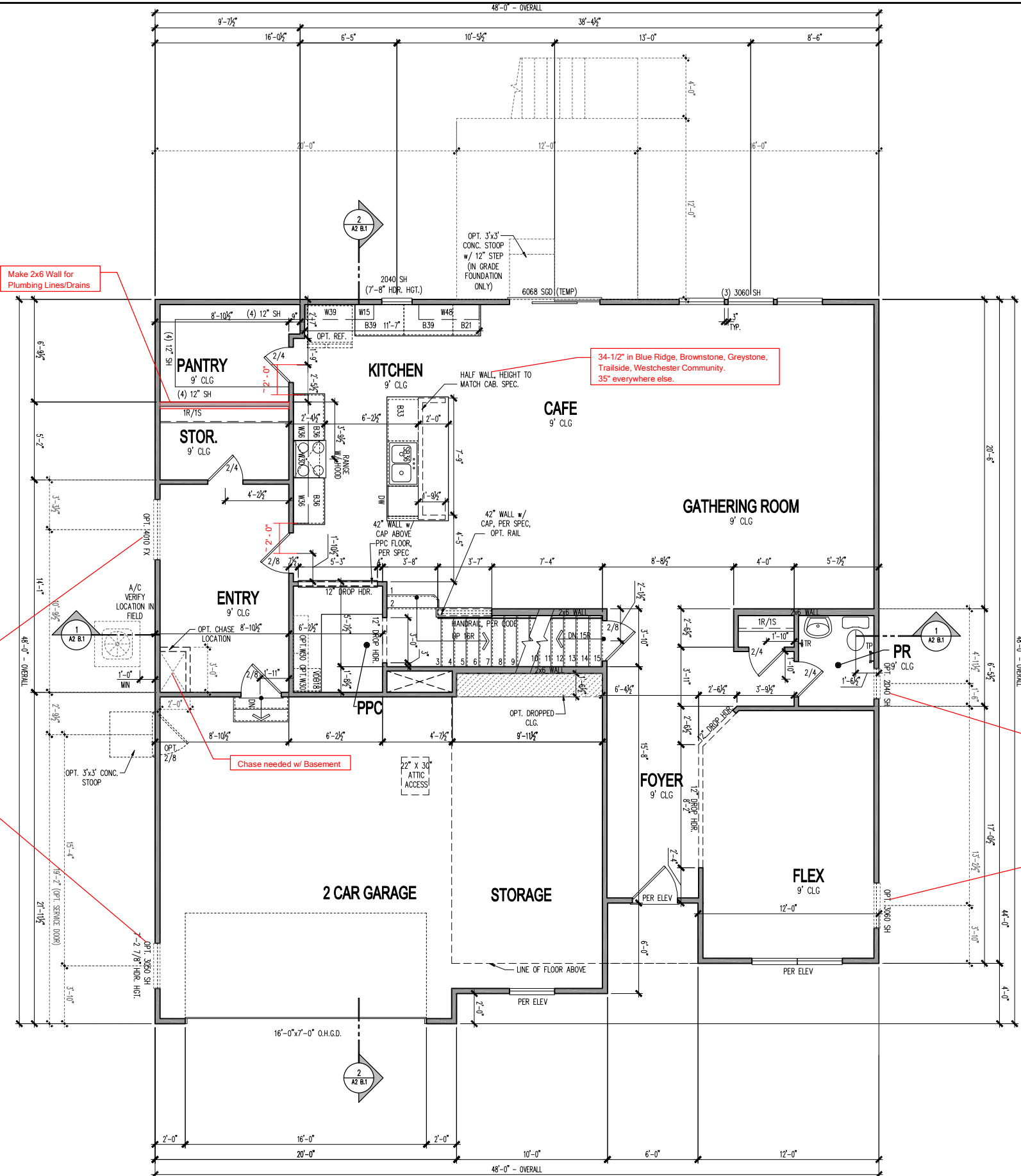
ADDITIONAL POI VENT MAY BE REQUIRED IF THERE IS INSUFFICIENT ROOF AVAILABLE



FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE 3/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
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16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

Midwest Zone Office  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



First Floor Plan

4" Exterior Walls

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	01/18/2019
REV#	DATE/DESCRIPTION
Δ	01/18/2019
Δ	PCR REVISIONS
Δ	11/27/2019
Δ	PCR REVISIONS
Δ	
Δ	
Δ	
Δ	
Δ	
Δ	

GARAGE HANDING  
LEFT

SPECIFICATION LEVEL  
1

PLAN NAME  
WESTCHESTER  
NPC CHILD NUMBER  
1852.302

SHEET  
A1  
4-1.1

Standard in Brownsstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmoor, Oakcrest communities

Standard in Brownsstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmoor, Oakcrest communities

34-1/2" in Blue Ridge, Brownsstone, Greystone, Trailside, Westchester Community. 35" everywhere else.

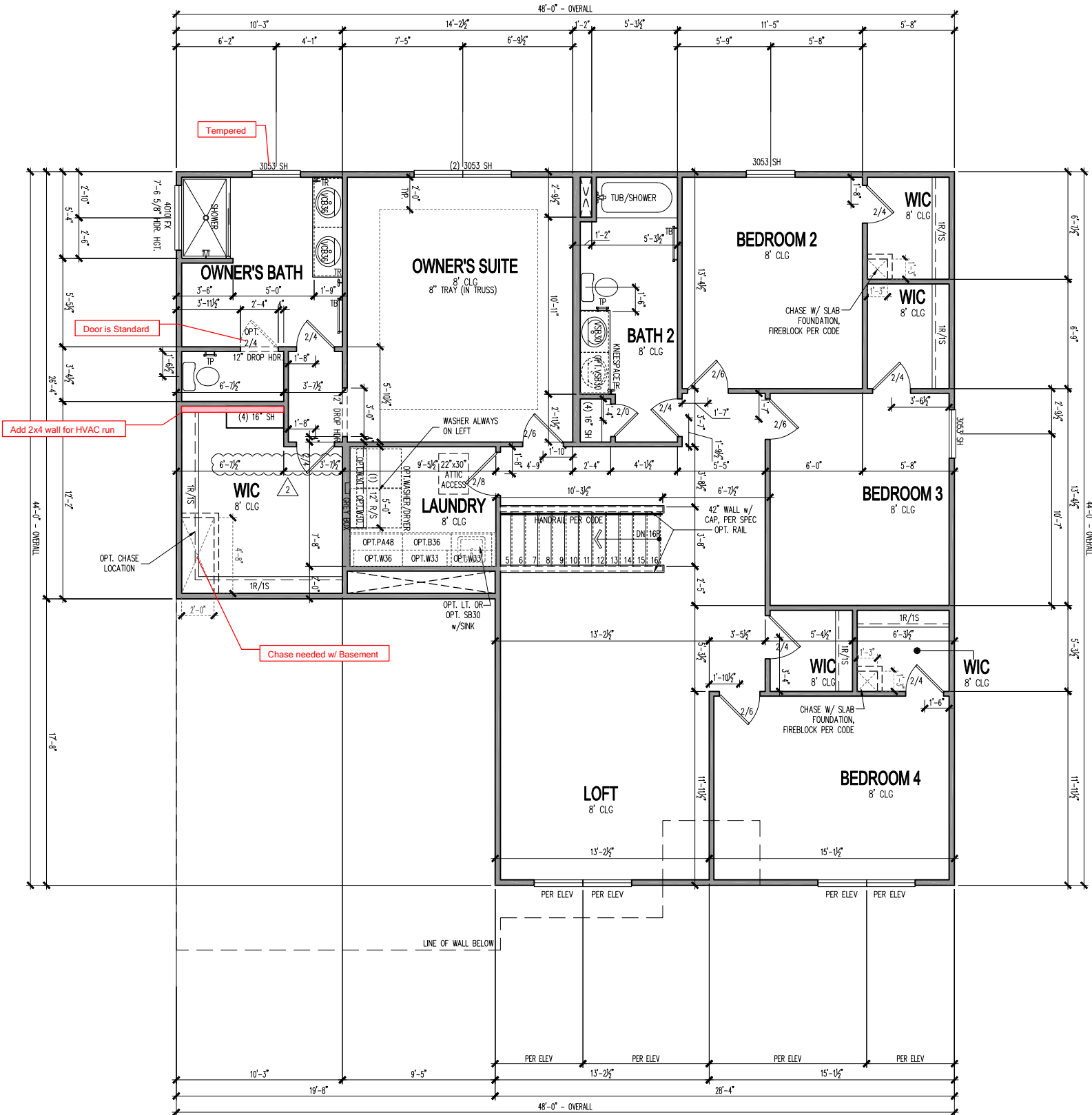
Make 2x6 Wall for Plumbing Lines/Drains

Chase needed w/ Basement

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SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

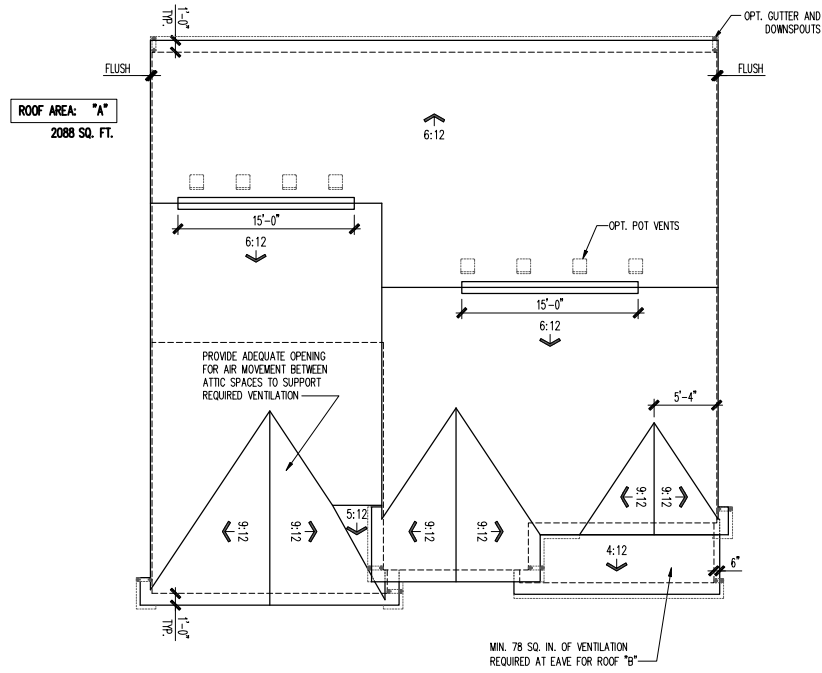
PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	01/18/2019
REV#	DATE/DESCRIPTION
1	01/18/2019
2	PCR REVISIONS
3	11/27/2019
4	PCR REVISIONS
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Riverton Heartland 2M





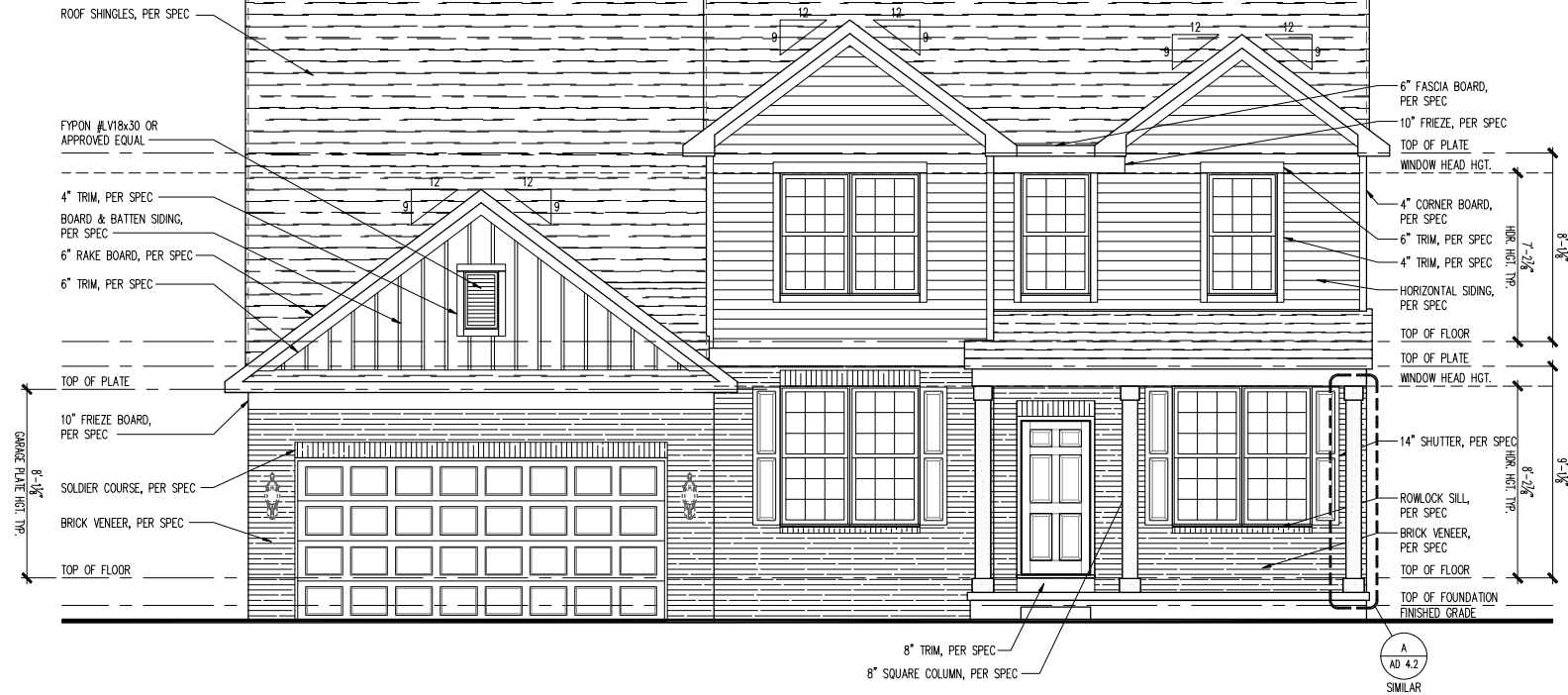
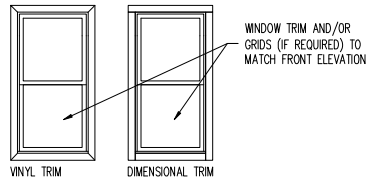


ROOF PLAN  
SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE									
Heartland 2M									
VENTILATION REQUIRED AND SUPPLIED IS BASED ON PITCH VALUES AND ROOF AREA VALUES SHOWN IN TABLE ABOVE.									
* CONNECTIONS INCLUDING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED ARE SUPPLY VENTILATION TO MEET CODE REQUIREMENTS.									
* VENTILATION HAS BEEN CALCULATED ASSUMING ONE VENTILATION AT 60-SQ. IN. OF TOTAL ROOF AREA AND ONE AT 40-SQ. IN. OF TOTAL REQUIRED VENTILATION.									
ROOF AREA "A"	SQ. FTG	2088	AT / NEAR RIDGE		AT / NEAR EAVE				
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	POT. LARGE BALANCE	POT. SMALL BALANCE	ROOF VENT BALANCE	SAVE VENT BALANCE	CONTR. VENT BALANCE		
ROOF VENT ONLY	3.78	3.48	3.39	44.12	0	0			
ATTIC VENT	4.18	3.48	3.39	44.12			0	07.00	
TOTAL	6.96	6.96	7.38	100.00					
ROOF VENT ONLY	3.78	3.48	3.39	44.12	0	0	30.00		
ATTIC VENT	4.18	3.48	3.39	44.12			0	07.00	
TOTAL	6.96	6.96	7.71	100.00	ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE'S INSUFFICIENT RIDGE AVAILABLE				

### SIDE AND REAR WINDOWS PER COMMUNITY SPECS

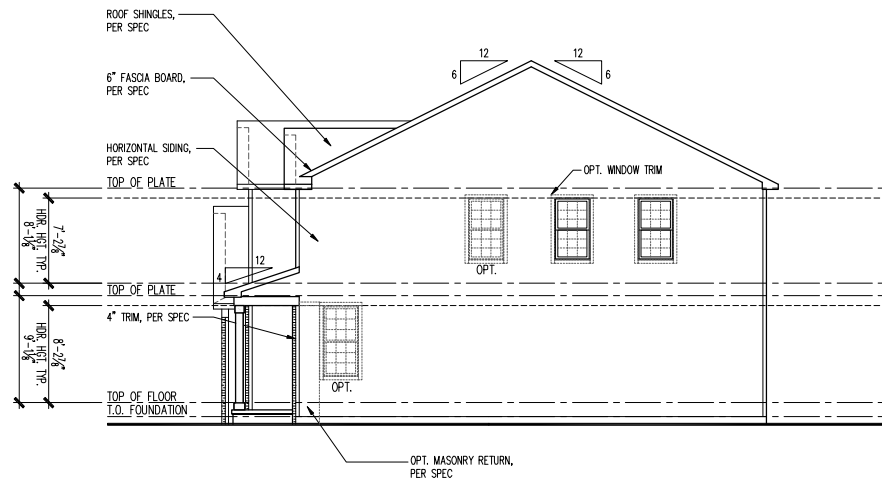
SCALE: 1/4" = 1'-0"



### FRONT ELEVATION

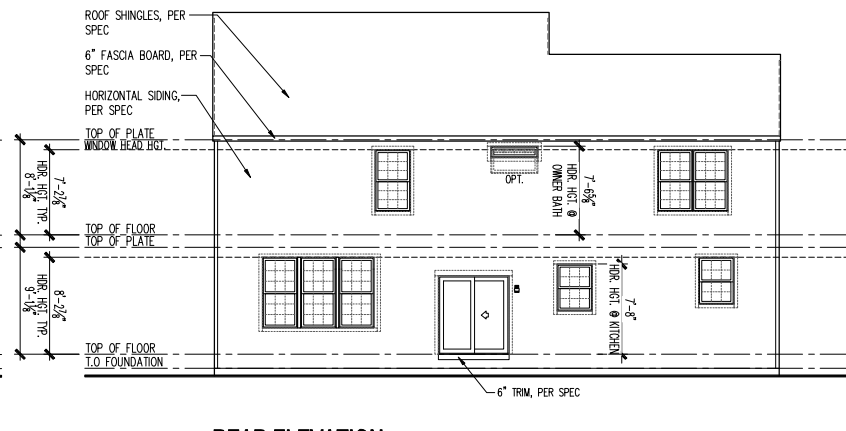
SCALE: 1/4" = 1'-0"

NO WINDOW GRIDS OR TRIM ON/AROUND SIDE OR REAR WINDOWS unless noted in community specs.



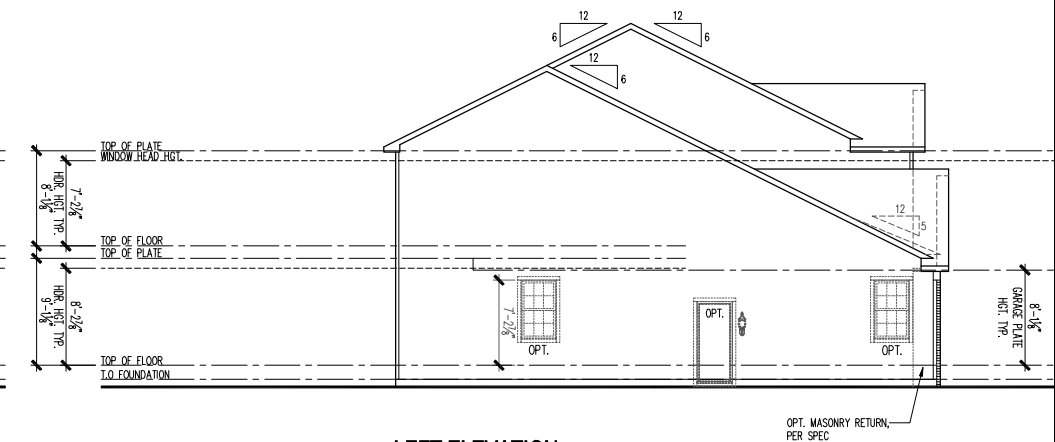
### RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



### REAR ELEVATION

SCALE: 1/8" = 1'-0"



### LEFT ELEVATION

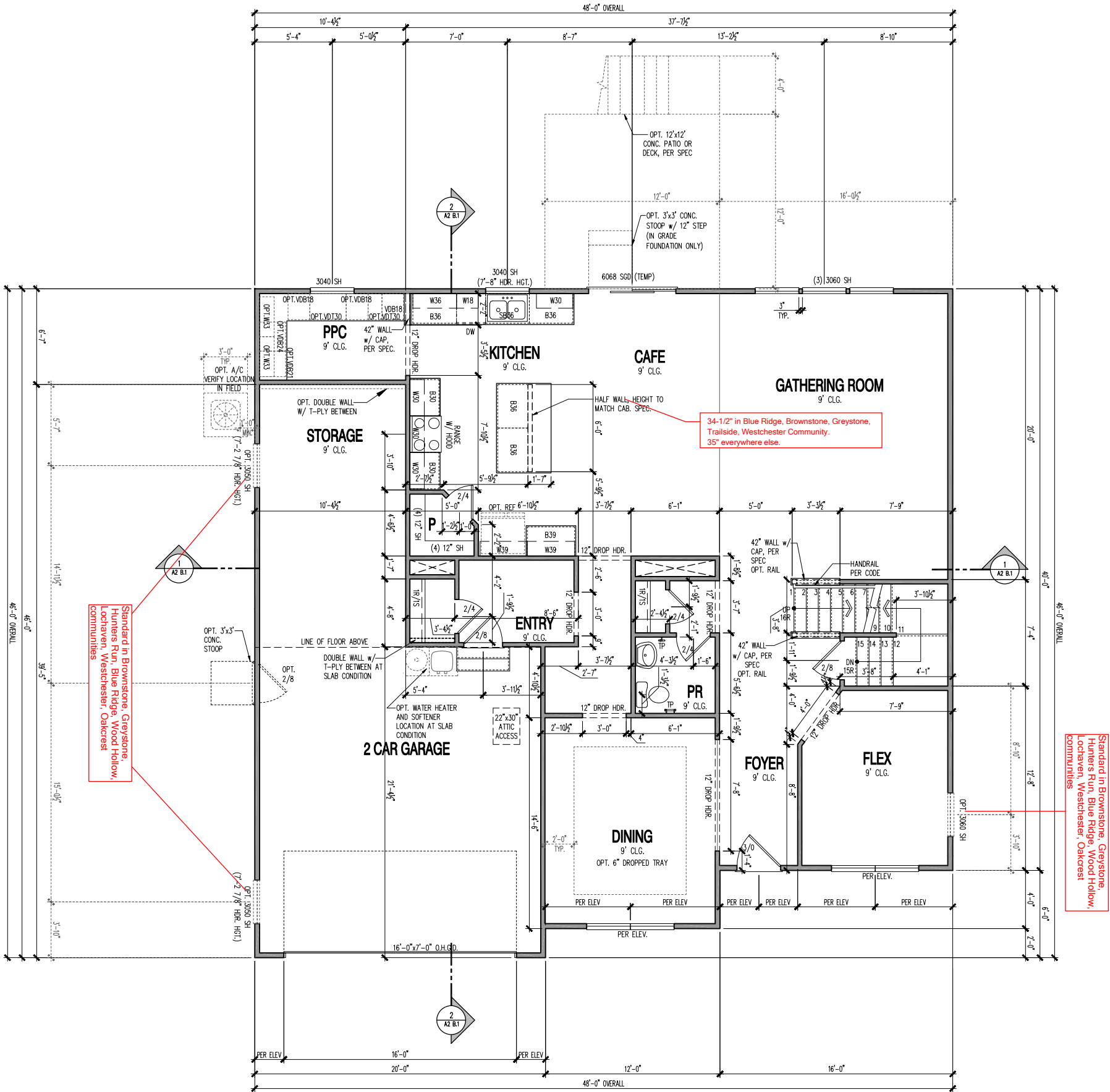
SCALE: 1/8" = 1'-0"



FLOORPLAN NOTES

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FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

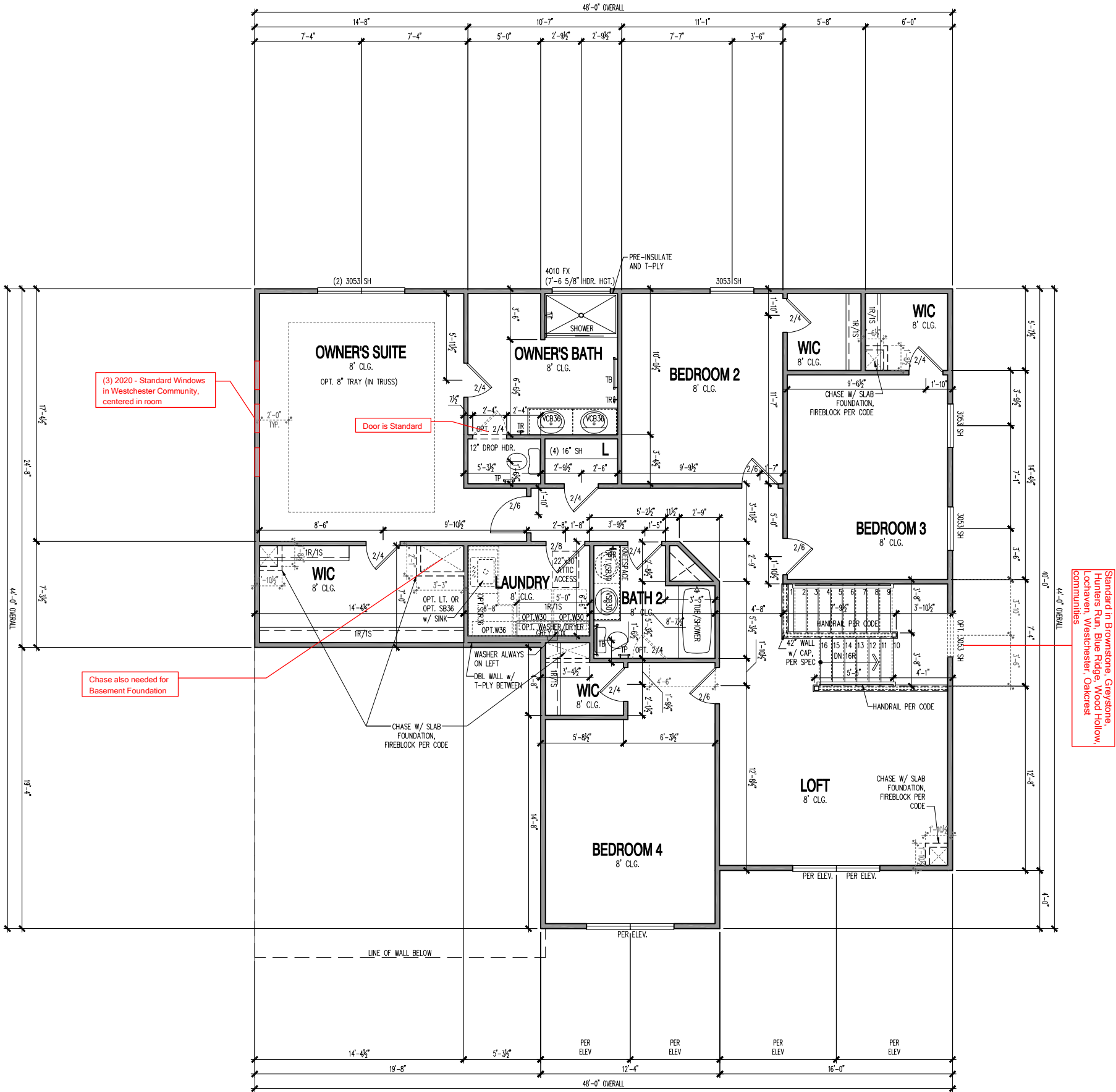
PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	01/18/2019
REV#	DATE/DESCRIPTION
1	01/18/2019
2	04/16/2019
3	11/27/2019
4	
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FLOORPLAN NOTES

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13. ALL REQUIRED GUARDRAILS AND GUARDWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-FLOOR WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



SECOND FLOOR PLAN - 4\"

SCALE: 1/4\"

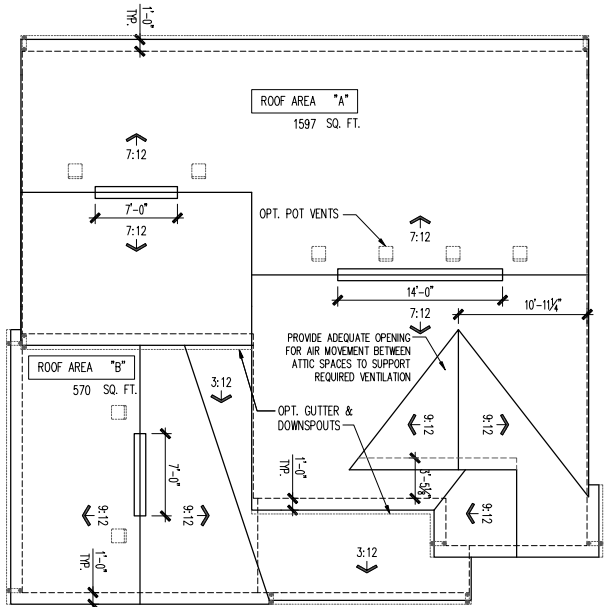
PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	01/18/2019
REV#	DATE/DESCRIPTION
1	01/18/2019
2	PLAN REFRESH
3	04/16/2019
4	PLAN REVISIONS
5	11/27/2019
6	PCR REVISIONS
7	
8	
9	
10	



Hilltop Heartland 3R

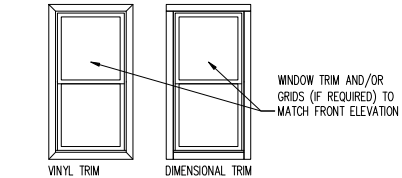






ROOF PLAN  
 SCALE: 1/8" = 1'-0"

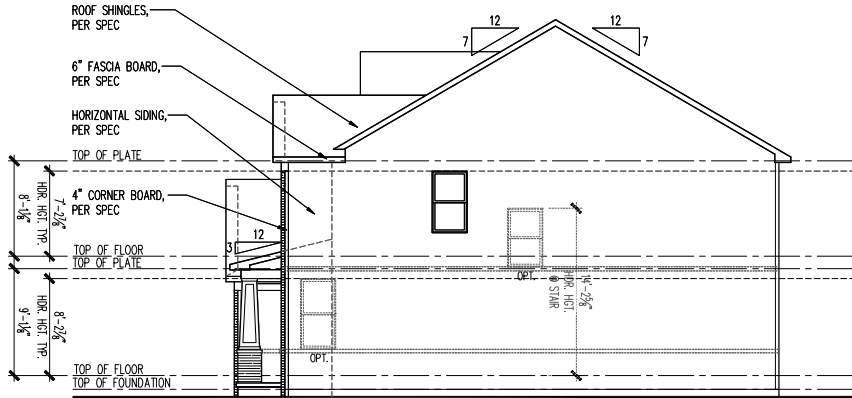
ATTIC VENT SCHEDULE									
Heartland 3R									
ROOF AREA "A"	SQ. FTG	1597	AT / NEAR RIDGE				AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SOLARBOR	FOR SMALL SOLARBOR	RIDGE VENT SOLARBOR	SAVE VENT SOLARBOR	CONT. VENT SOLARBOR	
WIND-UP VENT ONLY	2.13	2.44	2.44	47.28	4	0			
AT BATH	2.19	2.44	2.78	62.22			0	40.00	
TOTAL 1597	5.32	5.32	5.32	100.00					
WIND-UP VENT ONLY	2.13	2.44	2.44	45.97	0	0	21.00		
AT BATH	2.19	2.44	2.78	51.61			0	40.00	
TOTAL 570	5.32	5.32	5.40	100.00					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE									
ROOF AREA "B"	SQ. FTG	570	AT / NEAR RIDGE				AT / NEAR EAVE		
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	FOR LARGE SOLARBOR	FOR SMALL SOLARBOR	RIDGE VENT SOLARBOR	SAVE VENT SOLARBOR	CONT. VENT SOLARBOR	
WIND-UP VENT ONLY	0.76	0.96	0.88	43.36	2	0			
AT BATH	1.34	0.96	1.11	64.74			0	16.00	
TOTAL 570	1.90	1.90	1.96	100.00					
WIND-UP VENT ONLY	0.76	0.96	0.88	45.65	0	0	7.00		
AT BATH	1.34	0.96	1.04	64.36			0	16.00	
TOTAL 1597	1.90	1.90	1.92	100.00					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE									



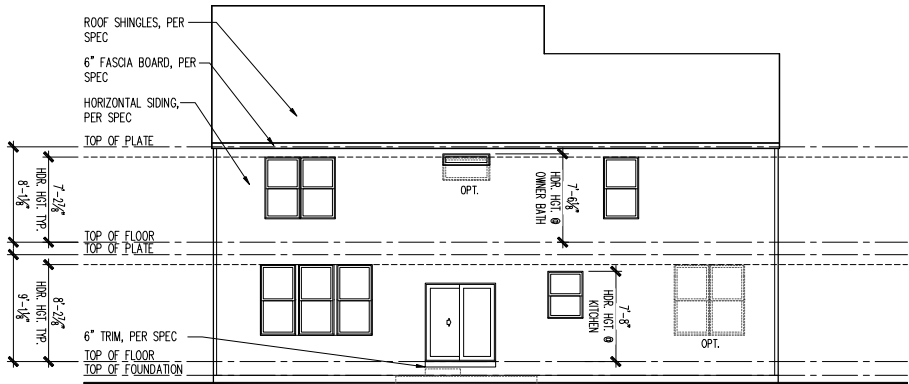
SIDE AND REAR WINDOWS PER  
 COMMUNITY SPECS  
 SCALE: 1/4" = 1'-0"



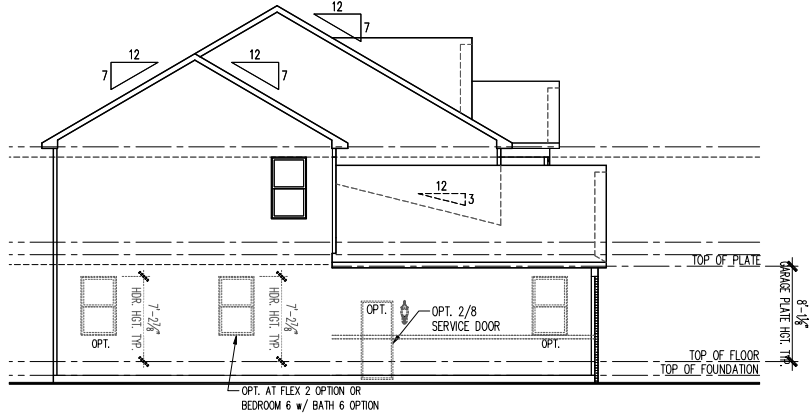
FRONT ELEVATION  
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	1/18/2019
REV#	DATE/DESCRIPTION
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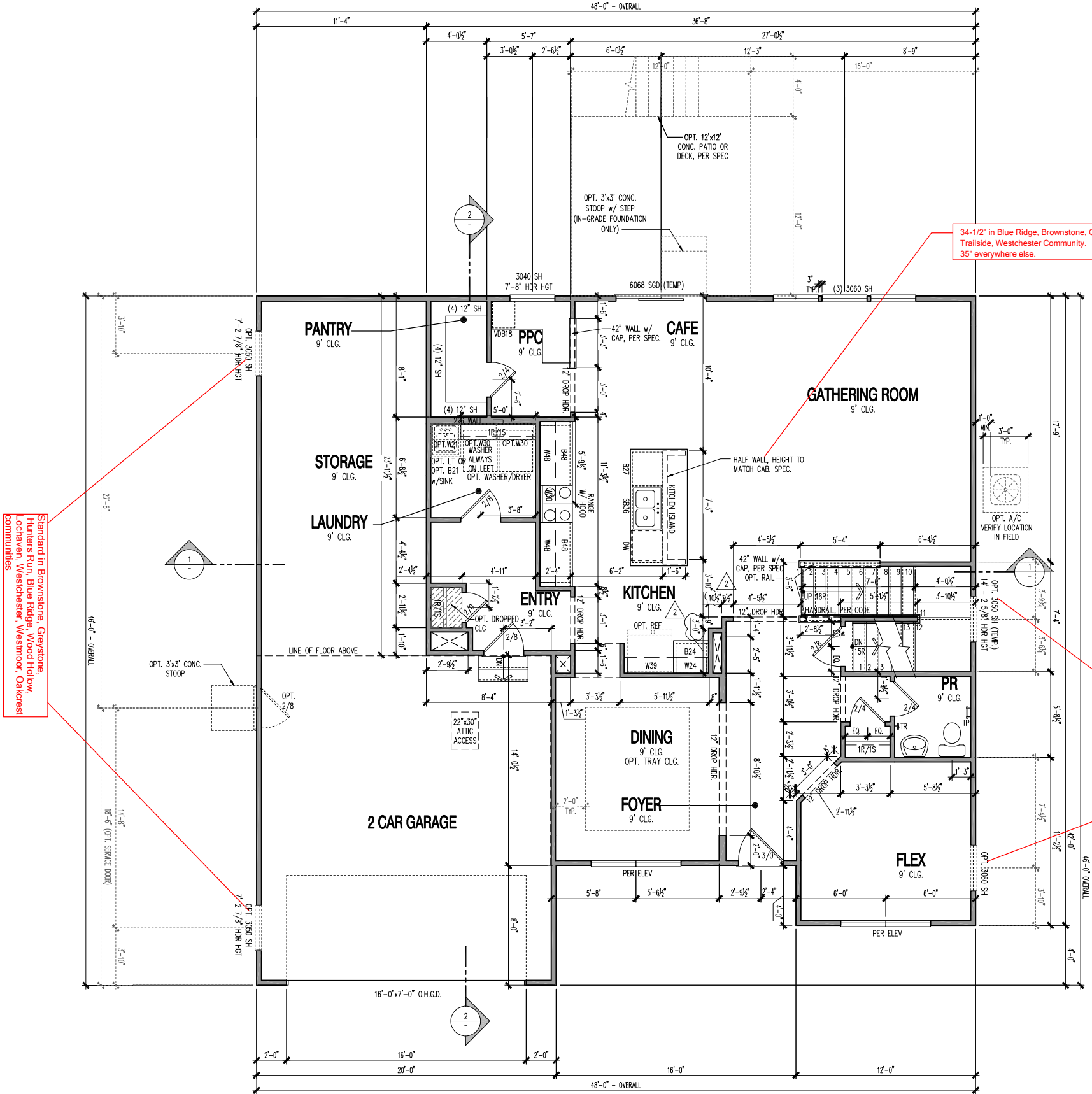
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3. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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6. ALL GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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8. PROVIDE 1/2" MAX. SHEATHING WITH TAPED JOINTS AS DRAFT STOP WITH BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS ADJACENT TO TUBS AND SHOWERS.
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Standard in Brownstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmoor, Oakcrest Communities

Standard in Brownstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmoor, Oakcrest Communities



FIRST FLOOR PLAN - 4' EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

Midwest Zone Office  
1900 Golf Road - Suite 300  
Schaumburg, Illinois 60173



First Floor Plan

4' Exterior Walls

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	DATE: 1/18/2019
REV#	DATE/DESCRIPTION
1	1/18/2019
2	PLAN REVISIONS
3	2/15/2019
4	PLAN UPDATES
5	11/27/2019
6	PCR REVISIONS
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8	
9	
10	

GARAGE HANDING  
Single Family

SPECIFICATION LEVEL

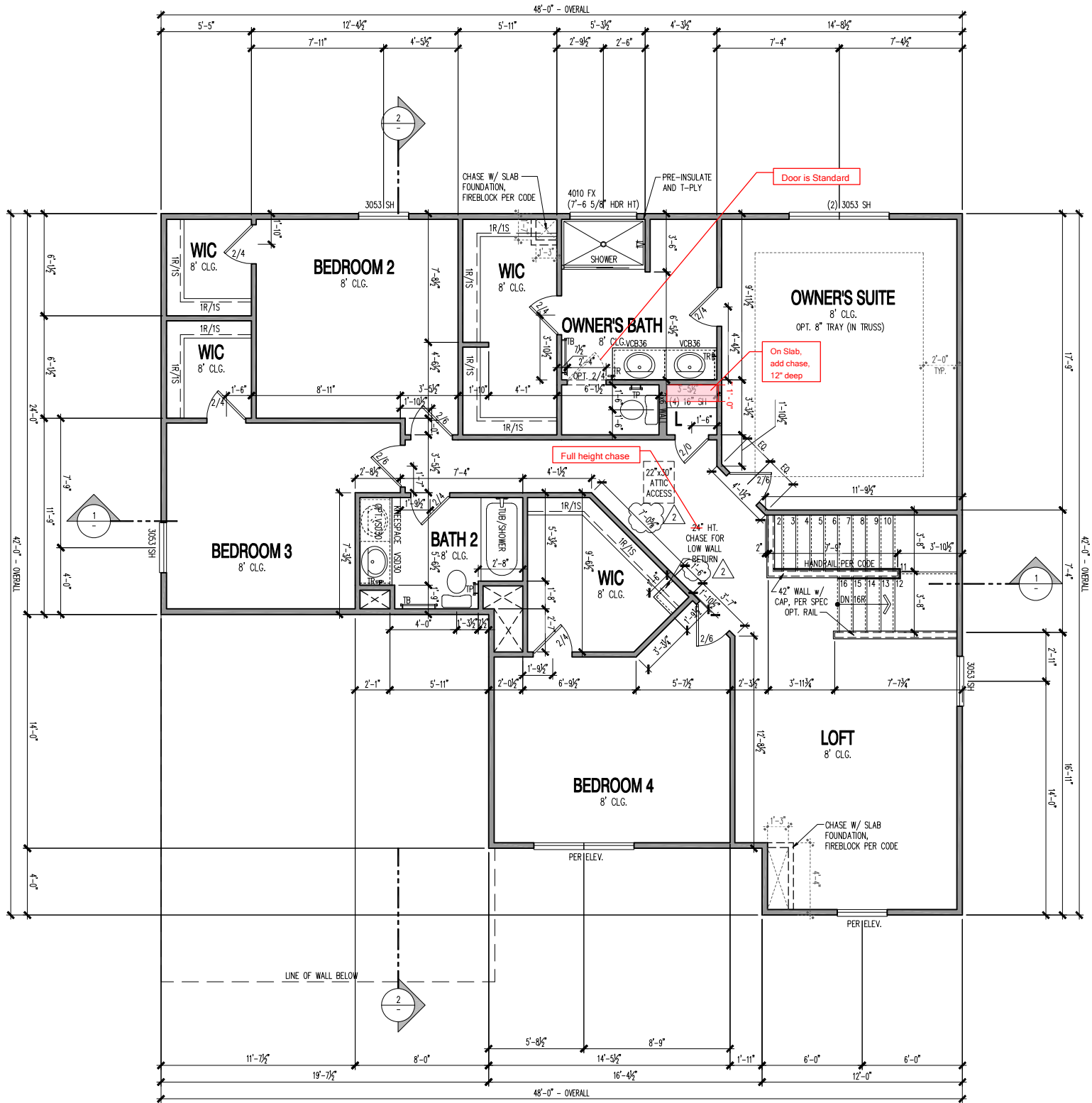
PLAN NAME  
Hilltop  
NPC CHILD NUMBER  
1851.302

SHEET  
A1  
4-1.1

FLOORPLAN NOTES

GENERAL SPECIFICATIONS

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SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

REV#	DATE/DESCRIPTION
1	1/18/2019 PLAN REVISIONS
2	2/15/2019 PLAN UPDATES
3	11/27/2019 PCR REVISIONS
4	
5	
6	
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Hilltop Heartland 1W









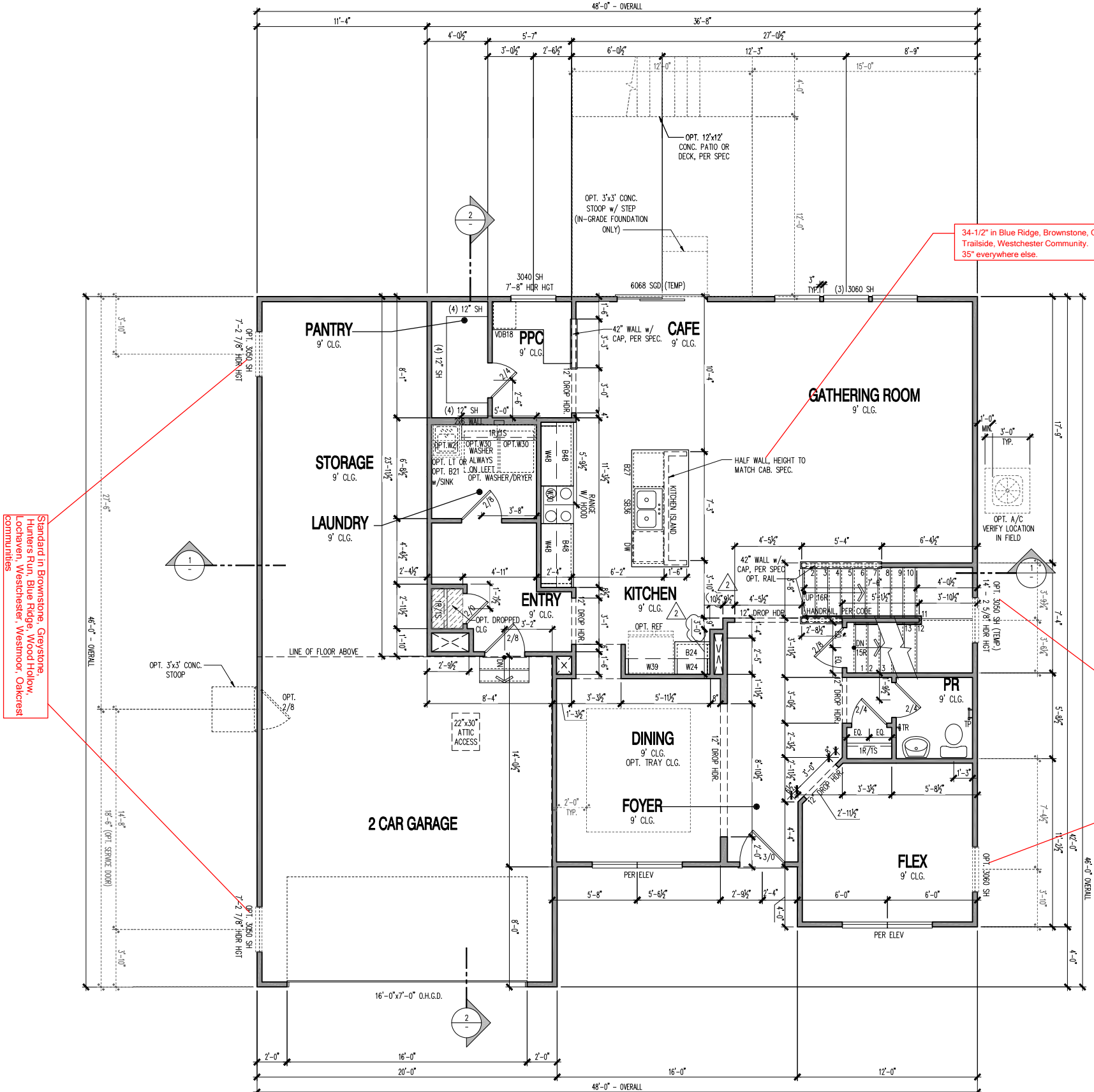
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Standard in Brownstone, Greystone, Hunters Run, Blue Ridge, Wood Hollow, Lochaven, Westchester, Westmoor, Oakcrest Communities



FIRST FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

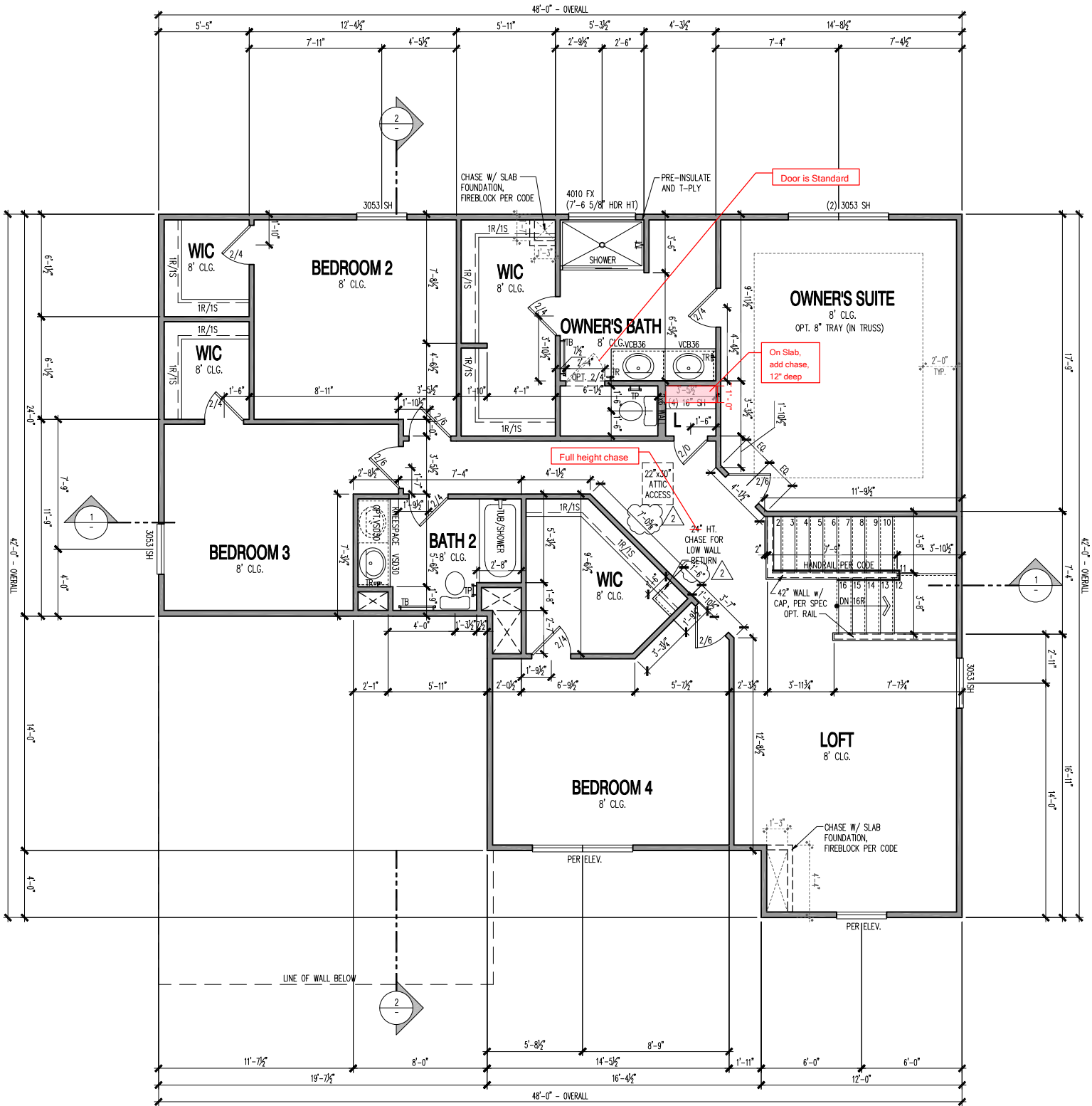
PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	DATE: 1/18/2019
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SECOND FLOOR PLAN - 4" EXTERIOR WALLS

SCALE: 1/4" = 1'-0"

PRODUCT MANAGER	Rick Starkey
INITIAL RELEASE	
DATE:	1/18/2019
REV#	DATE/DESCRIPTION
△	1/18/2019
△	PLAN REVISIONS
△	2/15/2019
△	PLAN UPDATES
△	11/27/2019
△	PCR REVISIONS
△	
△	
△	
△	

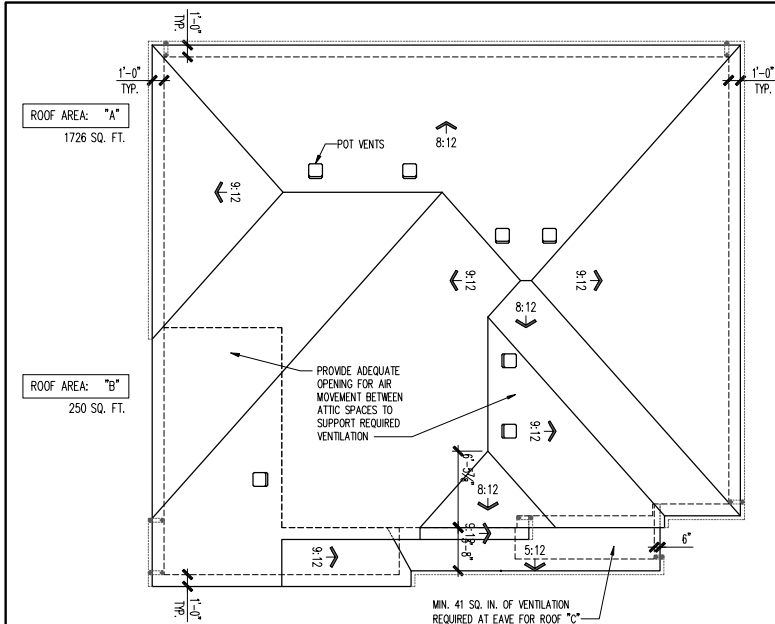


Greenfield Euro Country 2W-B





PLOTTED: December 2, 2019 / A3-EC2W-B 2FB.LWG  
 / Sean Lantry / A3-EC2W-B 2FB.LWG



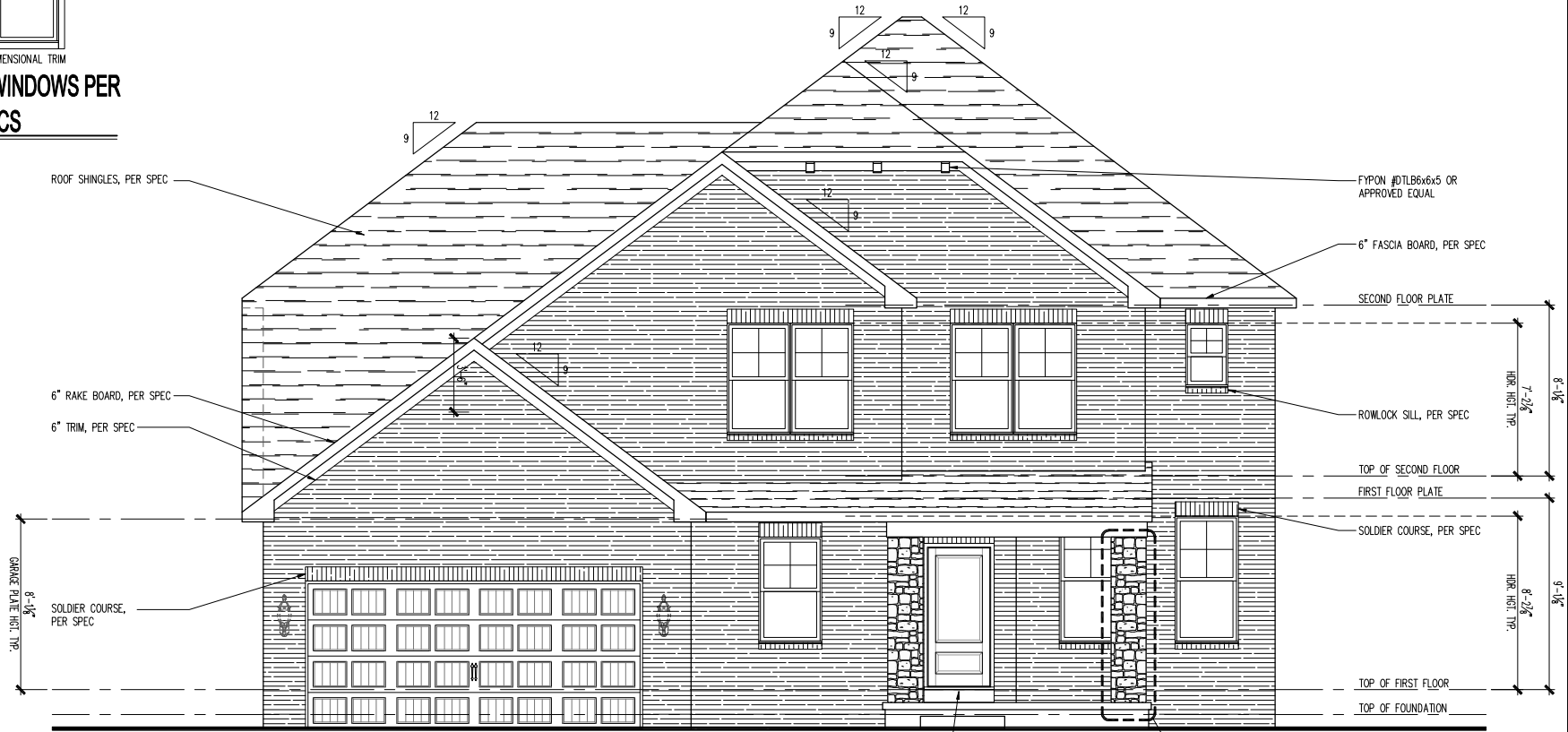
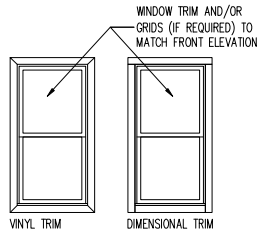
ROOF PLAN

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE									
VENTILATION REQUIREMENTS AND TYPICAL VALUES FOR POT VENT VALUES SHOWN IN TABLE ABOVE TO DETERMINE INSTALLING VENTILATION ARE RESPONSIBLE FOR VERIFYING THAT VENTS USED WILL SUPPLY VENTILATION TO ENTIRE ATTIC SPACE. IF OTHER THAN USED CALCULATED ASSUMING EAVE VENTILATION AT 30-40% OF TOTAL AND RIDGE AT 40-50% OF TOTAL REQUIRED VENTILATION.									
Euro Country 2W-B									
ROOF AREA "A"	SQ. FT. FIG	1726	AT / NEAR RIDGE			AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN.)	POT SMALL (SQ. IN.)	RIDGE VENT (SQ. IN.)	EAVE VENT (SQ. IN.)	CONT. VENT (SQ. IN.)	
HIGH-POT VENT ONLY	5.30	2.88	5.84	43.75	4	0			
AT EAVE	2.88	2.88	5.28	66.52			0	47.50	
TOTAL (sq. ft.)	5.75	5.75	5.81	100.00					
HIGH-RIDGE VENT	2.30	2.88	0.00	0.0000	0	0	0.00		
AT EAVE	3.45	2.88	0.00	0.0000			0	0.00	
TOTAL (sq. ft.)	5.75	5.75	0.00	0.0000					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE									
ROOF AREA "B"	SQ. FT. FIG	250	AT / NEAR RIDGE			AT / NEAR EAVE			
VENT TYPE	SQ. FT. REQUIRED RANGE	SQ. FT. SUPPLIED	PERCENT OF TOTAL SUPPLIED	POT LARGE (SQ. IN.)	POT SMALL (SQ. IN.)	RIDGE VENT (SQ. IN.)	EAVE VENT (SQ. IN.)	CONT. VENT (SQ. IN.)	
HIGH-POT VENT ONLY	0.33	0.42	0.42	46.84	1	0			
AT EAVE	0.33	0.42	0.49	53.44			0	7.50	
TOTAL (sq. ft.)	0.83	0.83	0.91	100.00					
HIGH-RIDGE VENT	0.33	0.42	0.00	0.0000	0	0	0.00		
AT EAVE	0.33	0.42	0.00	0.0000			0	0.00	
TOTAL (sq. ft.)	0.83	0.83	0.00	0.0000					
ADDITIONAL POT VENTS MAY BE REQUIRED IF THERE IS INSUFFICIENT RIDGE AVAILABLE									

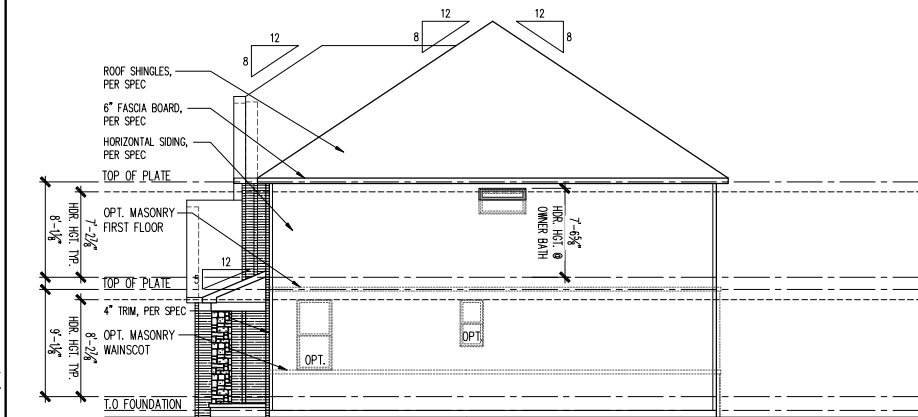
SIDE AND REAR WINDOWS PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"



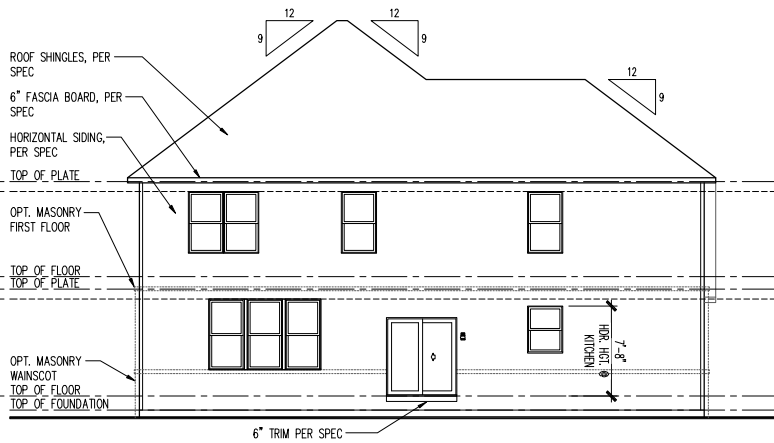
FRONT ELEVATION

SCALE: 1/4" = 1'-0"



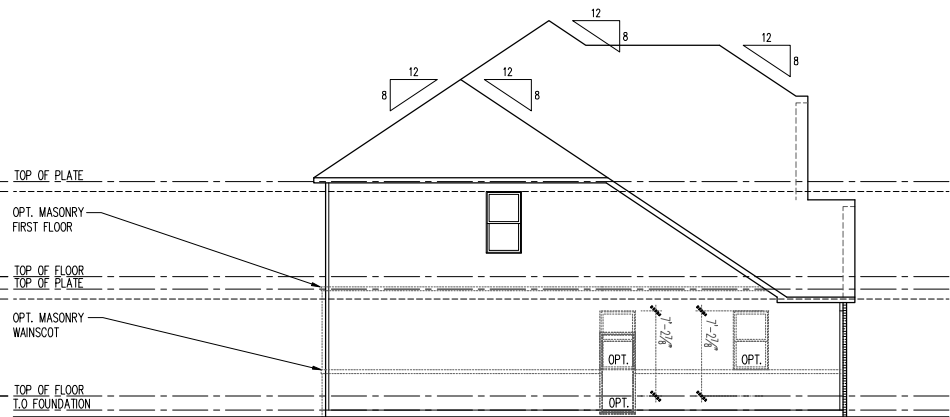
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

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Midwest Zone Office  
 1900 Golf Road - Suite 300  
 Schaumburg, Illinois 60173



Front, Side and Rear Elevations

2 Car Front Entry  
 Euro Country 2W-B

PRODUCT MANAGER Rick Starkey	
INITIAL RELEASE	
DATE: 01/18/2019	
REV#	DATE/DESCRIPTION
1	01/18/2019
2	PLAN REFRESH
3	11/27/2019
4	PCR REVISIONS
5	
6	
7	
8	
9	
10	

GARAGE HANDING  
 Single Family

SPECIFICATION LEVEL

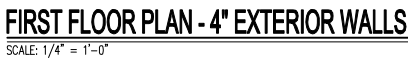
PLAN NAME  
 Greenfield  
 NPC CHILD NUMBER  
 1850.302

SHEET  
 A3-EC2W-B  
 2FB.1



### GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE
4. ALL BEARING WALLS OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x10 PLATE AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
8. PROVIDE FIRE SEPARATION BETWEEN DWELLING AND GARAGE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
9. PROVIDE 1/2" DRYWALL AT WALLS, CEILING AND UNDERSIDE OF STAIR ASSEMBLY ACCESSIBLE SPACE UNDER STAIRS IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
10. GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED BY THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE SHALL HAVE A PERMANENT DESIGNATION OR LABEL AFFIXED TO EACH PANE OF GLAZING BEARING THE MANUFACTURER'S LABEL SHOWING THE TYPE AND THICKNESS OF GLASS. FOR OTHER THAN TEMPERED GLASS, LABELS MAY BE OMITTED PROVIDED THE BUILDING OFFICIAL APPROVES THE USE OF A CERTIFICATE, AFFIDAVIT OR OTHER EVIDENCE CONFIRMING COMPLIANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
11. ALL TUBS AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT NOT LESS THAN 72" ABOVE THE FLOOR PER THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
12. PROVIDE THERMO-PLY SHEATHING AND BATT INSULATION FILLING ALL CAVITIES AT EXTERIOR WALLS SURROUNDING TUBS AND SHOWERS.
13. ALL REQUIRED GUARDRAILS AND GARDOWALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. GUARDS SHALL NOT BE LESS THAN 36" HIGH MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE AND NOT LESS THAN 34" HIGH MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS.
14. ALL REQUIRED HANDRAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH 4 OR MORE RISERS. HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34" OR MORE THAN 38" AS MEASURED VERTICALLY FROM THE SLOPED PLANE THAT ADJOINS THE TREAD NOSINGS AND SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE FLIGHT. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE NOT LESS THAN 1-1/2" BETWEEN THE WALL AND THE HANDRAIL.
15. BASEMENTS, HABITABLE ATTICS AND EVERY SLEEPING ROOM MUST HAVE AT LEAST ONE EMERGENCY ESCAPE OR RESCUE OPENING IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES. WHERE THE BASEMENT CONTAINS 1 OR MORE SLEEPING ROOMS, EMERGENCY ESCAPE OR RESCUE OPENINGS SHALL BE REQUIRED IN EACH SLEEPING ROOM. THE EMERGENCY ESCAPE OR RESCUE OPENING SHALL HAVE A CLEAR 5.7 SQUARE FEET OF OPEN AREA WITH A SILL HEIGHT OF NO MORE THAN 44" ABOVE THE FLOOR OR 5.0 SQUARE FEET OF OPEN AREA FOR GRADE-LEVEL WINDOWS. THE CLEAR OPENING SHALL A MINIMUM OF 24" OF OPENING HEIGHT AND 20" OPENING WIDTH. EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND LEVEL ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL AND LADDER IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODES.
16. FOR ADDITIONAL INFORMATION SEE STRUCTURAL DRAWINGS AND NOTES



SHEET  
A1  
4-1.1

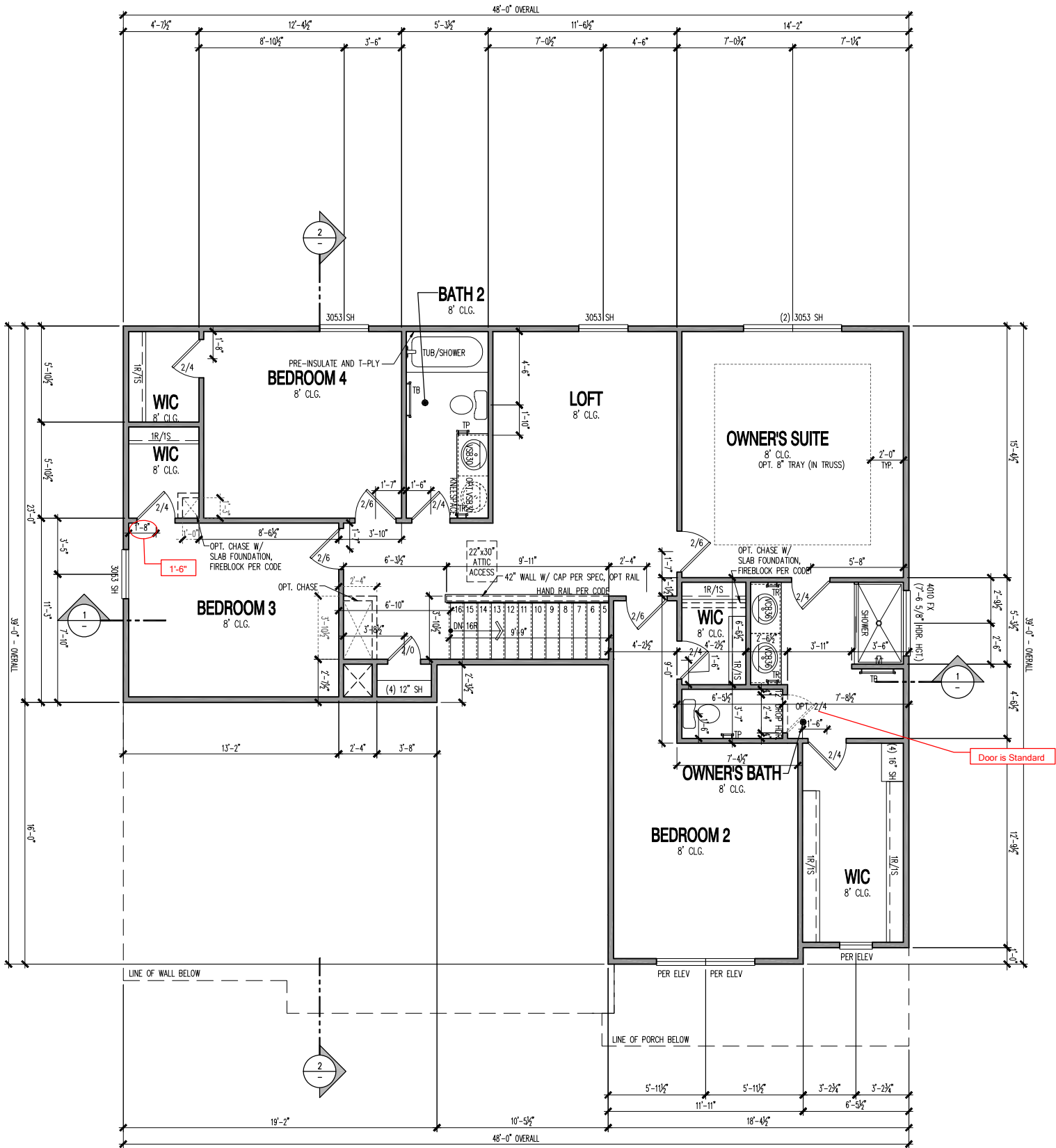
PLOTTED: November 7, 2019 / Nick Musidl / A1 4-1.1.DWG



FLOORPLAN NOTES

GENERAL SPECIFICATIONS

1. ALL ANGLED WALLS (OTHER THAN THOSE AT 90°) SHALL BE CONSIDERED TO BE AT 45° UNLESS NOTED OTHERWISE.
2. ALL STUDS AT EXTERIOR AND INTERIOR WALLS SHALL BE 2x4 UNLESS OTHERWISE NOTED.
3. ALL STUDS AT EXTERIOR WALLS AND INTERIOR BEARING WALLS TO BE FRAMED AT 16" O.C. UNLESS NOTED OTHERWISE.
4. ALL NON-BEARING WALLS, OTHER THAN IN THE KITCHEN AND PLANNING CENTERS, TO BE 2x4 STUDS AT 24" O.C. UNLESS OTHERWISE NOTED OR RESTRICTED BY LOCAL CODES OR ORDINANCES. KITCHEN AND PLANNING CENTER WALLS WHERE WALL CABINETS ARE TO BE HUNG SHALL BE FRAMED AT 16" O.C.
5. PROVIDE DOUBLE 2x TOP PLATES AT ALL LOAD BEARING WALLS.
6. PROVIDE SINGLE TOP PLATE AT ALL INTERIOR NON-LOADING BEARING WALLS.
7. PROVIDE A 1-3/8" OR LARGER SOLID CORE WOOD DOOR, SOLID CORE STEEL DOOR OR HONEYCOMB CORE STEEL DOOR, OR 20 MINUTE FIRE-RATED DOOR EQUIPPED WITH A SELF-CLOSING DEVICE BETWEEN GARAGE AND LIVING SPACE IN ACCORDANCE WITH THE CURRENTLY ADOPTED EDITION OF THE IRC OR APPLICABLE LOCAL CODE.
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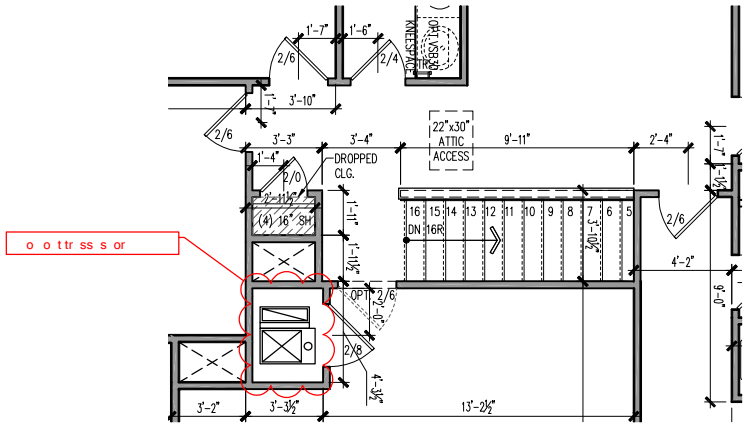


SECOND FLOOR PLAN - 4\"

SCALE: 1/4\"

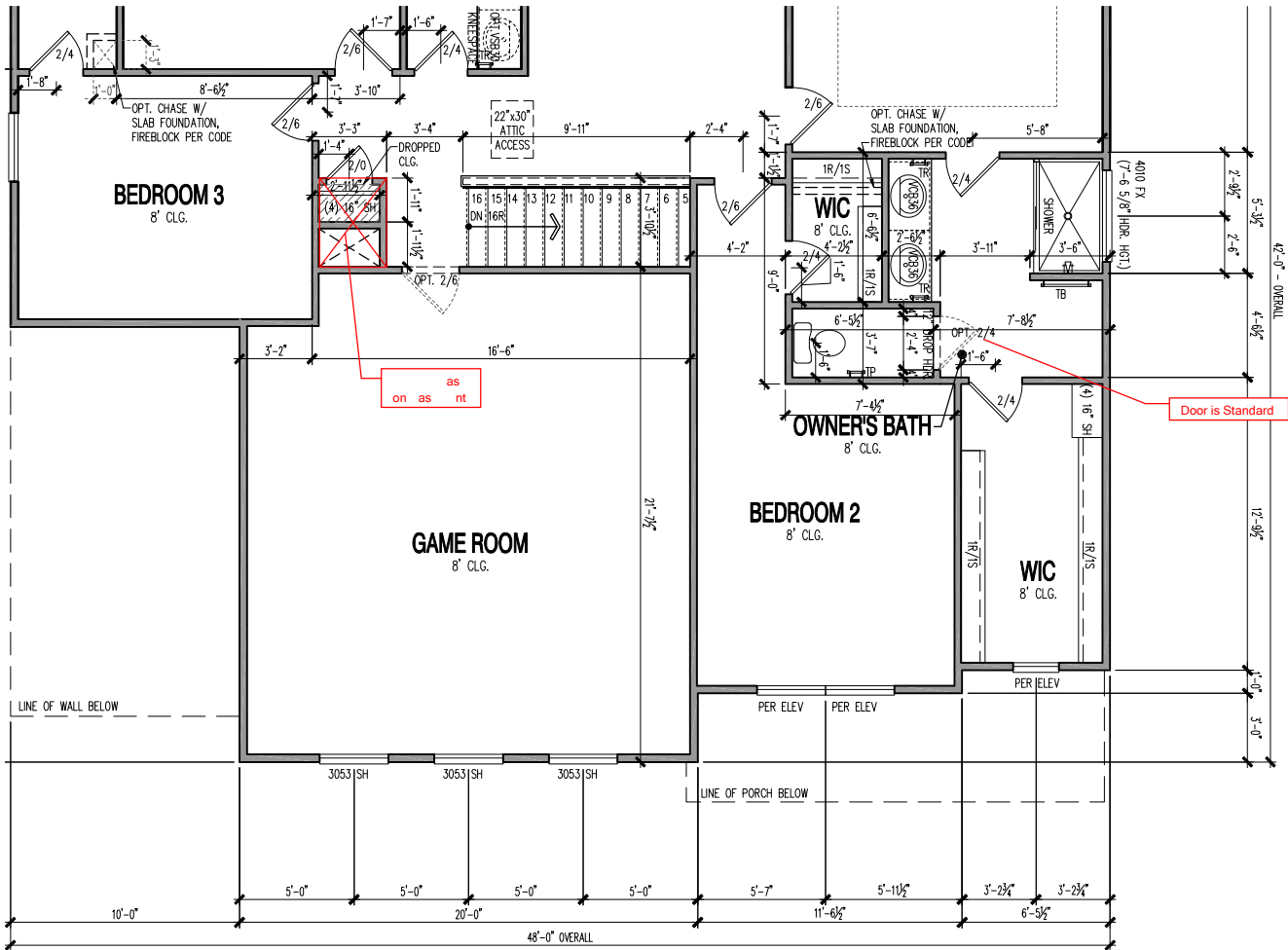
PRODUCT MANAGER Rick Starkey	
INITIAL RELEASE	
DATE: 01/18/2019	
REV#	DATE/DESCRIPTION
△	01/18/2019
△	PLAN REFRESH
△	11/27/2019
△	PCR REVISIONS
△	
△	
△	
△	
△	
△	





HVAC AT SLAB CONDITION w/ GAME ROOM OPTION

SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN - 4" EXTERIOR WALLS - GAME ROOM OPTION

SCALE: 1/4" = 1'-0"



Second Floor Plan  
 Options  
 4" Exterior Walls

PRODUCT MANAGER Rick Starkey	
INITIAL RELEASE	
DATE: 01/18/2019	
REV#	DATE/DESCRIPTION
1	01/18/2019
2	PLAN REFRESH
3	11/27/2019
4	PCR REVISIONS
5	
6	
7	
8	
9	
10	

GARAGE HANDING  
 Single Family

SPECIFICATION LEVEL  
 1

PLAN NAME
Greenfield
NPC CHILD NUMBER
1850.302

SHEET
A1
4-2.3