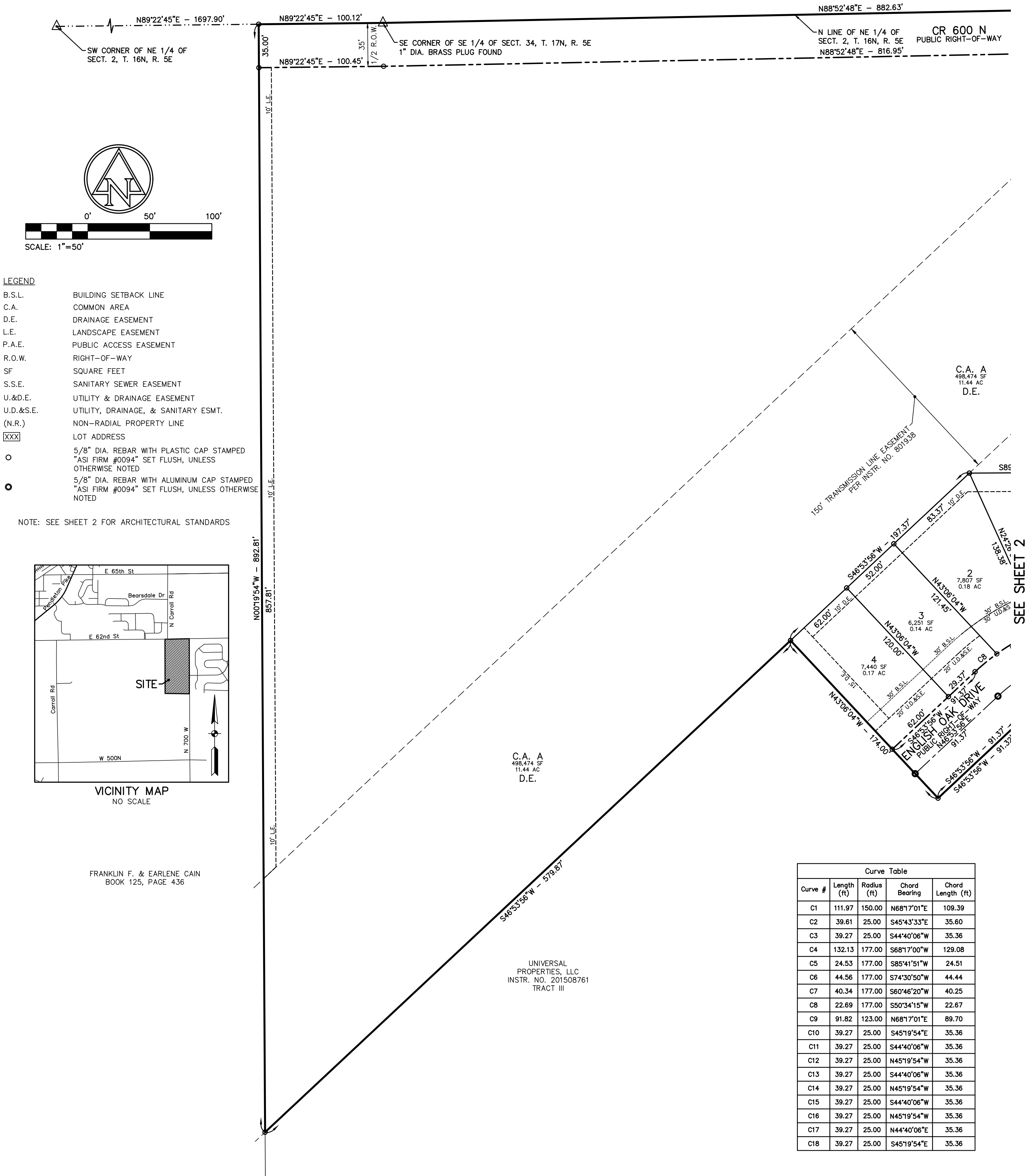


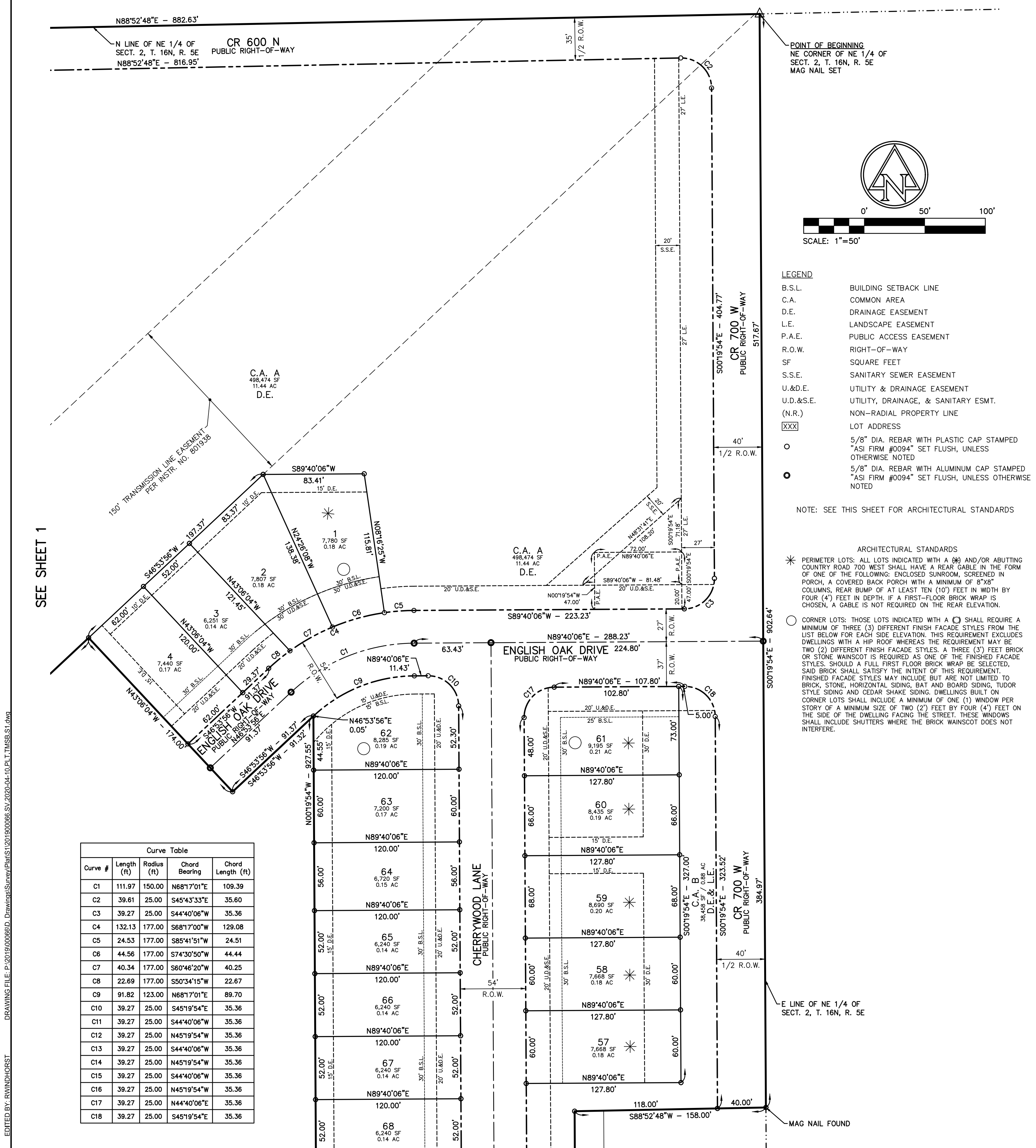
THE MEADOWS AT SAGEBROOK - SECTION 1
TOWN OF MCCORDSVILLE - SECONDARY PLAT
HANCOCK COUNTY - INDIANA

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 16 NORTH, RANGE 5 EAST



THE MEADOWS AT SAGEBROOK - SECTION 1
TOWN OF MCCORDSVILLE - SECONDARY PLAT
HANCOCK COUNTY - INDIANA

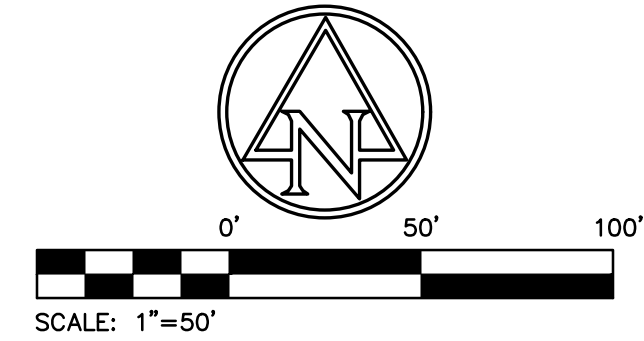
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THE MEADOWS AT SAGEBROOK - SECTION 1
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HANCOCK COUNTY - INDIANA

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 16 NORTH, RANGE 5 EAST

SEE SHEET 2

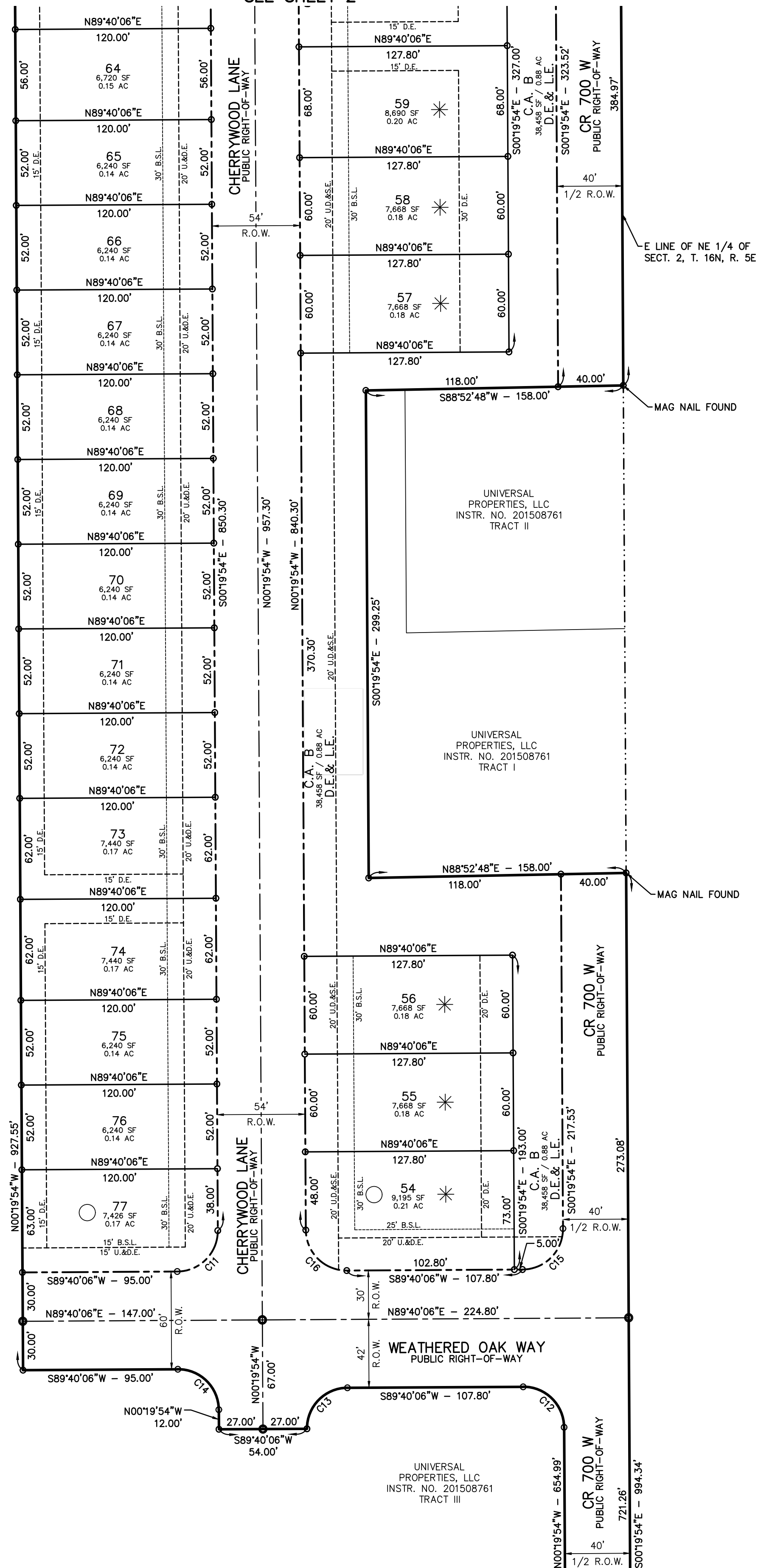


LEGEND

- B.S.L. BUILDING SETBACK LINE
C.A. COMMON AREA
D.E. DRAINAGE EASEMENT
L.E. LANDSCAPE EASEMENT
P.A.E. PUBLIC ACCESS EASEMENT
R.O.W. RIGHT-OF-WAY
SF SQUARE FEET
S.S.E. SANITARY SEWER EASEMENT
U.&D.E. UTILITY & DRAINAGE EASEMENT
U.D.&S.E. UTILITY, DRAINAGE, & SANITARY ESMT.
(N.R.) NON-RADIAL PROPERTY LINE
XXX LOT ADDRESS
○ 5/8" DIA. REBAR WITH PLASTIC CAP STAMPED
"ASI FIRM #0094" SET FLUSH, UNLESS
OTHERWISE NOTED
● 5/8" DIA. REBAR WITH ALUMINUM CAP STAMPED
"ASI FIRM #0094" SET FLUSH, UNLESS OTHERWISE
NOTED

NOTE: SEE SHEET 2 FOR ARCHITECTURAL STANDARDS

UNIVERSAL
PROPERTIES, LLC
INSTR. NO. 201508761
TRACT III



SEE SHEET 4

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INDIANA NO. 20500025

DEVELOPER:
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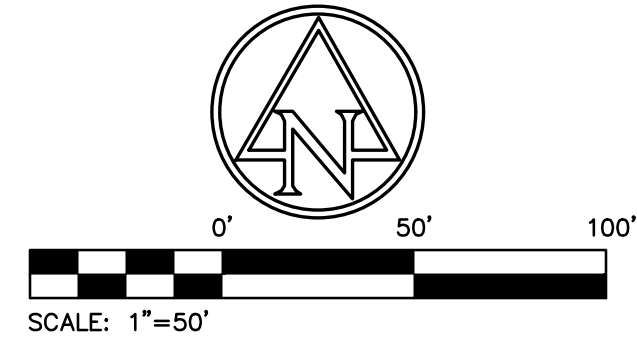
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SHEET
3 of 5

THE MEADOWS AT SAGEBROOK - SECTION 1
TOWN OF MCCORDSVILLE - SECONDARY PLAT
HANCOCK COUNTY - INDIANA

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 16 NORTH, RANGE 5 EAST

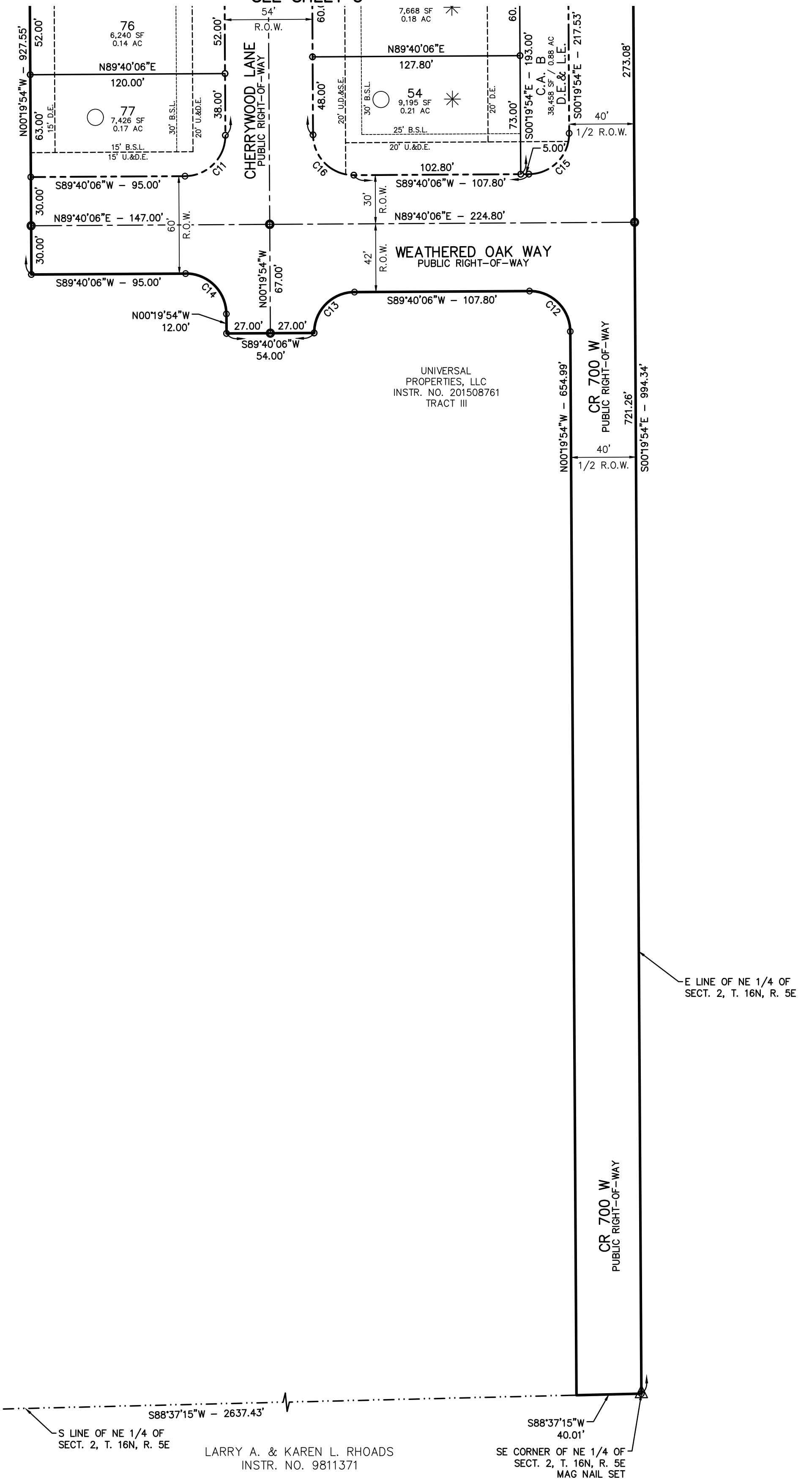
SEE SHEET 3



LEGEND

- B.S.L. BUILDING SETBACK LINE
C.A. COMMON AREA
D.E. DRAINAGE EASEMENT
L.E. LANDSCAPE EASEMENT
P.A.E. PUBLIC ACCESS EASEMENT
R.O.W. RIGHT-OF-WAY
SF SQUARE FEET
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○ 5/8" DIA. REBAR WITH PLASTIC CAP STAMPED
"ASI FIRM #0094" SET FLUSH, UNLESS
OTHERWISE NOTED
● 5/8" DIA. REBAR WITH ALUMINUM CAP STAMPED
"ASI FIRM #0094" SET FLUSH, UNLESS OTHERWISE
NOTED

NOTE: SEE SHEET 2 FOR ARCHITECTURAL STANDARDS



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SHEET
4 of 5

THE MEADOWS AT SAGEBROOK - SECTION 1
TOWN OF MCCORDSVILLE - SECONDARY PLAT
HANCOCK COUNTY - INDIANA

PART OF THE NORTHEAST QUARTER OF SECTION 2, TOWNSHIP 16 NORTH, RANGE 5 EAST

LEGAL DESCRIPTION

Part of the Northeast Quarter of Section 2, Township 16 North, Range 5 East of the Second Principal Meridian, Hancock County, Indiana, more particularly described as follows:

BEGINNING at a mag nail at the northeast corner of said Northeast Quarter; thence South 0 degrees 19 minutes 54 seconds East 902.64 feet along the east line of said Northeast Quarter (basis of bearings is the Indiana Geospatial Coordinate System, Hancock Zone) to a mag nail at the northeast corner of Tract II as described in Instrument Number 201508761, on file in the Office of the Recorder of Hancock County, Indiana; thence South 88 degrees 52 minutes 48 seconds West 158.00 feet along the north line of said Tract II and the north line of Tract I as described in said Instrument Number 201508761 to a 5/8-inch diameter rebar with a cap stamped "ASI FIRM #0094" set flush (hereafter referred to as "set rebar") at the northwest corner of said Tract I, the following two (2) courses are along the west and south lines thereof: 1)thence South 00 degrees 19 minutes 54 seconds East 299.25 feet to a set rebar; 2)thence North 88 degrees 52 minutes 48 seconds East 158.00 feet to mag nail on the east line of said Northeast Quarter; thence South 00 degrees 19 minutes 54 seconds East 994.34 feet along said east line to a mag nail at the southeast corner of said Northeast Quarter; thence North 88 degrees 37 minutes 15 seconds East 40.01 feet along the south line of said Northeast Quarter to a set rebar; thence North 00 degrees 19 minutes 54 seconds West 654.99 feet to a set rebar; thence westerly 39.27 feet along a curve to the left having a radius of 25.00 feet and subtended by a long chord having a bearing of North 45 degrees 19 minutes 54 seconds west and a length of 35.36 feet to a set rebar; thence South 89 degrees 40 minutes 06 seconds West 107.80 feet to a set rebar; thence westerly 39.27 feet along a curve to the left having a radius of 25.00 feet and subtended by a long chord having a bearing of South 44 degrees 40 minutes 06 seconds West and a length of 35.36 feet to a set rebar; thence South 89 degrees 40 minutes 06 seconds West 54.00 feet to a set rebar; thence North 00 degrees 19 minutes 54 seconds West 12.00 feet to a set rebar; thence westerly 39.27 feet along a curve to the left having a radius of 25.00 feet and subtended by a long chord having a bearing of North 45 degrees 19 minutes 54 seconds West and a length of 35.36 feet to a set rebar; thence South 89 degrees 40 minutes 06 seconds West 95.00 feet to a set rebar; thence North 00 degrees 19 minutes 54 seconds West 927.55 feet to a set rebar; thence South 46 degrees 53 minutes 56 seconds West 91.32 feet to a set rebar; thence North 43 degrees 06 minutes 04 seconds West 174.00 feet to a set rebar on the southeast line of the Transmission Line Easement described in Instrument Number 801938, on file in the Office of said recorder; thence South 46 degrees 53 minutes 56 seconds West 579.87 feet along said southeast line to a set rebar; thence North 00 degrees 19 minutes 54 seconds West 892.81 feet to a set rebar on the north line of said Northeast Quarter; thence North 89 degs 22 minutes 45 seconds East 100.12 feet to a brass plug at the southeast corner of the Southeast Quarter of Section 34, Township 17 North, Range 5 East; thence North 88 degrees 52 minutes 48 seconds East 882.63 feet along said north line to the POINT OF BEGINNING. Containing 21.764 acres, more or less.

SURVEYOR'S CERTIFICATE

I, the undersigned Registered Land Surveyor, do hereby certify that I am a Registered Land Surveyor, licensed in compliance with the laws of the State of Indiana and that I have conducted a survey under my direct supervision and to the best of my professional knowledge, information and belief this plat is an accurate representation of that survey and that all monuments shown thereon actually exist; and that all other requirements specified herein, done by me, have been met; and that the real estate is described as follows

This subdivision consists of 28 lots, numbered 1 through 4, 54 through 77 and Common Areas "A" and "B". The dimensions are shown in feet and decimal points thereof. Area within the subdivision dedicated to Town of McCordsville County for use of dedicated street right-of-way is 4.801 acres more or less

I further certify that to the best of my professional knowledge, information and belief this subdivision plat contains no changes from the matters of survey revealed by the survey recorded as Instrument Number _____ in the Office of the Recorder of Hancock County, Indiana,

Michael J. Smith
Professional Surveyor
Indiana Registration License No. 20500025

The drainage easements shown are created and established by this plat as regulated drain easements and are under control of the Hancock County Drainage Board. Any approved drainage tile, storm sewer or accessory thereto located within said easement is under the control of the Hancock County Drainage Board.

TOWN APPROVAL
MCCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission the ____ day of _____, 2020, under the authority provided by:

Signature Signature
Signature Signature

THE MEADOWS OF SAGEBROOK PUD AS AMENDED
ORDINANCE # 12019A

Recorded in the Hancock County Recorder's office on the _____26th day of March, 2020 and recorded in the Hancock county recorder's office as Instrument # 202003533.

BULK STANDARDS

- Front yard setback: 30'
- Side yard setback: 5'
- Corner lot side yard setback: 15'
- Aggregate side yard setback: 10'
- Rear yard setback: 15'
- Minimum lot area: 6,240 sft
- Minimum lot width: fifty-two (52') feet measured at a point thirty (30') feet from the street right-of-way
- Minimum living floor area:
 - Single-story dwellings: 1,500 sft
 - Multi-story dwellings: 1,800 sft
- Max building height: 35'

CERTIFICATE OF OWNERSHIP

We the undersigned, Arbor Homes, being the owners of the real estate shown and described herein, do hereby certify that we have laid off, platted and subdivided, and do hereby lay off, plat and subdivide, said real estate in accordance with the within plat.

This subdivision shall be known and designated as The Meadows at Sagebrook, Section 1, an addition in Hancock County, Indiana. All streets shown on this plat and not heretofore dedicated are hereby dedicated to the public.

I, do hereby certify that the real estate as described shall be known as The Meadows at Sagebrook, Section 1.

Curtis A. Rector
President, Arbor Homes

STATE OF INDIANA)
) SS:
COUNTY OF _____)

Before me, the undersigned, a notary public in for said county and state, personally appeared Curtis A. Rector, President of Arbor Homes, and acknowledged the execution of the forgoing secondary plat, for and on behalf of Arbor Homes.

Given under my hand and notarial seal this ____ day of _____, 2020.

Notary Public
Resident of _____ County

My Commission Expires: _____
Printed Name: _____

DRAINAGE COVENANT

A petition addressed to the McCordsville drainage board has been filed in duplicate with the McCordsville Town engineer, requesting that the subdivision's storm drainage system and its easements be accepted into the regulated drain system. channels, tile drains 8-inch or larger, inlets and outlets of detention and retention ponds, and appurtenances thereto within designated drain easements are extensions of the McCordsville's stormwater drainage system and are the responsibility of the McCordsville drainage board and/or the McCordsville public works commissioner. Drainage swales and tile drains less than 8-inch in inside diameter shall be the responsibility of the property owner or homeowner association. The storm drainage system and its easements that are accepted into the regulated drainage system are delineated on the plat as regulated drainage easements (RDE's). Regulated drainage easements are stormwater easements and drainage rights of way that are hereby dedicated to the public and to McCordsville, Indiana, for the sole and exclusive purpose of controlling surface water and/or for installation, operation, and maintenance of storm sewers and tile drains as defined in McCordsville stormwater management ordinance. These drainage easements are established under authority of the Indiana drainage code and the said board may exercise powers and duties as provided in said all other storm drainage easements have not been accepted into the town's system. All drainage improvements performed relative to the conveyance of stormwater runoff and the perpetual maintenance thereof, with the latter easements, shall be the responsibility of the owner or homeowner association. The drainage board assumes no responsibility relative to said improvements or the maintenance thereof this subdivision contains _____ linear feet of open ditches and _____ feet of subsurface drains that will be included in the town's regulated drainage system.

Supplementary Declaration -- This plat, together with all lots, streets, common areas, and real estate described herein is subject in all respects to the declaration of covenants conditions and restrictions of The Meadows at Sagebrook set forth on the plat of The Meadows at Sagebrook recorded with the recorder of Hancock County, Indiana in slide cabinet _____ instrument # _____ (the "covenants"), and this constitutes a supplement declaration within the meaning of the covenants.

ACCEPTANCE OF DEED OF DEDICATION

We, the undersigned, Arbor Homes, owners of the real estate shown and described on the plat here to for recorded in the Hancock County Recorder's office on the ____ day of _____, 2020 and recorded in the Hancock County Recorder's office as Instrument # _____ slide _____ and cabinet ____ do hereby certify that we have laid off, platted and subdivided, said real estate in accordance with the within plat. We do further certify that this plat is made and submitted with our free consent and desires.

This subdivision shall be known and designated as The Meadows at Sagebrook, Section 1. All streets shown and not heretofore dedicated are hereby dedicated to the public.

Front yard building setback lines are hereby established as shown on this plat, between which lines and the property lines of the street, there shall be erected or maintained no building or structure.

The HOA shall be solely responsible for all snow plowing of the internal subdivision streets.

The HOA shall be solely responsible for all landscaping and landscape maintenance within the median. The Town of McCordsville may exercise its rights to address any health, safety or wellness concerns caused by the landscaping.

Landscape islands in Weathered Oak Way to be maintained by HOA.

A perpetual utility easement is hereby granted to any private or public utility or municipal department, their successors and assigns, within the area shown on the plat and marked "utility easement", to install, lay, construct, renew, operate, maintain and remove conduits, cables, pipes, poles and wires, overhead mid underground, with all necessary braces, guys, anchors and other equipment for the purpose of serving the subdivision with telephone, internet, cable tv, electric and gas, sewer and water service as a part of the respective utility systems; also is granted (subject to the prior rights of the public therein or other governing codes and ordinances) the right to use the streets and lots with aerial service wires to serve adjacent lots and street lights, the right to cut down and remove or trim, and keep trimmed any trees or shrubs that interfere or threaten to interfere with any of the said private or public utility equipment, and the right is hereby granted to enter upon the lots at all times for all of the purpose aforesaid. No permanent structures, fences, or trees shall be placed on said area as shown on the plat and marked "utility easement," but same may be used for gardens, shrubs, landscaping and other purposes that do not then or later interfere with the aforesaid user or the rights herein granted.

In addition, this deed shall dedicate to the Town of McCordsville, Indiana, any and all sewer infrastructure installed for, by or on behalf of the undersigned, said infrastructure to include but not be limited to the sewer collection system, force main, lift station, or any other component part of the sewer system which serves the subject subdivision.

The right to enforce these provisions by injunction together with the right to cause the removal, by due process of law, of any structure or part thereof erected, or maintained in violation hereof is hereby maintained in violation hereof, is hereby dedicated to the Town of McCordsville, Indiana. its assigns or designated agent or representative.

Be it resolved by the McCordsville Town Council, McCordsville, Indiana, that the dedications shown on this plat are hereby approved and accepted this day ____ of _____, 2020.

I affirm, under penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.
Michael J. Smith

MICHAEL J. SMITH
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9025 RIVER ROAD, SUITE 200
INDIANAPOLIS, INDIANA 46240
(317) 547-5580
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INDIANA NO. 20500025

DEVELOPER:
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5 of 5

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