

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
LENNAR HOMES OF INDIANA, INC.
9025 NORTH RIVER ROAD, SUITE 100
INDIANAPOLIS, IN 46240
PHONE: (317) 659-3200

ZONED McCORD POINTE AMENDED PUD ORDINANCE NO.
101017B, AN ORDINANCE AMENDING THE TOWN OF
McCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

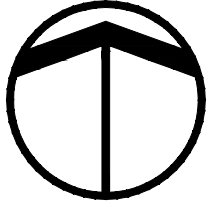
DEVELOPMENT STANDARDS

MAXIMUM NUMBER OF LOTS
MINIMUM LOT AREA
MINIMUM LOT WIDTH
AT BUILDING LINE
MINIMUM FRONT YARD SETBACK
MINIMUM SIDE YARD SETBACK
MINIMUM REAR YARD SETBACK
MINIMUM LIVABLE FLOOR AREA

MIN. GROUND FLOOR LIVING AREA
MAXIMUM LOT COVERAGE
MAXIMUM HEIGHT - PRINCIPAL

AREA "B"
135
9,000 SQ. FT

70
25 FEET
7.5 FEET
25 FEET
1,500 SF (SINGLE STORY)
1,800 SF (MULTI STORY)
900 SF (MULTI STORY)
40%
35 FEET



Assumed North

0 100' 200' 400'

Scale: 1" = 200'



SHEET 3

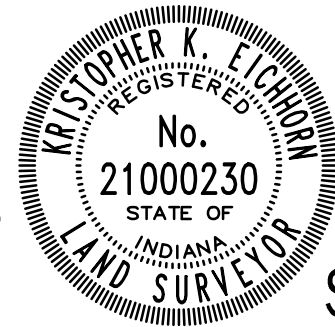
McCORD POINTE SECTION 2

Site Map

SCALE: 1" = 200'

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 4 FOR LAND DESCRIPTION

Kristopher K. Eichhorn
Professional Surveyor No. 21000230



SHEET 1 OF 4

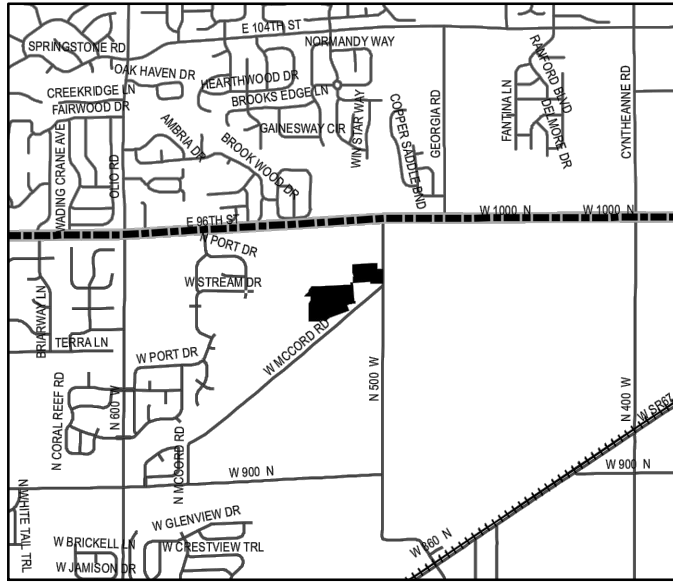
INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____



Assumed North



Vicinity Map

Not to Scale

McCORD POINTE SECTION 4

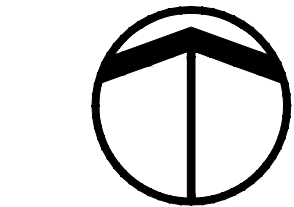
SECONDARY PLAT

TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

Curve Table

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	31.42'	20.00'	28.28'	S45°13'35"W	90°00'00"
C-2	31.42'	20.00'	28.28'	N44°46'25"W	90°00'00"
C-3	193.21'	123.00'	173.95'	S44°46'22"E	90°00'07"
C-4	235.62'	150.00'	212.14'	S44°46'22"E	90°00'07"
C-5	61.20'	177.00'	60.90'	S79°52'04"E	19°48'43"
C-6	61.20'	177.00'	60.90'	S09°40'40"E	19°48'43"
C-7	43.51'	50.00'	42.15'	N05°20'40"E	49°51'21"
C-8	130.98'	50.00'	96.61'	S44°46'22"E	150°05'25"
C-9	43.51'	50.00'	42.15'	S85°06'37"W	49°51'21"
C-10	27.59'	123.00'	27.53'	N06°11'51"W	12°51'05"
C-11	33.64'	150.00'	33.57'	N06°11'51"W	12°51'05"
C-12	39.70'	177.00'	39.62'	N06°11'51"W	12°51'05"
C-13	31.42'	20.00'	28.28'	N57°37'24"W	90°00'02"
C-14	32.76'	20.00'	29.22'	S34°18'11"W	93°51'07"
C-15	61.24'	273.00'	61.11'	N83°48'08"E	12°51'08"
C-16	67.29'	300.00'	67.15'	N83°48'08"E	12°51'07"
C-17	73.35'	327.00'	73.20'	N83°48'08"E	12°51'08"
C-18	25.47'	273.00'	25.46'	S83°54'06"W	5°20'43"
C-19	48.16'	300.00'	48.11'	S81°58'31"W	9°11'52"
C-20	52.50'	327.00'	52.44'	S81°58'31"W	9°11'53"
C-21	43.57'	173.00'	43.45'	N79°21'36"E	14°25'42"
C-22	80.27'	200.00'	79.73'	N75°04'34"E	22°59'47"
C-23	73.91'	227.00'	73.59'	N77°14'47"E	18°39'20"
C-24	31.43'	50.00'	30.91'	S85°55'31"W	36°00'49"
C-25	40.98'	50.00'	39.85'	N48°39'48"E	46°57'54"
C-26	225.80'	50.00'	77.30'	N25°26'36"W	258°45'05"



Assumed North

0 25 50 100

Scale: 1" = 50'

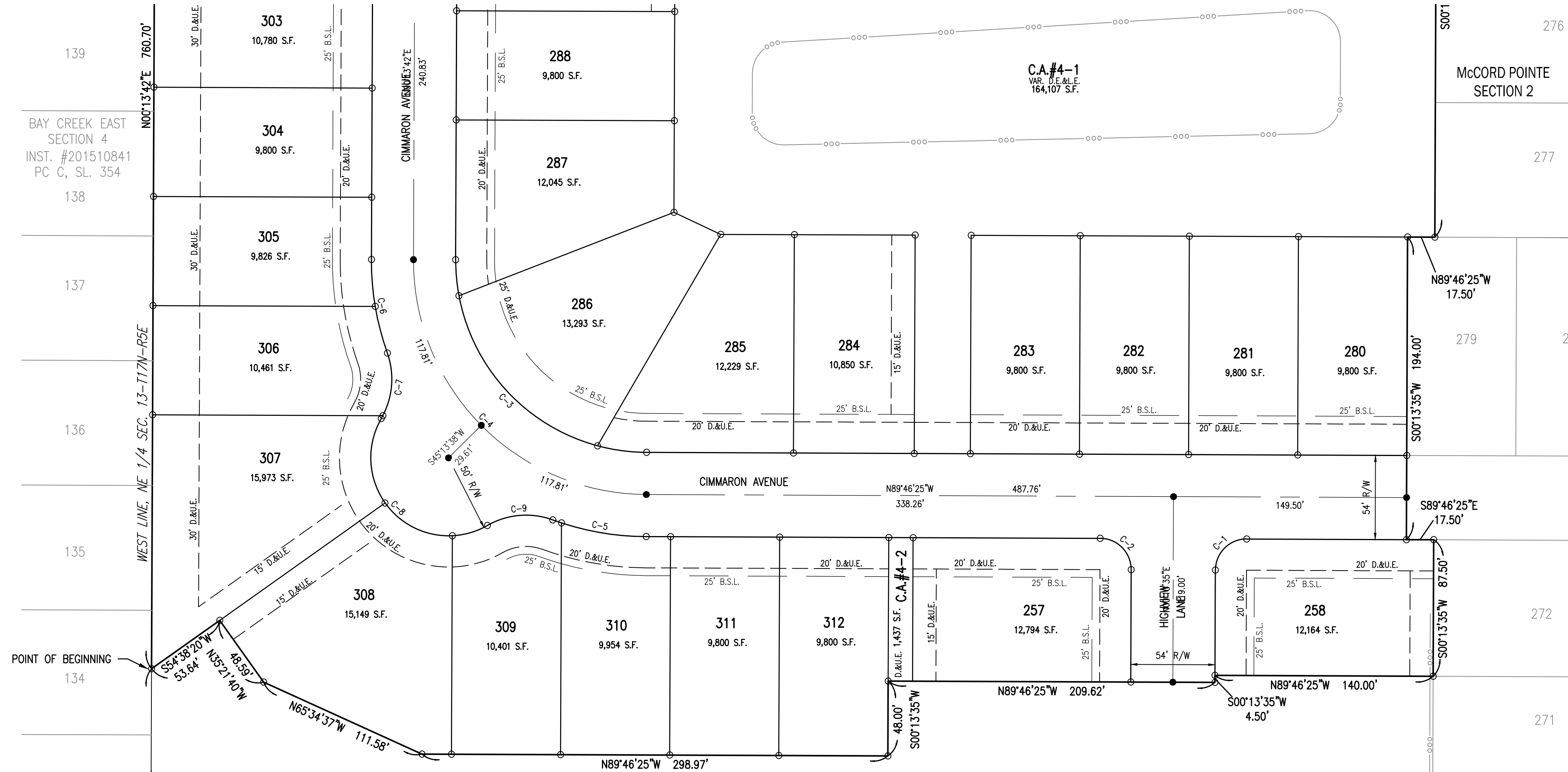
McCORD POINTE SECTION 4

SECONDARY PLAT

TOWN OF McCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF SECTION 13, TOWNSHIP 17 NORTH, RANGE 5 EAST)

FOR CONTINUATION SEE SHEET 3 OF 4



LEGEND

25 LOT NUMBER
D.E. DRAINAGE EASEMENT
D.&U.E. DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E. SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E. REGULATED DRAIN EASEMENT
L.E. LANDSCAPE EASEMENT
B.S.L. BUILDING SETBACK LINE
R/W RIGHT OF WAY
C.A. COMMON AREA
S.F. SQUARE FEET
AC ACRES
R RADIUS
N.A.E. NON ACCESS EASEMENT
M.L.A.G. MINIMUM LOWEST ADJACENT GRADE
1234 STREET ADDRESS

LEGEND

RIGHT-OF-WAY LINE
LOT LINE
BOUNDARY LINE
EASEMENT LINE
SETBACK LINE
CENTERLINE
SECTION LINE

SUBDIVISION MONUMENTS

- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
- DENOTES A 5/8" REBAR 30" LONG WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" TO BE SET AT LOT CORNERS, INCLUDING BEGINNING AND ENDING OF CURVES AND THE INTERSECTION OF LINES.
- ⊠ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH
- DENOTES FOUND 5/8" REBAR 30" LONG WITH CAP STAMPED "S&A FIRM #0008"
- ⊠ DENOTES FOUND 4"x4" CONCRETE MONUMENT WITH A CROSS CAST IN THE TOP, FLUSH WITH GRADE

SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 4 FOR LAND DESCRIPTION

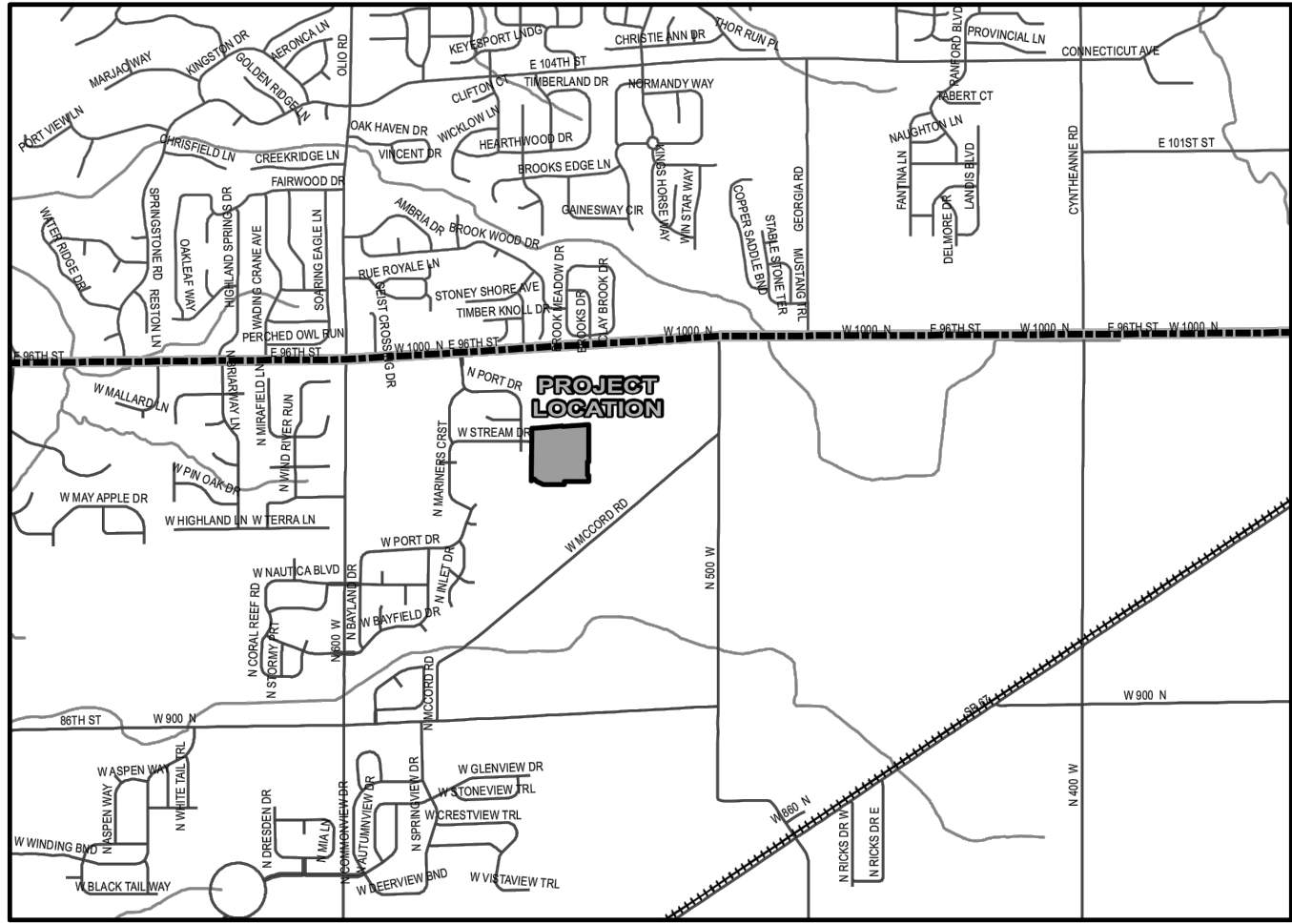
Kristopher K. Eichhorn
Professional Surveyor No. 21000230



SHEET 2 OF 4

Plot Date: Dec 12, 2019
 Plot Time: 7:09am
 File Name: W:\CalAtlantic Homes\2019-2023-D Lennar - McCord Pointe Sec 4\Design\CAD\19263D.zbase.dwg, Layout: PLAT 3-4
 By: keichhorn

File Name: W:\CalAtlantic Homes\2019-263-D Lennar- McCord Pointe Sec 4\Design\CAD\19263D\Cover Sheet.dwg, Layout: C1.0
Plot Date: Dec 12, 2019
Plot Time: 6:46am
By: keichhorn



LOCATION MAP
SCALE 1"= 1 MILE

COMMON AREAS	
C.A.#4-1	3.77 AC
C.A.#4-2	0.03 AC
TOTAL	3.80 AC

LINEAR FOOTAGE OF STREETS	
CIMMARON AVENUE	606 LF
HIGHVIEW LANE	119 LF
DRYDEN WAY	451 LF
LAKEHURST COURT	580 LF
TOTAL	1,756 LF

ZONED McCORD POINTE AMENDED PUD ORDINANCE NO. 101017B, AN ORDINANCE AMENDING THE TOWN OF MCCORDSVILLE ZONING ORDINANCE NO. 121410, AS AMENDED.

DEVELOPMENT STANDARDS

	AREA "B"
MAXIMUM NUMBER OF LOTS	135
MINIMUM LOT AREA	9,000 SQ. FT
MINIMUM LOT WIDTH	
AT BUILDING LINE	70
MINIMUM FRONT YARD SETBACK	25 FEET
MINIMUM SIDE YARD SETBACK	7.5 FEET
MINIMUM REAR YARD SETBACK	25 FEET
MINIMUM LIVABLE FLOOR AREA	1,500 SF (SINGLE STORY)
	1,800 SF (MULTI STORY)
MIN. GROUND FLOOR LIVING AREA	900 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	40%
MAXIMUM HEIGHT - PRINCIPAL	35 FEET

PLAN COMMISSION APPROVAL _____
DRAINAGE APPROVAL _____
ADDRESS APPROVAL _____
EROSION CONTROL APPROVAL _____
COUNTY ENGINEER APPROVAL _____
COUNTY SANITARIAN APPROVAL _____
COUNTY COMMISSIONERS APPROVAL _____

McCORD POINTE SECTION 4

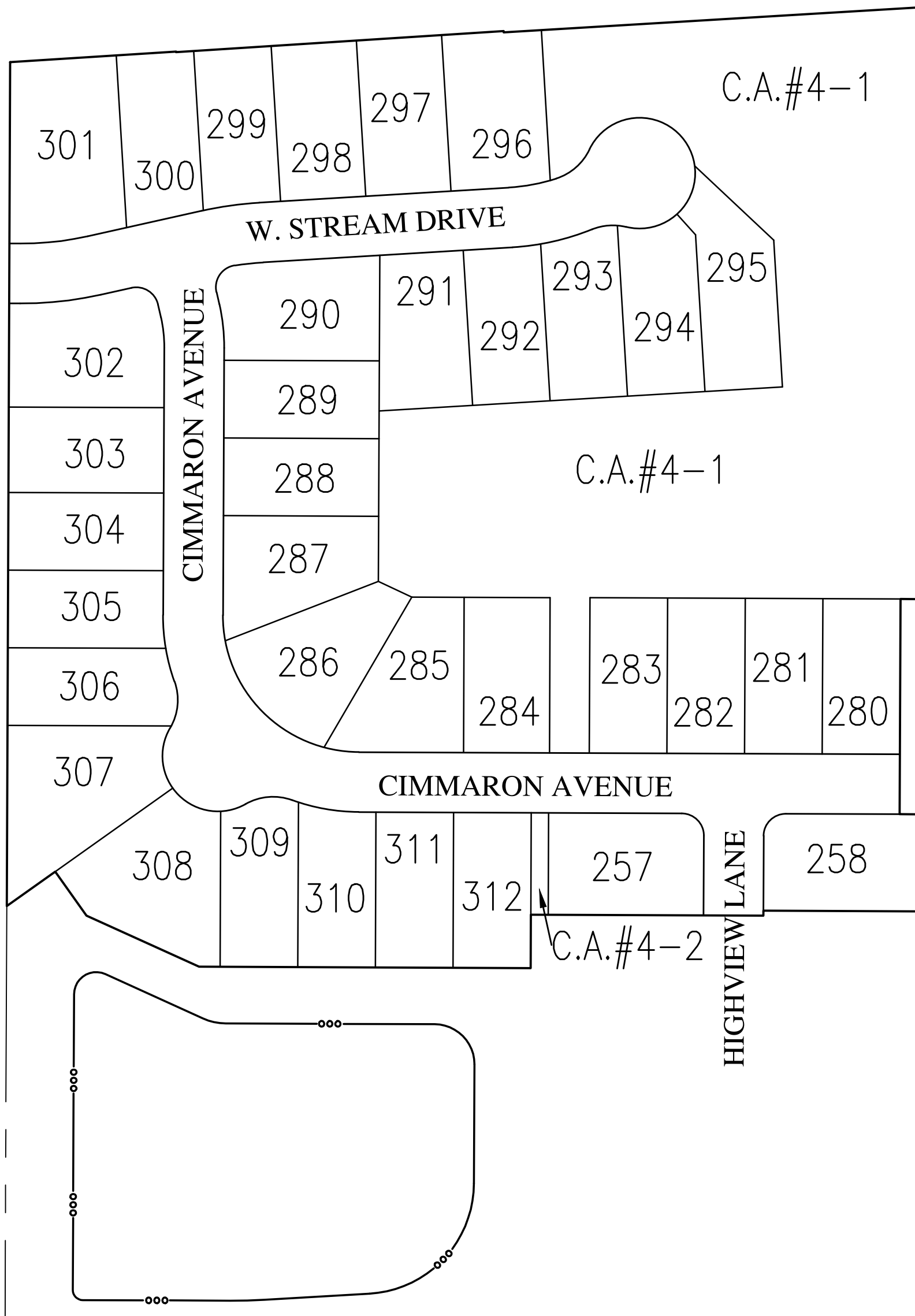
Lennar Homes of Indiana, Inc.

DEVELOPER:

LENNAR HOMES OF INDIANA, INC.
BILL BRYANT
9025 NORTH RIVER ROAD, SUITE 100
INDIANAPOLIS, INDIANA 46240
(317) 450-4634

CIVIL ENGINEER and SURVEYOR:

HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
(317) 347-3663
keichhorn@hwcengineering.com



SITE MAP
SCALE: 1" = 100'

CONTACT INFORMATION:

CITIZENS ENERGY GROUP / CWA AUTHORITY, INC. (WATER) BRAD HOSTETLER 2150 DR. MARTIN LUTHER KING JR. STREET INDIANAPOLIS, INDIANA 46202 P: (317) 927-4351 BHOSTETLER@CITIZENSENERGYGROUP.COM	NINESTAR CONNECT (Electric & Telecom) ERIC MEYER (317) 323-2074 2243 East Main Street Greenfield, Indiana 46140 EMEYER@NINESTARCONNECT.COM	COMCAST MATT STRINGER 5330 E. 65th Street Noblesville, IN 46061 P: (317) 774-3384 F: (317) 219-5090 matthew_stringer@cable.comcast.com	VECTREN SANDRA CASEY 16000 Allisonville Road Noblesville, Indiana 46061 P: (317) 776-5532 F: (317) 776-5553 Mailing Address: P.O. Box 1700 Noblesville, Indiana 46061 sandra.casey@centerpointenergy.com
MCCORDSVILLE FIRE DEPARTMENT 7580 N. Farm Street McCordsville, Indiana 46055 P: (317) 335-9236	TOWN OF MCCORDSVILLE PLANNING AND BUILDING DEPT RYAN CRUM 6280 W 800 N McCordsville, Indiana 46055 P: (317) 335-3604 rcrum@mccordsville.org	TOWN OF MCCORDSVILLE ENGINEERING DEPARTMENT MARK WITSMAN 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3604 mwitsman@mccordsville.org	TOWN OF MCCORDSVILLE PUBLIC WORKS RON CRIDER 6280 W 800 N McCordsville, IN 46055 P: (317) 335-3493 rcrider@mccordsville.org



SOILS MAP
NOT TO SCALE

SOILS LEGEND

BR BROOKSTON SILTY CLAY LOAM
CrA CROSBY SILT LOAM, 0 TO 3 PERCENT SLOPES

SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1-C1.2	DEVELOPMENT PLAN
C1.3-C1.4	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION & DEMOLITION PLAN
C1.5-C1.6	ACTIVE CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.7-C1.8	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.9-C1.10	EMERGENCY FLOOD ROUTE PLAN
C1.11	MASTER UTILITY PLAN
C1.12-C1.13	SUBSURFACE DRAIN PLAN
C2.0-C2.1	STREET PLAN & PROFILE
C3.0	INTERSECTION & CUL-DE-SAC DETAILS
C3.1	TRAFFIC CONTROL AND LIGHTING PLAN
C4.0-C4.1	SANITARY SEWER PLAN & PROFILE
C6.0-C6.1	STORM SEWER PLAN & PROFILE
C7.0	WATER DISTRIBUTION PLAN
C8.0	STORMWATER POLLUTION PREVENTION NOTES
C8.1-C8.3	STORMWATER POLLUTION PREVENTION DETAILS
C8.4	CONSTRUCTION DETAILS
C8.5	CITIZENS WATER DETAILS

McCORDSVILLE TOWN STANDARDS

SHEET LIST TABLE

Sheet Title	Sheet Description
1	DIRECTIONS FOR USE & GENERAL NOTES
2	RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS
3	RIGHT-OF-WAY DETAILS
4	UTILITY LOCATION GUIDELINES
5	DRIVE WAY & HANDICAP RAMP DETAILS
6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES
8	SANITARY SEWER SPECIFICATIONS
9	SANITARY SEWER DETAILS
10	SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES

REVISIONS		
DATE	DESCRIPTION	BY



MCCORD POINTE SECTION 4
MCCORDSVILLE, INDIANA
COVER

PROFESSIONAL ENGINEER
No. 11400758
STATE OF INDIANA
NOTARY PUBLIC
Kirsten K. Leichhorn
DRAWN BY TD/GM
CHECKED BY KE
DATE DECEMBER 11, 2019
SCALE AS SHOWN
SHEET
JOB NUMBER 2019-003-A
C1.0
COVER



DEVELOPMENT PLAN



Diagram illustrating a typical lot section grading detail. The diagram shows a cross-section of a lot with the following components and labels:

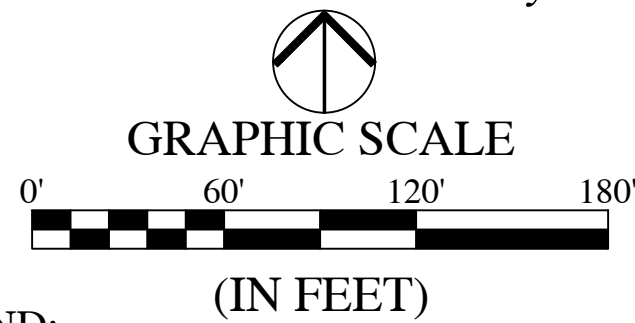
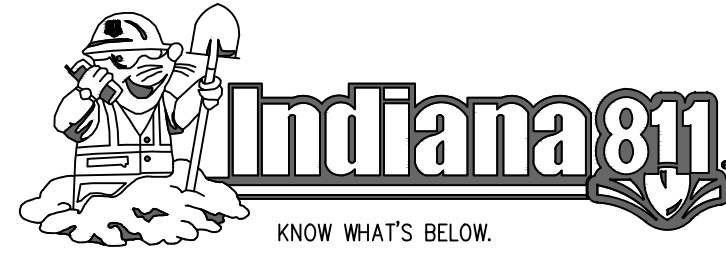
- STREET**: The road surface on the left.
- SIDEWALK**: The paved area adjacent to the street.
- FINISHED FLOOR ELEVATION / TOP OF FOUNDATION WALL**: The elevation of the building's floor or foundation.
- PAD DEPTH VARIES, SEE PLAN**: The depth of the paved area (pad) varies and is specified on the plan.
- SLOPE PER SETBACK**: The slope of the lot from the sidewalk to the building.
- PAD ELEVATION PER PLAN**: The elevation of the paved area is specified on the plan.
- PAD DEPTH + 5'**: The depth of the pad is 5 feet.
- LIMITS OF STRUCTURAL FILL**: The boundary of the structural fill area.
- 8' TYP.**: A typical width of 8 feet for the structural fill area.
- SLOPE VARIES (SLOPE IS TO BE UNIFORM FROM BACK OF PAD ELEVATION TO REAR YARD SWALE UNLESS OTHERWISE NOTED WITH INTERMITTENT CONTROL GRADES.)**: The slope of the rear yard varies and is uniform from the back of the pad to the rear yard swale, unless otherwise noted.
- REAR YARD SWALE GRADE**: The grade of the rear yard swale.

TYPICAL LOT SECTION GRADING DETAIL
NOT TO SCALE

DEVELOPMENT PLAN

DEVELOPMENT PLAN

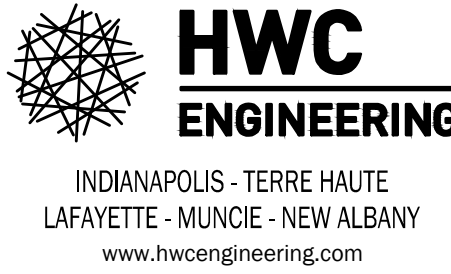
Plot Date: Dec 12, 2019 Plot Time: 6:53am File Name: W:\CoAtlantic Homes\2019-263-D Lennar- McCord Pointe Sec 4\Design\CAD\19263D Master Utility Plan.dwg Layout: C1.11 By: keithhorn



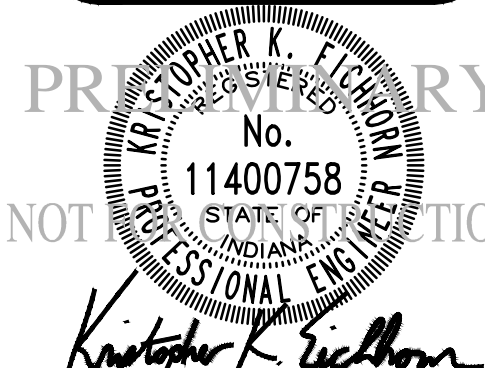
LEGEND:	
EXISTING	PROPOSED
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	CENTERLINE
---	SWALE / FLOWLINE
---	SUBSURFACE DRAIN
---	SANITARY SEWER
---	STORM SEWER
---	STORM CULVERT
---	WATER MAIN
---	CONTOUR, MAJOR
---	CONTOUR, MINOR
---	FENCE
---	TREE LINE
---	SANITARY MANHOLE
---	STORM MANHOLE
---	STORM INLET
---	STORM END SECTION
---	FIRE HYDRANT
---	STREET LIGHT
---	FLOW ARROW
---	SPOT ELEVATION
---	PAVEMENT ELEVATION
---	A.D.A. HANDICAP RAMP
---	2' ROLL CURB
---	POND SIGNAGE
---	4 FT CONC. APRON (SEE CONCRETE SECTION - SHEET C3.2)
---	20' SAFETY RAMP @ 6:1 SLOPE (CONSTRUCTED WITH COMPACTED CLAY)
---	2' ROLL CURB (REVERSE SLOPE)
---	SSD CLEANOUT
---	SANITARY CLEANOUT

BENCHMARK INFORMATION:
CUT SQUARE ON BACK OF CURB AT INTERSECTION OF NORTH ANCHOR BEND AND NORTH MARINERS CREST.
SQUARE IS AT THE NORTH EAST PORTION OF INTERSECTION
3' WEST OF A FIRE HYDRANT.
ELEVATION = 847.28 (NGVD 29)

REVISIONS	

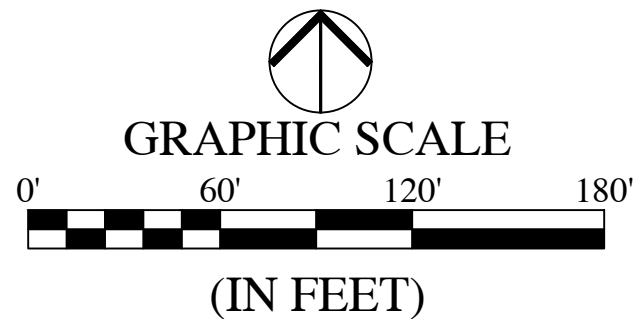
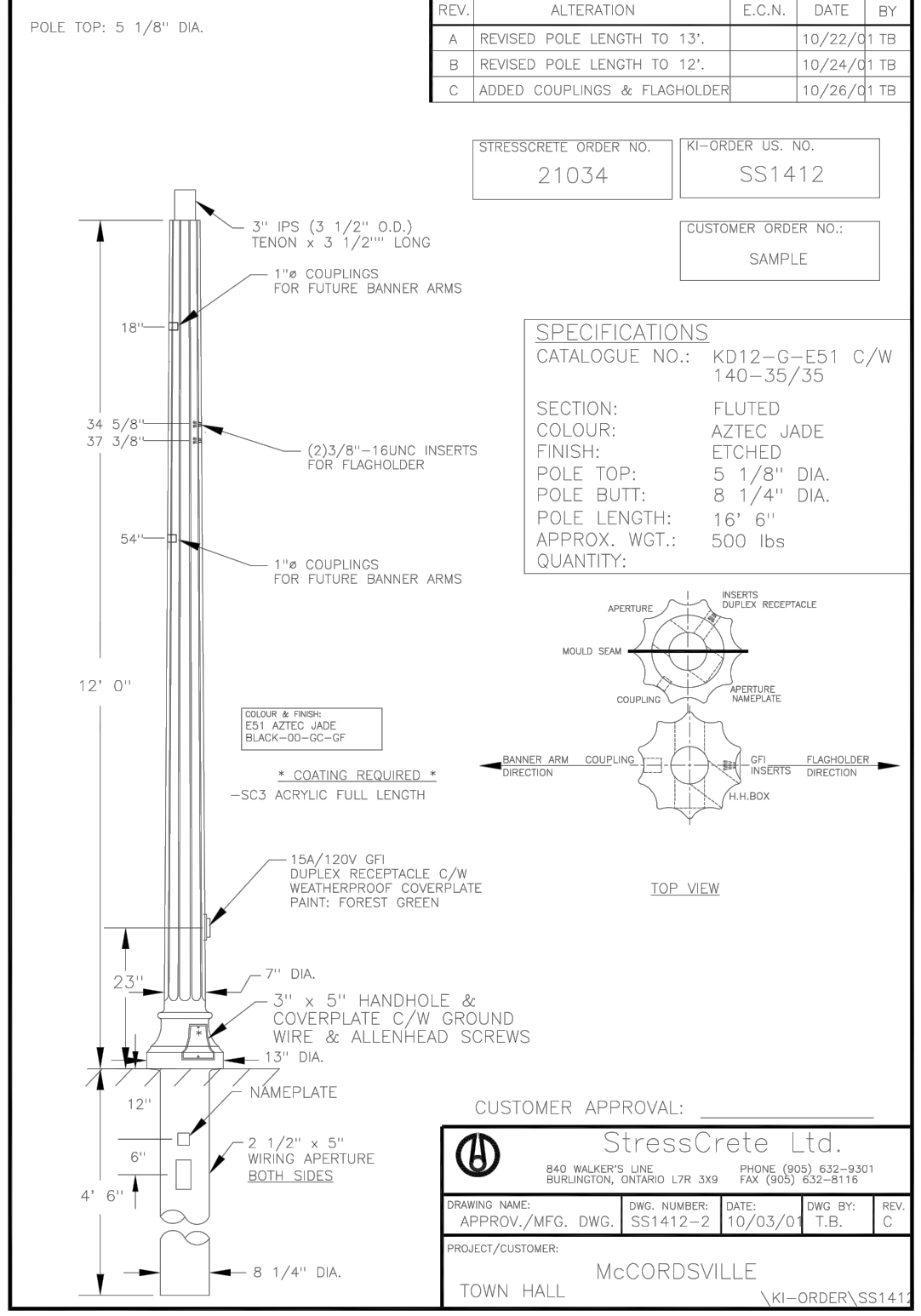
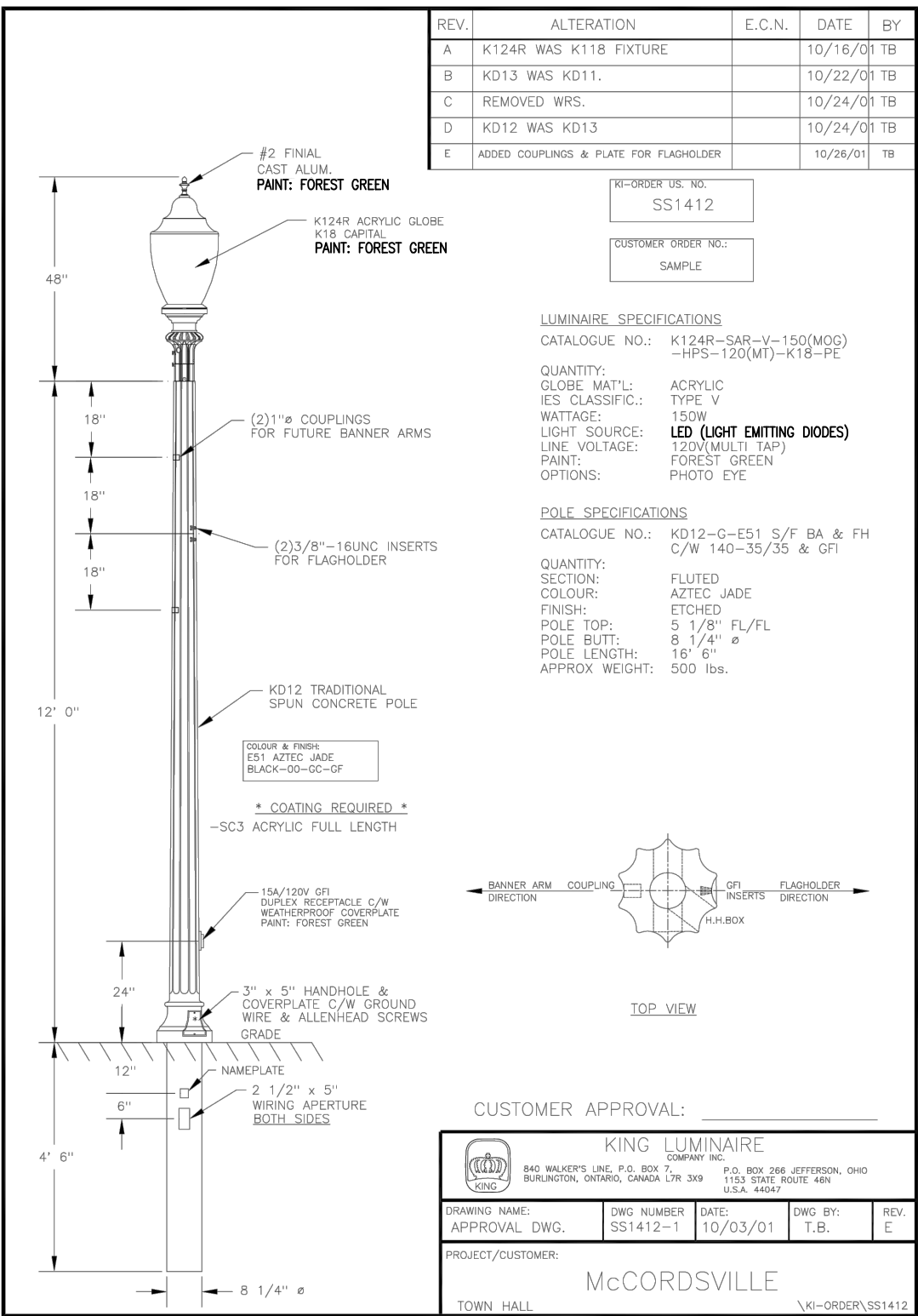
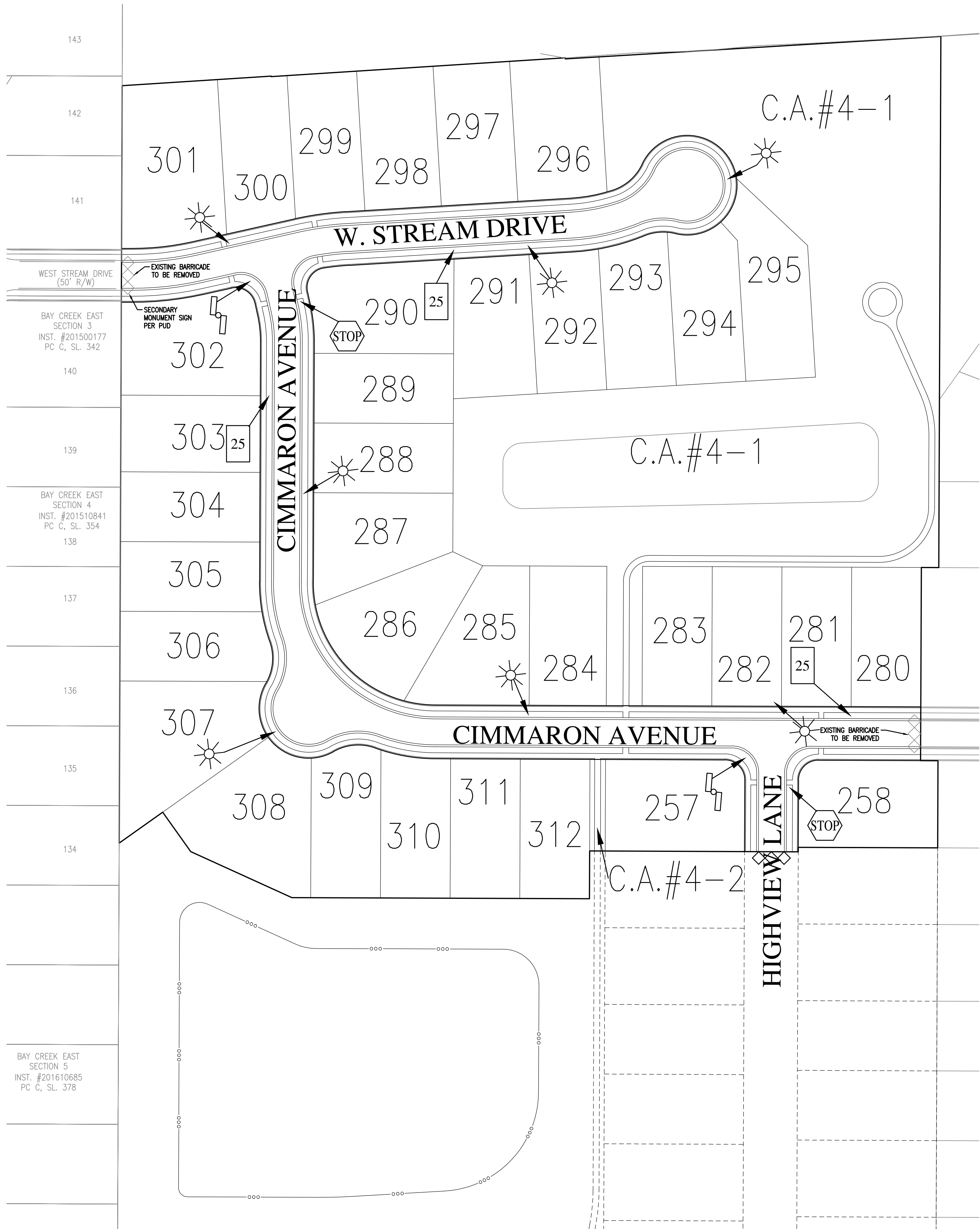


MCCORD POINTE SECTION 4
MCCORDSVILLE, INDIANA
MASTER UTILITY PLAN



DRAWN BY TD/GM	JOB NUMBER 2019-003-A
CHECKED BY KE	
DATE DECEMBER 11, 2019	
SCALE AS SHOWN	
SHEET	

C1.11
MASTER UTILITY PLAN

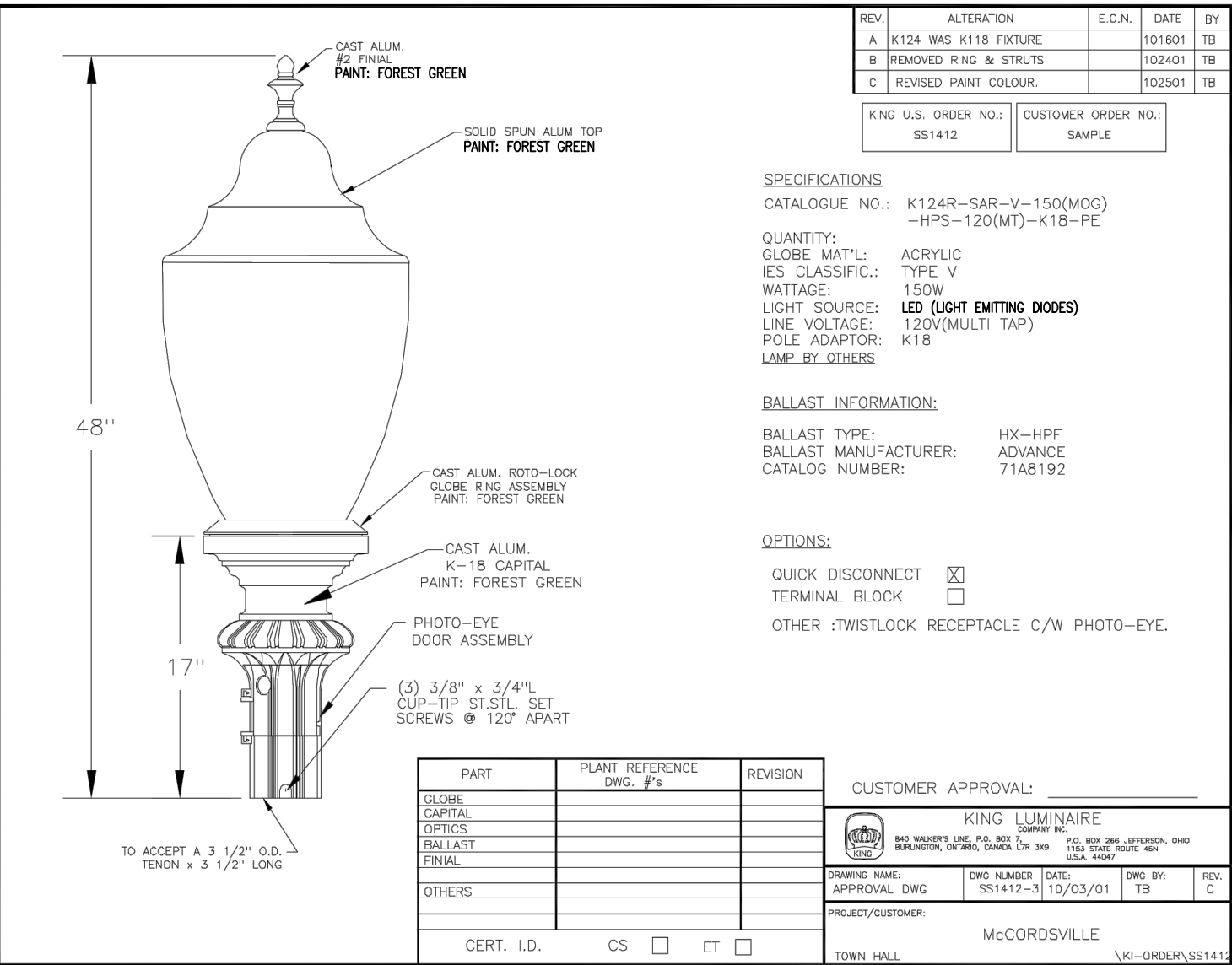


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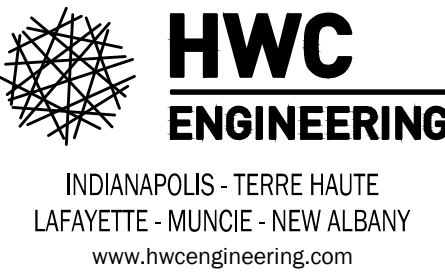
EXISTING	RIGHT-OF-WAY LINE	PROPOSED
	STOP SIGN	STOP SIGN
	SPEED LIMIT SIGN	25
	STREET NAME SIGN	
	END OF ROAD MARKER: TYPE III CONSTRUCTION BARRICADE	
	HIGH POWERED LED STREET LIGHT (SEE TOWN OF MCCORDSVILLE ZONING ORDINANCE, EXHIBIT C).	
	NOTE: ALL STREET LIGHTS TO BE FULL CUT-OFF AND DARK SKY COMPLIANT	

GENERAL NOTES

1. LIGHTING, SIGNS, IRRIGATION LINES, ETC. MUST BE CONSTRUCTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM THE CENTER OF THE SANITARY SEWER FACILITIES.
2. STREET LIGHTS ARE REQUIRED TO MATCH EXISTING STREET LIGHTS. TO INCLUDE POLE TYPE, FIXTURE TYPE, HEIGHT OF FIXTURE ETC.
3. ALL STREET LIGHTING SHALL BE INSTALLED WITH REFLECTORS OR OTHER SUCH DEVICES OR CONTROLS SO THAT LIGHT IS REFLECTED DOWNWARD TO MITIGATE LIGHT SPILLOVER. ALL STREET LIGHTS ARE TO BE FULL CUT-OFF AND DARK SKY COMPLIANT.



REVISIONS			
REV.	ALTERATION	E.C.N.	DATE



MCCORD POINTE SECTION 4
MCCORDSVILLE, INDIANA
TRAFFIC CONTROL AND LIGHTING
PLAN



DRAWN BY TD/GM	CHECKED BY KE
DATE DECEMBER 11, 2019	SCALE AS SHOWN
SHEET	

C3.1
TRAFFIC CONTROL AND
LIGHTING PLAN