

LOCATION MAP
SCALE 1"= 1 MILE

OAKCREST

Pulte Homes of Indiana, L.L.C.

DEVELOPER:

PULTE HOMES OF INDIANA, L.L.C.
JOSEPH MARX
11590 N. MERIDIAN ST., SUITE 530
CARMEL, INDIANA 46032
(317) 575-2350
joseph.marx@pultegroup.com
LOT OPERATOR: JOSEPH MARX

CIVIL ENGINEER and SURVEYOR:

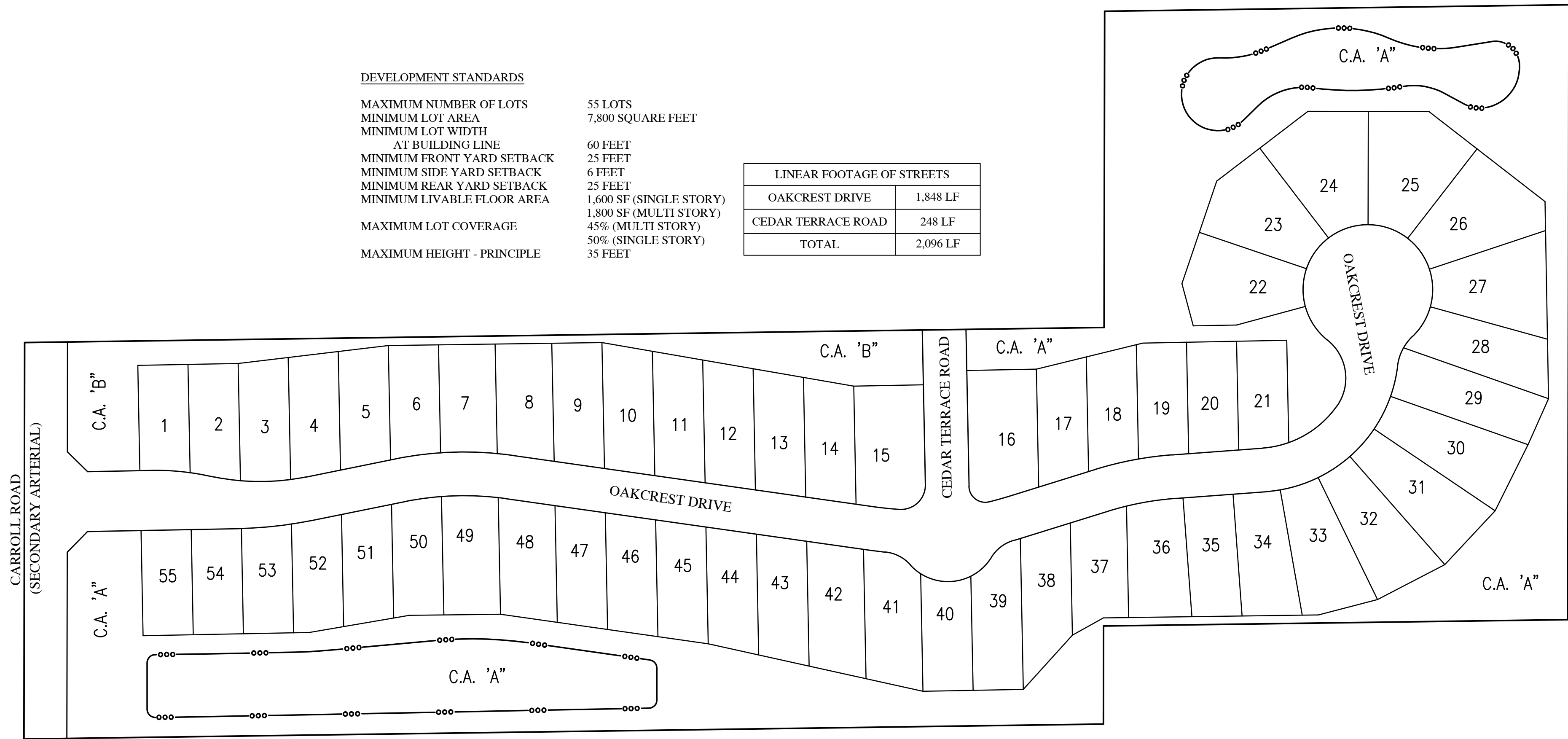
HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
(317) 347-3663
bburke@hwcengineering.com

PROPERTY ADDRESS
8703 & 8733 N 700 WEST

DEVELOPMENT STANDARDS

MAXIMUM NUMBER OF LOTS	55 LOTS
MINIMUM LOT AREA	7,800 SQUARE FEET
MINIMUM LOT WIDTH	60 FEET
AT BUILDING LINE	25 FEET
MINIMUM FRONT YARD SETBACK	6 FEET
MINIMUM SIDE YARD SETBACK	25 FEET
MINIMUM REAR YARD SETBACK	1,600 SF (SINGLE STORY)
MINIMUM LIVABLE FLOOR AREA	1,800 SF (MULTI STORY)
MAXIMUM LOT COVERAGE	45% (MULTI STORY)
	50% (SINGLE STORY)
MAXIMUM HEIGHT - PRINCIPLE	35 FEET

LINEAR FOOTAGE OF STREETS	
OAKCREST DRIVE	1,848 LF
CEDAR TERRACE ROAD	248 LF
TOTAL	2,096 LF



SITE MAP
SCALE: 1" = 100'

CONTACT INFORMATION:

PLAN COMMISSION APPROVAL	_____
DRAINAGE APPROVAL	_____
ADDRESS APPROVAL	_____
EROSION CONTROL APPROVAL	_____
COUNTY ENGINEER APPROVAL	_____
COUNTY SANITARIAN APPROVAL	_____
COUNTY COMMISSIONERS APPROVAL	_____

CITY OF INDIANAPOLIS
DEPARTMENT OF BUSINESS & NEIGHBORHOOD SERVICES (Carroll Road ROW Permits)
TRAIE WHITE - Project Compliance Analyst
1200 Madison Avenue, Suite 100
Indianapolis, IN 46225
Traie.White@indy.gov

CITY OF LAWRENCE
DEPARTMENT OF PUBLIC WORKS (Carroll Road Drainage)
Renea Rafala - Senior Executive Assistant
9001 East 59th Street, Suite 205
Indianapolis, IN 46216
rrafala@cityoflawrence.org

NINESTAR CONNECT (Electric & Telecom)
ERIC MEYER (317) 323-2074
2243 East Main Street
Greenfield, Indiana 46140
EMEYER@NINESTARCONNECT.COM
P: (317) 774-3384
F: (317) 219-5090
matthew_stringer@comcast.com

COMCAST
MATT STRINGER
5330 E. 65th Street
Indianapolis, IN 46220
P: (317) 774-3384
F: (317) 219-5090
matthew_stringer@comcast.com

AT&T
BRIAN WENTE
240 N. Meridian Street
2nd Floor, Room 280
Indianapolis, Indiana 46204
P: (317) 477-1130
bw1917@att.com

HANCOCK COUNTY SURVEYOR
SUSAN BODKIN
Hancock County Annex
111 American Legion Place,
Suite 171
Greenfield, Indiana 46140
P: (317) 477-1150
sbodkin@hancocckcoingov.org

VECTREN
SANDRA CASEY
16000 Allisonville Road
Noblesville, Indiana 46061
P: (317) 778-5532
F: (317) 778-5553
Mailing Address: P.O. Box 1700
Noblesville, Indiana 46061
sandra.casey@centerpointenergy.com

CITY OF INDIANAPOLIS
DEPARTMENT OF METROPOLITAN DEVELOPMENT (Carroll Road ROW Dedication)
Larry Calloway - Principal Planner II
200 E. Washington St., Room 1842
Indianapolis, IN 46204
Larry.Calloway@indy.gov

CITIZENS ENERGY GROUP / CWA AUTHORITY, INC. (WATER)
BRAD HOSTETLER
2150 DR. MARTIN LUTHER KING JR. STREET
INDIANAPOLIS, INDIANA 46202
P: (317) 927-4351
BHOSTETLER@CITIZENSENERGYGROUP.COM

MCCORDSVILLE FIRE DEPARTMENT
7580 N Form Street
McCordsville, Indiana 46055
P: (317) 335-9236

HANCOCK COUNTY HIGHWAY DEPT
GARY POOL
921 W. Osage Street
Greenfield, Indiana 46140
P: (317) 477-1130
gpool@hancocckcoingov.org

TOWN OF MCCORDSVILLE
PLANNING AND BUILDING DEPT
RYAN CRUM
6280 W 800 N
McCordsville, Indiana 46055
P: (317) 335-3604
rcrum@mccordsville.org

TOWN OF MCCORDSVILLE
ENGINEERING DEPARTMENT
MARK WITSMAN
6280 W 800 N
McCordsville, IN 46055
P: (317) 335-3604
mwitsman@mccordsville.org

TOWN OF MCCORDSVILLE
PUBLIC WORKS
RON CRIDER
6280 W 800 N
McCordsville, IN 46055
P: (317) 335-3493
rcrider@mccordsville.org



SOILS MAP
NOT TO SCALE

SOILS LEGEND

BR BROOKSTON SILTY CLAY LOAM
CRA CROSBY SILT LOAM, 0 TO 3 PERCENT SLOPES
KO KOKOMO SILTY CLAY LOAM, 0 TO 2 PERCENT SLOPES

SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1-C1.2	DEVELOPMENT PLAN
C1.3-C1.5	PRE-CONSTRUCTION STORMWATER POLLUTION PREVENTION & DEMOLITION PLAN
C1.6-C1.8	POST CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN
C1.9-C1.10	EMERGENCY FLOOD ROUTE PLAN
C1.11	MASTER UTILITY PLAN
C1.12-C1.13	SUBSURFACE DRAIN PLAN
C2.0-C2.1	STREET PLAN & PROFILE
C3.0	ENTRANCE PLAN
C3.1	MAINTENANCE OF TRAFFIC PLAN
C3.2	INTERSECTION & CUL-DE-SAC DETAILS
C3.3	TRAFFIC CONTROL & LIGHTING PLAN
C4.0-C4.2	SANITARY SEWER PLAN & PROFILE
C6.0-C6.4	STORM SEWER PLAN & PROFILE
C7.0-C7.1	WATER DISTRIBUTION PLAN
C8.0	STORMWATER POLLUTION PREVENTION NOTES
C8.1	STORMWATER POLLUTION PREVENTION DETAILS
C8.2	CONSTRUCTION DETAILS
C8.3	CITIZENS WATER DETAILS
L1.0-L1.1	LANDSCAPE PLANS
L1.2-L1.3	LANDSCAPE DETAILS

MCCORDSVILLE TOWN STANDARDS SHEET LIST TABLE

Sheet Title	Sheet Description
1	DIRECTIONS FOR USE & GENERAL NOTES
2	RIGHT-OF-WAY SECTIONS & PAVEMENT SPECIFICATIONS
3	RIGHT-OF-WAY DETAILS
4	UTILITY LOCATION GUIDELINES
5	DRIVE WAY & HANDICAP RAMP DETAILS
6	STORM SEWER STRUCTURE DETAILS
7	STORM SEWER BEDDING DETAILS AND GENERAL NOTES
8	SANITARY SEWER SPECIFICATIONS
9	SANITARY SEWER DETAILS
10	SANITARY SEWER LIFT STATION STANDARDS & GUIDELINES

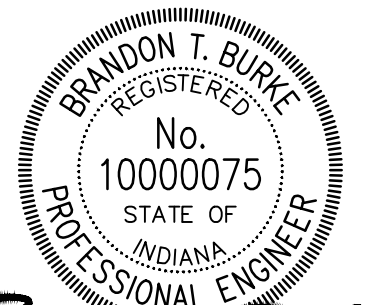
REVISIONS

DATE	DESCRIPTION	BY
05/03/19	REVISED PER TAC COMMENTS	DC

HWC
ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNICIE - NEW ALBANY
www.hwcengineering.com

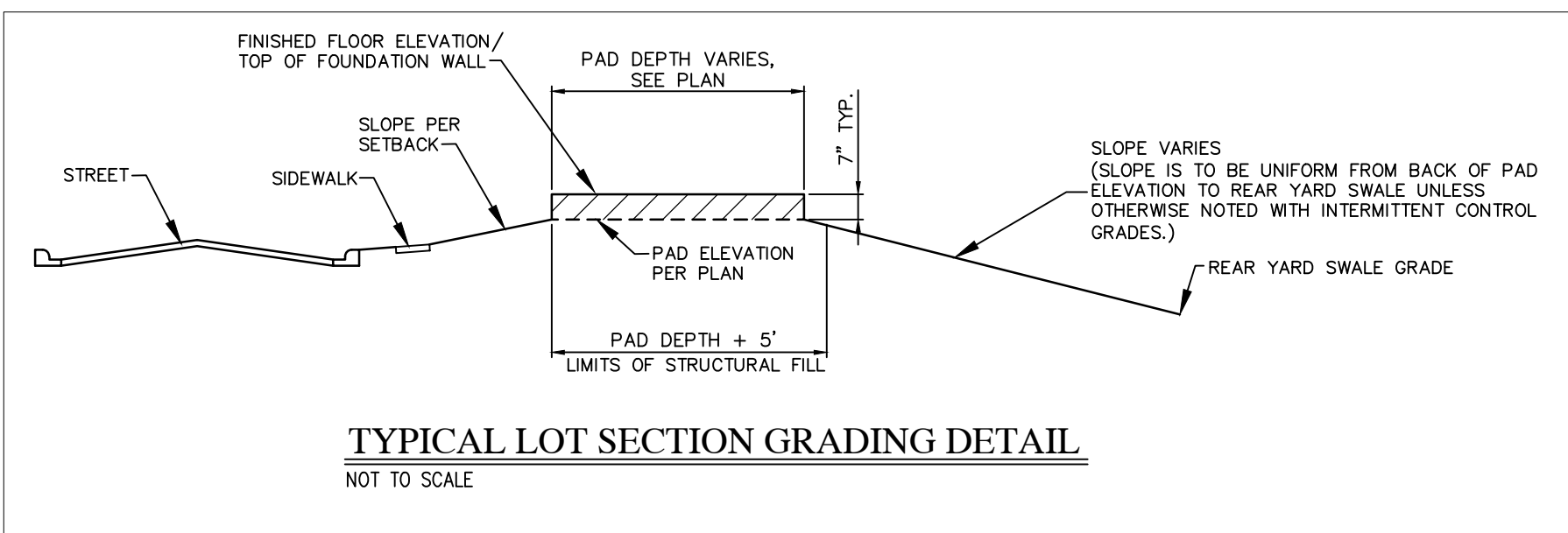
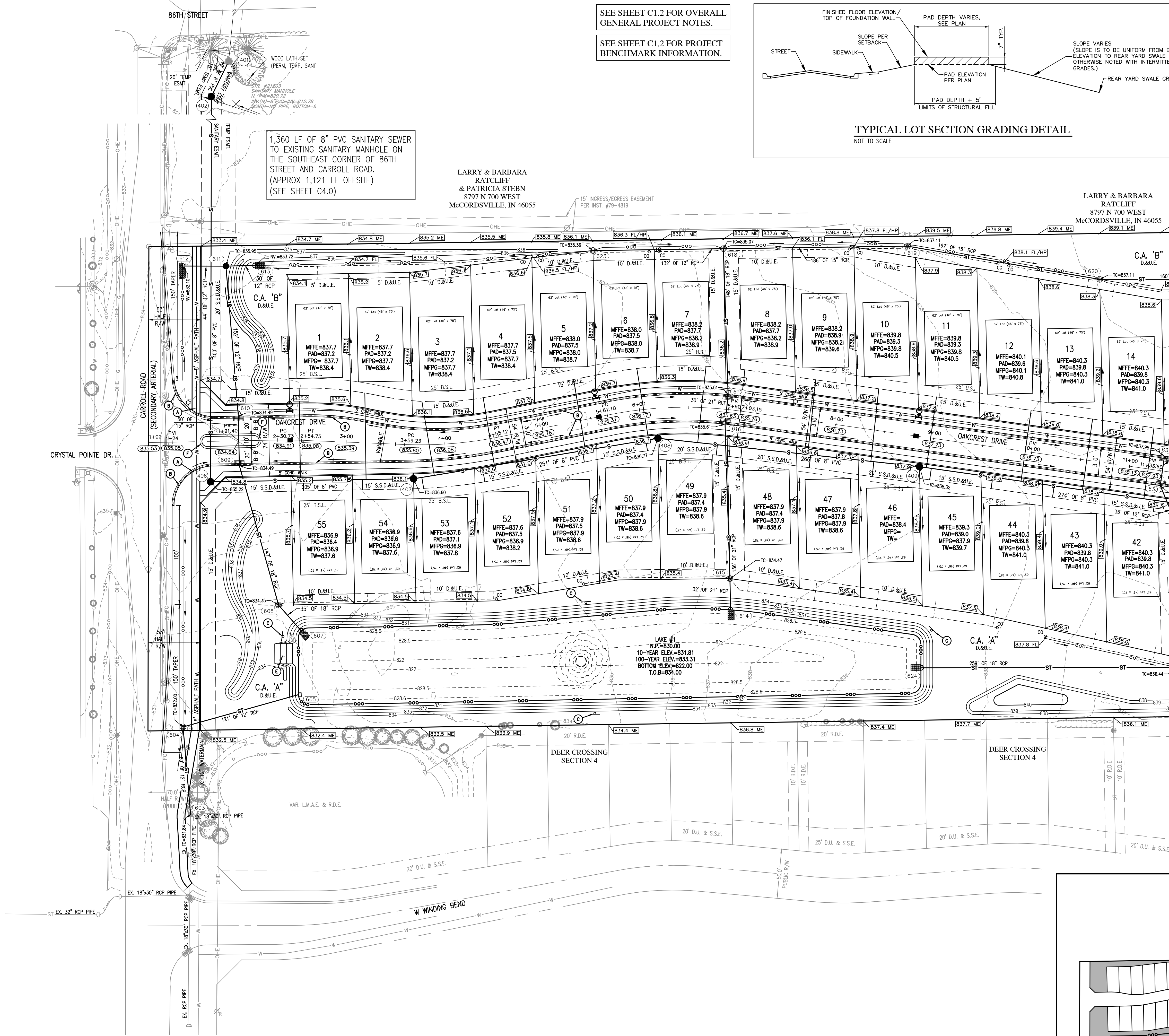
OAKCREST
MCCORDSVILLE, INDIANA

COVER



DRAWN BY DC	CHECKED BY BB	DATE MARCH 22, 2019	JOB NUMBER 2019-003-A
SCALE AS SHOWN			
SHEET			

C1.0
COVER



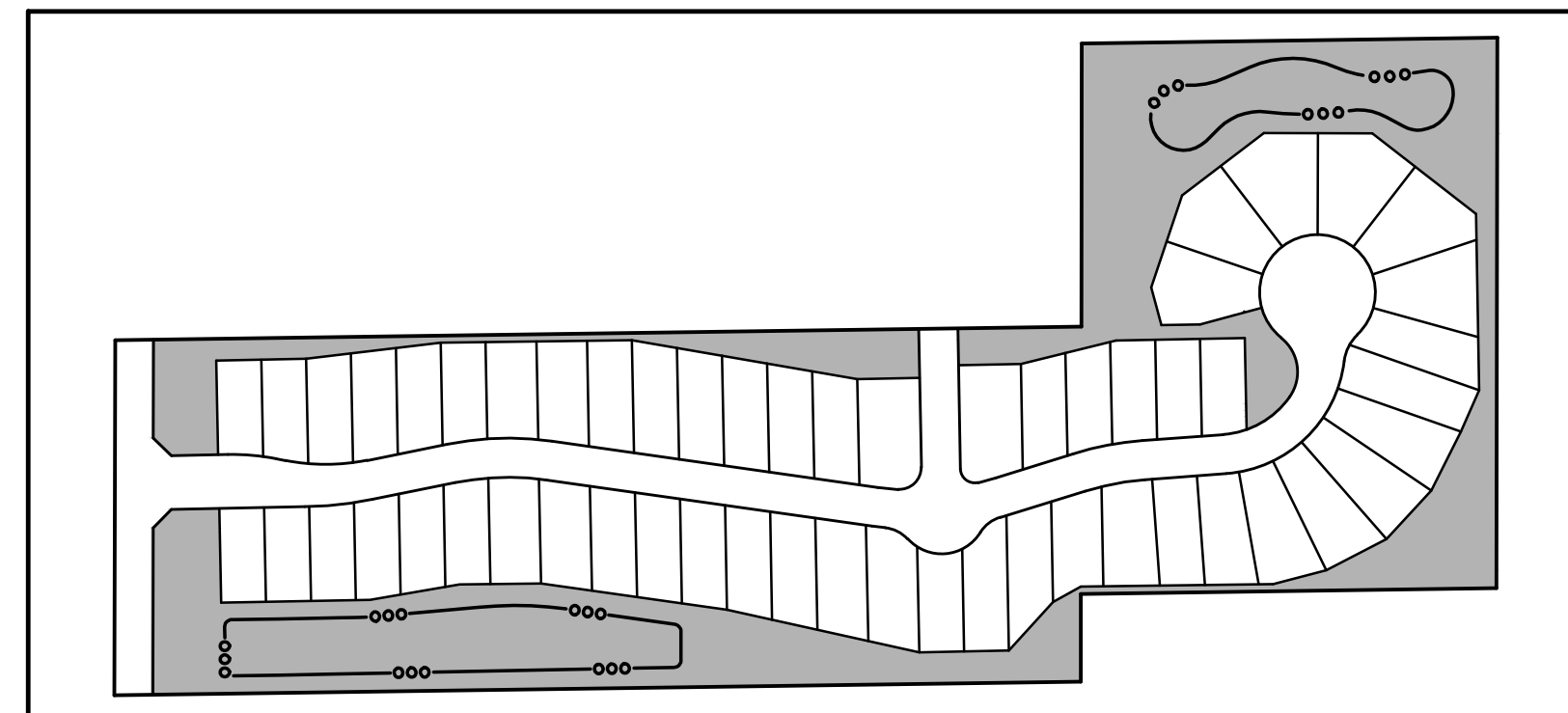
LEGEND:	
EXISTING	PROPOSED
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	CENTERLINE
---	SWALE / FLOWLINE
---	SUBSURFACE DRAIN
---	SANITARY SEWER
---	STORM SEWER
---	STORM CULVERT
---	WATER MAIN
---	CONTOUR, MAJOR
---	CONTOUR, MINOR
---	FENCE
---	TREE LINE
---	SANITARY MANHOLE
---	STORM MANHOLE
---	STORM INLET
---	STORM END SECTION
---	FIRE HYDRANT
---	STREET LIGHT
---	FLOW ARROW
---	SPOT ELEVATION
---	PAVEMENT ELEVATION
---	A.D.A. HANDICAP RAMP
---	2' ROLL CURB
---	POND SIGNAGE
---	4 FT CONC. APRON
---	(SEE CONCRETE SECTION - SHEET C3.2)
---	20' SAFETY RAMP @ 6:1 SLOPE
---	(CONSTRUCTED WITH COMPACTED CLAY)
---	2' ROLL CURB (REVERSE SLOPE)
---	SSD CLEANOUT
---	SANITARY CLEANOUT
---	FOUNTAIN

ABBREVIATIONS:

BC	BACK OF CURB	TB	TOP OF BANK GRADE
CL	CENTERLINE	TC	TOP OF CASTING GRADE
FG	FINISHED GRADE	PAD	PAD GRADE
FL	FLOW LINE	MFGP	MINIMUM FLOOD PROTECTION GRADE
HP	HIGH POINT	MFFE	MINIMUM FINISH FLOOR ELEVATION
INV	INVERT ELEVATION	TW	TOP OF WALL
LP	LOW POINT	IEE	INGRESS / EGRESS EASEMENT
ME	MATCH EXISTING GRADE	25	LOT NUMBER
NP	NORMAL POOL (ELEVATION)	C.A.	COMMON AREA
PC	POINT OF CURVATURE	D.E.	DRAINAGE EASEMENT
PRC	POINT OF REVERSE CURVATURE	S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
PT	POINT OF TANGENCY	D.&U.E.	DRAINAGE AND UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE	ESMT.	EASEMENT
PVI	POINT OF VERTICAL INTERSECTION	B.S.L.	BUILDING SETBACK LINE
RCP	REINFORCED CONCRETE PIPE	R/W	RIGHT-OF-WAY

OPEN SPACE SUMMARY	
CA "A"	333,690 SF
CA "B"	41,744 SF
TOTAL OPEN SPACE	375,434 SF
TOTAL OPEN SPACE	8.62 ACRES

OPEN SPACE
OPEN SPACE = 8.62 AC.
TOTAL ACREAGE = 24.996 AC. = 34.49%



OPEN SPACE MAP
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY
05/03/19	REVISED PER TAC COMMENTS	DC

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwceengineering.com

OAKCREST
MCCORDSVILLE, INDIANA
DEVELOPMENT PLAN

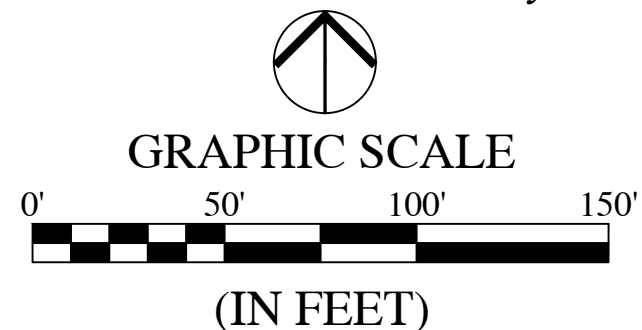
BRANDON T. BURKE
REGISTERED
No. 10000075
STATE OF INDIANA
PROFESSIONAL ENGINEER
DRAWN BY: DC
CHECKED BY: BB
DATE: MARCH 22, 2019
SCALE: AS SHOWN
SHEET: C1.1

C1.1
DEVELOPMENT PLAN

1. NOT ALL GAS, POWER, OR TELEPHONE LINES, WHETHER ABOVE OR BELOW GROUND, HAVE BEEN SHOWN ON THE DRAWINGS. ANY UNDERGROUND INFORMATION SHOWN ON THE DRAWINGS HAS BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION AND IS GIVEN FOR THE CONTRACTORS BENEFIT. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR PROTECTING ALL UTILITIES IN HIS WORK AREA WHETHER SHOWN OR NOT, AND MUST REALIZE THAT THE ACTUAL LOCATION OF THE UTILITIES MAY BE DIFFERENT FROM THAT SHOWN ON THE DRAWINGS. ALL EXISTING UTILITIES ENCOUNTERED IN THE WORK, WHETHER IN PUBLIC RIGHTS OF WAY OR ON PRIVATE PROPERTY, SHALL BE THE CONTRACTORS RESPONSIBILITY TO MAINTAIN IN SERVICE. ANY UTILITIES WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION TO SERVICE MAY BE REMOVED AT THE OPTION OF THE CONTRACTOR WITH THE PERMISSION OF THE UTILITY. IF MINOR CONFLICTS ARISE, THE CONTRACTOR MAY SHIFT THE PROPOSED LOCATION OF THE INSTALLATION OF THE WORK. BEFORE WORKING WITH OR AROUND UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE NOTIFIED BY THE CONTRACTOR.
2. SAFETY PROVISIONS FOR THE WORK SHALL BE IN FULL COMPLIANCE WITH ALL APPLICABLE RULES AND REGULATIONS OF THE INDIANA OSHA AND ANY OTHER LOCAL STATE OR FEDERAL AGENCY HAVING JURISDICTION, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL MAINTAIN A MINIMUM PROTECTIVE DISTANCE AS REQUIRED TO SAFELY PROTECT THE GENERAL PUBLIC, THE CONTRACTOR'S WORK FORCES AND THE WORK. TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST EDITION OF THE INDIANA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND THE INDIANA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, SPECIAL PROVISIONS, STANDARD DETAILS AND GENERAL INSTRUCTIONS TO FIELD EMPLOYEES. THE REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS. THE OPTION OF THE OWNER AND/OR ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, FENCES, WARNING SIGNS, FLASHING LIGHTS, TEMPORARY WALKWAYS, AND TRAFFIC CONTROL DURING CONSTRUCTION. CONTRACTOR TO COMPLY WITH ALL OSHA REGULATIONS, REQUIREMENTS, SAFETY MEETING REQUIREMENTS AND AGENCY REQUIREMENTS FOR TRAFFIC CONTROL AND SAFETY PRECAUTIONS, THERE WILL BE NO SEPARATE OR ADDITIONAL PAYMENT FOR THIS WORK.
3. WHERE PROPERTY MARKERS, SECTION CORNERS, SURVEY MARKS OR BENCHMARKS, SUCH AS STONES, PIPES, OR OTHER SUCH MONUMENTS ARE ENCOUNTERED AND CONFLICT WITH THE WORK, THE ENGINEER SHALL BE NOTIFIED BEFORE THEY ARE DISTURBED. THE MARKERS SHALL BE PROTECTED AFTER THE OWNER, ENGINEER, AND AUTHORIZED SURVEYOR OR AGENT HAS WITNESSED OR REFERENCED THEIR LOCATIONS.
4. ALL MATERIALS DENOTED "SALVAGED" SHALL BE STORED AND PROTECTED AT THE SITE FOR THE OWNER TO COLLECT OR FOR THE CONTRACTOR TO RE-USE AS INDICATED.
5. THERE SHALL BE NO CHANGES WITHOUT WRITTEN APPROVAL OF ENGINEER.
6. ALL GRADES AT BOUNDARY SHALL MEET EXISTING GRADES.
7. CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
8. REMOVE AND BACKFILL ALL AREAS WHERE ANY FIELD TIE CROSSES PROPOSED HOUSE PADS. ALL FIELD TIES INTERCEPTED TO BE PERPETUATED INTO STORM SEWER SYSTEM OR LAKE. THE SUBCONTRACTOR SHALL NOTIFY IN WRITING THE OWNER AND THE ENGINEER IN ANY CIRCUMSTANCES WHERE THIS CANNOT BE ACCOMPLISHED.
9. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS.
10. CONTRACTOR SHALL STAMP THE LETTER "S" IN THE CURB PERPENDICULAR TO THE LATERAL MARKER.
11. STRUCTURES RECEIVING SUB-SURFACE DRAIN (SSD) SHALL HAVE BOTH PORTS CORE DRILLED. "1" OR "Y" BLIND CONNECTIONS ARE NOT ALLOWED.
12. ALL STORM SEWER CASTINGS SHALL BE LABELED "DUMP NO WASTE-DRAINS TO WATERWAY".
13. STRUCTURAL FILL: SHALL BE COMPACTED TO AT LEAST 95% MAXIMUM PROCTOR MAXIMUM DRY DENSITY (ASTM D-698). SHALL BE FREE OF ORGANIC MATERIAL, DEBRIS, DELETERIOUS MATERIALS AND FROZEN SOLIDS.
14. ALL ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO STRIPING, STONE SHOULDERS AND SIGNAGE. REPAIRS (I.E. STRIPING) SHALL COINCIDE WITH THE ADJOINING ROAD.
15. CLAY POND LINERS ARE REQUIRED IF SIGNIFICANT SAND OR GRAVEL STRATIFICATIONS ARE ENCOUNTERED DURING EXCAVATION OF POND.
16. ALL COMMON AREA SIDEWALKS OR PATHS ARE TO BE CONSTRUCTED AS PART OF THE SITE INFRASTRUCTURE. INDIVIDUAL LOT SIDEWALKS TO BE CONSTRUCTED AT THE TIME OF HOME CONSTRUCTION.



KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
Call 811 or 800-382-5544 Before you Dig.



EXISTING		RIGHT-OF-WAY LINE		PROPOSED
		EASEMENT LINE		
		SETBACK LINE		
		CENTERLINE		
		SWALE / FLOWLINE		
		SUBSURFACE DRAIN		
		SANITARY SEWER		
		STORM SEWER		
		STORM CULVERT		
		WATER MAIN		
		CONTOUR, MAJOR		
		CONTOUR, MINOR		
		FENCE		
		TREE LINE		
		SANITARY MANHOLE		
		STORM MANHOLE		
		STORM INLET		
		STORM END SECTION		
		FIRE HYDRANT		
		STREET LIGHT		
		FLOW ARROW		
		SPOT ELEVATION		
		PAVEMENT ELEVATION		
		A.D.A. HANDICAP RAMP		
		2" ROLL CURB		
		POND SIGNAGE		
		4 FT CONC. APRON (SEE CONCRETE SECTION - SHEET C3.2)		
		20' SAFETY RAMP @ 6:1 SLOPE (CONSTRUCTED WITH COMPACTED CLAY)		
		2" ROLL CURB (REVERSE SLOPE)		
		SSD CLEANOUT		
		SANITARY CLEANOUT		
		FOUNTAIN		

BC	- BACK OF CURB	TB	- TOP OF BANK GRADE
CL	- CENTERLINE	TC	- TOP OF CASTING GRADE
FG	- FINISHED GRADE	PAD	- PAD GRADE
FL	- FLOW LINE	MFPG	- MINIMUM FLOOD PROTECTION GRADE
HP	- HIGH POINT	MFFE	- MINIMUM FINISH FLOOR ELEVATION
INV	- INVERT ELEVATION	TW	- TOP OF WALL
LP	- LOW POINT	IEE	- INGRESS / EGRESS EASEMENT
ME	- MATCH EXISTING GRADE	ZS	- LOT NUMBER
NP	- NORMAL POOL (ELEVATION)	C.A.	- COMMON AREA
PC	- POINT OF CURVATURE	D.E.	- DRAINAGE EASEMENT
PRC	- POINT OF REVERSE CURVATURE	S.S.D.&U.E.	- SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
PT	- POINT OF TANGENCY	D.&U.E.	- DRAINAGE AND UTILITY EASEMENT
PVC	- POLYVINYL CHLORIDE PIPE	EASEMENT	- EASEMENT
PVI	- POINT OF VERTICAL INTERSECTION	B.S.L.	- BUILDING SETBACK LINE
RCP	- REINFORCED CONCRETE PIPE	R/W	- RIGHT-OF-WAY

ELEVATION INFORMATION HAS BEEN DETERMINED BASED UPON GPS OBSERVATIONS PROCESSED USING THE NATIONAL GEODETIC SURVEY (NGS) ON-LINE POSITIONING USER SERVICE (OPUS) IN COMBINATION WITH TERRESTRIAL SURVEYING MEASUREMENTS. ELEVATIONS ARE REFERENCED TO THE MEAN SEA LEVEL VERTICAL DATUM OF 1988 (NAVD 88). HORIZONTAL COORDINATES ARE FOR REFERENCE PURPOSES ONLY AND ARE REFERENCED TO THE INDIANA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83 (2011) EPOCH 2010.0000.

ORIGINATING BENCHMARK:
CONTROL POINT #100: 5/8-INCH REBAR WITH RED CAP STAMPED "HWC RANDOLPH" SET FLUSH WITH THE GROUND SOUTH OF THE SOUTHEAST EDGE OF THE PARKING LOT. THE CONTROL POINT IS 1687.7' SOUTH OF MCCORDSVILLE, IN. THE REBAR LIES 18 FEET SOUTH OF THE SOUTH EDGE OF PAVEMENT, 53 FEET EAST OF A CONCRETE BASE FOR A LIGHT POLE, AND 37 FEET SOUTHWEST OF THE SOUTH CORNER OF THE PARKING LOT.

ELEVATION: **635.65 (NAVD88)**
[NORTHING: 1,698.84; EASTING: 253.80]

TRM #1
MAG SPIKE AND CAP 1 FOOT UP IN THE EAST FACE OF A
POWER POLE ON THE WEST SIDE OF COUNTY ROAD 700
WEST, APPROXIMATELY 190 FEET NORTH OF THE
INTERSECTION WITH WEST WINDING BEND. THE POWER POLE
IS APPROXIMATELY 18 FEET WEST OF THE WEST EDGE OF
PAVEMENT OF COUNTY ROAD 700 WEST.
ELEVATION= 833.52 (NAVD88)
[NORTHING: 1,697,501; EASTING: 251,909]

TRM #2
NORTH RIM OF A STORM MANHOLE LOCATED SOUTH OF THE
POND THAT LIES NORTHWEST OF THE INTERSECTION OF
WEST WINDING BEND AND WEST DEER HILL DRIVE.
THE MANHOLE LIES 12 FEET SOUTH OF THE SOUTH EDGE OF
RIPRAP, APPROXIMATELY 166 FEET NORTHEAST OF THE
CENTER OF WEST WINDING BEND, AND APPROXIMATELY 172
FEET NORTHWEST OF THE CENTER OF WEST DEER HILL
DRIVE.
ELEVATION = 837.96 (NAVD88)
[NORTHING: 1,697,475; EASTING: 253,415]

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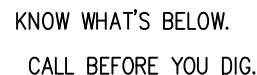
OAKCREST MCCORDSVILLE, INDIANA DEVELOPMENT PLAN



DRAWN BY DC	JOB NUMBER 2019-003-A
CHECKED BY BB	
DATE MARCH 22, 2019	
SCALE AS SHOWN	
SHEET	

C1.2

DEVELOPMENT PLAN



Call 811 or 800-382-5544 Before you Dig!



80' 160'

(IN FEET)

LEGEND:

PROPOSED

DATE	DESCRIPTION	BY
05/03/19	REVISED PER TAC COMMENTS	DC

05/03/19

INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

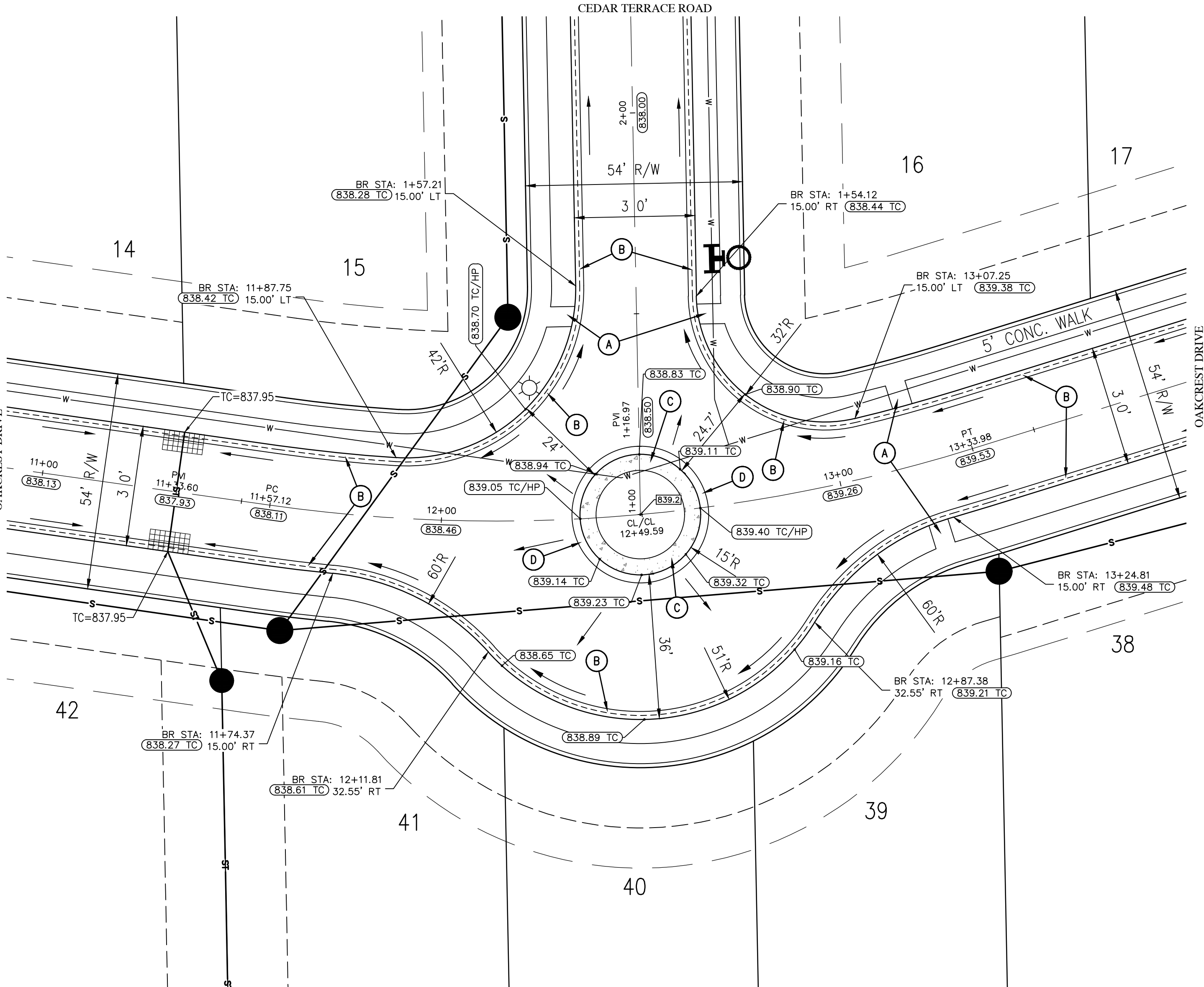
OAKCREST



DRAWN BY
DC

DATE _____SHEET

MASTER UTILITY PLAN



OAKCREST DRIVE & CEDAR TERRACE ROAD
SCALE: 1" = 20'

NOTES:

APRON JOINTS SHALL BE RADIAL TO THE CENTER POINT OF THE ROUNDABOUT IN A 24" GRID PATTERN.

APRON TO BE 7" OF CLASS 'A' CONCRETE ON MINIMUM OF 7" COMPACTED AGGREGATE NO 53. ON INDOT SUBGRADE TREATMENT IB OR IC.

CONCRETE TO BE STAINED/COLORED TO DIFFERENTIATE APRON FROM PEDESTRIAN SIDEWALKS.

APPROVED OR EQUAL TO BELOW AND SUBJECT TO THE TOWN OF MCCORDSVILLE PLANNING DEPARTMENT APPROVAL.

COMPANY: SCOFIELD
PRODUCT: LITHOCHROME TINTURA STAIN
COLOR: 5050 SPANISH TILE WITH ANTIQUING RELEASE
STAMPING PATTERN: CANYON STONE RANDOM INTERLOCKING PATTERN

COMPANY CONTACT INFO:
SCOTT REYES
L.M. SCOFIELD COMPANY
26914 GENA ROAD, CHESTERFIELD, MI 48051
SCOTT.REYES@SCOFIELD.COM
1-800-800-9900

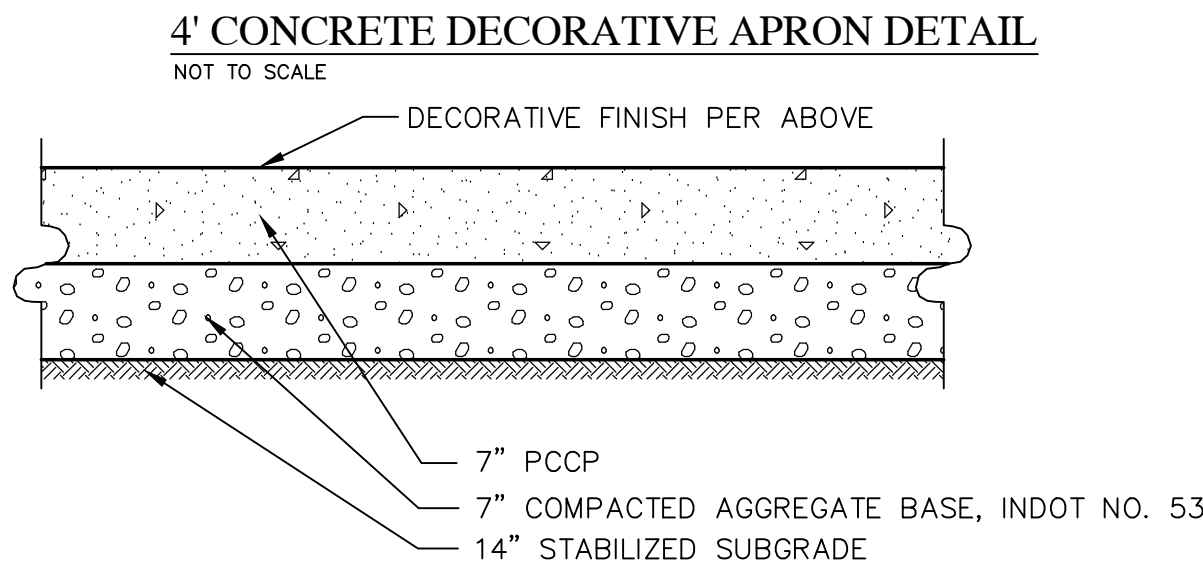
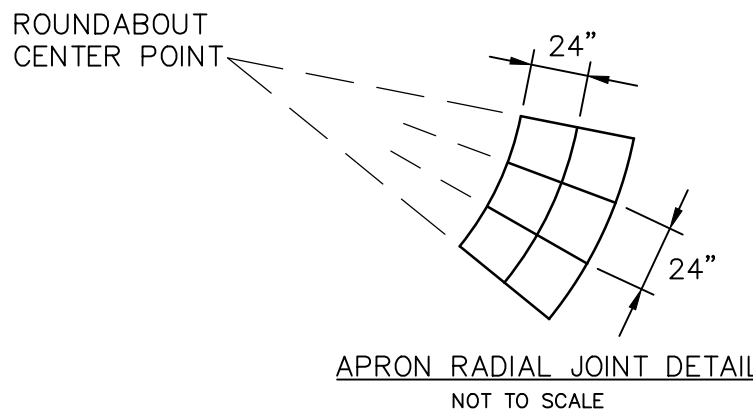
BENCHMARK INFORMATION:

ELEVATION INFORMATION HAS BEEN DETERMINED BASED UPON GPS OBSERVATIONS PROCESSED USING THE NATIONAL GEODETIC SURVEY (NOS) ON-LINE POSITIONING USER SERVICE (OPUS) IN COMBINATION WITH TERRESTRIAL SURVEYING MEASUREMENTS. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). HORIZONTAL COORDINATES ARE FOR REFERENCE PURPOSES ONLY AND ARE REFERENCED TO THE INDIANA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83 (2011) EPOCH 2010.0000

ORIGINATING BENCHMARK:
CONTROL POINT #100: 5/8-INCH REBAR WITH RED CAP STAMPED "HWC RANDOM POINT" SET FLUSH WITH THE GROUND SOUTH OF THE SOUTHEAST EDGE OF THE PARKING LOT FOR GEIST COMMUNITY CHURCH AT 6697 W 900 N, MCCORDSVILLE, IN. THE REBAR LIES 18 FEET SOUTH OF THE SOUTH EDGE OF PAVEMENT, 53 FEET EAST OF A CONCRETE BASE FOR A LIGHT POLE, AND 37 FEET SOUTHWEST OF THE SOUTHEAST CORNER OF THE PARKING LOT.
ELEVATION= 835.65 (NAVD88)
[NORTHING: 1,698,864; EASTING: 253,800]

TBM #1
MAG SPIKE AND CAP 1 FOOT UP IN THE EAST FACE OF A POWER POLE ON THE WEST SIDE OF COUNTY ROAD 700 WEST, APPROXIMATELY 190 FEET NORTH OF THE INTERSECTION WITH WEST WINDING BEND. THE POWER POLE IS APPROXIMATELY 18 FEET WEST OF THE WEST EDGE OF PAVEMENT OF COUNTY ROAD 700 WEST.
ELEVATION= 833.52 (NAVD88)
[NORTHING: 1,697,501; EASTING: 251,909]

TBM #2
NORTH RIM OF A STORM MANHOLE LOCATED SOUTH OF THE POND THAT LIES NORTHWEST OF THE INTERSECTION OF WEST WINDING BEND AND WEST DEER HILL DRIVE. THE MANHOLE LIES 12 FEET SOUTH OF THE SOUTH EDGE OF RIPRAP, APPROXIMATELY 166 FEET NORTHEAST OF THE CENTER OF WEST WINDING BEND, AND APPROXIMATELY 172 FEET NORTHWEST OF THE CENTER OF WEST DEER HILL DRIVE.
ELEVATION = 837.96 (NAVD88)
[NORTHING: 1,697,475; EASTING: 253,415]



CONCRETE PAVEMENT SECTION
NOT TO SCALE

ABBREVIATIONS:

BR - BEGIN RADIUS
CL - CENTERLINE
GUT - GUTTER GRADE
HP - HIGH POINT
LP - LOW POINT
ME - MATCH EXISTING GRADE
PC - POINT OF CURVATURE
PT - POINT OF TANGENCY
PVI - POINT OF VERTICAL INTERSECTION
R - RADIUS
TC - TOP OF CURB/TOP OF CASTING GRADE

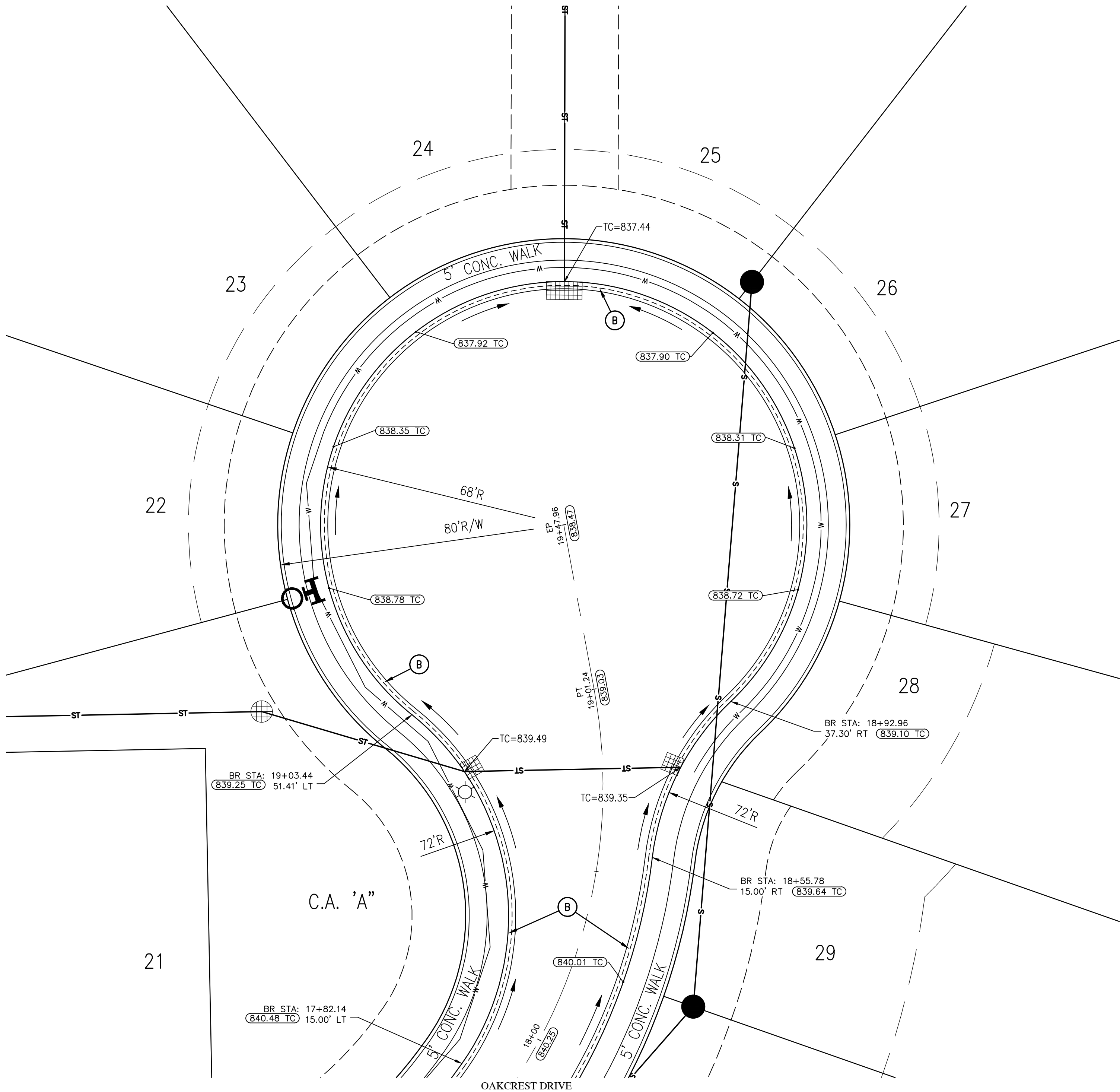
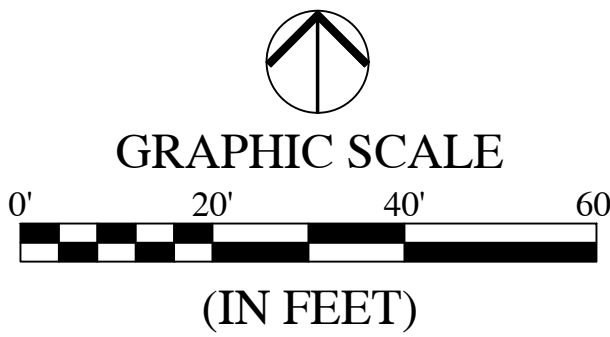
LEGEND:

EXISTING

RIGHT-OF-WAY LINE
EASEMENT LINE
SETBACK LINE
CENTERLINE
SWALE / FLOWLINE
SUBSURFACE DRAIN
SANITARY SEWER
STORM SEWER
STORM CULVERT
WATER MAIN
SANITARY MANHOLE
STORM MANHOLE
STORM INLET
STORM END SECTION
FIRE HYDRANT
FLOW ARROW
SPOT ELEVATION
PAVEMENT ELEVATION
A.D.A HANDICAP RAMP

PROPOSED

2' ROLL CURB
4 FT CONC. APRON
(SEE CONCRETE SECTION - THIS SHEET)
2' ROLL CURB (REVERSE SLOPE)



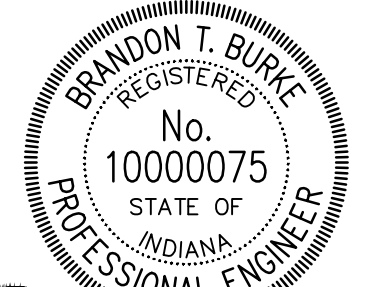
OAKCREST DRIVE
SCALE: 1" = 20'

REVISIONS

DATE	DESCRIPTION	BY
05/03/19	REVISED PER TAC COMMENTS	DC



**OAKCREST
MCCORDSVILLE, INDIANA
INTERSECTION & CUL-DE-SAC DETAILS**



BRANDON T. BURKE
DRAWN BY
DC
CHECKED BY
BB
DATE
MARCH 22, 2019
SCALE
AS SHOWN
SHEET

C3.2

INTERSECTION &
CUL-DE-SAC DETAILS



1. THE USE OF THERMOPLASTIC PAVEMENT MARKINGS IS REQUIRED ON ASPHALT PAVEMENT WITHIN THE RIGHT-OF-WAY. THE USE OF EPOX STRIPING IS REQUIRED ON CONCRETE WITHIN THE RIGHT-OF-WAY.
2. LIGHTING, SIGNS, IRRIGATION LINES, ETC. MUST BE CONSTRUCTED TO MAINTAIN A MINIMUM HORIZONTAL SEPARATION OF TEN (10) FEET FROM THE CENTER OF THE SANITARY SEWER FACILITIES.
3. STREET LIGHTS ARE REQUIRED TO MATCH EXISTING STREET LIGHTS. TO INCLUDE POLE TYPE, FIXTURE TYPE, HEIGHT OF FIXTURE ETC.
4. ALL STREET LIGHTING SHALL BE INSTALLED WITH REFLECTORS OR OTHER SUCH DEVICES OR CONTROLS SO THAT LIGHT IS REFLECTED TO THE ROADWAY TO MINIMIZE LIGHT POLLUTION. ALL STREET LIGHTS ARE TO BE FULL CUT-OFF AND DARK SKY COMPLIANT.
5. ALL ROADS MUST BE BROUGHT BACK TO ORIGINAL OR BETTER CONDITION, INCLUDING BUT NOT LIMITED TO STRIPING, STONE SHOULDERS AND SIGNAGE.



Call 811 or 800-382-5544 Before you Dig!



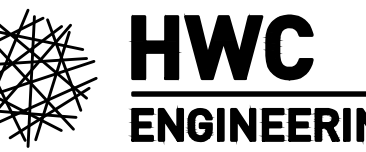
GRAPHIC SCALE

(IN FEET)



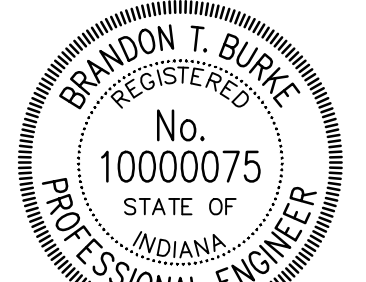
1950 **LIU**

1950 **LIU**



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OAKCREST
MCCORDSVILLE, INDIANA
TRAFFIC CONTROL AND LIGHTING PLAN



Brandon T. Brul

DRAWN BY DC	JOB NUMBER 2019-003-A
CHECKED BY BB	
DATE MARCH 22, 2019	
SCALE	
AS SHOWN	
SHEET	

C3.3

TRAFFIC CONTROL AND LIGHTING PLAN

Plot Date: May 06, 2019 Plot Time: 7:58pm File Name: W:\Pulte Homes\2019-003-A Pulte- Oakcrest\Design\CAD\9003-A-Sanitary Plan.dwg, Layout: C4.0 By: dcheesterfield

LEGEND:	
EXISTING	PROPOSED
RIGHT-OF-WAY LINE	RIGHT-OF-WAY LINE
EASEMENT LINE	EASEMENT LINE
SETBACK LINE	SETBACK LINE
CENTERLINE	CENTERLINE
SWALE / FLOWLINE	SWALE / FLOWLINE
SUBSURFACE DRAIN	SUBSURFACE DRAIN
SANITARY SEWER	SANITARY SEWER
STORM SEWER	STORM SEWER
STORM CULVERT	STORM CULVERT
WATER MAIN	WATER MAIN
SANITARY MANHOLE	SANITARY MANHOLE
STORM MANHOLE	STORM MANHOLE
STORM INLET	STORM INLET
STORM END SECTION	STORM END SECTION
FIRE HYDRANT	FIRE HYDRANT
PROFIED PIPELINE	PROFIED PIPELINE
EX - EXISTING	INV - INVERT ELEVATION
INV - INVERT ELEVATION	MH - MANHOLE
MH - MANHOLE	PVC - POLYVINYL CHLORIDE PIPE
PVC - POLYVINYL CHLORIDE PIPE	TC - TOP OF CASTING GRADE

BENCHMARK INFORMATION:

ELEVATION INFORMATION HAS BEEN DETERMINED BASED UPON GPS OBSERVATIONS PROCESSED USING THE NATIONAL GEODETIC SURVEY (NGS) ON-LINE POSITIONING USER SERVICE (OPUS) IN COMBINATION WITH TERRESTRIAL SURVEYING MEASUREMENTS. ELEVATIONS ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83). HORIZONTAL COORDINATES ARE FOR REFERENCE PURPOSES ONLY AND ARE REFERENCED TO THE INDIANA STATE PLANE COORDINATE SYSTEM, EAST ZONE, NAD 83 (2011) EPOCH 2010.0000.

ORIGINATING BENCHMARK:
CONTROL POINT #100: 5/8-INCH REBAR WITH RED CAP STAMPED "MC-RANDOM POINT" SET FLUSH WITH THE GROUND SOUTH OF THE SOUTHEAST EDGE OF THE PARKING LOT FOR GUEST COMMUNITY CHURCH AT 6697 W 800 N, MCCORDSVILLE, IN. THE REBAR LIES 18 FEET SOUTH OF THE SOUTH EDGE OF PAVEMENT, 53 FEET EAST OF A CONCRETE BASE FOR A LIGHT POLE, AND 37 FEET SOUTHWEST OF THE SOUTHEAST CORNER OF THE PARKING LOT.
ELEVATION= 833.52 (NAVD83)
[NORTHING: 1,697,501; EASTING: 253,800]

BM #1:
1/4" IRON PIPE AND CAP 1 FOOT UP IN THE EAST FACE OF A POWER POLE ON THE WEST SIDE OF COUNTY ROAD 700 WEST, APPROXIMATELY 190 FEET NORTH OF THE INTERSECTION WITH WEST WINDING BEND. THE POWER POLE IS APPROXIMATELY 18 FEET WEST OF THE WEST EDGE OF PAVEMENT OF COUNTY ROAD 700 WEST.
ELEVATION= 833.52 (NAVD83)
[NORTHING: 1,697,501; EASTING: 253,909]

BM #2:
NORTH END OF A STORM MANHOLE LOCATED SOUTH OF THE POND THAT LIES NORTHWEST OF THE INTERSECTION OF WEST WINDING BEND AND WEST DEER HILL DRIVE. THE MANHOLE LIES 12 FEET SOUTH OF THE SOUTH EDGE OF THE CENTER OF WEST WINDING BEND, AND APPROXIMATELY 172 FEET NORTHWEST OF THE CENTER OF WEST DEER HILL DRIVE.
ELEVATION = 837.96 (NAVD83)
[NORTHING: 1,697,473; EASTING: 253,415]

NOTE:
ORANGE CONSTRUCTION FENCING SHALL REMAIN THROUGH DURATION OF PROJECT FOR SAFETY AND WORK ZONE AWARENESS. SEWER TRENCHES SHALL BE BACKFILLED AS SEWER CONSTRUCTION PROGRESSES. ALL TRENCHES SHALL BE BACKFILLED AND CLOSED AT END OF DAY OR WHEN CONTRACTOR NOT PRESENT ON-SITE.

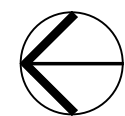
NOTE:
PULTE / CONTRACTOR TO COORDINATE WITH ADJOINER PRIOR TO CONSTRUCTION AND MAINTAIN PROPERTY ACCESS THROUGH CONSTRUCTION.

GENERAL NOTES

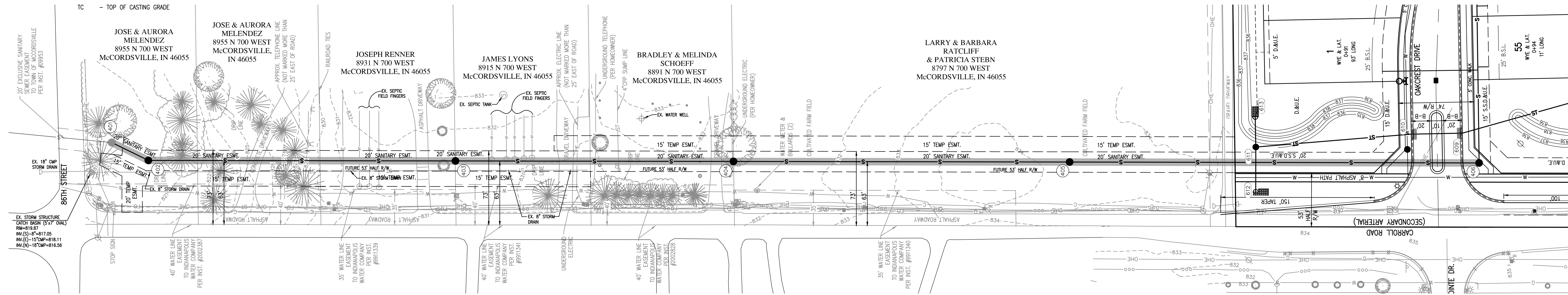
- FULL DEPTH GRANULAR BACKFILL SHALL BE INSTALLED ON ALL SEWER LATERAL STREET CROSSINGS & COMPACTED PER INDOT STANDARDS.
- MIN. SLOPES PER THE TEN STATE STANDARDS SHALL PREVAIL IN ALL CASES.
- THERE ARE NO DRINKING WATER WELLS WITHIN 100 FEET OF THE PROPOSED SEWERS.
- THE CONTRACTOR SHALL TELEVIEW THE SANITARY SEWER PRIOR TO ACCEPTANCE AND AGAIN WITHIN SIX MONTHS OF THE EXPIRATION OF THE MAINTENANCE BOND. THE TAPES (OR CD) AND LOG SHALL BE FORWARDED TO MCCORDSVILLE DESIGNATED AGENT FOR REVIEW.
- CONTRACTOR SHALL EXTEND SEWER LATERALS THRU EASEMENTS AS SHOWN.
- CONTRACTOR SHALL INSTALL LATERAL NO CLOSER THAN 5' FROM BUILDING LINE AND NO GREATER THAN 6' DEEP AT LATERAL END.
- CONTRACTOR SHALL VERIFY DEPTHS OF ALL EXISTING ON-SITE UTILITIES PRIOR TO CONSTRUCTION TO CONFIRM THERE IS NOT ANY CONFLICTS WITH OTHER UTILITIES, STORM SEWERS OR STREETS. CONFLICTS AFTER CONSTRUCTION BEGINS ARE SOLELY THE CONTRACTOR'S RESPONSIBILITY.
- ANY AND ALL DRIVEWAYS THAT ARE DISTURBED DURING SEWER INSTALLATION SHALL BE REPLACED IN KIND.



Call 811 or 800-382-5544 Before you Dig!

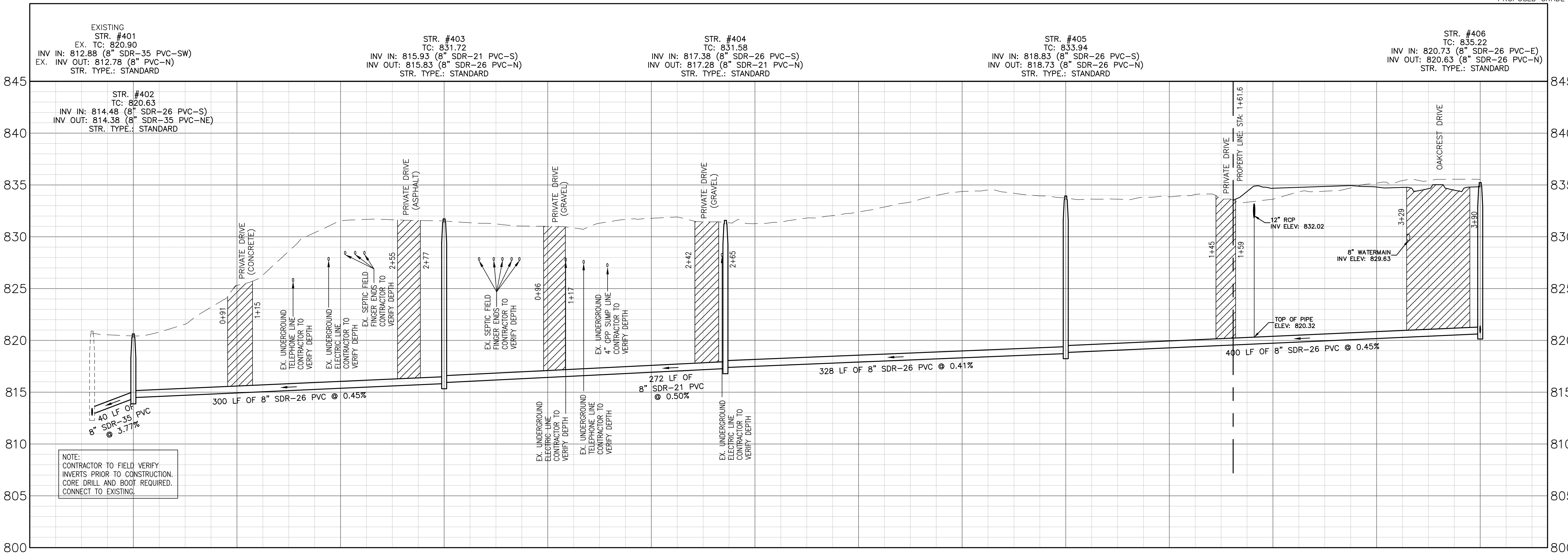


GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

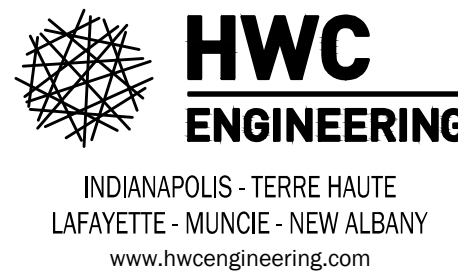


SANITARY PROFILE

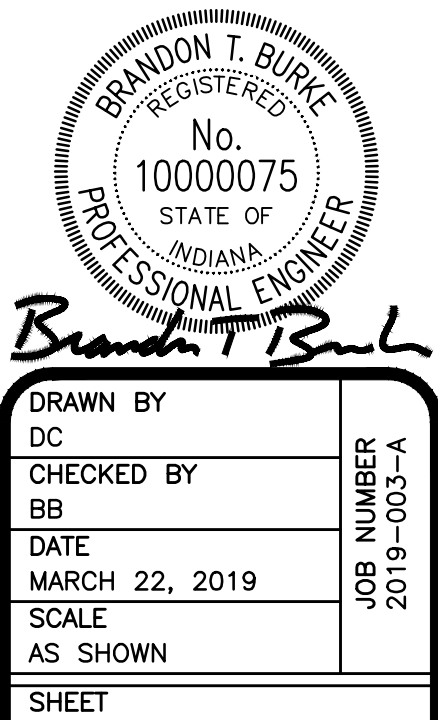
VERTICAL SCALE: 1" = 5'
HORIZONTAL SCALE: 1" = 50'



REVISIONS		
DATE	DESCRIPTION	BY
05/03/19	REVISED PER TAC COMMENTS	DC



OAKCREST MCCORDSVILLE, INDIANA SANITARY SEWER PLAN & PROFILE

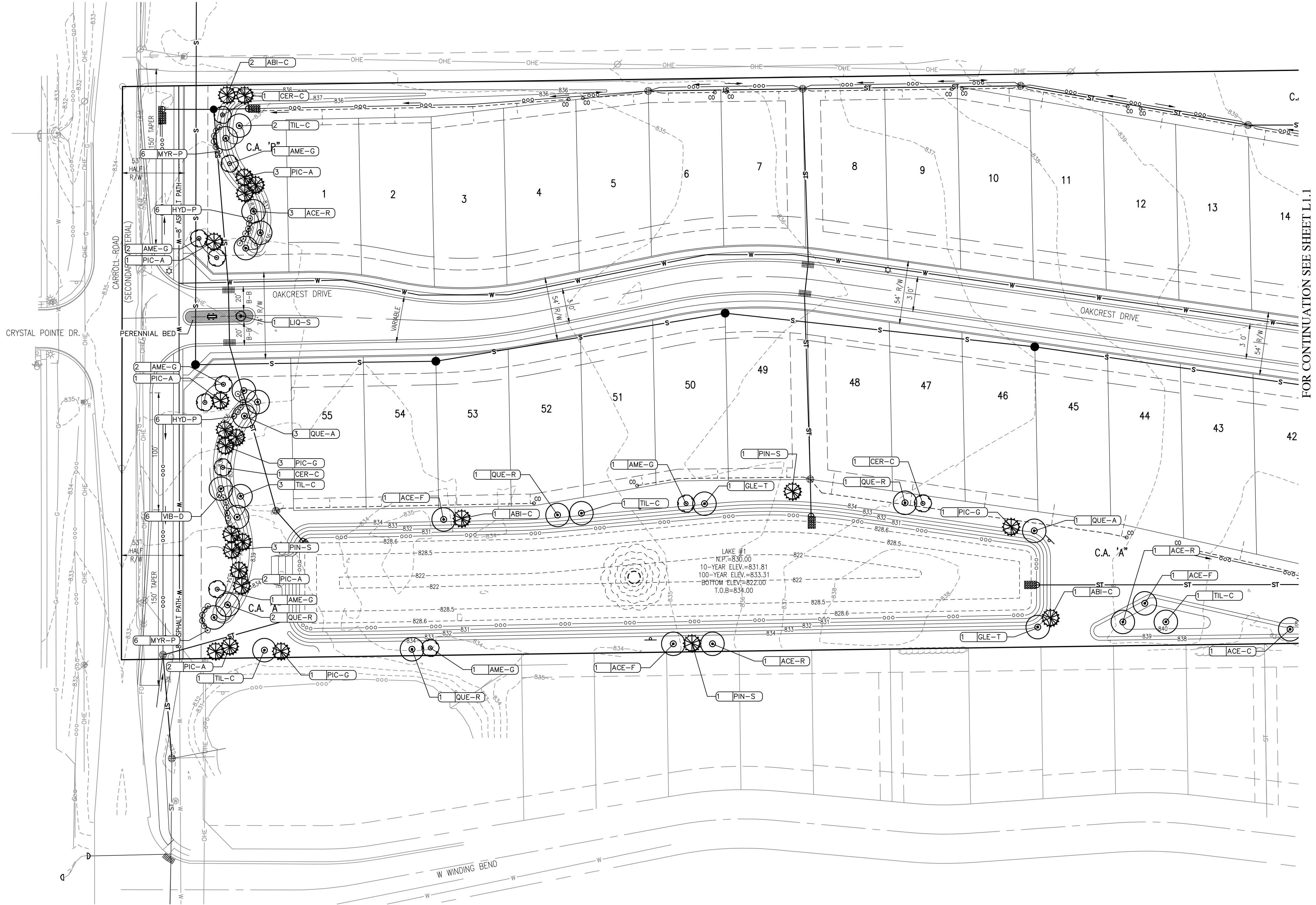


C4.0
SANITARY SEWER PLAN & PROFILE

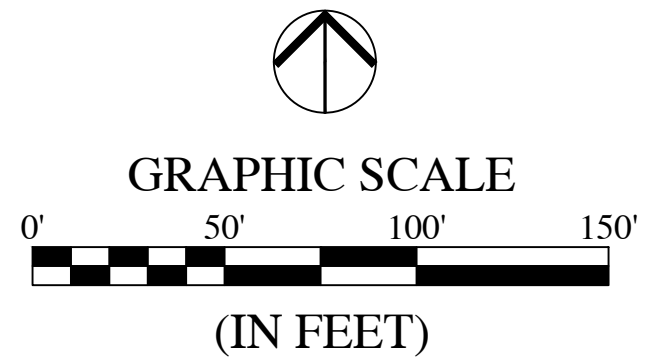
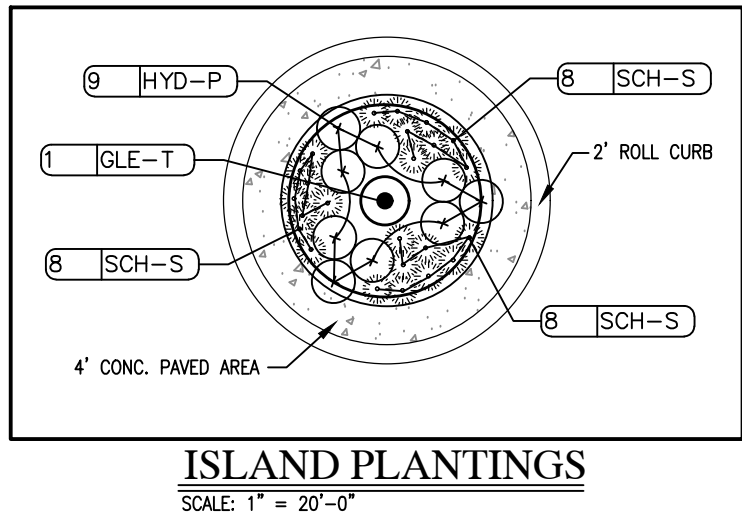
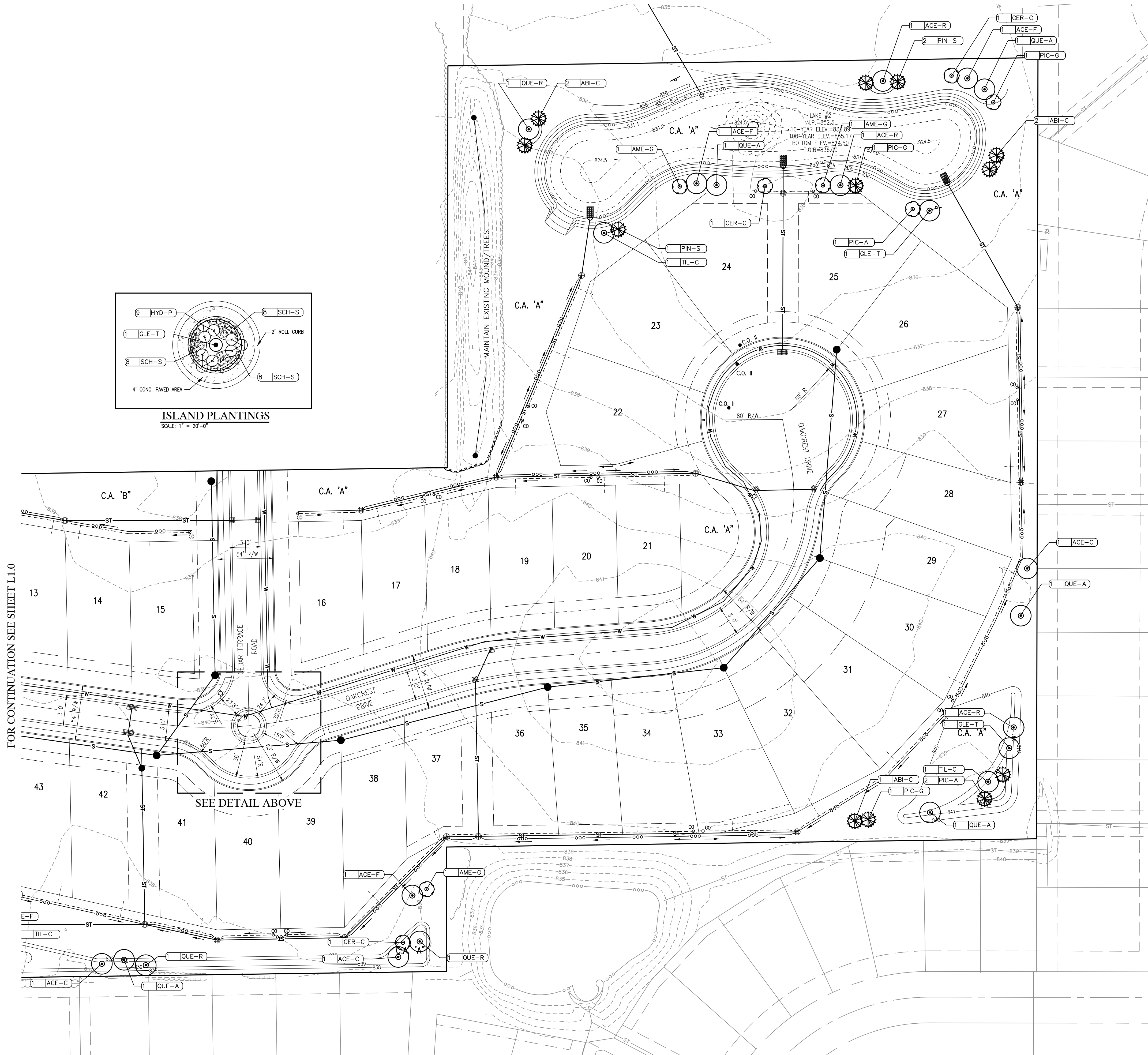
Plot Date: May 06, 2019 Plot Time: 8:00pm File Name: W:\Pulte Homes\2019-003-A Pulte- Oakcrest\Design\CAD\19003-A Landscape Plan.dwg, Layout: L1.0 By: dchesterfield

MASTER PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	NATIVE	SIZE	HEIGHT	ROOT	SPACING	REMARKS
SHADE TREES									
ACE-C	3	ACER CAMPESTRE	HEDGE MAPLE		2" CAL.	8'-10'	B&B	SEE PLAN	CENTRAL LEADER, DENSE BRANCHING, SPECIMEN
ACE-F	6	ACER FREEMANII 'ARMSTRONG'	ARMSTRONG FREEMAN MAPLE		2" CAL.	8'-10'	B&B	SEE PLAN	CENTRAL LEADER, DENSE BRANCHING, SPECIMEN
ACE-R	8	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	YES	2" CAL.	8'-10'	B&B	SEE PLAN	CENTRAL LEADER, DENSE BRANCHING, SPECIMEN
GLE-T	5	GLEDTISIA TRIACANTHOS INERMIS 'SKYLINE'	SKYLINE HONEYLOCUST		2" CAL.	8'-10'	B&B	SEE PLAN	CENTRAL LEADER, DENSE BRANCHING, SPECIMEN
QUE-A	9	QUERCUS ALBA	WHITE OAK	YES	2" CAL.	8'-10'	B&B	SEE PLAN	REGULAR, SYMMETRICAL FORM
QUE-R	8	QUERCUS RUBRA	RED OAK	YES	2" CAL.	8'-10'	B&B	SEE PLAN	CENTRAL LEADER, DENSE BRANCHING, SPECIMEN
TIL-C	10	TILIA CORDATA 'GREENSPIRE'	LITTLELEAF LINDEN 'GREENSPIRE'		2" CAL.	8'-10'	B&B	SEE PLAN	CENTRAL LEADER, DENSE BRANCHING, SPECIMEN
LIQ-S	1	LIQUIDAMBAR STYRACIFLUA 'SLENDAR SILHOUETTE'	SLENDAR SILHOUETTE SWEETGUM		2" CAL.	8'-10'	B&B	SEE PLAN	CENTRAL LEADER, DENSE BRANCHING, SPECIMEN
EVERGREEN TREES									
ABI-C	9	AABIES CONCOLOR	WHITE FIR		-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF THE HEIGHT
PICA	12	PICEA ABIES	NORWAY SPRUCE		-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF THE HEIGHT
PIC-G	8	PICEA GLAUCA 'DENSATA'	BLACK HILLS SPRUCE		-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF THE HEIGHT
PIN-S	8	PINUS STROBUS	EASTERN WHITE PINE		-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF THE HEIGHT
ORNAMENTAL TREES									
AME-G	11	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY		2" CAL.	6'	B&B	SEE PLAN	MULTI-TRUNK, MIN. 3 CANES, TREE FORM, DENSE
CER-C	6	CERCIS CANADENSIS	EASTERN REDBUD		2" CAL.	6'	B&B	SEE PLAN	CENTRAL LEADER, DENSE BRANCHING, SPECIMEN
SHRUBS									
MYR-P	12	MYRICA PENSYLVANICA 'MORTON'	SILVER SPRITE BAYBERRY		5 GAL.	24"	CAN	SEE PLAN	FULL IN POT
HYD-P	21	HYDRANGEA PANICULATE	LIMELIGHT HYDRANGEA		5 GAL.	24"	CAN	SEE PLAN	FULL IN POT
VIB-D	6	VIBURNUM DENTATUM	BLUE MUFFIN VIBURNUM		5 GAL.	24"	CAN	SEE PLAN	FULL IN POT
GRASSES									
SCH-S	24	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM		2 GAL.		CAN	SEE PLAN	FULL IN POT



Plot Date: May 06, 2019 Plot Time: 8:01pm File Name: W:\Pulte Homes\2019-003-A Pulte- Oakcrest\Design\CAD\19003-A Landscape Plan.dwg, Layout: L1.1 By: dchesterfield



LEGEND:

EXISTING	RIGHT-OF-WAY LINE	PROPOSED
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CENTERLINE	---
---	SWALE / FLOWLINE	---
---	SUBSURFACE DRAIN	---
---	SANITARY SEWER	---
---	STORM SEWER	---
---	STORM CULVERT	---
---	WATER MAIN	---
---	CONTOUR, MAJOR	---
---	CONTOUR, MINOR	---
---	FENCE	---
---	TREE LINE	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	STORM INLET	---
---	STORM END SECTION	---
---	FIRE HYDRANT	---

LANDSCAPE LEGEND:

QUANTITY / KEY	
ENTRY MONUMENT	---
PERENNIAL BED	---
SHADE TREE	---
EVERGREEN TREE	---
ORNAMENTAL TREE	---
DECIDUOUS SHRUB	---
GRASSES	---

REVISIONS		
DATE	DESCRIPTION	BY
05/03/19	REVISED PER TAC COMMENTS	DC

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OAKCREST
MCCORDSVILLE, INDIANA
LANDSCAPE PLAN

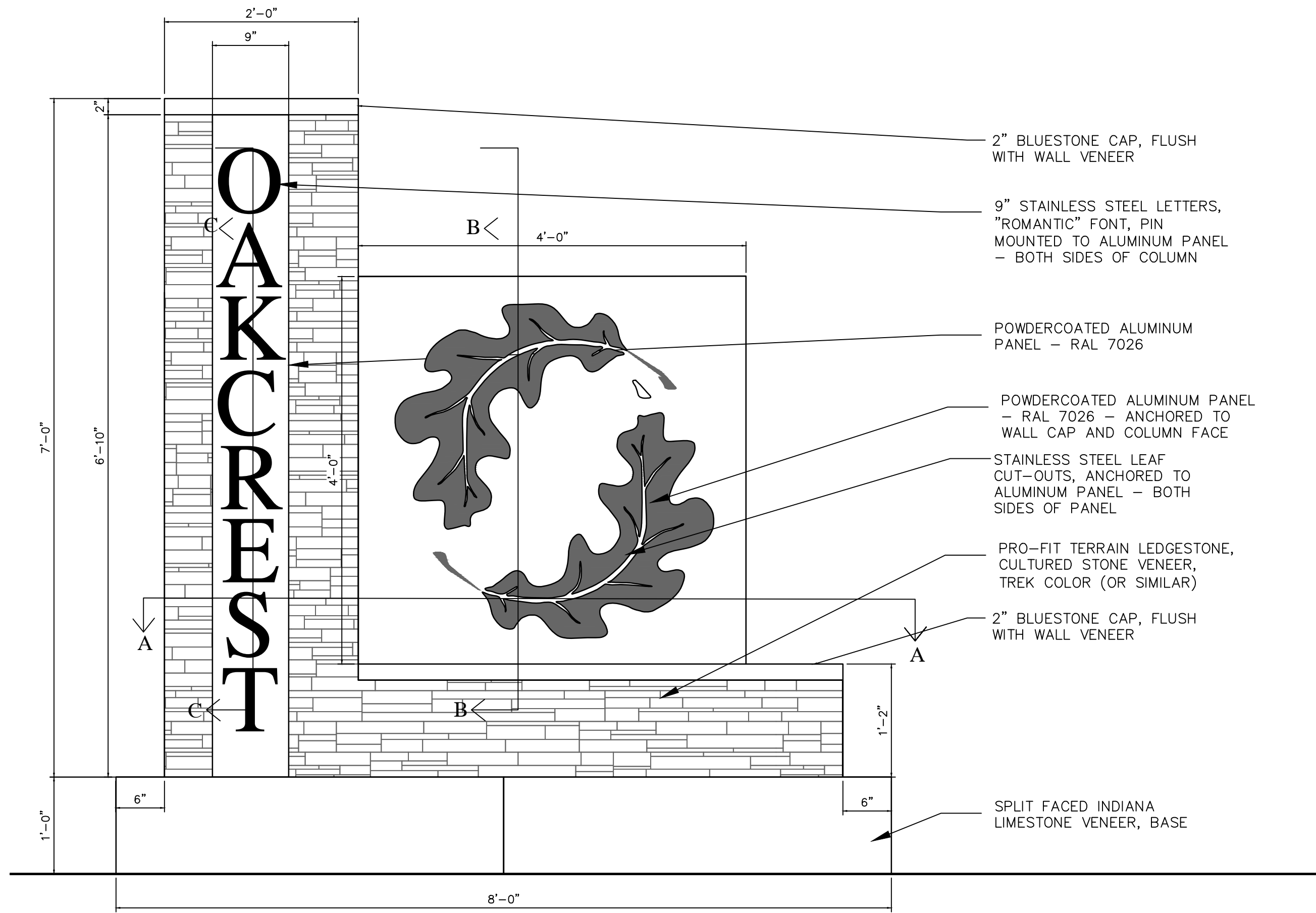
BRANDON T. BURKE
REGISTERED
No. 10000075
STATE OF INDIANA
PROFESSIONAL ENGINEER
Brandon T. Burke

DRAWN BY: KM
CHECKED BY: BB
DATE: MARCH 22, 2019
SCALE: AS SHOWN
SHEET

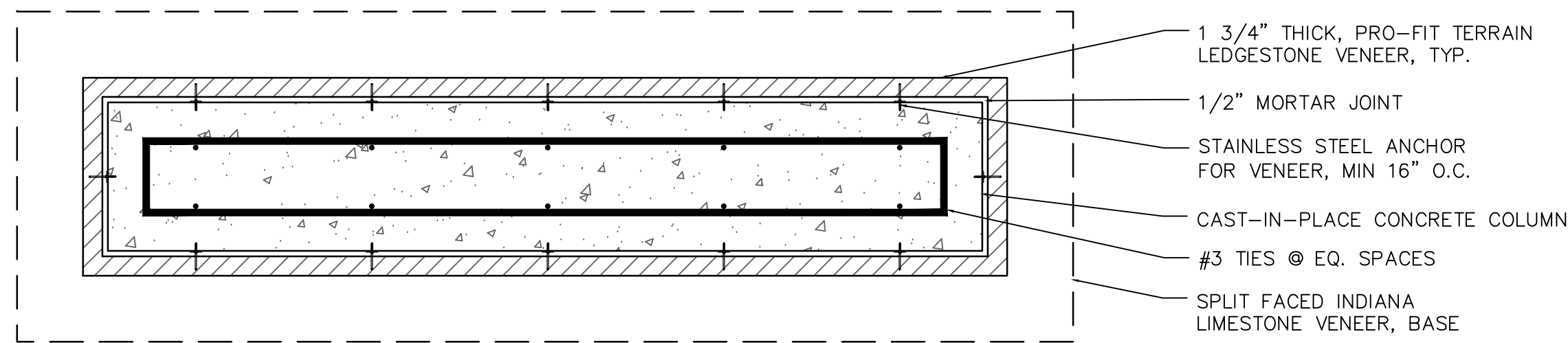
JOB NUMBER: 2019-003-A

L1.1
LANDSCAPE PLAN

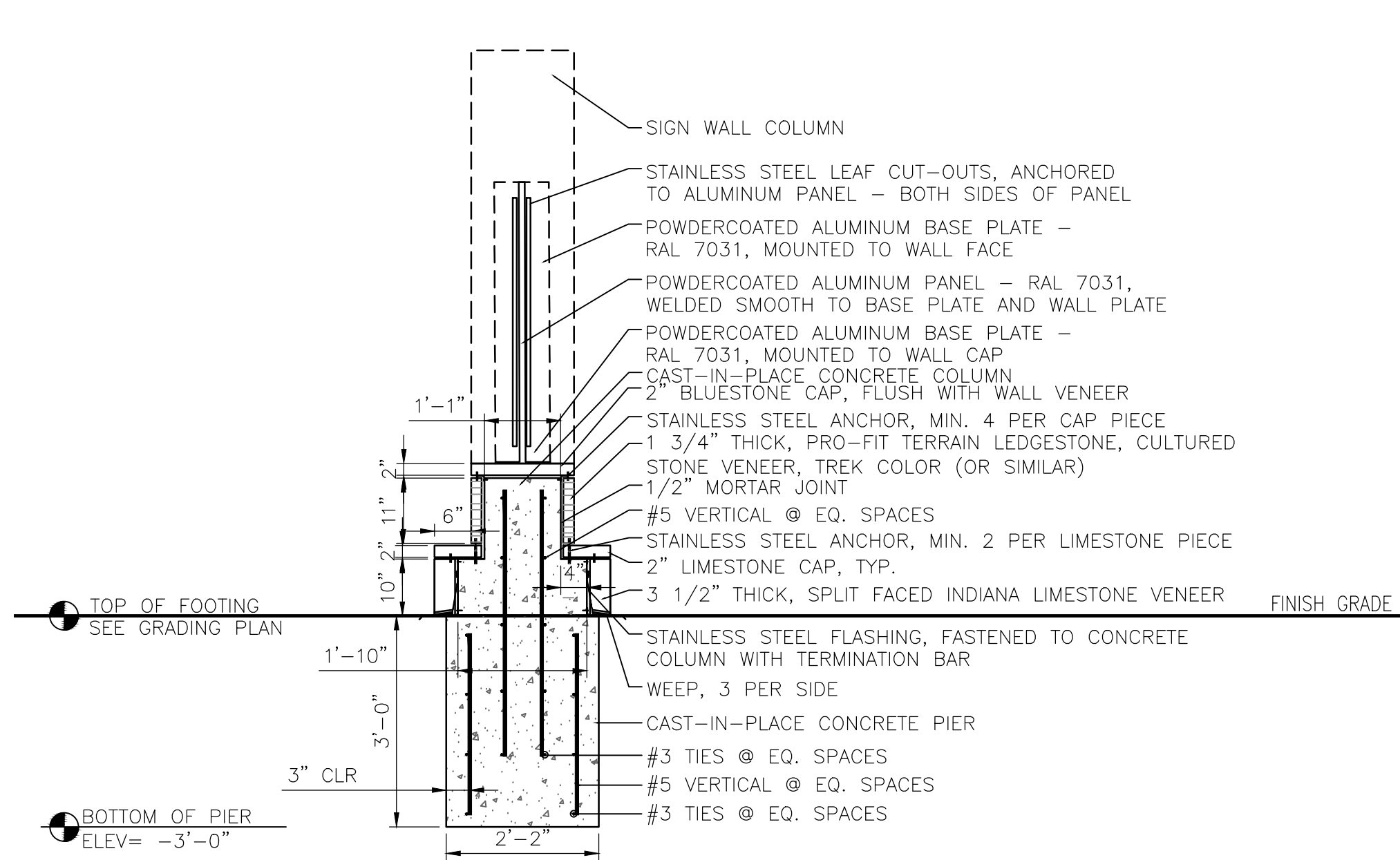
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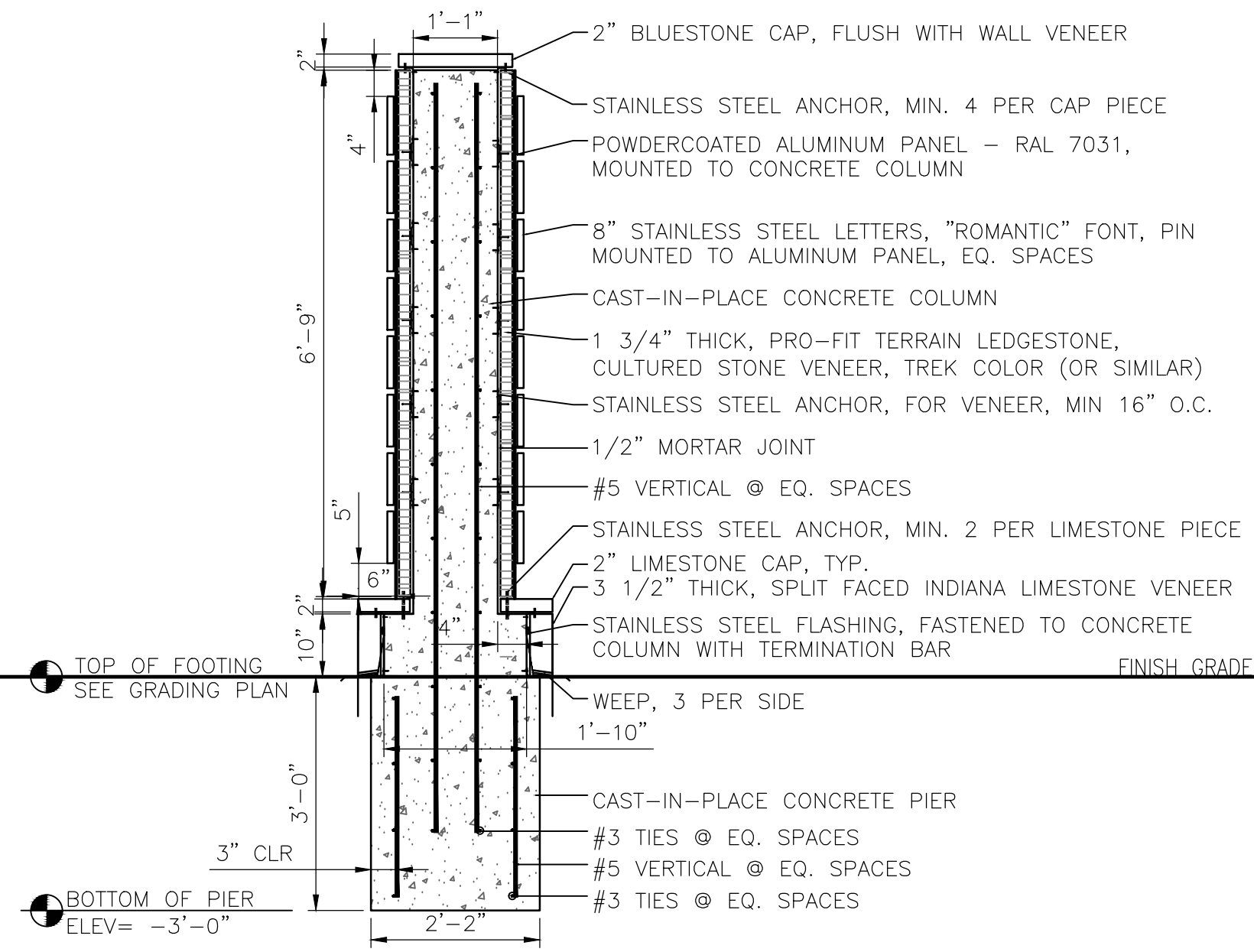
1 FRONT ELEVATION
SCALE: 1" = 1'-0"



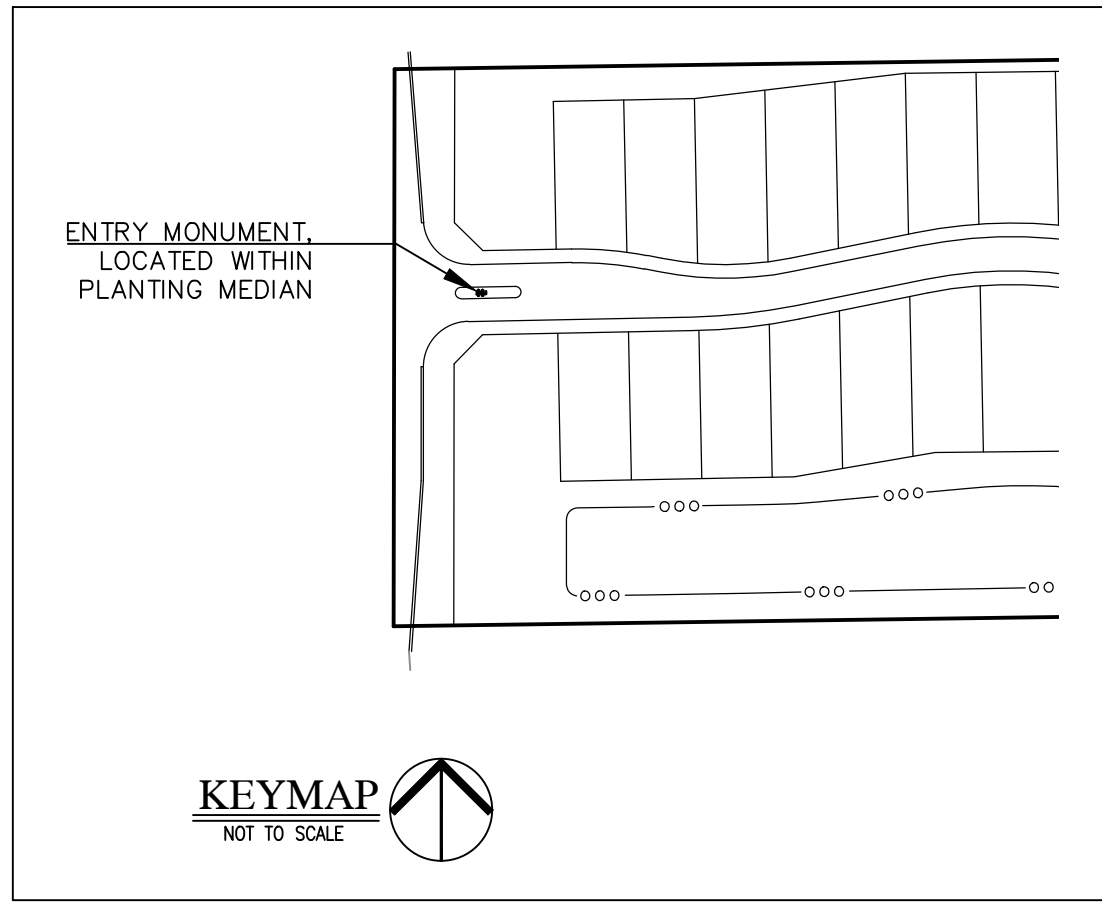
2 SECTION "A"
SCALE: 1" = 1'-0"



3 SECTION "B"
SCALE: 1" = 1'-0"



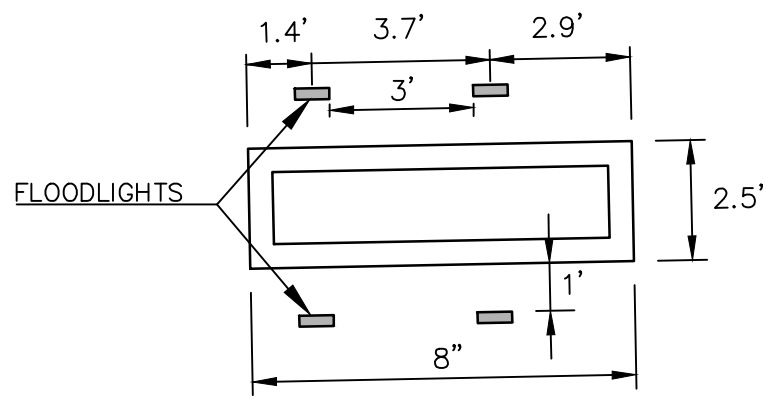
4 SECTION "C"
SCALE: 1" = 1'-0"



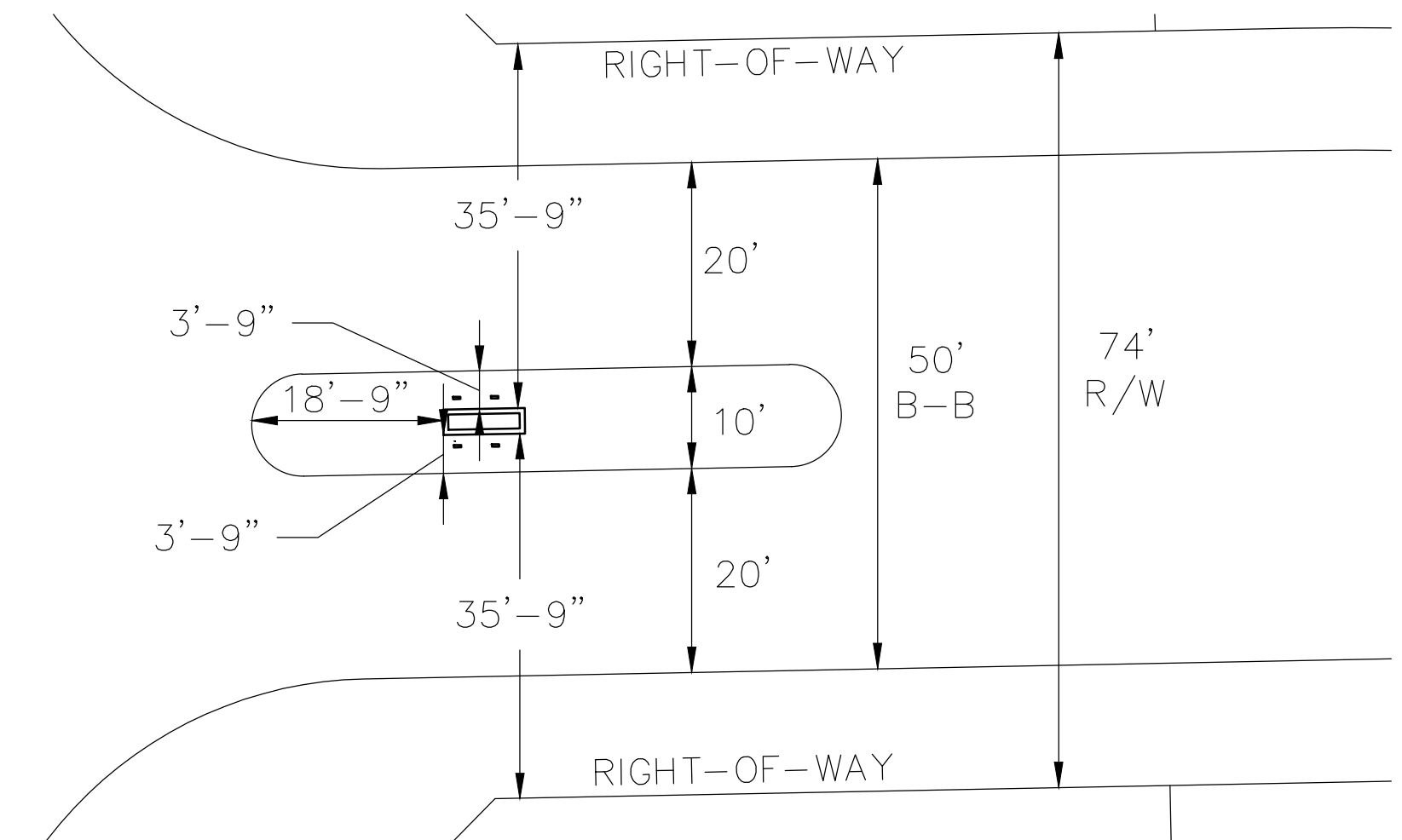
- FLOODLIGHT SPECIFICATIONS:
- LAMP TYPE: CONDUIT MOUNT, VERTICAL PIVOT
 - BULB TYPE: 18W, LED, 1,624 LUMENS, 100,000 HOUR LIFE
 - INPUT VOLTAGE: 277V
 - ENCLOSURE: ALUMINUM HOUSING, ALUMINUM REFLECTOR
 - STANDARDS MET: UL LISTED
 - DIMENSIONS: 7" x 8.625" x 4.125" (H x W x D)*
- * H IS HEIGHT, THE VERTICAL DISTANCE FROM THE LOWEST TO HIGHEST POINT; W IS WIDTH, THE HORIZONTAL DISTANCE FROM LEFT TO RIGHT; D IS DEPTH, THE HORIZONTAL DISTANCE FROM FRONT TO BACK

- NOTE:
- THIS RAB LIGHTING FFLED18 CONDUIT-MOUNT FLOODLIGHT HAS AN 18W LED LAMP THAT PRODUCES 1,624 LUMENS AND ACCEPTS 277 VOLT INPUT POWER. THE FLOODLIGHT HAS AN ADJUSTABLE VERTICAL PIVOT AND MOUNTS TO ELECTRICAL CONDUIT WITH A 1/2" FEMALE THREADED END AT THE BASE OF THE HOUSING. THE BRONZE COLOR CAST ALUMINUM HOUSING IS LIGHT WEIGHT AND CORROSION RESISTANT AND THE LENS IS WEATHER RESISTANT FOR BULB PROTECTION. AN ADJUSTABLE ALUMINUM REFLECTOR BEHIND THE BULB REFLECTS LIGHT OUTWARD. THIS FLOODLIGHT IS UNDERWRITERS LABORATORIES (UL) LISTED FOR QUALITY ASSURANCE AND IS SUITABLE FOR USE IN OUTDOOR OR INDOOR WORK SITE LIGHTING, SUCH AS IN PARKING LOTS AND WAREHOUSES.
 - RAB LIGHTING MANUFACTURES LED, METAL HALIDE, AND HIGH-PRESSURE SODIUM LIGHTING FIXTURES AND CONTROLS FOR INDOOR AND OUTDOOR APPLICATIONS. THE COMPANY, FOUNDED IN 1946, IS HEADQUARTERED IN NORTHVALE, NJ.
 - FIXTURE FEATURES AND DETAILS:
 - CONDUIT-MOUNT FLOODLIGHT FOR WORK SITE LIGHTING, INSTALLATION REQUIRED
 - 18W LED LAMP PRODUCES 1,624 LUMENS
 - UL LISTED FOR QUALITY ASSURANCE
 - SILICONE GASKET FOR DURABLE WEATHERPROOFING
 - PRECISION DIE CAST ALUMINUM HOUSING AND LENS FRAME WITH DURABLE POLYESTER POWDER COATING
 - R-NPF 120V BALLAST

5 FLOODLIGHT SPECIFICATIONS
NOT TO SCALE



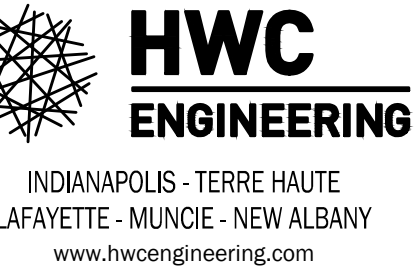
4 FLOODLIGHT LOCATION PLAN
SCALE: 1" = 10'



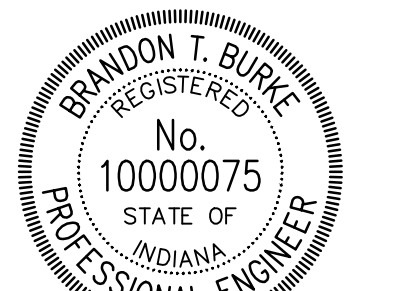
5 PLAN, TYP.
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY
05/03/19	REVISED PER TAC COMMENTS	DC



OAKCREST MCCORDSVILLE, INDIANA ENTRY SIGN DETAILS



DRAWN BY KM	JOB NUMBER 2019-003-A
CHECKED BY BB	
DATE MARCH 22, 2019	
SCALE AS SHOWN	
SHEET	

L1.3

ENTRY SIGN DETAILS

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
PULTE HOMES OF INDIANA, LLC
11590 NORTH MERIDIAN ST., SUITE 530
CARMEL, INDIANA 46032
PHONE: (317) 575-2350

PUD ORDINANCE NAME:
OAKCREST PLANNED UNIT DEVELOPMENT (PUD)

PUD ORDINANCE NUMBER:
121410
DATED: FEBRUARY 19, 2019

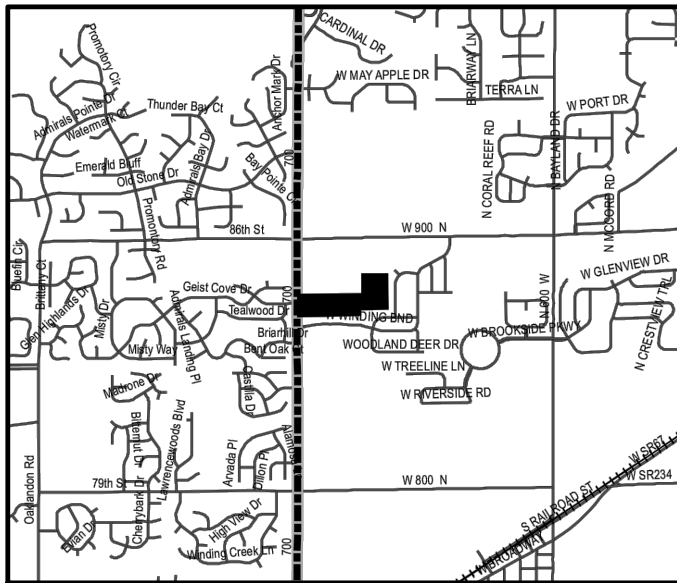
RECORD PLAT OAKCREST TOWN OF MCCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF BLOCK "A" IN DEER CROSSING BLOCK A RECORD PLAT)
(PART OF SECTION 23, TOWNSHIP 17 NORTH, RANGE 5 EAST)

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____



Vicinity Map
Not to Scale

DEER CROSSING
BLOCK "A"
P.C. C, SLIDE 25
INSTR. #2009063

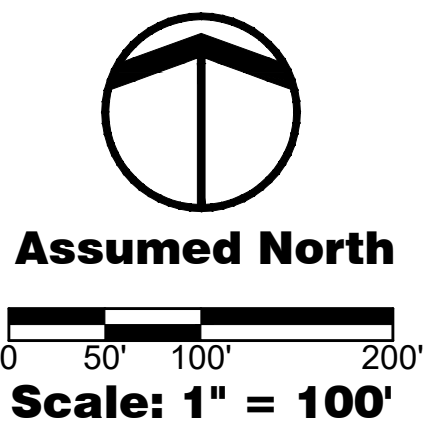
Curve Table				
Curve #	Length	Radius	Chord Length	Chord Bearing
C-1	24.02'	400.00'	24.02'	N89°24'08"W
C-2	66.84'	312.00'	66.71'	N84°59'09"W
C-3	113.44'	288.00'	112.71'	N89°52'02"E
C-4	95.89'	400.00'	95.66'	N85°27'03"E
C-5	94.68'	527.00'	94.56'	N83°43'49"E
C-6	126.86'	373.00'	126.25'	S88°19'38"W
C-7	136.05'	400.00'	135.39'	S88°19'38"W
C-8	145.23'	427.00'	144.53'	S88°19'38"W
C-9	18.41'	427.00'	18.41'	S83°09'51"E
C-10	176.85'	400.00'	175.42'	N85°24'17"E
C-11	28.56'	373.00'	28.56'	S84°07'22"E
C-12	9.78'	427.00'	9.78'	N73°23'41"E
C-13	24.92'	373.00'	24.92'	N74°39'10"E
C-14	35.48'	48.00'	34.68'	N63°13'16"W

Curve Table				
Curve #	Length	Radius	Chord Length	Chord Bearing
C-15	116.84'	63.00'	100.80'	N84°49'33"E
C-16	35.48'	48.00'	34.68'	S52°52'22"W
C-17	35.71'	20.00'	31.15'	S52°16'40"E
C-18	49.64'	30.00'	44.17'	N46°16'49"E
C-19	84.62'	373.00'	84.44'	S79°14'16"W
C-20	90.75'	400.00'	90.55'	S79°14'16"W
C-21	96.87'	427.00'	96.67'	S79°14'16"W
C-22	108.85'	123.00'	105.33'	N60°23'04"E
C-23	251.85'	150.00'	223.29'	N37°38'17"E
C-24	243.54'	177.00'	224.78'	N46°19'13"E
C-25	90.46'	60.00'	82.13'	N08°09'33"W
C-26	388.04'	80.00'	105.06'	S87°36'25"W
C-27	41.53'	60.00'	40.71'	S26°44'01"W

DEVELOPMENT STANDARDS

MAXIMUM NUMBER OF LOTS
MINIMUM LOT AREA
MINIMUM LOT WIDTH
AT BUILDING LINE
MINIMUM FRONT YARD SETBACK
MINIMUM SIDE YARD SETBACK
MINIMUM REAR YARD SETBACK
MINIMUM LIVABLE FLOOR AREA
MAXIMUM LOT COVERAGE
MAXIMUM HEIGHT - PRINCIPLE

55 LOTS
7,800 SQUARE FEET
60 FEET
25 FEET
6 FEET
25 FEET
1,600 SF (SINGLE STORY)
1,800 SF (MULTI STORY)
45% (MULTI STORY)
50% (SINGLE STORY)
35 FEET



Assumed North
Scale: 1" = 100'

SHEET 2



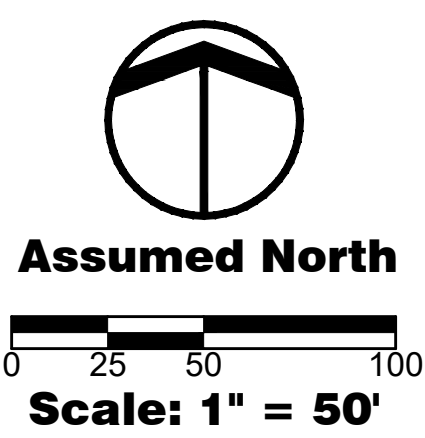
SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 5 FOR LAND DESCRIPTION

SHEET 1 OF 5

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
INDIANAPOLIS, INDIANA 46204
PHONE: (317) 347-3663

DEVELOPED BY:
PULTE HOMES OF INDIANA, LLC
11590 NORTH MERIDIAN ST., SUITE 530
CARMEL, INDIANA 46032
PHONE: (317) 575-2350



Assumed North
Scale: 1" = 50'

RECORD PLAT OAKCREST TOWN OF MCCORDSVILLE

VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF BLOCK "A" IN DEER CROSSING BLOCK A RECORD PLAT)
(PART OF SECTION 23, TOWNSHIP 17 NORTH, RANGE 5 EAST)

LEGEND

25 LOT NUMBER
D.E. DRAINAGE EASEMENT
D.&U.E. DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E. SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E. REGULATED DRAIN EASEMENT
L.E. LANDSCAPE EASEMENT
B.S.L. BUILDING SETBACK LINE
R/W RIGHT OF WAY
C.A. COMMON AREA
S.F. SQUARE FEET
AC ACRES
R RADIUS
N.A.E. NON ACCESS EASEMENT
M.L.A.G. MINIMUM LOWEST ADJACENT GRADE STREET ADDRESS
[233]

LEGEND

RIGHT-OF-WAY LINE
LOT LINE
BOUNDARY LINE
EASEMENT LINE
SETBACK LINE
CENTERLINE
SECTION LINE

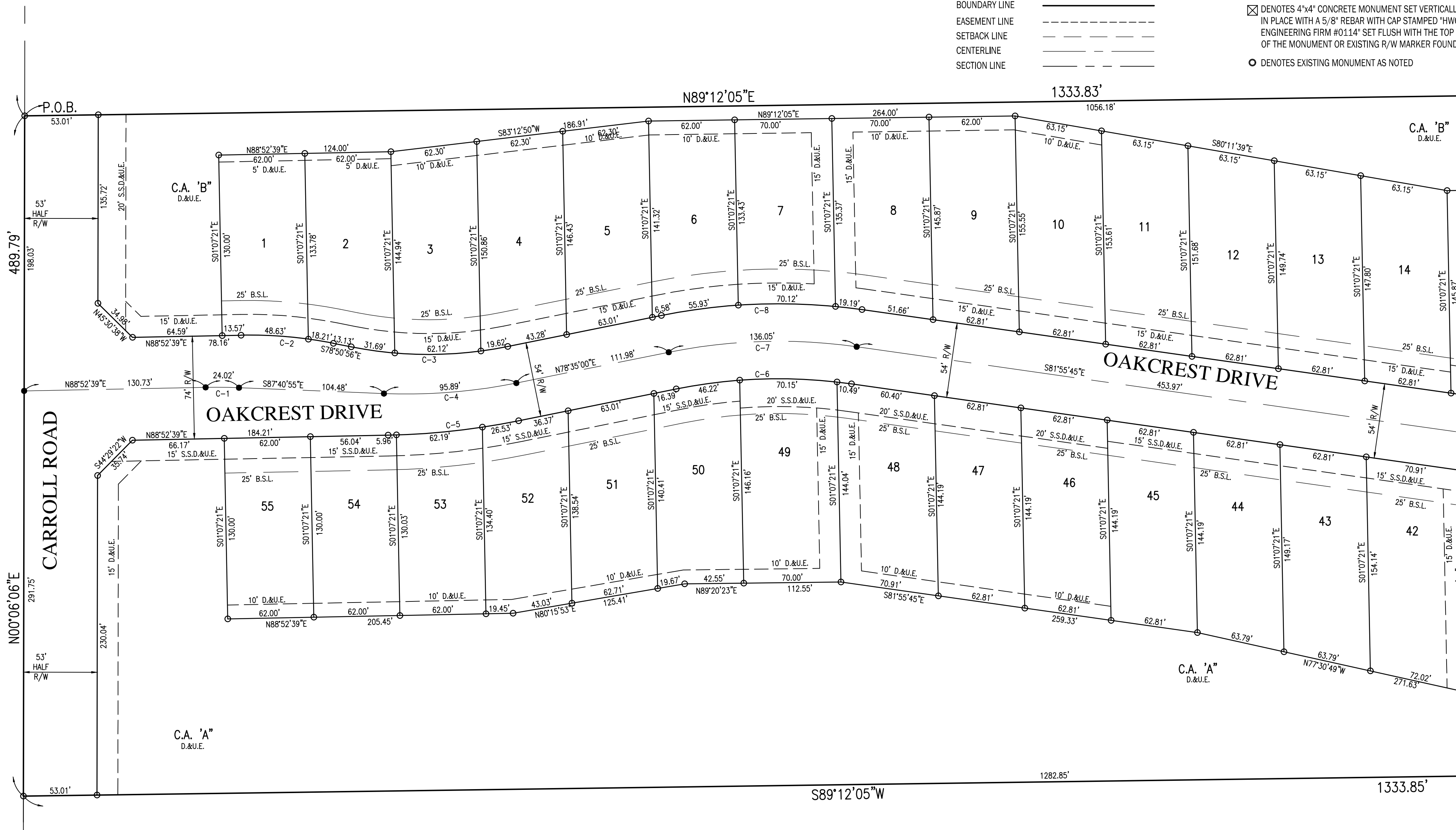
INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

SUBDIVISION MONUMENTS

- DENOTES A 5/8" DIA. ALUMINUM MONUMENT 6" LONG WITH 1-1/2" DIA. ALUMINUM CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE FINISHED STREET SURFACE
- DENOTES A 5/8" REBAR 24" LONG WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" TO BE SET AT LOT CORNERS, INCLUDING BEGINNING AND ENDING OF CURVES AND THE INTERSECTION OF LINES.
- ☒ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE TOP OF THE MONUMENT OR EXISTING R/W MARKER FOUND
- DENOTES EXISTING MONUMENT AS NOTED



SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 5 FOR LAND DESCRIPTION

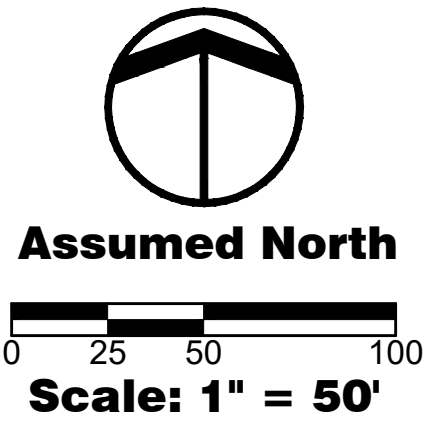
SHEET 2 OF 5

FOR CONTINUATION SEE SHEET 3 OF 5

THIS INSTRUMENT PREPARED BY:

KRISTOPHER K. EICHHORN
HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
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DEVELOPED BY:
PULTE HOMES OF INDIANA, LLC
11590 NORTH MERIDIAN ST., SUITE 530
CARMEL, INDIANA 46032
PHONE: (317) 575-2350



RECORD PLAT
OAKCREST
TOWN OF MCCORDSVILLE
VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF BLOCK "A" IN DEER CROSSING BLOCK A RECORD PLAT)
(PART OF SECTION 23, TOWNSHIP 17 NORTH, RANGE 5 EAST)

LEGEND	
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
M.L.A.G.	MINIMUM LOWEST ADJACENT GRADE STREET ADDRESS

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

LEGEND

RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	_____
SETBACK LINE	_____
CENTERLINE	_____
SECTION LINE	_____

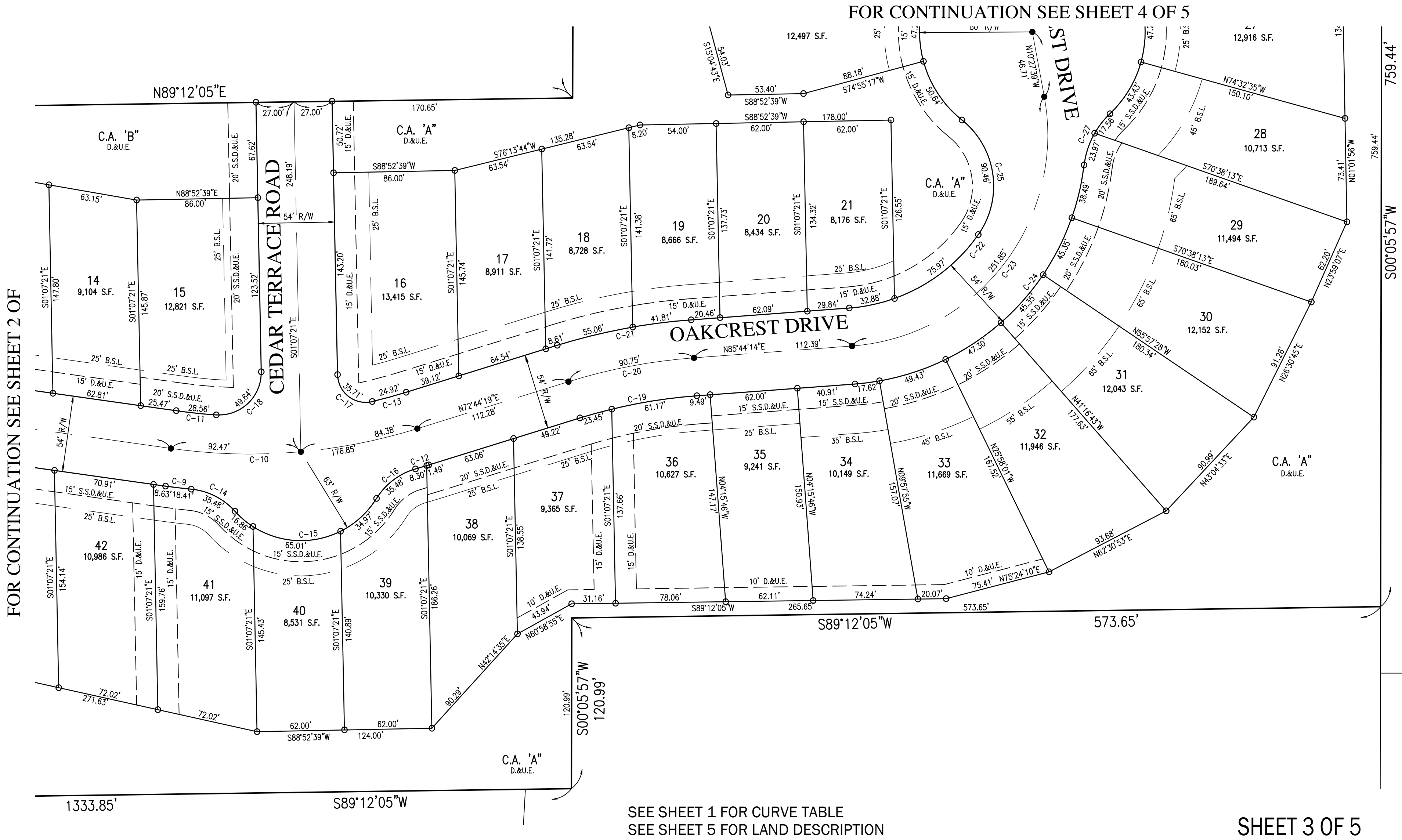
SUBDIVISION MONUMENTS

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- ☒ DENOTES 4"x4" CONCRETE MONUMENT SET VERTICALLY IN PLACE WITH A 5/8" REBAR WITH CAP STAMPED "HWC ENGINEERING FIRM #0114" SET FLUSH WITH THE TOP OF THE MONUMENT OR EXISTING R/W MARKER FOUND

- DENOTES EXISTING MONUMENT AS NOTED



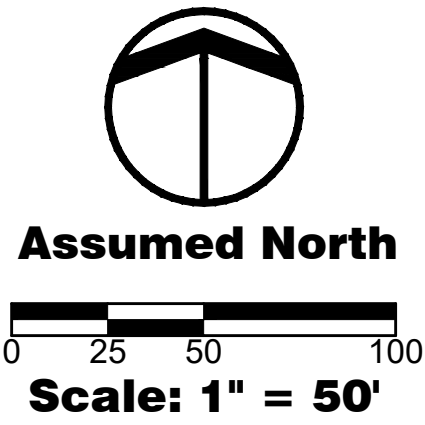
SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 5 FOR LAND DESCRIPTION

SHEET 3 OF 5

THIS INSTRUMENT PREPARED BY:

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HWC ENGINEERING
135 N. PENNSYLVANIA STREET, SUITE 2800
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DEVELOPED BY:
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CARMEL, INDIANA 46032
PHONE: (317) 575-2350



RECORD PLAT
OAKCREST
TOWN OF MCCORDSVILLE
VERNON TOWNSHIP, HANCOCK COUNTY, INDIANA
(PART OF BLOCK "A" IN DEER CROSSING BLOCK A RECORD PLAT)
(PART OF SECTION 23, TOWNSHIP 17 NORTH, RANGE 5 EAST)

LEGEND	
25	LOT NUMBER
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
S.S.D.&U.E.	SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
R.D.E.	REGULATED DRAIN EASEMENT
L.E.	LANDSCAPE EASEMENT
B.S.L.	BUILDING SETBACK LINE
R/W	RIGHT OF WAY
C.A.	COMMON AREA
S.F.	SQUARE FEET
AC	ACRES
R	RADIUS
N.A.E.	NON ACCESS EASEMENT
M.L.A.G.	MINIMUM LOWEST ADJACENT GRADE STREET ADDRESS

INSTRUMENT No.: _____

CABINET: _____

SLIDE: _____

LEGEND

RIGHT-OF-WAY LINE	_____
LOT LINE	_____
BOUNDARY LINE	_____
EASEMENT LINE	_____
SETBACK LINE	_____
CENTERLINE	_____
SECTION LINE	_____

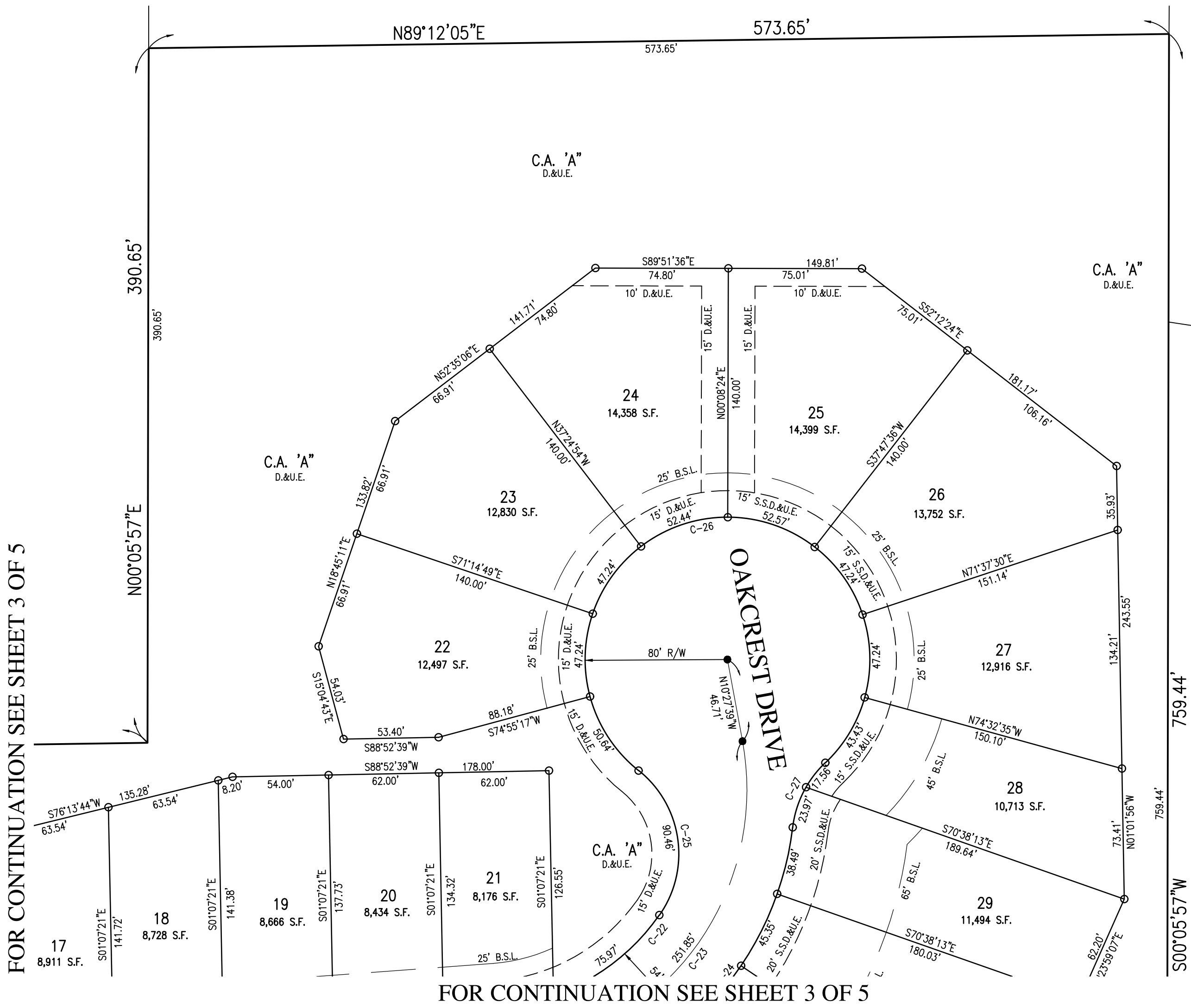
SUBDIVISION MONUMENTS

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- DENOTES EXISTING MONUMENT AS NOTED



SEE SHEET 1 FOR CURVE TABLE
SEE SHEET 5 FOR LAND DESCRIPTION

SHEET 4 OF 5

DEVELOPED BY:
PULTE HOMES OF INDIANA, LLC
11590 NORTH MERIDIAN ST., SUITE 530
CARMEL, INDIANA 46032
PHONE: (317) 575-2350

(PART OF BLOCK "A" IN DEER CROSSING BLOCK A RECORD PLAT)
(PART OF SECTION 23, TOWNSHIP 17 NORTH, RANGE 5 EAST)

SLIDE:

Part of Block "A" in Deer Crossing Block "A" Record Plat, the plat of which is recorded in Plat Cabinet C, Slide 25, Instrument Number 2009063 in the Office of the Recorder of Hancock County, Indiana, and also part of the Northwest Quarter of Section 23, Township 17 North, Range 5 East of the Second Principal Meridian, all in Vernon Township, Hancock County, Indiana, based upon a survey prepared by Michael G. Judt, Professional Surveyor Number 21500017, HWC Engineering Job Number 2005-1227 (62), dated February 5, 2019, more particularly described as follows:

COMMENCING at the northwest corner of said Northwest Quarter, said point being marked by a Harrison monument; thence South 00 degrees 06 minutes 05 seconds West (grid bearing based upon Indiana State Plane - East Zone (NAD83, 2011) to a point 120.99 feet distant along said west line; thence South 00 degrees 06 minutes 05 seconds West along said west line a distance of 700.00-acre tract of land described in Instrument Number 040009601 in said Recorder's Office, said corner being the POINT OF BEGINNING; thence North 89 degrees 12 minutes 12 seconds 05 seconds East along the north line of said tract a distance of 1533.85 feet to the west line of said Deer Crossing Block "A" Record Plat; thence North 00 degrees 05 minutes 57 seconds West along said west line a distance of 1333.85 feet to a point on the west line of said Deer Crossing Block "A" Record Plat; thence North 00 degrees 05 minutes 57 seconds East along said east line a distance of 759.44 feet to the north line of said Deer Crossing Block "A" Record Plat; thence North 00 degrees 05 minutes 57 seconds East along said east line a distance of 573.65 feet to the southwest corner of said tract, being also a northwest corner of Deer Crossing, Section Five, the plot of which is recorded in Plat Cabinet C, Slide 256, Instrument number 070007012 in said Recorder's Office; thence North 00 degrees 05 minutes 57 seconds West along a west line of said Deer Crossing, Section Five, a distance of 120.99 feet to the southwest corner of said tract, being also a northwest corner of Deer Crossing, Section Five, the plot of which is recorded in Plat Cabinet C, Slide 190, Instrument number 050000802 in said Recorder's Office a distance of 1333.85 feet to said west line of said Northwest Quarter; thence North 00 degrees 05 minutes 57 seconds East along said east line a distance of 489.79 feet to the POINT OF BEGINNING, containing 25.00 acres, more or less.

I, the undersigned, hereby certify that I am the registered land surveyor, licensed in compliance with the laws of the State of Indiana, and that the within plot represents a subdivision of the land surveyed under my supervision, in accordance with Title 865, Article 1, Chapter 12 of the Indiana Administrative Code, within the survey plot recorded as Instrument Number _____ in the Office of the Recorder of Hancock County, Indiana. This subdivision consists of 55 lots, numbered 1-55 (all inclusive) and two (2) common areas labeled "A" and "C.A.", together with streets and easements as shown hereon. The size of lots and widths of streets are shown on this plot in figures denoting feet and decimal parts thereof.

Witness my signature this _____ day of _____, _____.

Kristopher K. Eichhorn
Professional Surveyor #21000230

McCORDSVILLE ADVISORY PLAN COMMISSION

This is to certify that this plat has been approved by the McCordsville Advisory Plan Commission
the _____ day of _____, 20____, under the authority provided by:

Signature	Signature
Signature	Signature

WE, THE UNDERSIGNED, PULTE HOMES OF INDIANA, LLC BEING THE OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, AND DO HEREBY LAY OFF, PLAT AND SUBDIVIDE, SAID REAL ESTATE IN ACCORDANCE WITH THE WITHIN PLAT.

THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS OAKCREST, AN ADDITION IN HANCOCK COUNTY, INDIANA. ALL STREETS SHOWN ON THIS PLAT AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC.

OWNER/DEVELOPER:	
PULTE HOMES OF INDIANA, LLC,	JOSEPH MARX
AN INDIANA LIMITED LIABILITY COMPANY	DIRECTOR OF LAND DEVELOPMENT
11590 NORTH MERIDIAN STREET, SUITE 530	INDIANA DIVISION
CARMEL, INDIANA 46032	

I, DO HEREBY CERTIFY THAT THE REAL ESTATE AS DESCRIBED SHALL BE KNOWN AS OAKCREST.

STATE OF INDIANA)
) SS
COUNTY OF _____)

BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN FOR SAID COUNTY AND STATE, PERSONALLY APPEARED JOSEPH MARX, DIRECTOR OF LAND DEVELOPMENT, INDIANA DIVISION, OF PULTE HOMES OF INDIANA, LLC, AN INDIANA LIMITED LIABILITY COMPANY, AND ACKNOWLEDGED THE EXECUTION OF THE FORGOING SECONDARY PLAT, FOR AND ON BEHALF OF PULTE HOMES OF INDIANA, LLC

THIS _____ DAY OF _____, 20____.

WITNESS MY SIGNATURE AND SEAL THIS DAY OF _____ DAY OF _____, 20____

NOTARY PUBLIC,
PRINTED NAME

A PETITION ADDRESSED TO THE MCCORDSVILLE DRAINAGE BOARD HAS BEEN FILED IN DUPLICATE WITH THE MCCORDSVILLE TOWN ENGINEER, REQUESTING THAT THE SUBDIVISION'S STORM DRAINAGE SYSTEM AND ITS EASEMENTS BE ACCEPTED INTO THE REGULATED DRAIN SYSTEM. CHANNELS, TILE DRAINS 8-INCH OR LARGER, INLETS AND OUTLETS OF DETENTION AND RETENTION PONDS, AND APPURTENANCES THEREWITH WITHIN DESIGNATED DRAIN EASEMENTS ARE EXTENSIONS OF THE MCCORDSVILLE'S STORMWATER DRAINAGE SYSTEM AND ARE THE RESPONSIBILITY OF THE MCCORDSVILLE DRAINAGE BOARD AND/OR THE MCCORDSVILLE PUBLIC WORKS COMMISSIONER. DRAINAGE SEWERS ARE THE PROPERTY OF THE MCCORDSVILLE TOWN ENGINEER. THE RESPONSIBILITY OF THE PROPERTY OWNER OR HOMEOWNER ASSOCIATION, THE STORM DRAINAGE SYSTEM AND ITS EASEMENTS THAT ARE ACCEPTED INTO THE REGULATED DRAINAGE SYSTEM ARE DELINEATED ON THE PLAT AS REGULATED DRAINAGE EASEMENTS (RDE'S). REGULATED DRAINAGE EASEMENTS ARE STORMWATER EASEMENTS AND DRAINAGE RIGHTS OF WAY THAT ARE HEREBY DEDICATED TO THE PUBLIC AND TO MCCORDSVILLE, INDIANA, FOR THE SOLE AND EXCLUSIVE PURPOSE OF CONTROLLING SURFACE WATER AND/OR FOR INSTALLATION, OPERATION, AND MAINTENANCE OF STORM SEWERS AND TILE DRAINS AS DEFIED IN MCCORDSVILLE STORMWATER MANAGEMENT ORDINANCE. THESE DRAINAGE EASEMENTS ARE ESTABLISHED UNDER AUTHORITY OF THE INDIANA DRAINAGE CODE AND THE SAID BOARD MAY EXERCISE POWERS AND DUTIES AS PROVIDED IN SAID CODE. ALL OTHER STORM DRAINAGE EASEMENTS HAVE NOT BEEN ACCEPTED INTO THE TOWN'S DRAINAGE SYSTEM. THE PROPERTY OWNER OR HOMEOWNER ASSOCIATION SHALL BE RESPONSIBLE FOR RUNOFF AND THE PERPETUAL MAINTENANCE THEREOF, WITH THE LATTER EASEMENTS, SHALL BE THE RESPONSIBILITY OF THE OWNER OR HOMEOWNER ASSOCIATION. THE MCCORDSVILLE DRAINAGE BOARD ASSUMES NO RESPONSIBILITY RELATIVE TO SAID IMPROVEMENTS OR THE MAINTENANCE THEREOF THIS SUBDIVISION CONTAINS _____ LINEAR FEET OF OPEN DITCHES AND _____ FEET OF SUBSURFACE DRAINS THAT WILL BE INCLUDED IN THE TOWN'S REGULATED DRAINAGE SYSTEM.

SUPPLEMENTARY DECLARATION - THIS PLAT, TOGETHER WITH ALL LOTS, STREETS, COMMON AREAS, AND REAL ESTATE DESCRIBED HEREIN IS SUBJECT IN ALL RESPECTS TO THE DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS OF OAKCREST SET FORTH ON THE PLAT OF OAKCREST RECORDED WITH THE RECORDER OF HANCOCK COUNTY, INDIANA IN SLIDE _____, CABINET _____, INSTRUMENT # _____ (THE "COVENANTS"), AND THIS CONSTITUTES A SUPPLEMENT DECLARATION WITHIN THE MEANING OF THE COVENANTS.

WE, THE UNDERSIGNED PULTE HOMES OF INDIANA, LLC., OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED ON THE PLAT HERETOFORE RECORDED IN THE HANCOCK COUNTY RECORDER'S OFFICE

ON THE _____ DAY OF _____, _____ AND RECORDED IN THE HANCOCK COUNTY

RECORDER'S OFFICE AS INSTRUMENT No. _____, SLIDE _____ AND CABINET _____
DO HEREBY CERTIFY THAT WE HAVE LAID OFF, PLATTED AND SUBDIVIDED, SAID REAL ESTATE IN
ACCORDANCE WITH THE WITHIN PLAT. WE DO FURTHER CERTIFY THAT THIS PLAT IS MADE AND
SUBMITTED WITH OUR FREE CONSENT AND DESIRES.

THIS SUBDIVISION SHALL BE KNOWN AND DESIGNATED AS OAKCREST. ALL STREETS SHOWN AND NOT HERETOFORE DEDICATED ARE HEREBY DEDICATED TO THE PUBLIC.

FRONT YARD BUILDING SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THIS PLAT, BETWEEN WHICH LINES AND THE PROPERTY LINES OF THE STREET, THERE SHALL BE ERECTED OR MAINTAINED NO BUILDING OR STRUCTURE.

THE HOA SHALL BE SOLELY RESPONSIBLE FOR ALL SNOW PLOWING OF THE INTERNAL SUBDIVISION STREETS.

THE HOA SHALL BE SOLELY RESPONSIBLE FOR ALL LANDSCAPING AND LANDSCAPE MAINTENANCE WITHIN THE MEDIAN. THE TOWN OF McCORDSVILLE MAY EXERCISE ITS RIGHTS TO ADDRESS ANY HEALTH, SAFETY OR WELLNESS CONCERNS CAUSED BY THE LANDSCAPING.

A PERPETUAL UTILITY EASEMENT IS HEREBY GRANTED TO ANY PRIVATE OR PUBLIC UTILITY OR MUNICIPAL DEPARTMENT, THEIR SUCCESSORS AND ASSIGNS, WITHIN THE AREA SHOWN ON THE PLAT AND MARKED "UTILITY EASEMENT", TO INSTALL, LAY, CONSTRUCT, RENEW, OPERATE, MAINTAIN AND REMOVE CONDUITS, CABLES, PIPES, POLES AND WIRES, OVERHEAD MID UNDERGROUND, WITH ALL NECESSARY BRACES, GUYS, ANCHORS AND OTHER EQUIPMENT FOR THE PURPOSE OF SERVING THE SUBDIVISION AND OTHER PROPERTY WITH TELEPHONE, INTERNET, CABLE TV, ELECTRIC AND GAS, SEWER AND WATER SERVICE AS A PART OF THE RESPECTIVE UTILITY SYSTEMS; ALSO IS GRANTED (SUBJECT TO THE PRIOR RIGHTS OF THE PUBLIC THEREIN OR OTHER GOVERNING CODES AND ORDINANCES) THE RIGHT TO USE THE STREETS AND LOTS WITH AERIAL SERVICE WIRES TO SERVE THE STREETS AND LOTS AND STREET LIGHTS, THE RIGHT TO CUT DOWN AND REMOVE OR TRIM AND KEEP TRIMMED ANY TREES OR SHRUBS THAT INTERFERE OR THREATEN TO INTERFERE WITH ANY OF THE SAID PRIVATE OR PUBLIC UTILITY EQUIPMENT, AND THE RIGHT IS HEREBY GRANTED TO ENTER UPON THE LOTS AT ALL TIMES FOR ALL OF THE PURPOSE AFORESAID. NO PERMANENT STRUCTURES, FENCES, OR TREES SHALL BE PLACED ON SAID AREA AS SHOWN ON THE PLAT AND MARKED "UTILITY EASEMENT", BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USER OR THE RIGHTS HEREIN GRANTED.

IN ADDITION, THIS DEED SHALL DEDICATE TO THE TOWN OF MCCORDSVILLE, INDIANA, ANY AND ALL SEWER INFRASTRUCTURE INSTALLED FOR, BY OR ON BEHALF OF THE UNDERSIGNED, SAID INFRASTRUCTURE TO INCLUDE BUT NOT BE LIMITED TO THE SEWER COLLECTION SYSTEM, FORCE MAIN, LIFT STATION, OR ANY OTHER COMPONENT PART OF THE SEWER SYSTEM WHICH SERVES THE SUBJECT SUBDIVISION.

THE RIGHT TO ENFORCE THESE PROVISIONS BY INJUNCTION, TOGETHER WITH THE RIGHT TO CAUSE THE REMOVAL, BY DUE PROCESS OF LAW, OF ANY STRUCTURE OR PART THEREOF ERECTED. OR MAINTAINED IN VIOLATION HEREOF IS HEREBY MAINTAINED IN VIOLATION HEREOF, IS HEREBY DEDICATED TO THE TOWN OF McCORDSVILLE, INDIANA. ITS ASSIGNS OR DESIGNATED AGENT OR REPRESENTATIVE.

BE IT RESOLVED BY THE McCORDSVILLE TOWN COUNCIL, McCORDSVILLE, INDIANA, THAT THE DEDICATIONS SHOWN ON THIS PLAT ARE HEREBY APPROVED AND ACCEPTED

THIS DAY _____ DAY OF _____, 20____

12" RCP	2,905 LF
15" RCP	958 LF
18" RCP	661 LF
21" RCP	218 LF
TOTAL	4,742 LF