

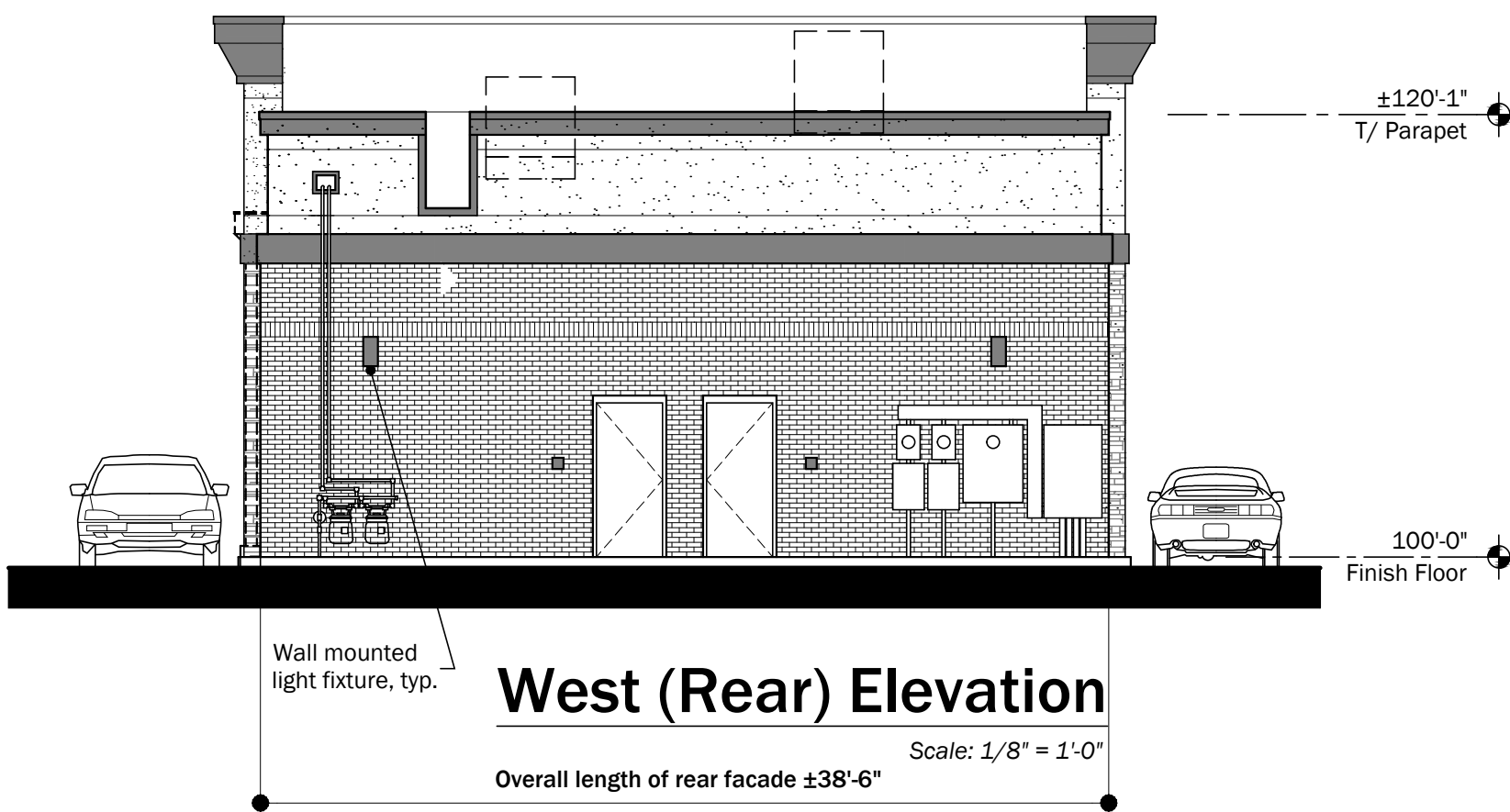
Exterior Materials

East Elevation (Front Facade):	
Brick	0.0 sf
Stone veneer	208.3 sf
Total brick & stone	208.3 sf
Overall east elevation area	987.8 sf
Percentage of brick / stone	21.1%
North Elevation (Right Side Facade):	
Brick	612.2 sf
Stone veneer	478.7 sf
Total brick & stone	1,090.9 sf
Overall north elevation area	1,951.1 sf
Percentage of brick / stone	55.9%
West Elevation (Rear Facade):	
Brick	464.4 sf
Stone veneer	0 sf
Total brick & stone	464.4 sf
Overall west elevation area	775.5 sf
Percentage of brick / stone	59.9%
South Elevation (Left Side Facade):	
Brick	612.2 sf
Stone veneer	538.7 sf
Total brick & stone	1,150.9 sf
Overall south elevation area	1,951.1 sf
Percentage of brick / stone	59.0%
All Elevations Combined:	
Brick	1,688.8 sf
Stone veneer	1,225.7 sf
Total brick & stone	2,914.5 sf
Overall all elevations area	5,665.5 sf
Overall % of brick / stone	51.4%

Exterior Finishes

Materials, textures, colors, finishes, etc are preliminary and shown for general reference only. Final selection may vary.

EIFS-1	Exterior Insulation Finish System (EIFS): Accent color Mfr.: Dryvit, or approved equal Color: #142 "Spectrum Brown" or approved equal
EIFS-2	Exterior Insulation Finish System (EIFS): Field color Mfr.: Dryvit, or approved equal Color: #103 "Natural White" or approved equal
B-1	Brick Mfr.: BrickCraft or approved equal (812) 835-2502 Product: Coral Blend Q/S Queen size Grout color: To be determined
S-1	Stone Veneer Mfr.: J.&N. Stone, Inc. or approved equal 800-321-1372 Product: Stack Ease Dry-Block System or approved equal Color: Belgrade or approved equal
P-1	Paint (Doors & Frames) Mfr.: Sherwin Williams Color: to match 'EIFS-1' color or approved equal
P-2	Paint (Gaurdposts) Mfr.: Sherwin Williams Color: To be determined
C-1	Canopy - Vinyl Mfr.: Webion Coast Line Plus , or approved equal Color: 857245 - CP2745 "Pirate Black"



ADDRESS
3128 Nichol Avenue
Anderson, IN 46011

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A Limited Liability Company

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CERTIFICATION
Preliminary
Not For Construction

Phase III - North Shell Building for
THE SHOPS
at **BROOKSIDE**
CR 600 W McCordsville, IN 46055

Building Owner:
BDC Realty Group, LLC
Dave Cravens
6274 S. Fox Chase
Pendleton, IN 46064

REVISION
10/27/2025

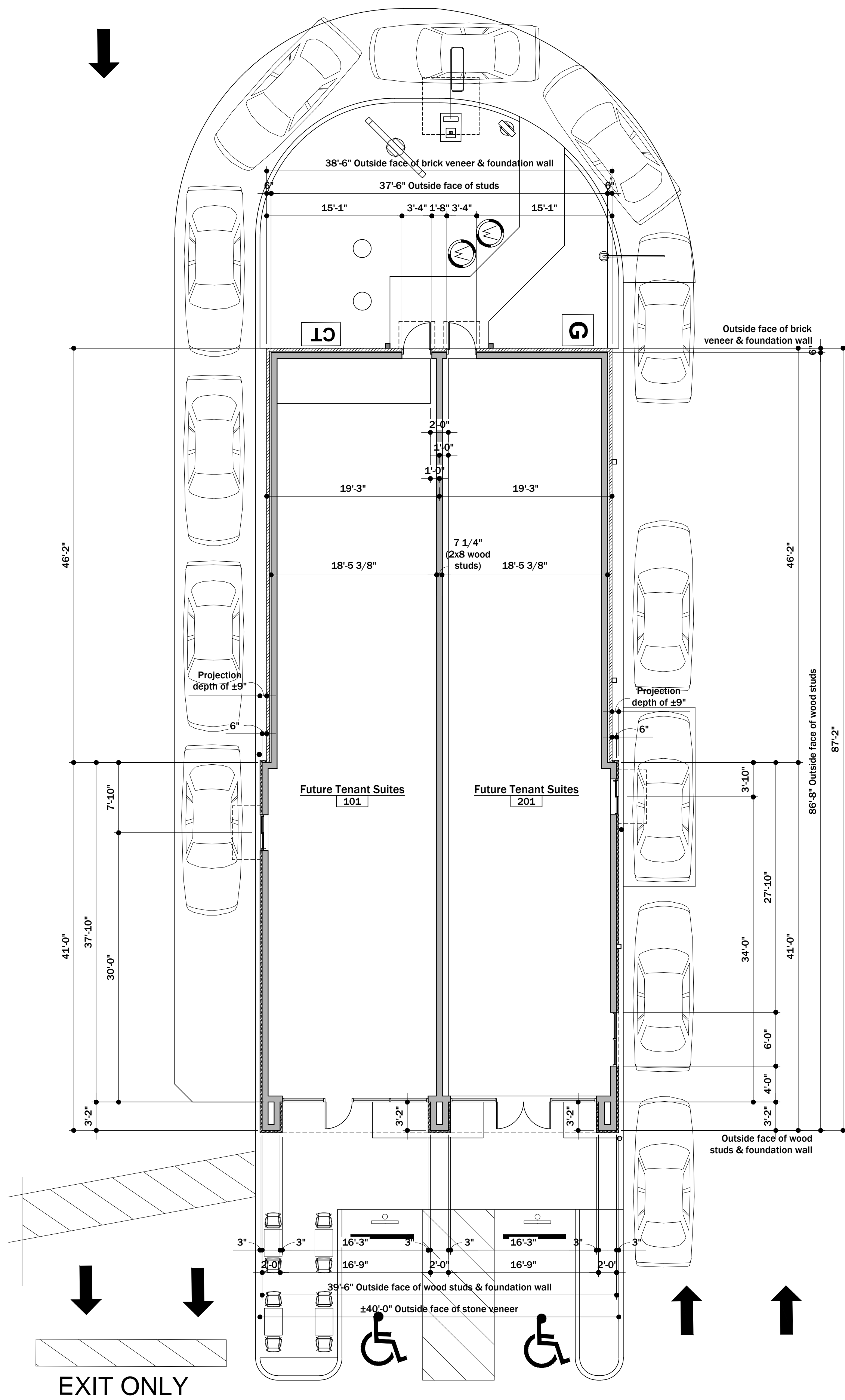
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ISSUE DATE
10/07/2025

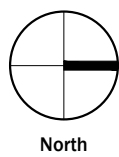
PROJ. NO.
25.20

SHEET TITLE
Exterior Elevations

SHEET NUMBER
A211



Floor Plan



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3128 Nichol Avenue
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rob@integritydesign.org

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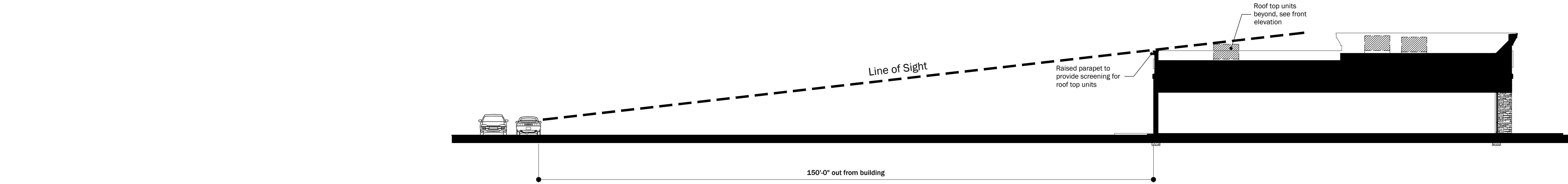
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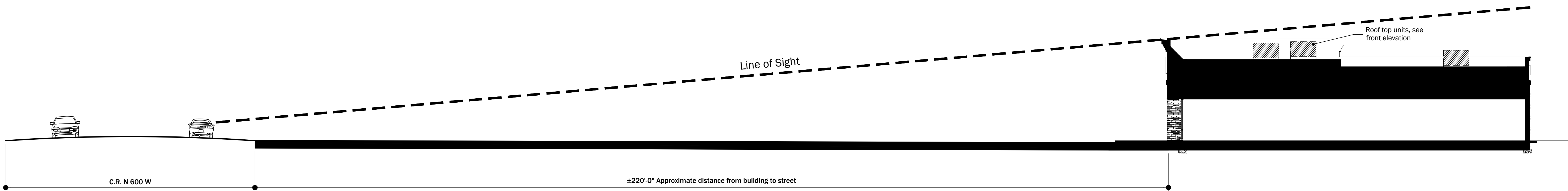
Preliminary Floor Plan

SHEET NUMBER

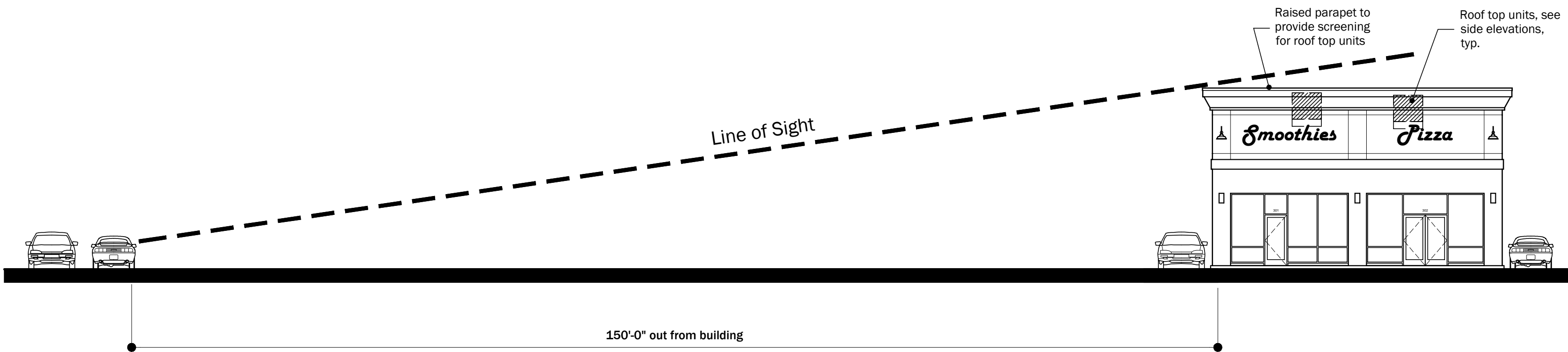
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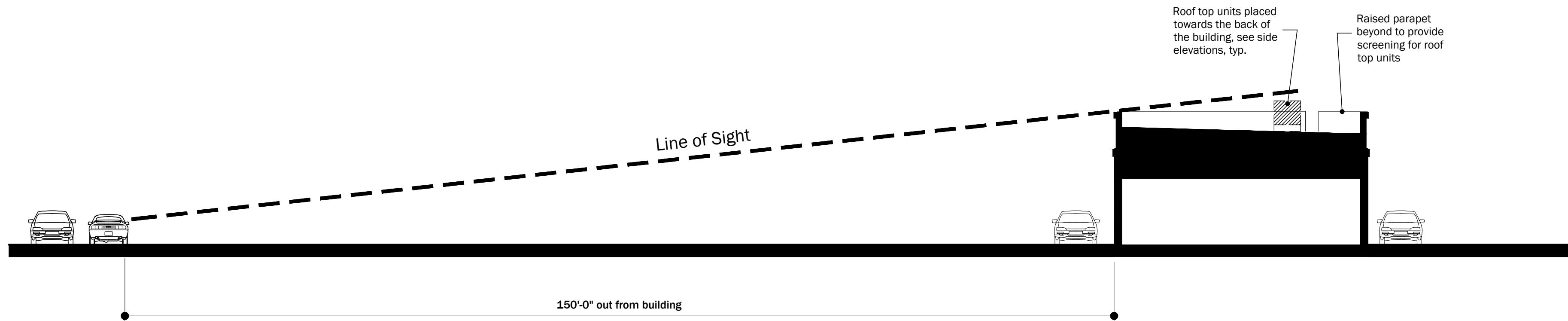
West-East Building Section (looking North)



East-West Building Section (looking South)



East (Front) Elevation (looking West)



South-North Building Section (looking West)

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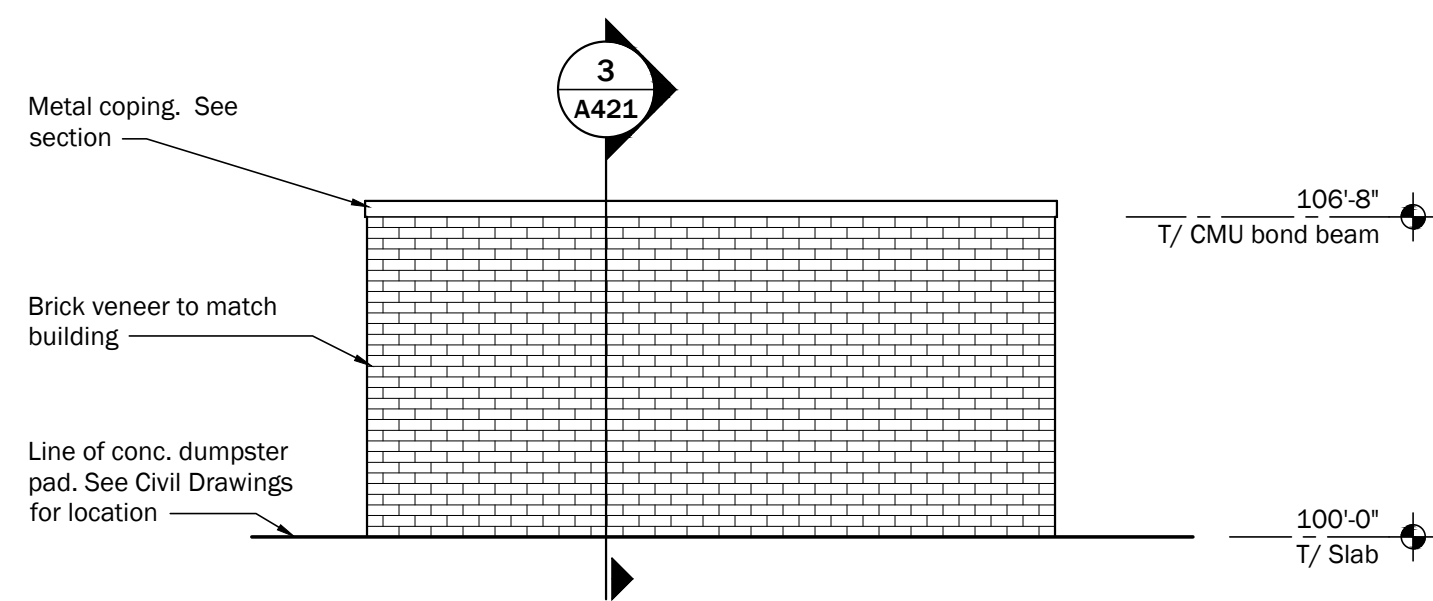
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SHEET TITLE

RTU Line of Sight

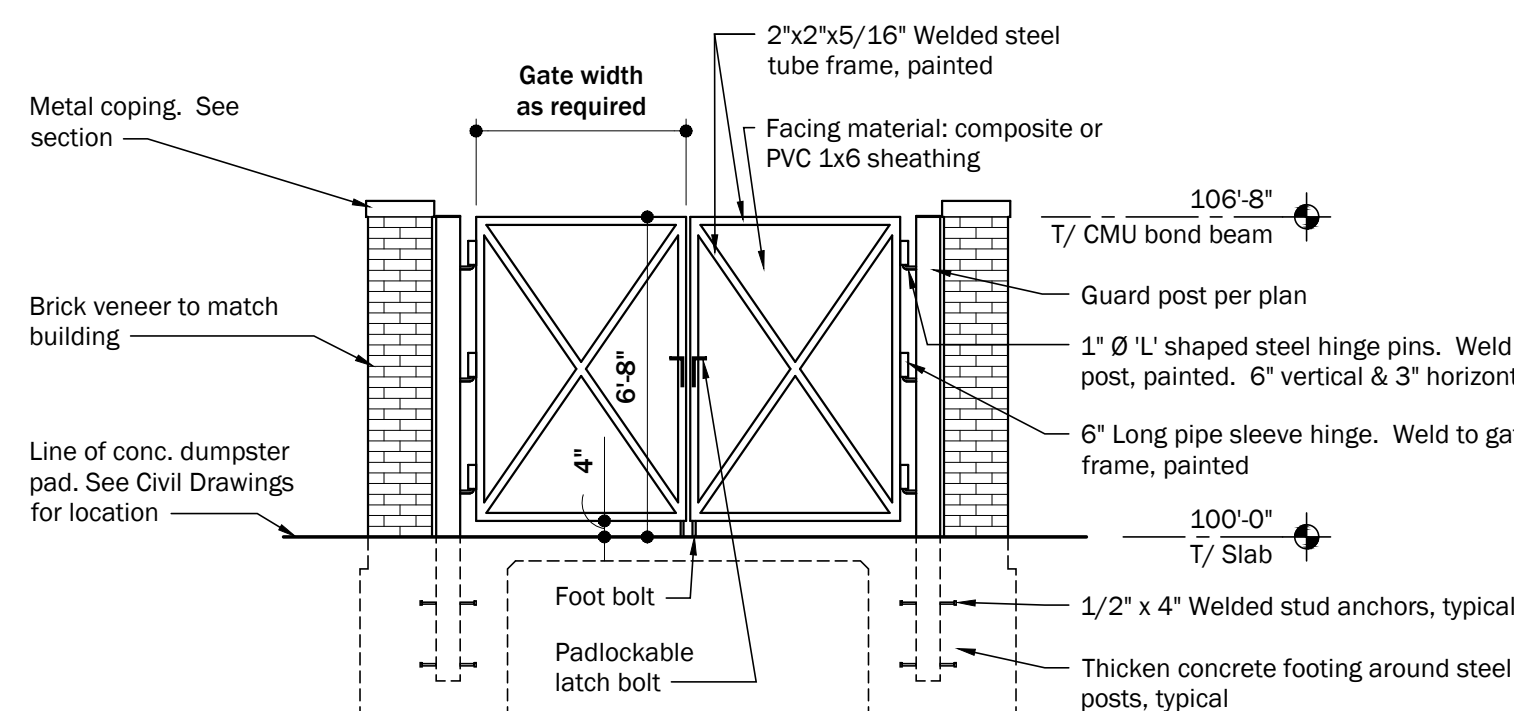
SHEET NUMBER

A212

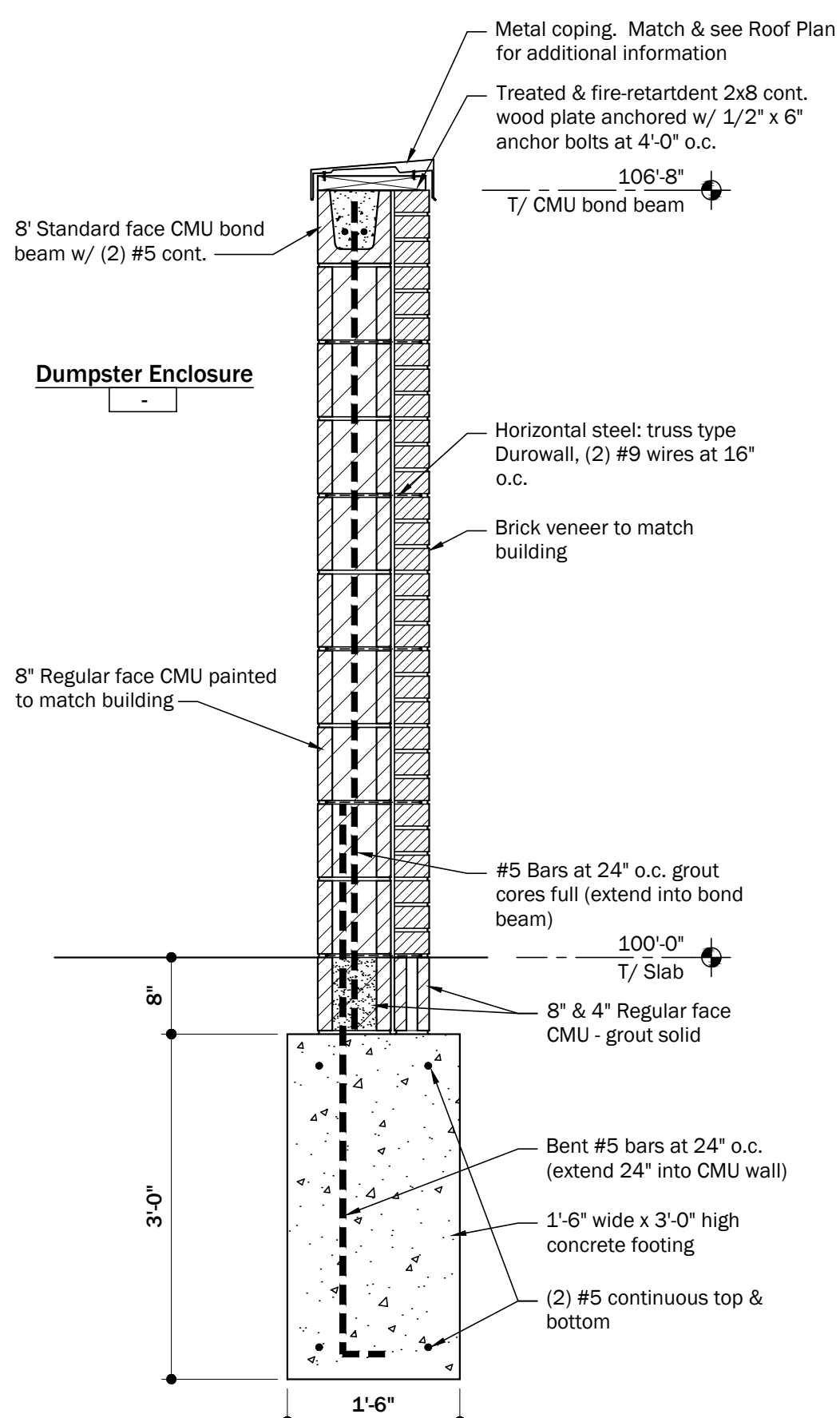


Dumpster Enclosure Side & End Elevations **5**

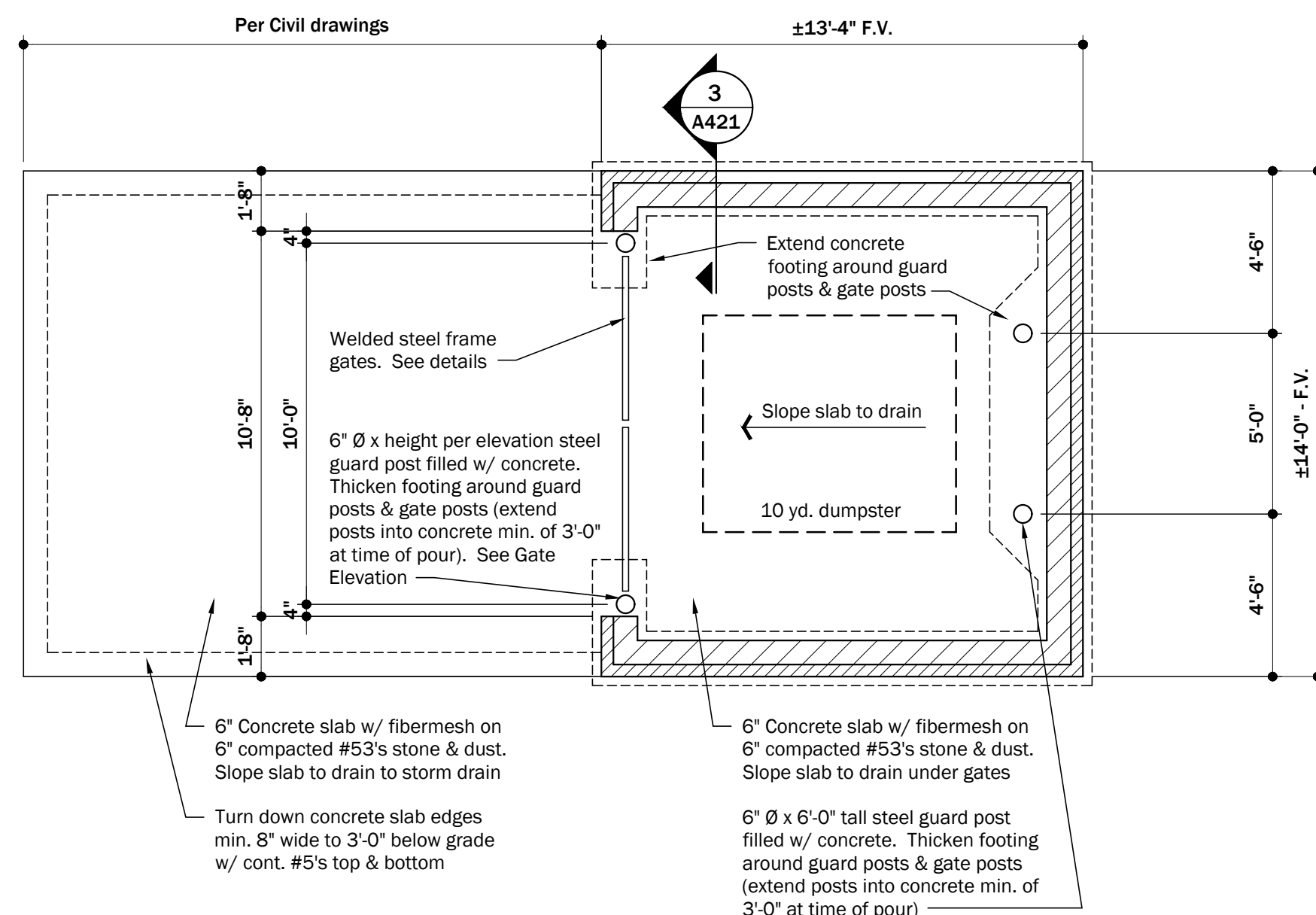
Scale: 1/4" = 1'-0"



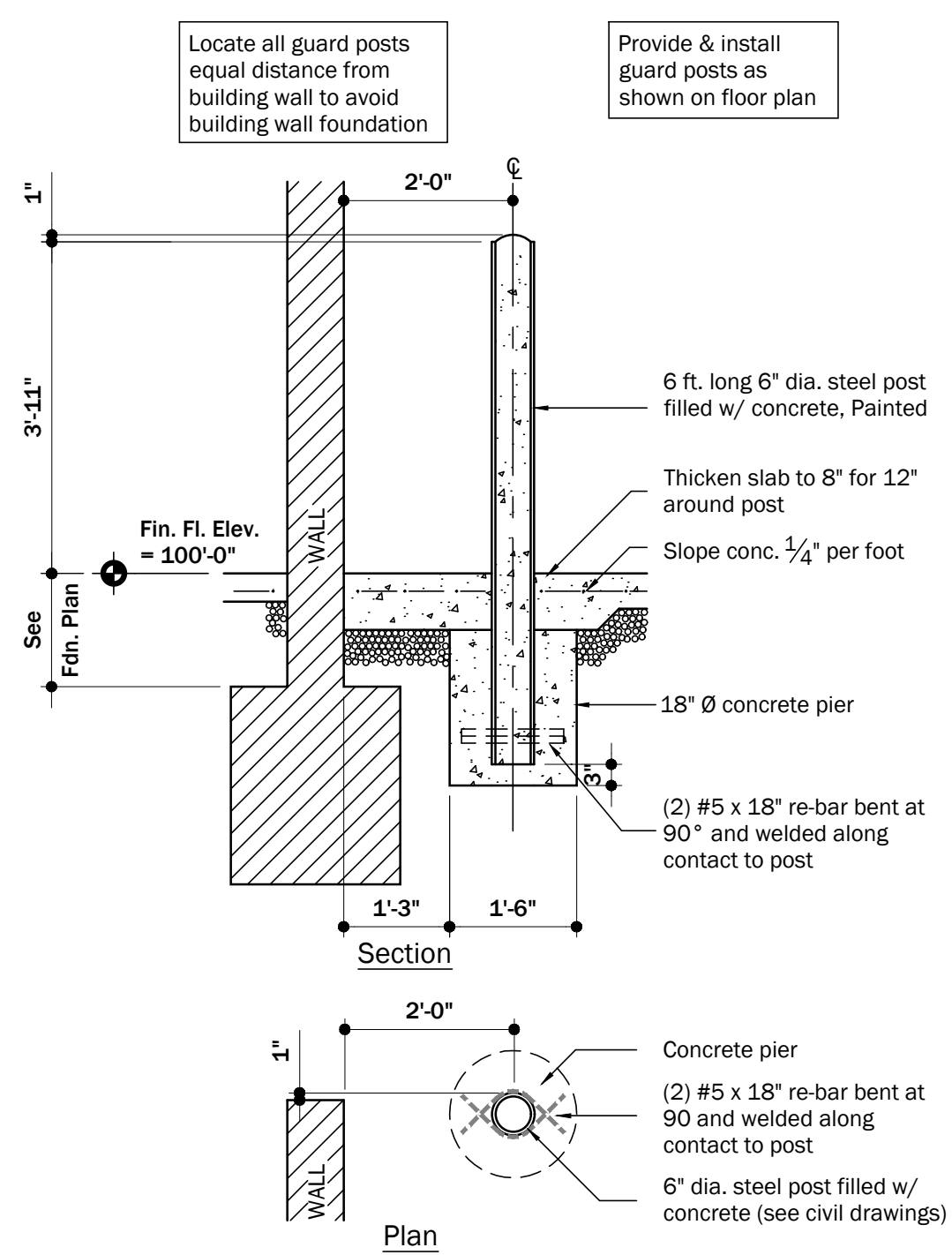
Dumpster Enclosure
Gate (Front) Elevation 4
Scale: 1/4" = 1'-0"



Dumpster Section 3



Dumpster Enclosure Plan 2



Typ. Guard Post Detail 1

General Notes

A. See floor & ceiling plans for additional information

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CR 600 W McCordsville, IN 46055

Building Owner:
**BDC Realty
Group, LLC**
Dave Cravens
6274 S. Fox Chase
Pendleton, IN 46064

REVISION	DATE
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ISSUE DATE
10/27/2025

PROJ. NO.
25.20

SHEET TITLE

**Details -
Dumpster &
Guard Post**

SHEET NUMBER

A421



DEVELOPER:
BDC REALTY GROUP, LLC
6274 SOUTH FOX CHASE
PENDLETON, INDIANA 46064
ATTN: DAVE CRAVENS
(763) 635-5559

ENGINEER:
CIVIL SITE GROUP, INC.
718 ADAMS STREET
CARMEL, INDIANA 46032
(317) 810-1677

SURVEYOR:
CROSSROAD ENGINEERS
3417 Sherman Drive
Beech Grove, IN 46107
ATTN: G.W. Charles, PE, PS
(317) 780-1555

EXISTING CONDITIONS NOTE

CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS, INCLUDING UTILITIES AND DRAINAGE INFRASTRUCTURE BEFORE COMMENCING WITH CONSTRUCTION. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.

TOPOGRAPHIC & BOUNDARY NOTE

ALL EXISTING HORIZONTAL AND VERTICAL INFORMATION HAS BEEN SHOWN PER A TOPOGRAPHIC SURVEY DATED 03/11/2024 PREPARED BY CROSSROAD ENGINEER, P.C.; THEREFORE, CIVIL SITE GROUP, INC. CANNOT BE HELD RESPONSIBLE IF ACTUAL HORIZONTAL AND VERTICAL DATA IS DIFFERENT FROM THAT SHOWN ON THESE PLANS. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING CONDITIONS PRIOR TO COMMENCING WITH CONSTRUCTION.

FLOOD NOTE

THIS LOT LIES ENTIRELY IN FLOOD HAZARD ZONE "X" AS SCALED FROM THE FLOOD INSURANCE RATE MAP (FIRM) FOR HANCOCK COUNTY, INDIANA, COMMUNITY NUMBER 180468, MAP NUMBER 18059C00160, PANEL NUMBER 0016 D, DATED DECEMBER 4, 2007. REFERENCE NFIP FIRM MAP #18059C00160, EFFECTIVE DATE: DECEMBER 4, 2007

GRADING & UTILITY NOTE

CONTRACTOR TO VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION. PROPOSED DRIVEWAY CUTS MAY REQUIRE EXISTING UTILITY FACILITIES TO BE LOWERED AND/OR RELOCATED IN ORDER TO MAINTAIN MINIMUM STANDARDS OF COVER / VERTICAL SEPARATION, INCLUDING WATER, GAS, POWER, AND TELECOM.

NOTE

REFER TO ARCHITECTURAL & FOUNDATION PLANS FOR ALL BUILDING DIMENSIONS.

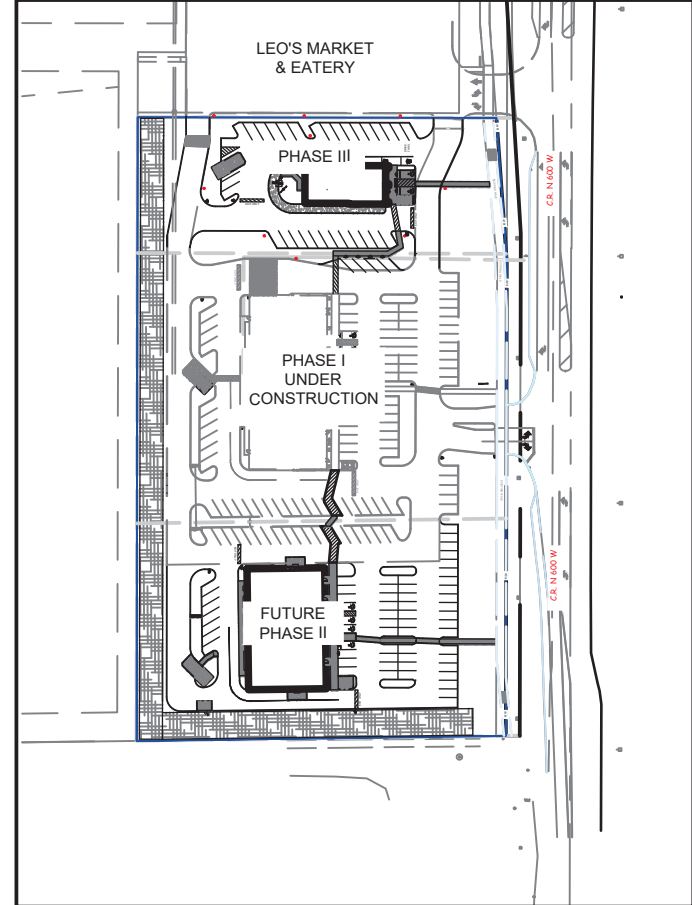
ADA DECTABLE WARNING NOTE

ALL TRUNCATED DOME PLATES SHALL BE BLACK IN COLOR

TOWN OF MCCORDSVILLE STANDARDS

CONTRACTOR TO CONSTRUCT ALL APPLICABLE SITE IMPROVEMENTS TO THE TOWN OF MCCORDSVILLE CURRENT STANDARDS PER THE ATTACHED STANDARD DETAIL SHEETS.

LEO'S MARKET & EATERY



OVERALL SITE PLAN
SCALE: 1"=200'

REVISION RECORD

REV	DATE	DESCRIPTION	DES. BY	APP. BY
1	11/04/25	TAC REVIEW; BLDG. BASE / D.T. PLANTINGS	BSC	BSC

DEVELOPMENT SUMMARY

PROPOSED USE: RETAIL-SMALL
BUILDING(S) GROSS SQUARE FOOTAGE: = 3,200± S.F.
TOTAL SITE AREA = 5.69± Ac.
OPEN SPACE AREA = x.xx± Ac. (xx% of TOTAL LOT AREA)
IMPERVIOUS AREA COVERAGE = x.xx± Ac. (xx%)
CURRENT ZONING = VILLAGES AT BROOKSIDE PUD-AMENDMENT

PARKING SPACES PROVIDED = 33
PARKING SPACES REQUIRED = 22 (1 PER EMPLOYEE + 1 / 3 SEATS)
TENANT SEATING = 42; 8 EMPLOYEES

ANTICIPATED CONSTRUCTION START/END DATE:
JANUARY, 2026 / JULY 2026

LEGEND:

- PROPERTY BOUNDARY OR R/W (REFER TO ALTA/NSPS SURVEY)
- SAWTOOTH LIMITS (WHERE NECESSARY--FOR UTILITY INSTALLATION)
- # OF PARKING SPACES IN ROW
- LIGHT DUTY ASPHALT PAVEMENT. SEE DETAIL 03/C7.0
1.5" - 110#/SYD. HMA BITUMINOUS SURFACE 9.5mm ON
2" - 330#/SYD. HMA BITUMINOUS INTERMEDIATE 19.0mm ON
6" COMPACTED AGGREGATE #53 BASE ON ENGR. APPROVED
GEOGRID** ON COMPACTED SUBGRADE OR TREATED SUBGRADE.
** DESIGNATES CONSTRUCTION ALTERNATE IF DETERMINED IS
NEEDED AFTER RESULTS OF SUBGRADE PROOF ROLL
- HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL 02/C7.0
1.5" - 110#/SYD. HMA BITUMINOUS SURFACE 9.5mm ON
3" - 330#/SYD. HMA BITUMINOUS INTERMEDIATE 19.0mm ON
6" COMPACTED AGGREGATE #53 BASE ON ENGR. APPROVED
GEOGRID** ON COMPACTED SUBGRADE OR TREATED SUBGRADE.
** DESIGNATES CONSTRUCTION ALTERNATE IF DETERMINED IS
NEEDED AFTER RESULTS OF SUBGRADE PROOF ROLL
- PROPOSED CONCRETE PAVEMENT. SEE DETAIL 01/C7.0
8" CONC. PAVEMENT ON
SUBGRADE TREATMENT TYPE II - (6" COMPACTED COARSE AGGREGATE
INDOT #53 STONE) ON COMPACTED SUBGRADE
PROPOSED CONCRETE SIDEWALK
- PROPOSED PAINTED DIAGONAL
STRIPED ISLAND

PLAN NOTES:

- 6" STRAIGHT CONC. CURB. SEE DETAIL 05/C7.0
- 1'-2" WIDE STRAIGHT CONC. CURB/WALK ALONG SOUTH BUILDING WALL
- 2'± WIDE STRAIGHT CONC. CURB/WALK ALONG NORTH BUILDING WALL
- 4" OR 6" CONC. FILLED BOLLARD PAINTED GLOSS BLACK AS DENOTED
SEE DETAIL 17/C7.0
- DERO HOOP BIKE RACK HR--FT--EPX BLACK
- COMBINED CURB & WALK. SEE DETAIL 04/C7.0
- CONCRETE SIDEWALK. SEE DETAIL 07/C7.2
- "DO NOT ENTER" SIGN, R5-1 (30"x30")
- DETECTABLE WARNING STRIP (COLOR BLACK). SEE DETAIL 06/C7.0
- FLUSH WITH PAVEMENT
- TYPICAL PARKING SPACE MARKING. SEE DETAILS 08 & 10/C7.0
- TRAFFIC SIGNAGE. SEE DETAIL 15 & 16/C7.0
- PRECAST CONC. WHEEL STOPS (QTY 2)
- TAPER CURB FLUSH INTO WALK/PAVEMENT
- TRASH ENCLOSURE. REFER TO ARCH. PLANS FOR DETAILS
- STOP SIGN, R1-1 (30"x30")
- COLORLED CONCRETE PAVEMENT (MATCH LEO'S) FOR PEDESTRIAN
WALKWAYS: 6" CONC W/ WWF (1.6x1.6), OR F.R.; ON 6" COMP.
#53 STONE; ON COMPACTED SUBGRADE
- "RIGHT TURN ONLY" SIGN
- OUTDOOR SEATING AREA. REFER TO ARCH. PLANS FOR DETAILS
- OUTDOOR SEATING FENCING. REFER TO ARCH. PLANS FOR DETAILS

SITE LAYOUT NOTES

- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY, OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- ALL PARKING STRIPES ARE TO BE 4" PAINTED WHITE. UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS, OR SPECIFICATIONS.
- ALL DIMENSIONS ARE TO EDGE OF PAVEMENT, FACE OF CURB/SIDEWALK, RADI TO BACK OF CURB, WHERE APPLICABLE.
- ALL DIMENSIONS ARE TO OUTSIDE FACE OF BRICK OR FACING MATERIAL. WHERE APPLICABLE, CONTRACTOR TO REFER TO ARCHITECTURAL DRAWINGS FOR ACTUAL BUILDING DIMENSIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- PROVIDE SMOOTH TRANSITION FROM NEWLY PAVED AREAS TO EXISTING AREAS AS NECESSARY. ALL AREAS WHERE PROPOSED PAVEMENT MEETS EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE FREE OF ALL LOOSE DEBRIS. THE EDGE OF EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING.
- ALL EXCAVATED AREAS TO BE SEEDDED AND/OR SODDED AFTER FINISH GRADING UNLESS OTHERWISE NOTED. ALL NEWLY SODDED/SEEDDED AREAS SHALL HAVE A MINIMUM OF 4" OF TOPSOIL. HOLD SOIL DOWN 1" FROM PAVEMENT ELEVATION. CONTRACTOR TO SUPPLY STRAW MULCH WHERE GRASS SEED HAS BEEN PLANTED.
- RESURFACE OR RECONSTRUCT AT LEAST TO ORIGINAL CONDITIONS ALL AREAS WHERE TRAFFIC BY CONTRACTORS, SUBCONTRACTORS OR SUPPLIERS HAVE DAMAGED EXISTING PAVEMENT, LAWNS OR OTHER IMPROVEMENTS DURING CONSTRUCTION, AFTER CONSTRUCTION WORK IS COMPLETE.
- ALL UTILITY TRENCHES WITHIN 5 FEET OF PAVEMENT SHALL BE COMPLETELY BACKFILLED WITH GRANULAR BACKFILL.
- ALL RADII INDICATED SHALL BE CONSTRUCTED AS CIRCULAR ARCS.
- ALL PARKING SPACE DIMENSIONS ARE TO BE 9' WIDE BY 19' DEEP UNLESS OTHERWISE SPECIFIED.

THE SHOPS at BROOKSIDE - BLOCK A

CR 600 W
MCCORDSVILLE, IN 46055

SITE PLAN

PHASE III - NORTH BUILDING

PROJECT NUMBER
BRG.008

DRAWING NUMBER
C2.0
SHEET 2 OF 24

BDC REALTY GROUP, LLC

6274 S FOX CHASE
PENDLETON, IN 46064

CIVIL SITE GROUP, INC.
718 Adams Street, Suite E
Carmel, Indiana 46032
Ph: (317) 810-1677



DWN BY: BSC
CHKD. BY: BSC
SCALE: 1" = 20'
DATE: 10/02/25