

McCordsville

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Plan Commission Staff Report
Meeting Date: September 16, 2025

PETITIONER: Patch McCordsville, LLC

PETITION: Patch Development's McCordsville Commerce Park Secondary Plat and Development Plan – Lot 2

REQUEST: Petitioner requests approval of a Secondary Plat and Development Plan for Lot 2

LOCATION: The subject property is located at the northwest corner of CR 600W and CR 500N.

ZONING: The subject property is zoned Planned Unit Neighborhood (PUD) and is currently undeveloped. Zoning and land use for the surrounding area are as noted below:

Zoning

North: I-2

South: HCZO R2.5 and IL

East: R-3, I-1, & I-2

West: I-2

Land Use

Agricultural

Single-family Res & Agricultural

Single-family Residential

Agricultural

STAFF REVIEW: The petitioner is developing a commercial and light industrial business park. The development is divided into three (3) Districts. District A encompasses the southern portion of the CR 600W frontage. District B is the northern portion of the CR 600W frontage, and District C is the remaining acreage to the west. Commercial uses will be focused and primarily permitted in District A, but will also be permitted in District B. Less intense and smaller light industrial land uses are permitted and encouraged to be located in District B. District C will feature the larger, light industrial land uses which do not need visibility on CR 600W and may be larger buildings. The Development Plan for Lot 2 on tonight's agenda is in District C, and is proposed as a speculative building with tenants not yet secured.

Infrastructure

All lots and blocks will be accessed internally via either public streets or private drives. Stormwater has been master-planned for the development. Sanitary sewer service will be provided by Aqua Indiana and water service will be provided by Citizen's Energy Group.

Lot & Yard Standards

The following bulk standards apply to the property:

District A – Neighborhood Commercial

- Minimum Lot Area: 1 acre*
 - *Up to two lots may be less than 1 acre, but no lot shall be less than 32,670 square feet
- Minimum Lot Width at Building Line: 100 feet
- Minimum Front Yard Setback:
 - 50' on Mt. Comfort Rd
 - 40' on 500N
 - 25' all others
- Minimum Side Yard Setback: 10 feet
- Minimum Rear Yard Setback: 10 feet
- Maximum Lot Coverage: 75%
- Maximum Height-Principal: 40 feet

District B – Flex Industrial/Office

- Minimum Lot Area: 1 acre
- Minimum Lot Width at Building Line: 100 feet
- Minimum Front Yard Setback:
 - 50' on Mt. Comfort Rd
 - 40' on 500N
 - 25' all others
- Minimum Side Yard Setback: 10 feet
- Minimum Rear Yard Setback: 10 feet
- Maximum Lot Coverage: 75%
- Maximum Height-Principal: 40 feet
- Maximum Structure Size: 40,000 square feet

District C – Light & Medium Industrial

- Minimum Lot Area: 2 acres
- Minimum Lot Width at Building Line: 100 feet
- Minimum Front Yard Setback:
 - 50' on Mt. Comfort Rd
 - 40' on 500N
 - 25' all others
- Minimum Side Yard Setback: 10 feet
- Minimum Rear Yard Setback: 10 feet
- Maximum Lot Coverage: 85%
- Maximum Height-Principal: 60 feet

- Maximum Structure Size: 100,000 square feet

Landscaping, Buffering and Screening

The site will comply with the Town's Ordinances, including the Highway Corridor Overlay, for landscaping, buffering, and screening, with some exceptions as detailed in the PUD.

Pedestrian Connectivity

A ten (10) foot multi-use trail will be installed along the perimeter of CR 500N and Mt. Comfort Rd in the ROW for the width of the frontage of the project. The trail system will be installed as each lot within the District is developed. A sidewalk, constructed a minimum of five (5) feet in width will be installed along the east and west side of the proposed future public road running north and south, and along the north and south sides of the future public road running east and west. The sidewalks will be constructed as each lot is developed. Connector sidewalks will also be installed from the perimeter or street path/sidewalk system to building façade sidewalks, in Areas A and B.

Parking

Parking shall follow the Town of McCordsville Zoning Ordinance Parking requirements for each District, with some exceptions as detailed in the PUD.

Lighting

The Town's exterior lighting standards apply to this site. At a minimum, all site lighting is required to meet the following standards:

- Any building fronting Mt. Comfort Rd, in District A, will feature accent lighting along its façade facing Mt. Comfort Rd.
- All buildings in District A, B, and C will have pole lighting fixtures that are consistent in style and quality.

Architectural Review Committee

At its August 19, 2025 meeting, the Architectural Review Committee (ARC) reviewed the elevations for the Lot 2 speculative building. The petitioner agreed to incorporate several enhancements, including a cornice detail with a shadow band at least one (1) foot in height, additional windows along the east elevation facing Mt. Comfort Road, and knockout panels for potential future windows. Updated elevations reflecting these revisions have been submitted.

Technical Committee

The Technical Advisory Committee (TAC) reviewed this project on August 21, 2025. With the exception of the outstanding items outlined below, all comments relevant to Plan Commission review have been addressed.

Outstanding items:

1. **Access Easement**

Staff requested that the petitioner provide an access easement from Commerce Park Drive to two adjacent parcels that front Mt. Comfort Road but are not part of this project. These parcels are currently residential use, each with its own driveway onto Mt. Comfort Road. The Town's recently adopted Comprehensive Plan does not support continued residential use in this corridor, and future redevelopment is expected to be commercial. For safe access, existing residential driveway cuts would need to be vacated, leaving the parcels without access. While staff requested an easement from Commerce Park Drive, the petitioner has instead proposed a 20-foot easement from Patch Drive (the northernmost east-west drive in the development).

2. **Curb and Gutter vs. Gravel Strip**

Staff expressed a preference that the gravel strip along the outside of the internal roadway be constructed as curb and gutter to ensure proper drainage. The petitioner has responded that, due to the preliminary nature of development in Block B, they would prefer not to install curb and gutter at this time. Staff maintains its recommendation for curb and gutter but is open to discussion if a defined timeline or commitment is provided to ensure the improvement is not overlooked.

STAFF COMMENTS/RECOMMENDATION:

While staff notes the two outstanding items described above, overall the plans comply with the requirements of the PUD and the McCordsville Zoning Ordinance. Staff recommends approval of the Secondary Plat and Development Plan for Lot 2.

The Plan Commission may motion to provide (a) approval, (b) continuance, or (c) denial.

Aerial Map

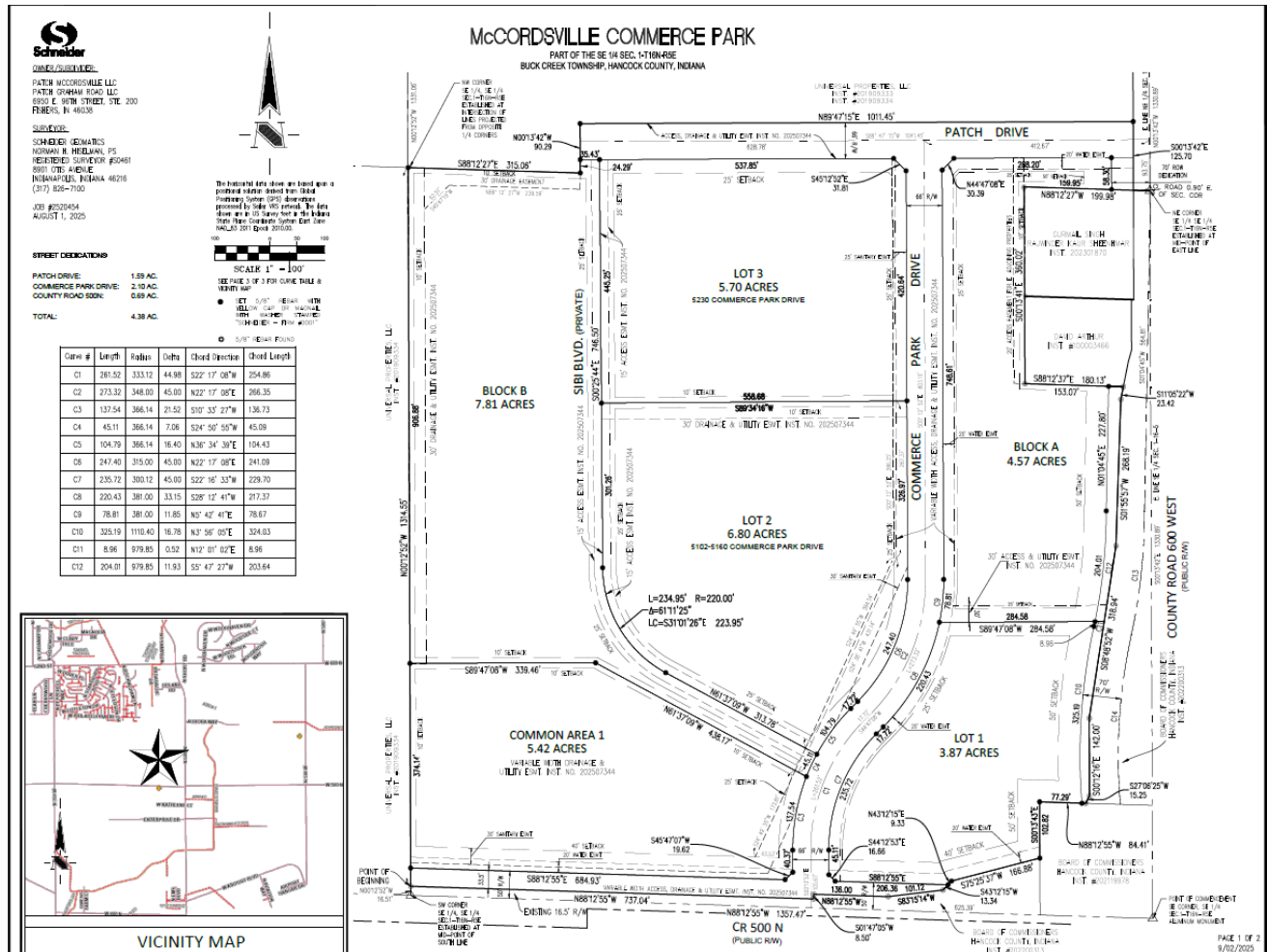


Parcel ID	30-05-01-300-019.002-006	Alternate ID	30-05-01-300-019.002-006	Owner Address	Wake Development LLC
Sec/Twp/Rng	n/a	Class	100 - Vacant Land		8827 Spinnaker Ct
Property Address	N 700 W	Acreage	n/a		Indianapolis, IN 46256
	McCordsville				
District	BUCK CREEK TOWNSHIP				
Brief Tax Description	S SW SW 1-16-5 1AC				
	(Note: Not to be used on legal documents)				

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Developed by SCHNEIDER
GEO SPATIAL

Secondary Plat



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Architectural Detail – Lot 2

