



NEWBERRY - QA301



PROSPECT - FH201



PROSPECT - FH301



PROSPECT - HR201



PROSPECT - HR202



PROSPECT - NC201



VESTRY - FH101



VESTRY - FH202



VESTRY - HR201



VESTRY - NC201



VESTRY - NC301



STREET - FH201



STREET - FH202



STREET - HR201



STREET - HR301



STREET - NC201



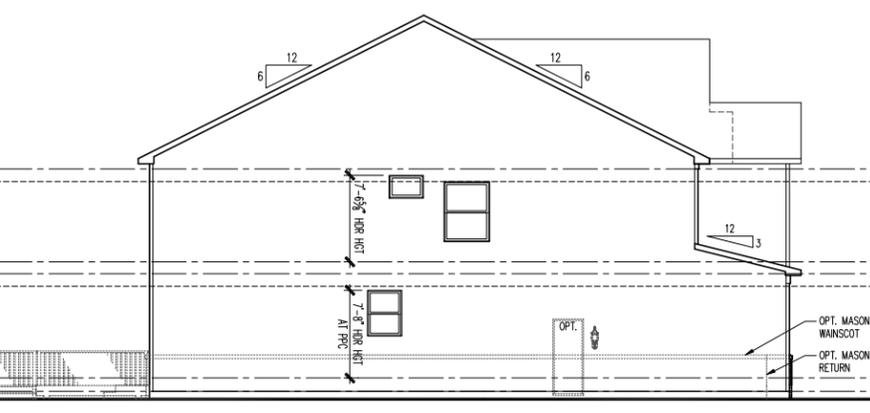
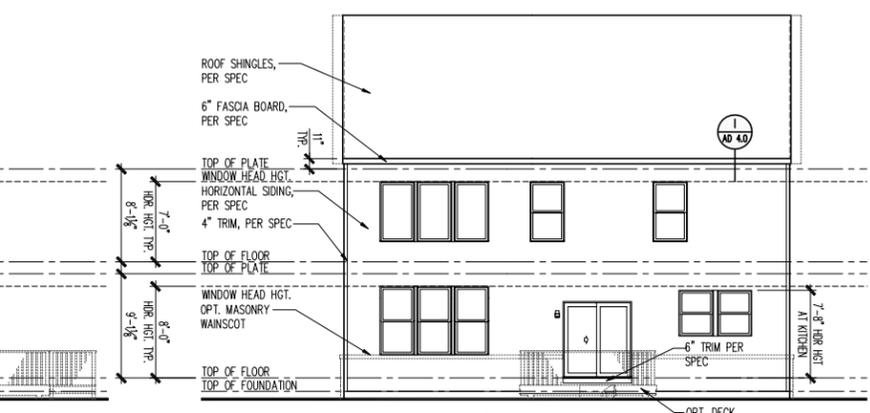
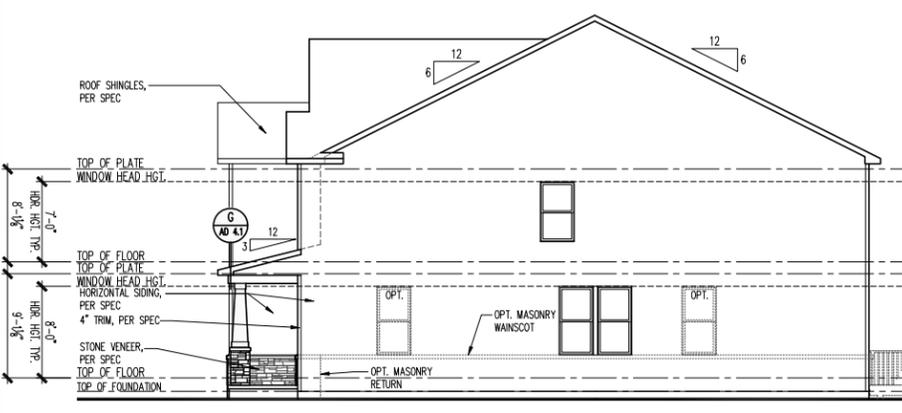
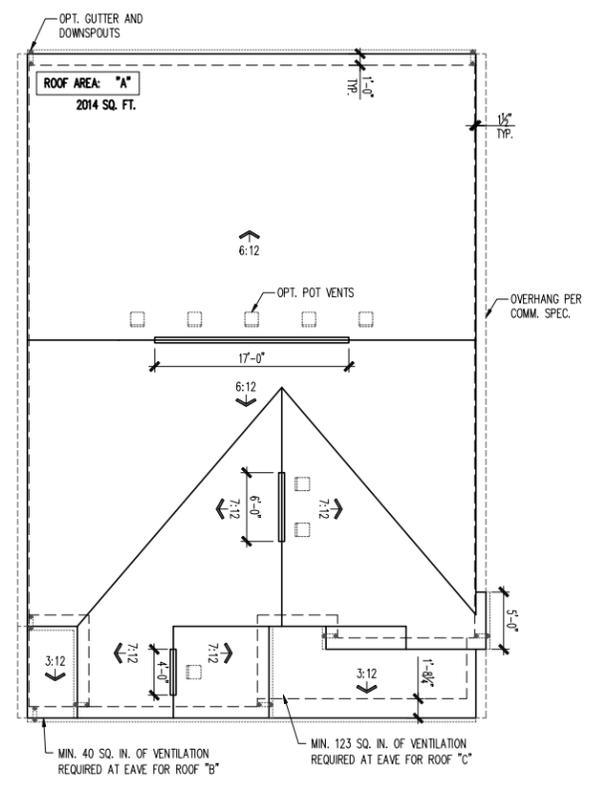
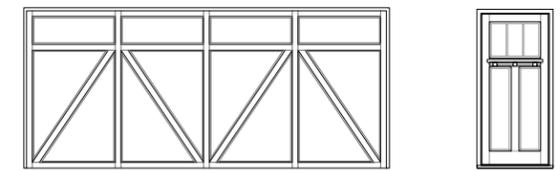
PRODUCTION MANAGER Rick Storkey
INITIAL RELEASE DATE: 01/31/2022
CURRENT RELEASE DATE: 03/15/2024
REV # / DATE / DESCRIPTION
△ 04/04/2022 REVISIONS
△ 07/15/2022 REVISIONS
△ 02/17/2023 REVISIONS
△ 04/14/2023 REVISIONS
△ 03/15/2024 PCR UPDATES
GARAGE HANDING GARAGE LEFT
PLAN NAME WAVERLY
NPC PLAN NUMBER 1590.302
LAWSON PLAN ID
SHEET A3-CR202
2FB.1

ATTIC VENT SCHEDULE			
CR202 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'
ATTIC AREA (SF)	2014		
TOTAL NET FREE VENTED AREA REQ.	967 IN ²		
LOW - REQUIRED (**)	483 IN ²		
LOW - ACTUAL w/ EAVE VENTS (**)	504 IN ² 18 EAVE VENTS		
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	490 IN ² 49 LINEAR FEET		
HIGH - REQUIRED (**)	483 IN ²		
HIGH - ACTUAL w/ POT VENTS (***)	488 IN ² 8 POTS		
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	486 IN ² 27 LF		

* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) AREN'T PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



PLOTTED: June 13, 2024 / Title L&E / A3-CR202 2FB.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34" SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV #	DATE / DESCRIPTION
△	04/04/2022
△	REVISIONS
△	07/15/2022
△	REVISIONS
△	02/17/2023
△	REVISIONS
△	04/14/2023
△	REVISIONS
△	03/15/2024
△	PCR UPDATES

GARAGE HANDING
GARAGE LEFT

PLAN NAME
WAVERLY
 NPC PLAN NUMBER
1590.302
 LAWSON PLAN ID

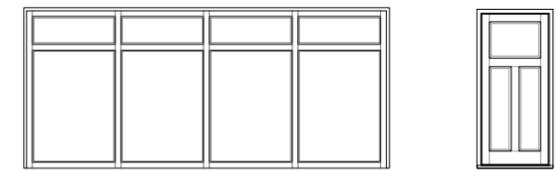
SHEET
A3-FH201
2FB.1

ATTIC VENT SCHEDULE				
FH201 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'	
ATTIC AREA (SF)	2019			
TOTAL NET FREE VENTED AREA REQ.	969 IN ²			
LOW - REQUIRED (**)	485 IN ²			
LOW - ACTUAL w/ EAVE VENTS (**)	504 IN ² 18 EAVE VENTS			
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	490 IN ² 49 LINEAR FEET			
HIGH - REQUIRED (**)	485 IN ²			
HIGH - ACTUAL w/ POT VENTS (***)	488 IN ² 8 POTS			
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	486 IN ² 27 LF			

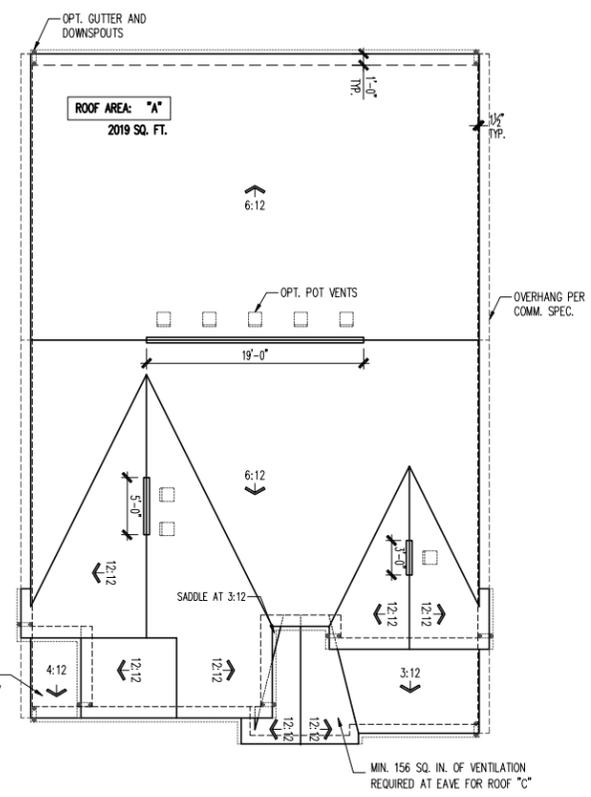
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 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

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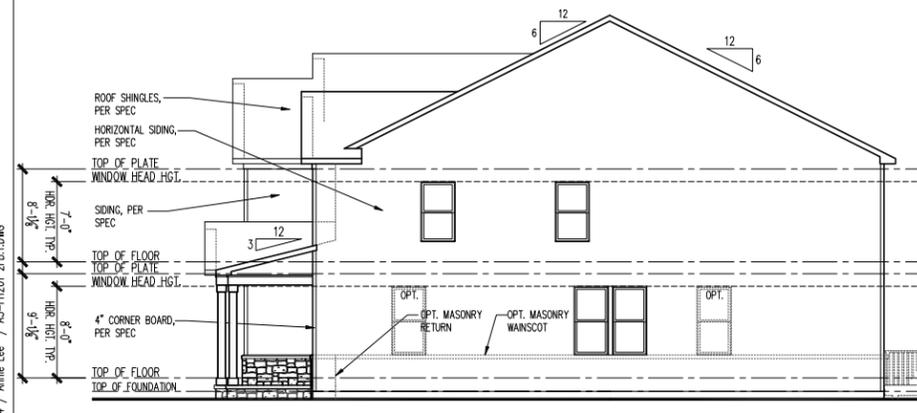
UPGRADED DOOR OPTION
 SCALE: 1/4" = 1'-0"



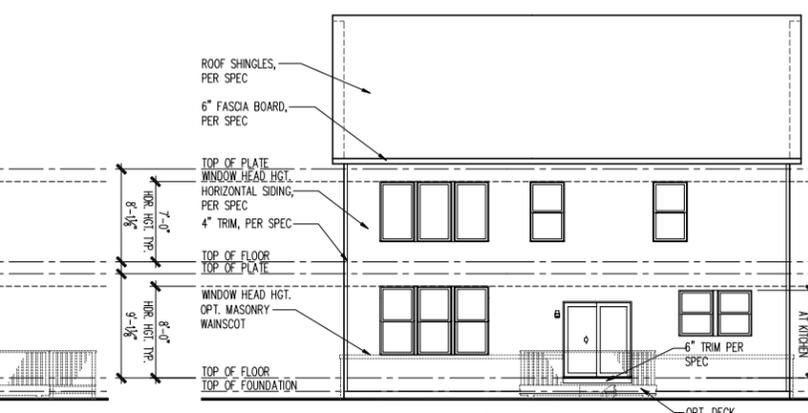
ROOF PLAN
 SCALE: 1/8" = 1'-0"



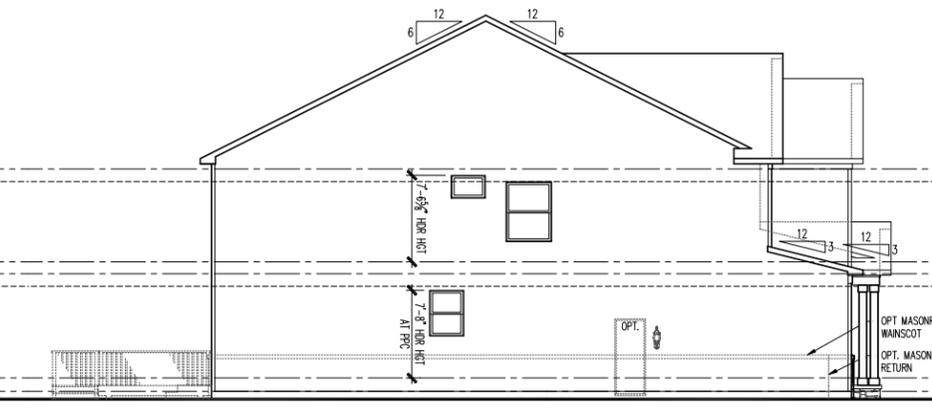
FRONT ELEVATION - FH201
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"

PRODUCTION MANAGER
 Rick Storkey
 INITIAL RELEASE DATE:
 01/31/2022
 CURRENT RELEASE DATE:
 03/15/2024

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△	03/15/2024 PCR UPDATES

GARAGE HANDING
GARAGE LEFT

PLAN NAME
WAVERLY
 NPC PLAN NUMBER
1590.302
 LAWSON PLAN ID

SHEET
A3-HR203
2FB.1

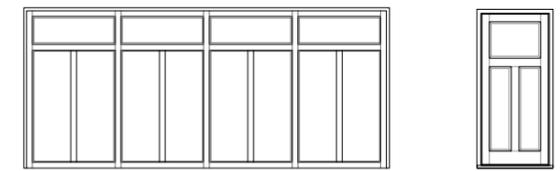
ATTIC VENT SCHEDULE

HR203 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'
ATTIC AREA (SF)	2019		
TOTAL NET FREE VENTED AREA REQ.	969 IN ²		
LOW - REQUIRED (**)	485 IN ²		
LOW - ACTUAL w/ EAVE VENTS (**)	504 IN ² 18 EAVE VENTS		
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	490 IN ² 49 LINEAR FEET		
HIGH - REQUIRED (**)	485 IN ²		
HIGH - ACTUAL w/ POT VENTS (***)	488 IN ² 8 POTS		
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	486 IN ² 27 LF		

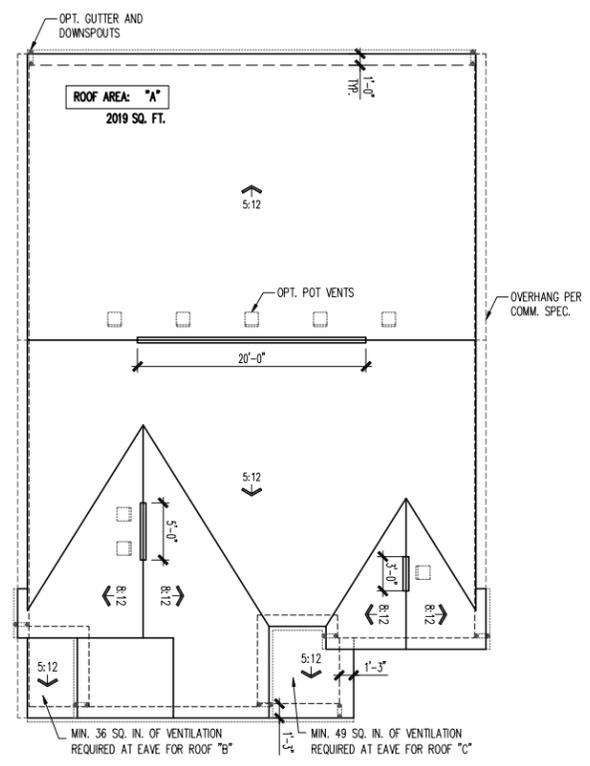
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** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
 LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
 LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

*** ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:
 HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
 HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT



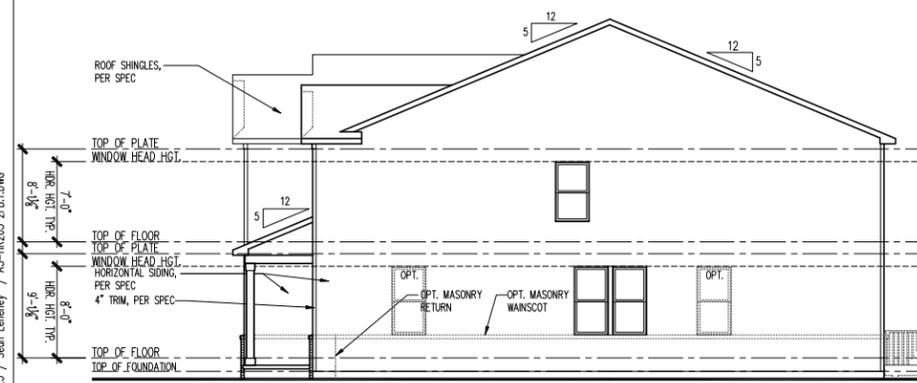
UPGRADED DOOR OPTION
 SCALE: 1/4" = 1'-0"



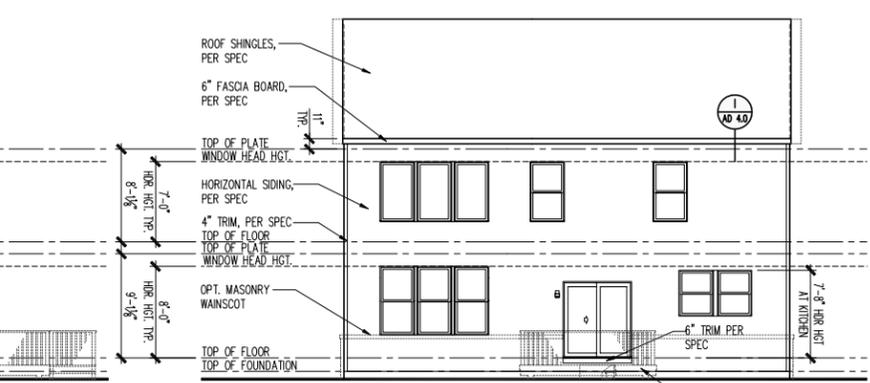
ROOF PLAN
 SCALE: 1/8" = 1'-0"



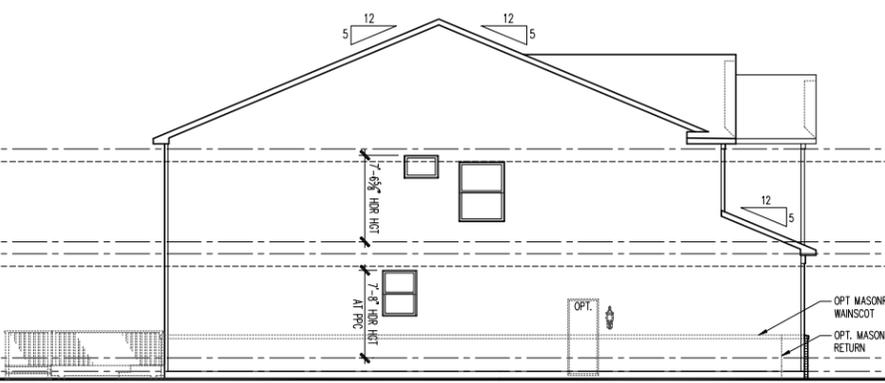
FRONT ELEVATION - HR203
 SCALE: 1/4" = 1'-0"



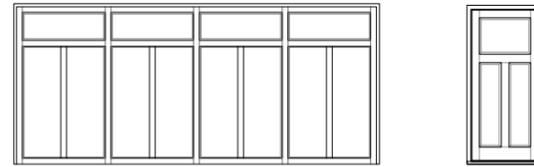
RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"



UPGRADED DOOR OPTION
SCALE: 1/4" = 1'-0"

ATTIC VENT SCHEDULE			
HR205 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'
ATTIC AREA (SF)	2019		
TOTAL NET FREE VENTED AREA REQ.	969 IN ²		
LOW - REQUIRED (*)	485 IN ²		
LOW - ACTUAL w/ EAVE VENTS (**)	504 IN ² 18 EAVE VENTS		
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	490 IN ² 49 LINEAR FEET		
HIGH - REQUIRED (*)	485 IN ²		
HIGH - ACTUAL w/ POT VENTS (***)	488 IN ² 8 EAVE VENTS		
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	486 IN ² 27 LINEAR FEET		

* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT²) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT² TO IN²). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) AREN'T PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

** ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:
LOW OPT 1: EAVE VENTS = 28.0 IN²/VENT (OR)
LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN²/LINEAR FT

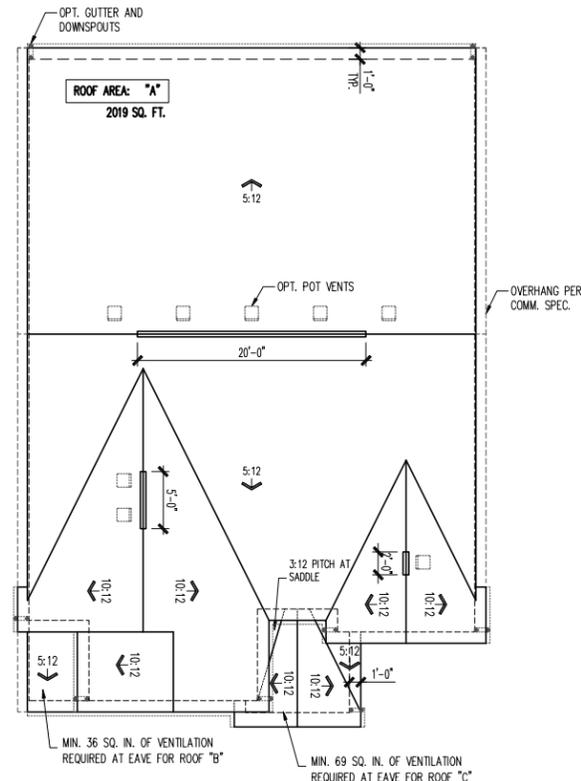
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HIGH OPT 1: POT ROOF VENTS = 61.0 IN²/VENT (OR)
HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN²/LINEAR FT

North Area
1900 E. Golf Road, Suite 300
Schaumburg, Illinois 60173



HR205
2 Car Front Entry
Front, Side, and Rear Elevations, Roof Plan and Ventilation Schedule

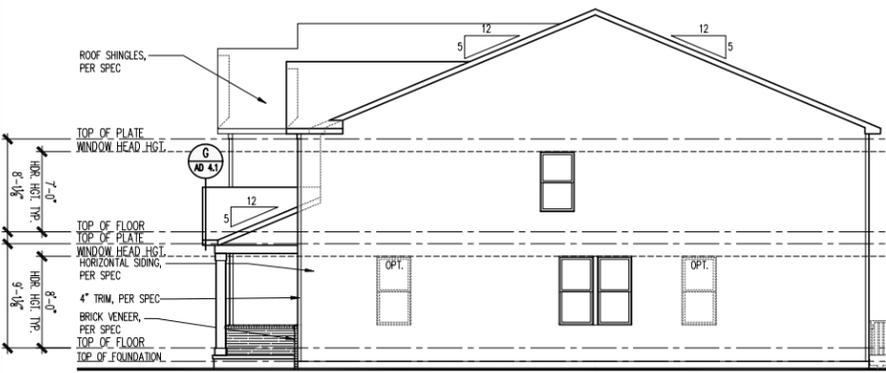
PRODUCTION MANAGER Rick Storkey	INITIAL RELEASE DATE: 01/31/2022
CURRENT RELEASE DATE: 03/15/2024	
REV #	DATE / DESCRIPTION
1	04/04/2022
2	07/15/2022
3	02/17/2023
4	04/14/2023
5	03/15/2024
6	PCR UPDATES
GARAGE HANDING GARAGE LEFT	
PLAN NAME WAVERLY	
NPC PLAN NUMBER 1590.302	
LAWSON PLAN ID	
SHEET A3-HR205	
2FB.1	



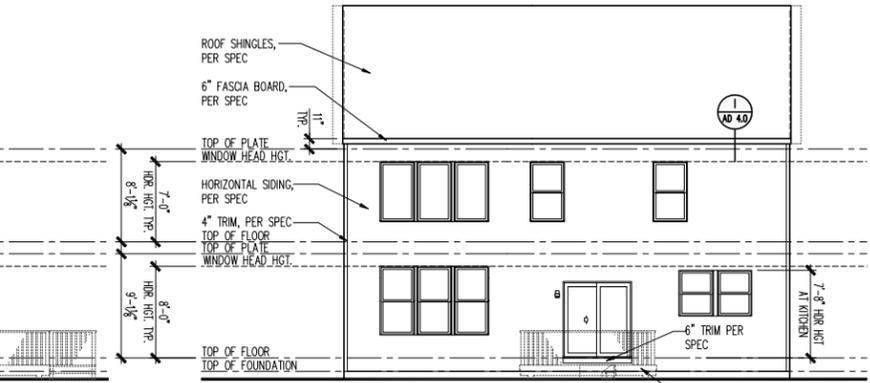
ROOF PLAN
SCALE: 1/8" = 1'-0"



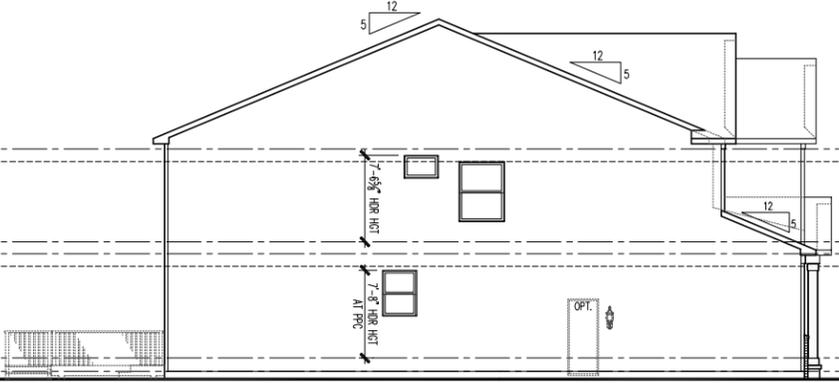
FRONT ELEVATION - HR205
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/8" = 1'-0"



REAR ELEVATION
SCALE: 1/8" = 1'-0"



LEFT ELEVATION
SCALE: 1/8" = 1'-0"

PLOTTED: February 20, 2025 / Scan: Leahaney / A3-HR205 2FB.1.DWG

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34" SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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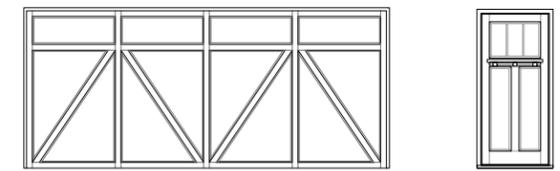
SHEET
A3-NC203
2FB.1

ATTIC VENT SCHEDULE				
NC203 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'	
ATTIC AREA (SF)	2019			
TOTAL NET FREE VENTED AREA REQ.	969 IN ²			
LOW - REQUIRED (**)	485 IN ²			
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HIGH - ACTUAL w/ POT VENTS (***)	488 IN ² 8 POTS			
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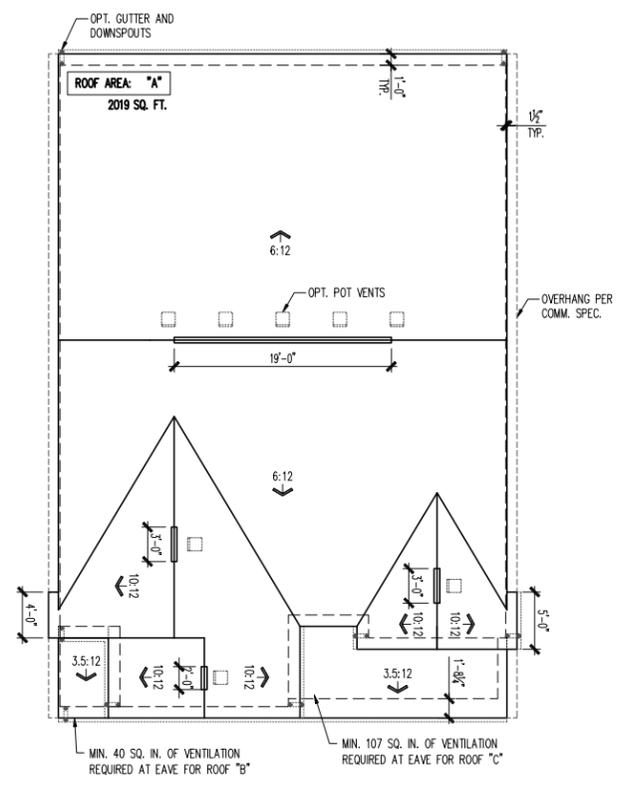
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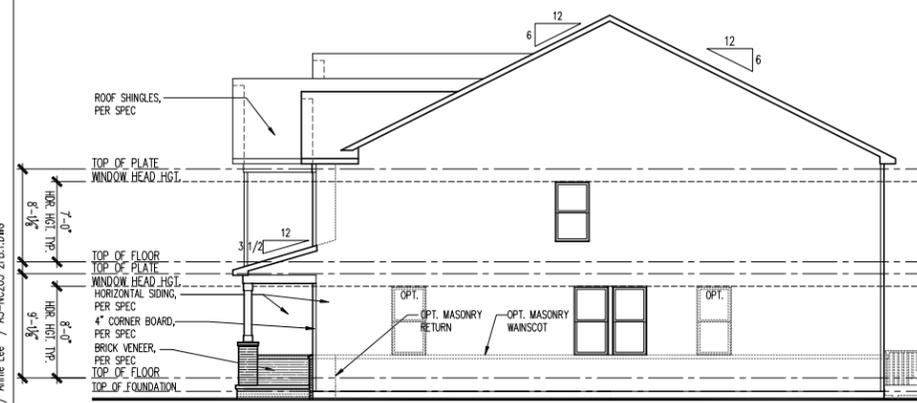
UPGRADED DOOR OPTION
 SCALE: 1/4" = 1'-0"



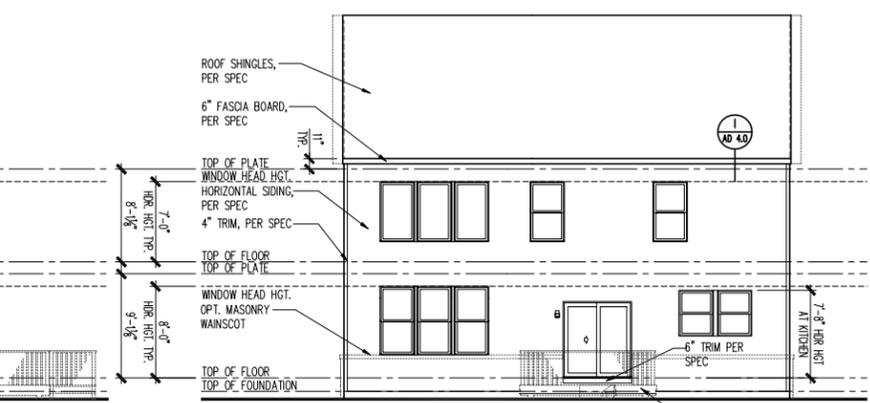
ROOF PLAN
 SCALE: 1/8" = 1'-0"



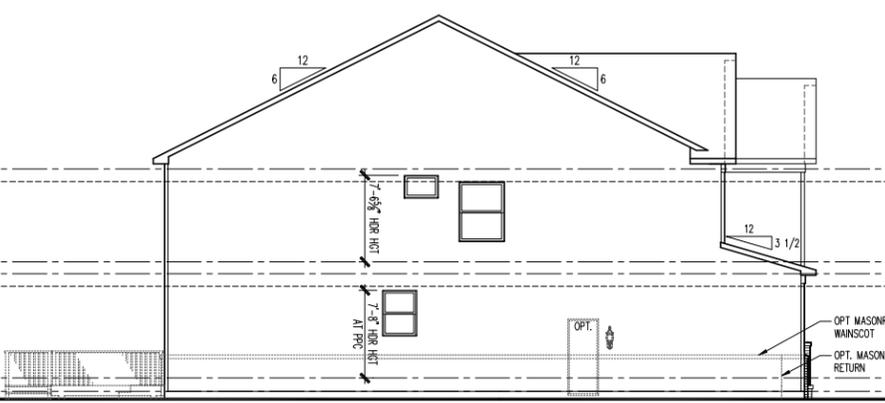
FRONT ELEVATION - NC203
 SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
 SCALE: 1/8" = 1'-0"



REAR ELEVATION
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION
 SCALE: 1/8" = 1'-0"