



NEWBERRY - QA301





**PROSPECT - FH201**





**PROSPECT - FH301**





**PROSPECT - HR201**





**PROSPECT - HR202**





**PROSPECT - NC201**





VESTRY - FH101





VESTRY - FH202





VESTRY - HR201





VESTRY - NC201





VESTRY - NC301





STREET - FH201





STREET - FH202





STREET - HR201





STREET - HR301

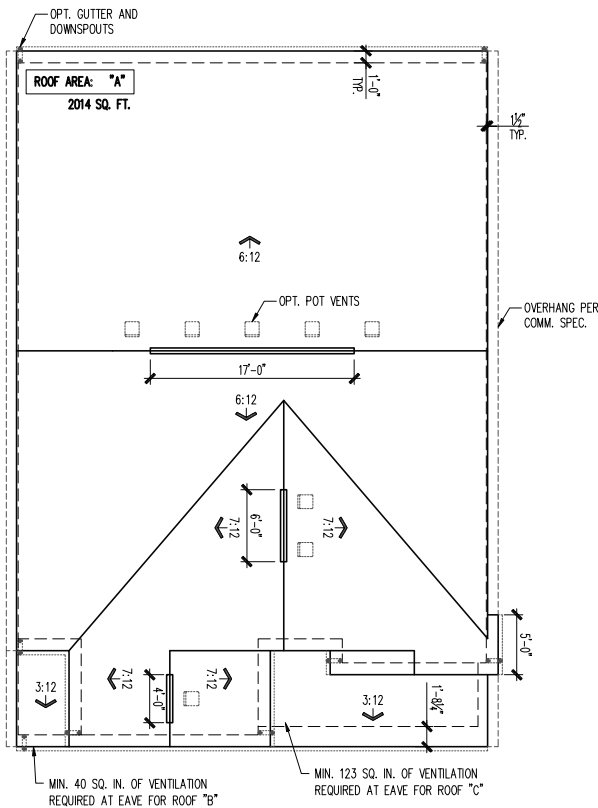




STREET - NC201

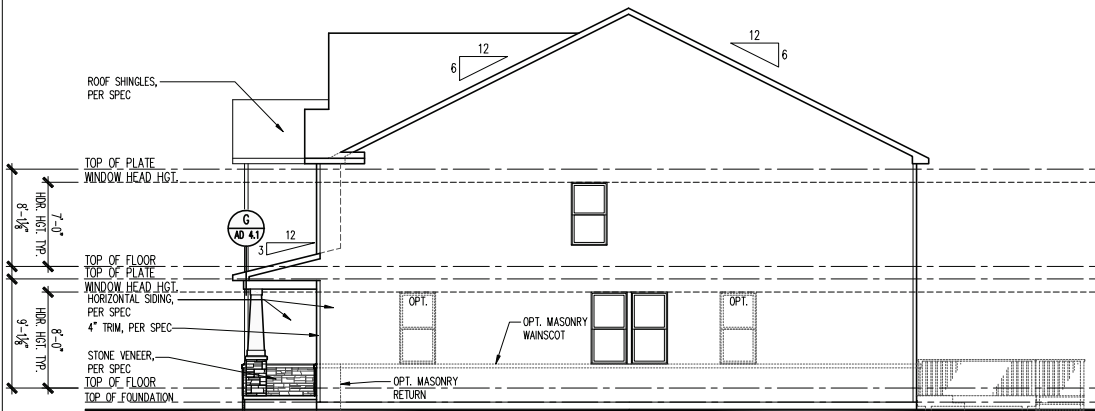


PLOTTED: June 13, 2024 / Title L& / A3-CR202\_ZEB.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"



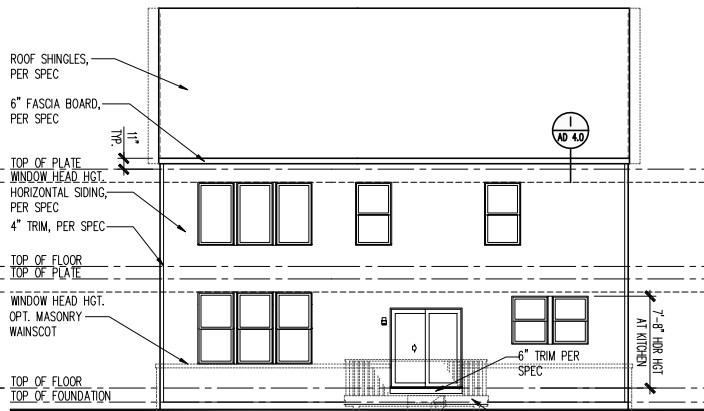
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



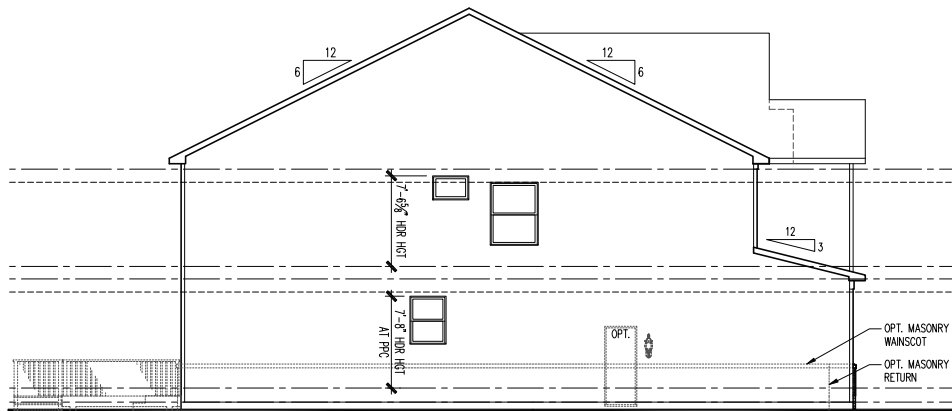
FRONT ELEVATION - CR202

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"

ATTIC VENT SCHEDULE

CR202 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'	
ATTIC AREA (SF)	2014			
TOTAL NET FREE VENTED AREA REQ.	967 IN <sup>2</sup>			
LOW - REQUIRED (*)	483 IN <sup>2</sup>			
LOW - ACTUAL w/ EAVE VENTS (**)	504 IN <sup>2</sup> 18 EAVE VENTS			
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	490 IN <sup>2</sup> 49 LINEAR FEET			
HIGH - REQUIRED (*)	483 IN <sup>2</sup>			
HIGH - ACTUAL w/ POT VENTS (***)	488 IN <sup>2</sup> 8 POTS			
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	486 IN <sup>2</sup> 27 LF			

\* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT<sup>2</sup>) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT<sup>2</sup> TO IN<sup>2</sup>). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARENT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

\*\* ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:

LOW OPT 1: EAVE VENTS = 28.0 IN<sup>2</sup>/VENT (OR)

LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN<sup>2</sup>/LINEAR FT

\*\*\* ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:

HIGH OPT 1: POT ROOF VENTS = 61.0 IN<sup>2</sup>/VENT (OR)

HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN<sup>2</sup>/LINEAR FT



NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV #	DATE	DESCRIPTION
1	04/04/2022	REVISIONS
2	07/15/2022	REVISIONS
3	02/17/2023	REVISIONS
4	04/14/2023	REVISIONS
5	03/15/2024	PCR UPDATES

GARAGE HANDING  
 GARAGE LEFT

PLAN NAME  
 WAVERLY  
 NPC PLAN NUMBER  
 1590.302  
 LAWSON PLAN ID

SHEET  
 A3-CR202  
 2FB.1

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PULTE  
 GROUP

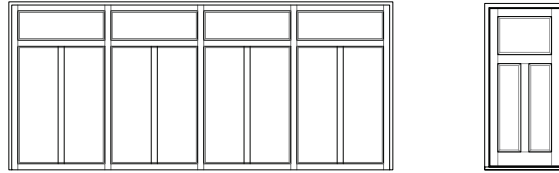
CR202  
 2 Car Front Entry  
 Front, Side, and Rear Elevations, Roof Plan and Ventilation Schedule

North Area  
 1900 E. Golf Road, - Suite 300  
 Schaumburg, Illinois 60173



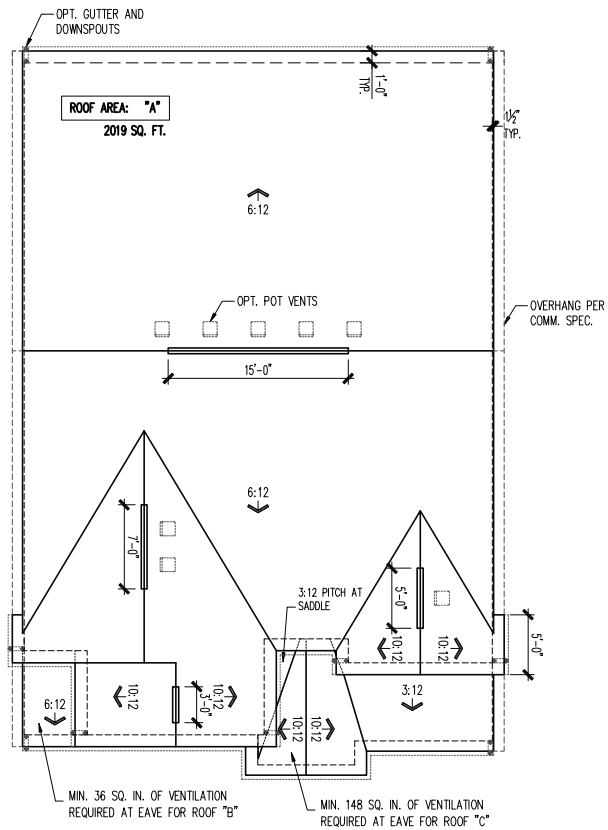






## UPGRADED DOOR OPTION

SCALE:  $1/4" = 1'-0"$



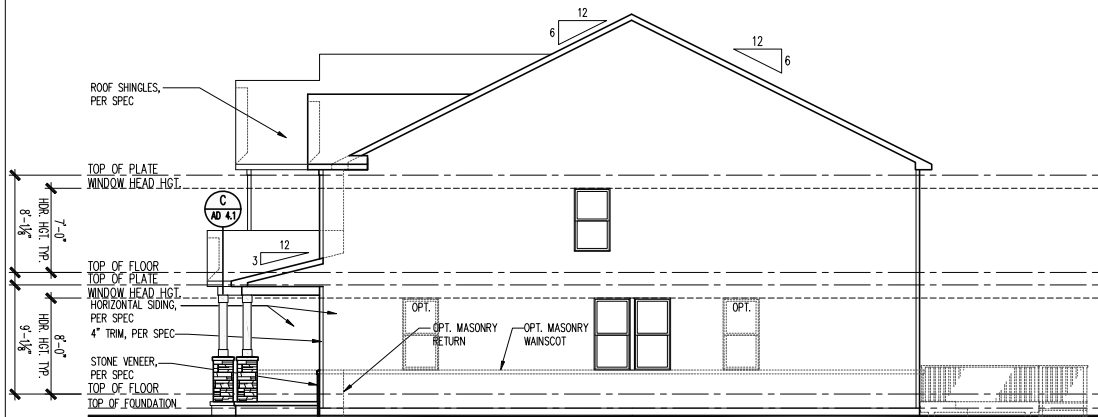
## ROOF PLAN

SCALE:  $1/8" = 1'-0"$



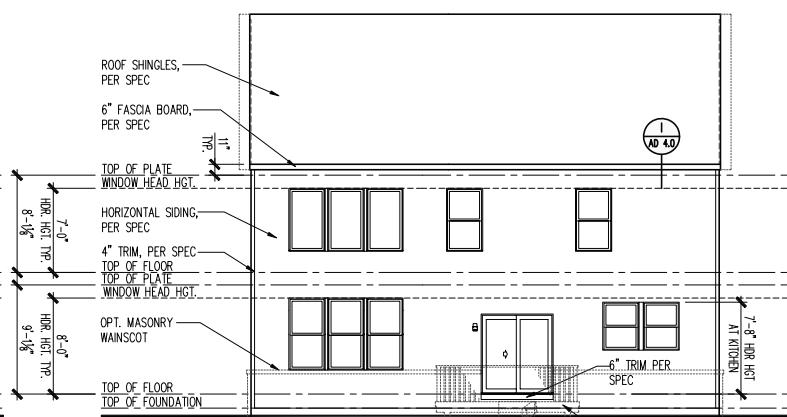
**FRONT ELEVATION - HR201**

SCALE: 1/4" = 1'-0"



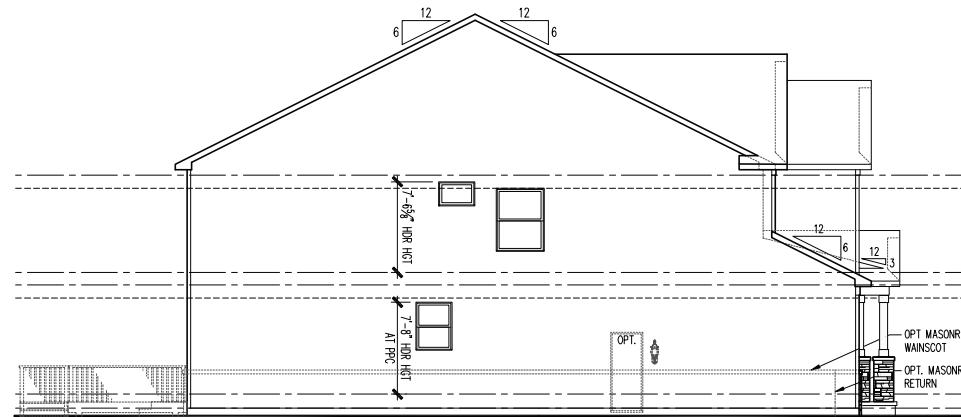
### RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



### REAR ELEVATION

SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

SCALE:  $1/8" = 1'-0"$

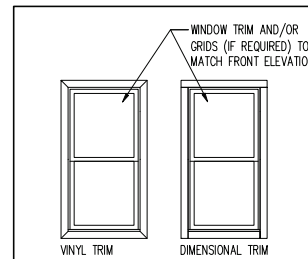
ATTIC VENT SCHEDULE			
HR201 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'
ATTIC AREA (SF)	2019		
TOTAL NET FREE VENTED AREA REQ.	969 IN <sup>2</sup>		
LOW - REQUIRED (*)	485 IN <sup>2</sup>		
LOW - ACTUAL w/ EAVE VENTS (**)	504 IN <sup>2</sup> 18 EAVE VENTS		
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	490 IN <sup>2</sup> 49 LINEAR FEET		
HIGH - REQUIRED (*)	485 IN <sup>2</sup>		
HIGH - ACTUAL w/ POT VENTS (***)	488 IN <sup>2</sup> 8 POTIS		
HIGH - ACTUAL w/ CONT. RIDGE VENTS (***)	486 IN <sup>2</sup> 27 LF		

\* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT<sup>2</sup>) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT<sup>2</sup> TO IN<sup>2</sup>). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) AREN'T PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

\*\* ACTUAL NET FREE VENTED SOFFIT AREA IS CALCULATED BY DIVIDING THE REQUIRED (LOW) AREA BY THE MFRS STATED ACTUAL VENTED NET FREE AREA PER VENT:

LOW OPT 1: EAVE VENTS = 28.0 IN<sup>2</sup>/VENT (OR)  
LOW OPT 2: CONT. VENTED SOFFITS = 10.0 IN<sup>2</sup>/LINEAR FT

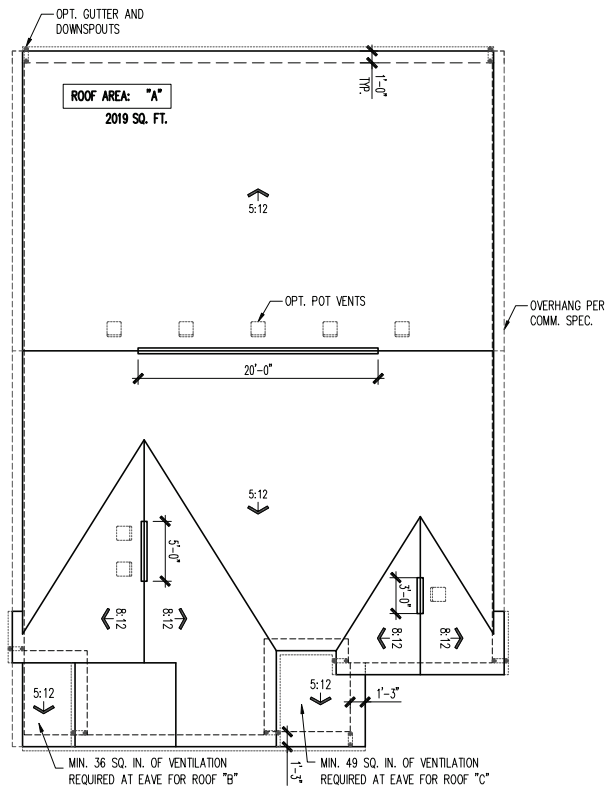
\*\*\* ACTUAL NET FREE VENTED RIDGE AREA IS CALCULATED BY DIVIDING THE REQUIRED (HIGH) AREA BY THE MFRS STATED ACTUAL VENTED NET AREA PER VENT:



### SIDE AND REAR WINDOWS PER COMMUNITY SPECS

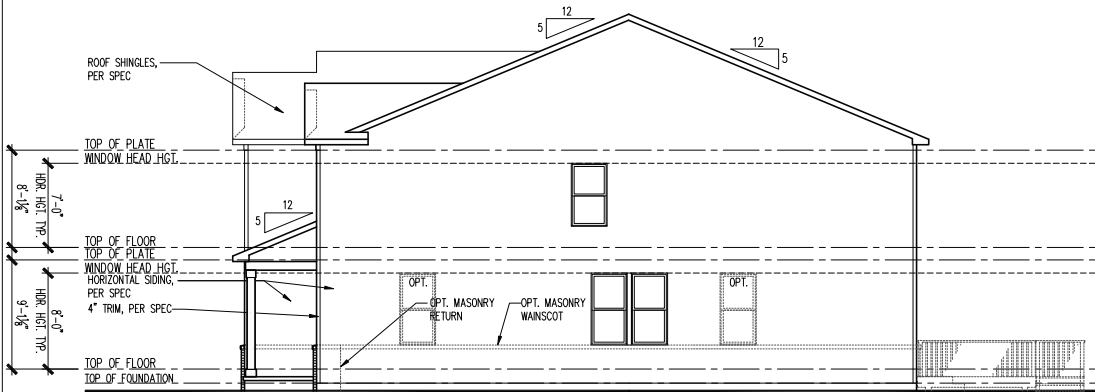
SCALE: 1/4" = 1'-0"





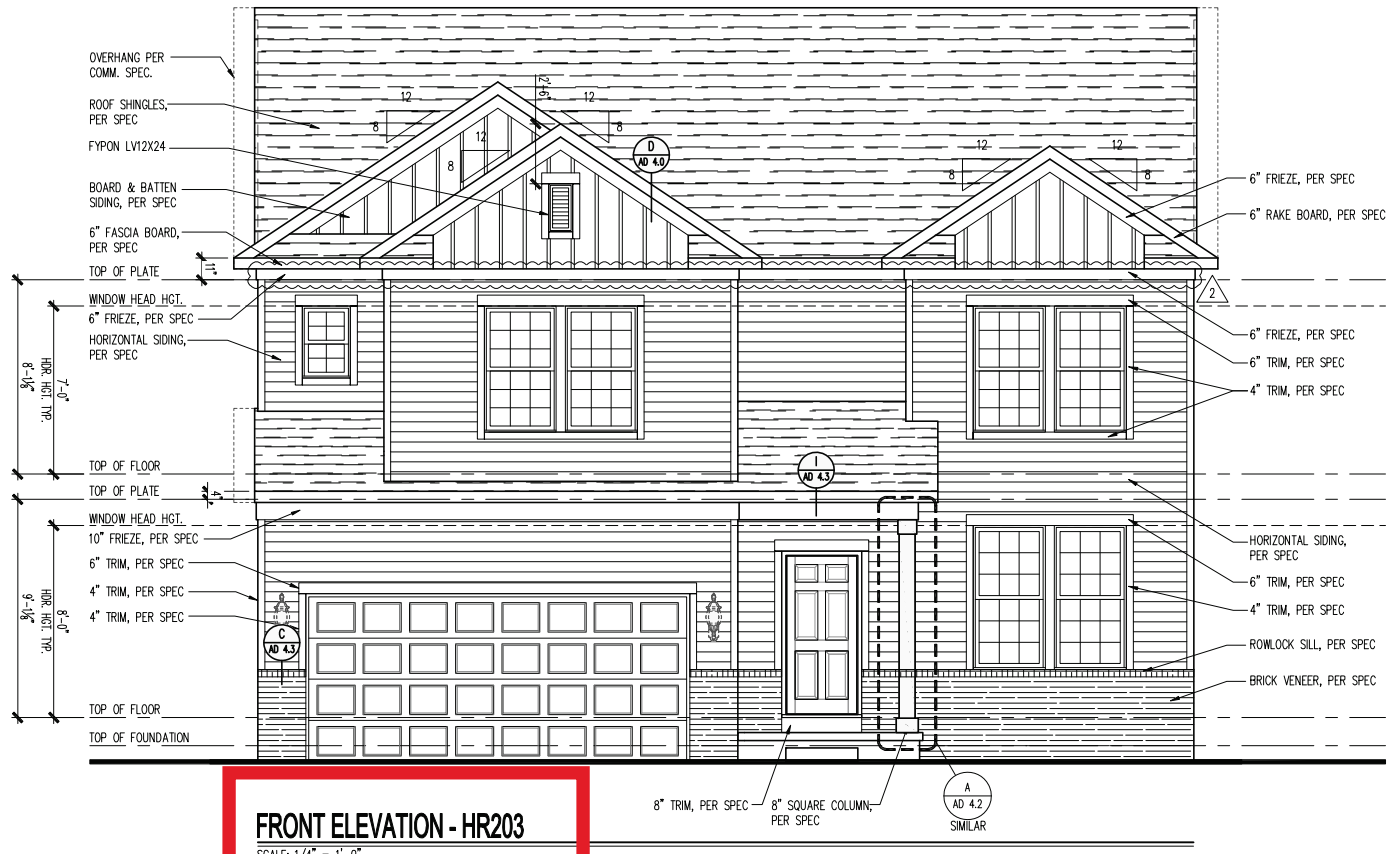
## ROOF PLAN

SCALE:  $1/8" = 1'-0"$



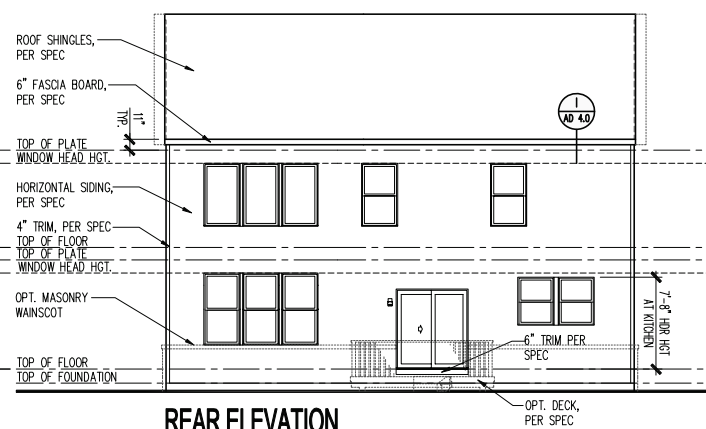
### RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



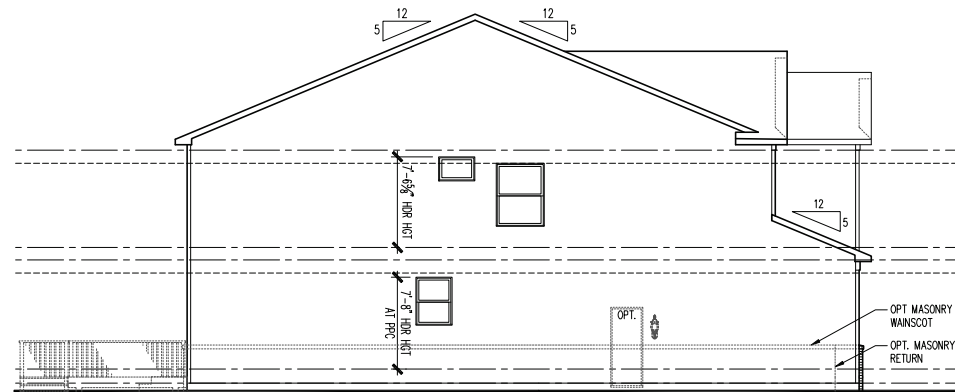
**FRONT ELEVATION - HR203**

SCALE:  $1/4" = 1'-0"$



### REAR ELEVATION

SCALE: 1/8" = 1'-0"



**LEFT ELEVATION**

SCALE:  $1/8" = 1'-0"$

ATTIC VENT SCHEDULE			
HR203 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'
ATTIC AREA (SF)	2019		
TOTAL NET FREE VENTED AREA REQ.	969 IN <sup>2</sup>		
LOW - REQUIRED (*)	485 IN <sup>2</sup>		
LOW - ACTUAL w/ EAVE VENTS (**)	504 IN <sup>2</sup> 18 EAVE VENTS		
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (***)	490 IN <sup>2</sup> 49' LINEAR FEET		
HIGH - REQUIRED (*)	485 IN <sup>2</sup>		
HIGH - ACTUAL w/ POT VENTS (***)	488 IN <sup>2</sup> 8 POTS		
HIGH - ACTUAL w/ CONT. RIDGE VENTS (****)	486 IN <sup>2</sup> 27 LF		

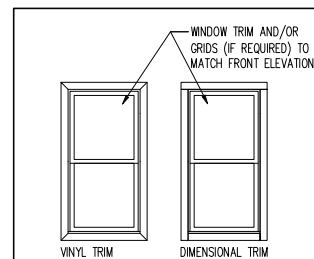
\* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT<sup>2</sup>) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT<sup>2</sup> TO IN<sup>2</sup>). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) ARENT PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

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HIGH OPT 2: CONT. RIDGE VENTS = 18.0 IN<sup>2</sup>/LINEAR FT

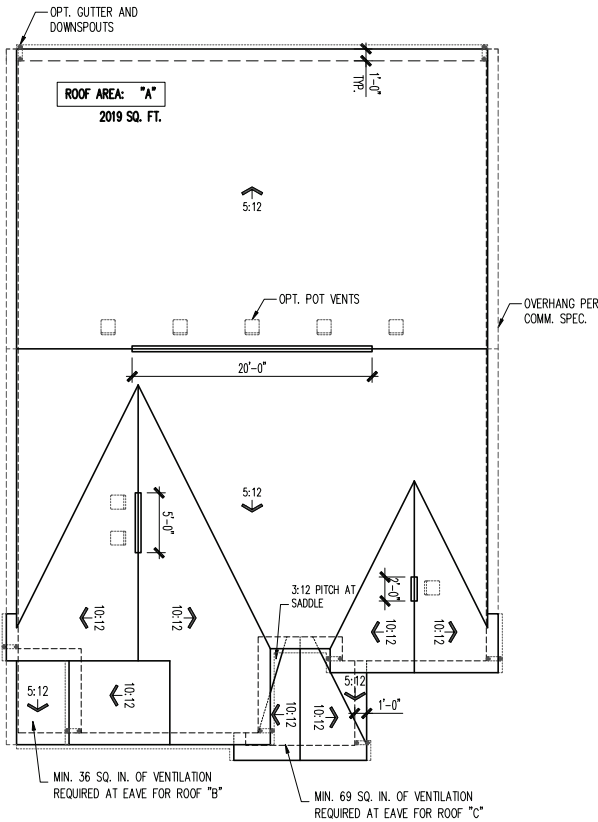


**SIDE AND REAR WINDOWS  
PER COMMUNITY SPECS**

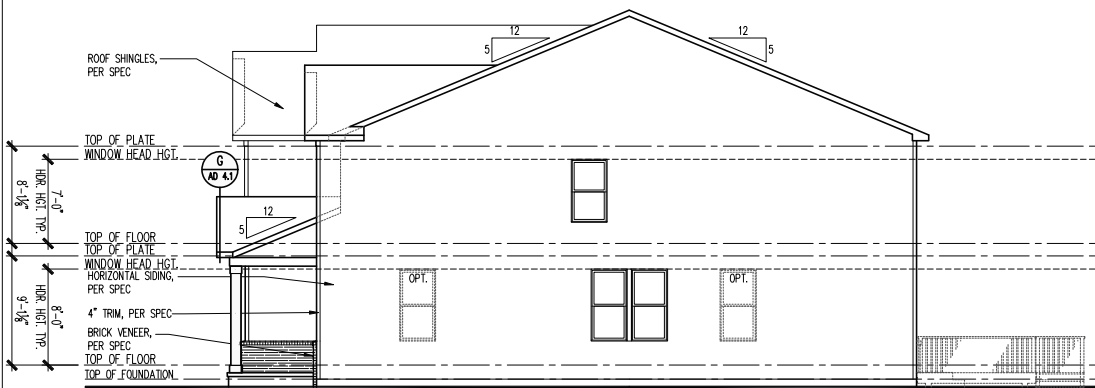
SCALE: 1/4" = 1'-0"



PLOTTED: February 20, 2025 / Sean Lohrney / A3-HR205 2FB.DWG



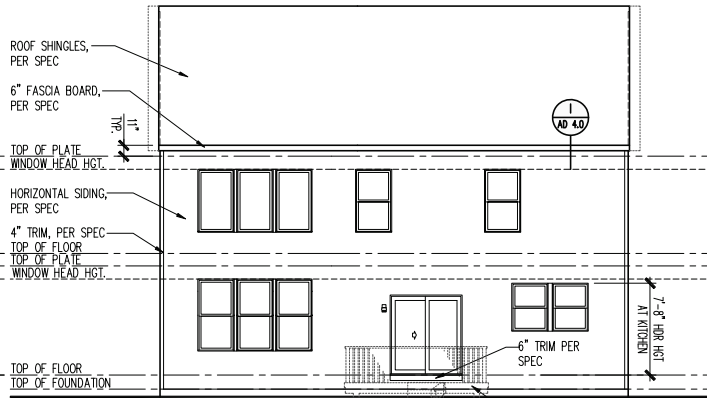
ROOF PLAN  
 SCALE: 1/8" = 1'-0"



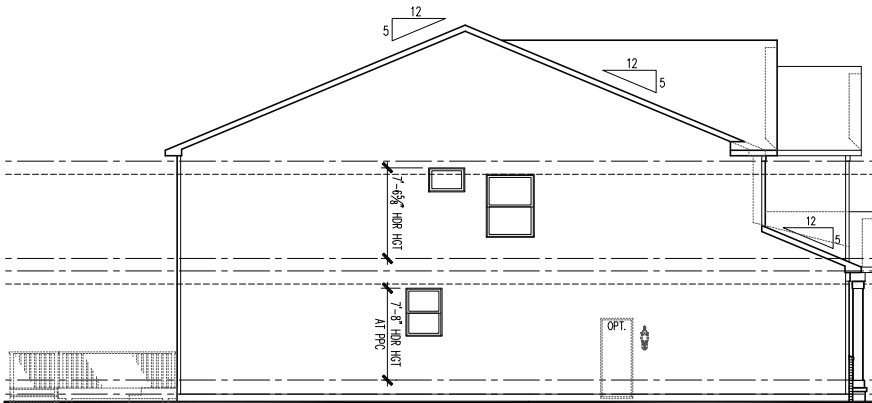
RIGHT ELEVATION  
 SCALE: 1/8" = 1'-0"



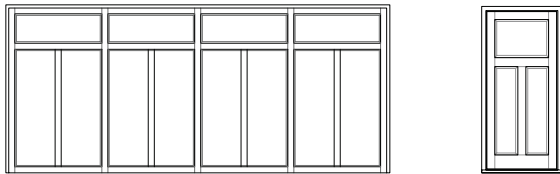
FRONT ELEVATION - HR205  
 SCALE: 1/4" = 1'-0"



REAR ELEVATION  
 SCALE: 1/8" = 1'-0"



LEFT ELEVATION  
 SCALE: 1/8" = 1'-0"



UPGRADED DOOR OPTION  
 SCALE: 1/4" = 1'-0"

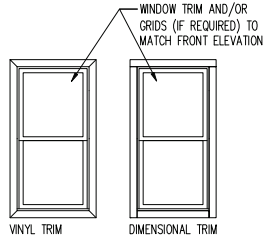
ATTIC VENT SCHEDULE

HR205 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'	
ATTIC AREA (SF)	2019			
TOTAL NET FREE VENTED AREA REQ.	969 IN <sup>2</sup>			
LOW - REQUIRED (*)	485 IN <sup>2</sup>			
LOW - ACTUAL w/ EAVE VENTS (**)	504 IN <sup>2</sup> 18 EAVE VENTS			
LOW - ACTUAL w/ CONTINUOUS VENTED SOFFITS (**)	490 IN <sup>2</sup> 49 LINEAR FEET			
HIGH - REQUIRED (*)	485 IN <sup>2</sup>			
HIGH - ACTUAL w/ POT VENTS (***)	488 IN <sup>2</sup> 8 EAVE VENTS			
HIGH - ACTUAL w/ CONT. RIDGE VENTS (****)	486 IN <sup>2</sup> 27 LINEAR FEET			

\* REQUIRED NET FREE VENTED AREA IS CALCULATED BY MULTIPLYING THE ATTIC AREA (FT<sup>2</sup>) BY 1/300 AND THEN MULTIPLYING BY 144 (CONVERTING FT<sup>2</sup> TO IN<sup>2</sup>). 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED NEAR THE RIDGE (HIGH) AND 50% IS REQUIRED AT THE SOFFIT (LOW). WHEN BOTH (HIGH) & (LOW) AREN'T PROVIDED, THE REQ'D NET FREE AREA IS 1/150 OF THE ACTUAL AREA INSTEAD.

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SIDE AND REAR WINDOWS  
 PER COMMUNITY SPECS  
 SCALE: 1/4" = 1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

REV #	DATE	DESCRIPTION
1	04/04/2022	INITIAL RELEASE DATE: 01/31/2022
2	07/15/2022	CURRENT RELEASE DATE: 03/15/2024
3	02/17/2023	
4	04/14/2023	
5	03/15/2024	

GARAGE HANDING  
 GARAGE LEFT

PLAN NAME  
 WAVERLY  
 NPC PLAN NUMBER  
 1590.302  
 LAWSON PLAN ID

SHEET  
 A3-HR205  
 2FB.1

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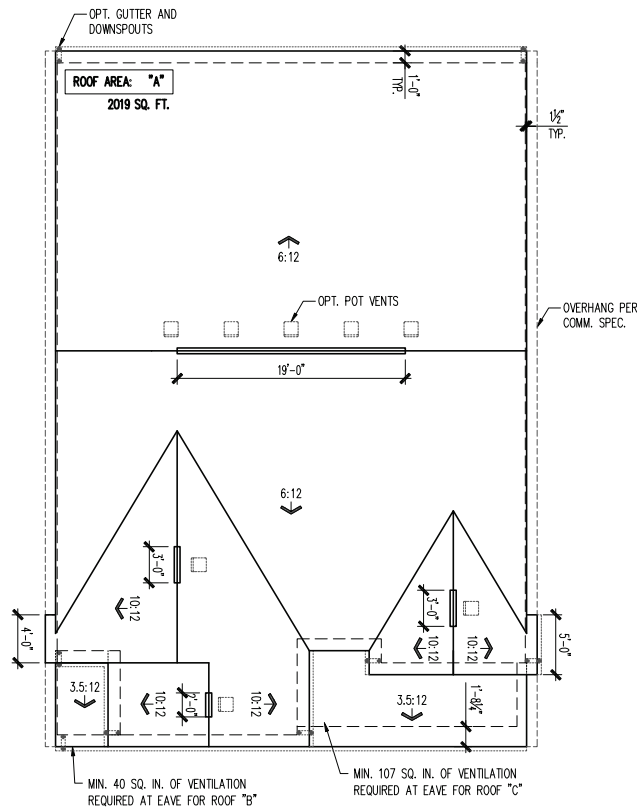


HR205  
 2 Car Front Entry  
 Front, Side, and Rear Elevations, Roof Plan and Ventilation Schedule

North Area  
 1900 E. Golf Road, - Suite 300  
 Schaumburg, Illinois 60173

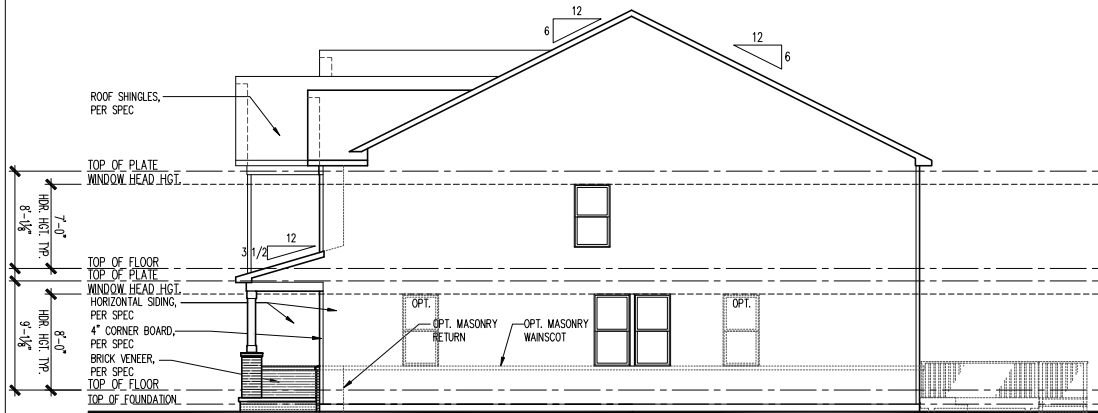


PLOTTED: August 9, 2024 / Annie Lee / A3-NC203 ZEB1.DWG



ROOF PLAN

SCALE: 1/8" = 1'-0"



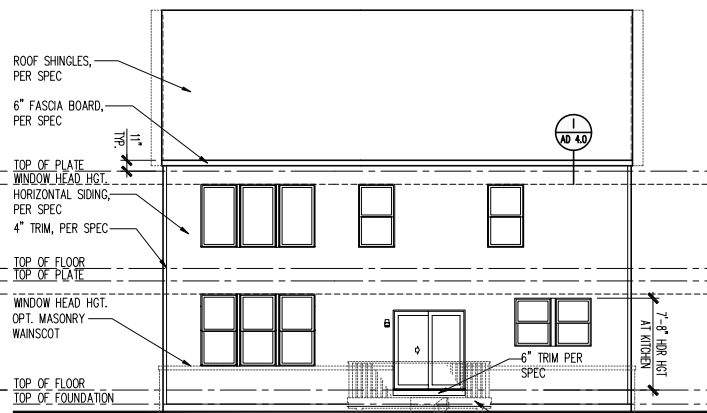
RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



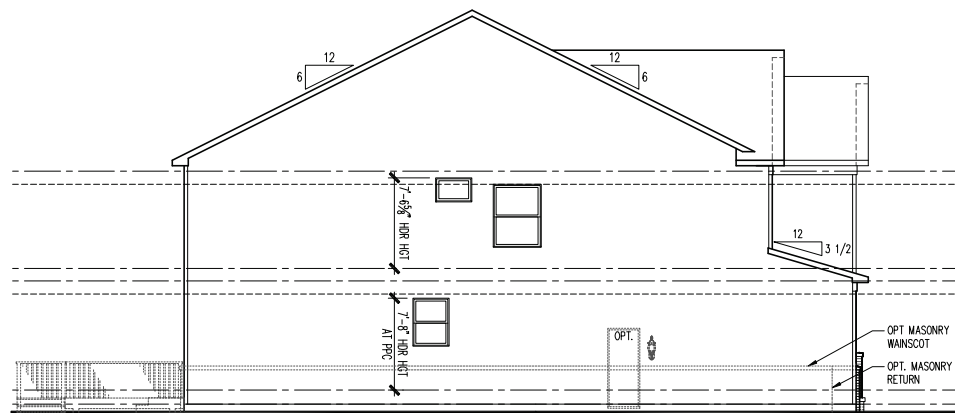
FRONT ELEVATION - NC203

SCALE: 1/4" = 1'-0"



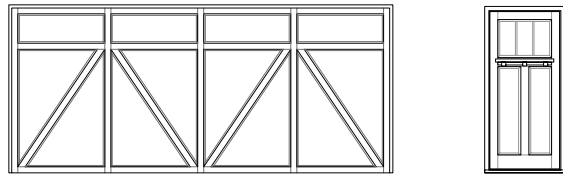
REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT ELEVATION

SCALE: 1/8" = 1'-0"



UPGRADED DOOR OPTION

SCALE: 1/4" = 1'-0"

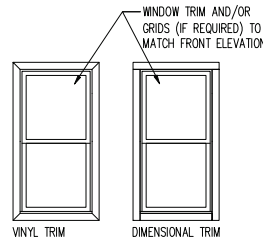
ATTIC VENT SCHEDULE

NC203 2-CAR FRONT ENTRY	ROOF AREA 'A'	ROOF AREA 'B'	ROOF AREA 'C'	
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SIDE AND REAR WINDOWS  
PER COMMUNITY SPECS

SCALE: 1/4" = 1'-0"

NOTE: SCALES NOTED ON DRAWINGS RELATE TO FULL SIZE PLOTS ON 22x34 SHEETS - 11x17 SHEETS REPRESENT 1/2 SCALE PLOTS

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4	04/14/2023	REVISIONS
5	03/15/2024	PCR UPDATES

GARAGE HANDING  
GARAGE LEFT

PLAN NAME  
**WAVERLY**  
 NPC PLAN NUMBER  
**1590.302**  
 LAWSON PLAN ID

SHEET  
**A3-NC203**  
**2FB.1**

**North Area**  
 1900 E. Golf Road, - Suite 300  
 Schaumburg, Illinois 60173



NC203  
 2 Car Front Entry  
 Front, Side, and Rear Elevations, Roof Plan and Ventilation Schedule

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