

McCordsville

ESTD  1988

INDIANA

Architectural Review Committee Staff Report
Meeting Date: November 19, 2024

PETITIONER: The Ridge Group (TRG)

PETITION: Kensington Gardens Apartments – Roof Revision

REQUEST: Petitioner requests approval of a revision to their roof material for their multi-family apartment buildings on the remaining +/- 8 acres of multi-family zoned property in the Gateway Crossing development.

LOCATION: The subject property is along the eastside of Kensington Way, between the existing apartments and the single-family homes to the south.

STAFF REVIEW: The project originally received approval from the ARC in March of this year. As a reminder, the project features a total of 128 apartment units, within 8 buildings. In addition, the project includes garages, and a clubhouse/amenity area. All buildings will use the same color brick, and will stay within the overall color scheme, as proposed.

The petitioner is requesting approval to make one change. The previously approved plans denoted some ancillary roof planes to be covered with a black standing seam metal roof. The petitioner is seeking to convert all roof planes to shingles. The petitioner's packet highlights the areas seeking this change.

STAFF RECOMMENDATION:

Staff finds the revised proposal still meets the applicable requirements, and therefore recommends approval of the petition.

SITE INFORMATION			
ESS	KENSINGTON WAY, NOBLESVILLE, INDIANA		
LOT			
LOT TOTAL	≈8.69 AC		
NG ZONING	PUD		
USED ZONING	PUD		
USED USE	MULTI-FAMILY RESIDENTIAL		
LOT AREA SUMMARY			
LOT NUMBER	TOTAL AREA (AC)	IMPERVIOUS AREA (AC)	PERVIOUS AREA (AC)
1	≈8.69	≈5.01	≈3.68
BUILDING SUMMARY			
UNIT TYPE	# OF UNITS	# OF BEDROOMS	
SINGLE BEDROOM	48	48	
DOUBLE BEDROOM	80	160	
TOTAL	128	208	
GREENSPACE SUMMARY			
	CODE REQUIREMENT	PROPOSED	
PERVIOUS AREA	30.89 AC	32.15 AC	
SETBACK SUMMARY			
SETBACK	REQUIRED	PROPOSED	
ONT YARD	21 Ft	21 Ft	
IDE YARD	25 Ft	30 Ft	
EAR YARD	50 Ft	40 Ft	

TOTAL PARKING	2.5 STALLS PER UNIT (320 STALLS)	261 STALLS
ADA PARKING		17 (VAN ACCESSIBLE)
ADA GARAGE		4
PARKING	N/A	
SURFACE PARKING		186
GARAGE PARKING	N/A	54

