

# McCordsville

ESTD  1988

## INDIANA

**Architectural Review Committee Staff Report**  
**Meeting Date: November 19, 2024**

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**PETITIONER:** The Ridge Group (TRG)

**PETITION:** Kensington Gardens Apartments – Roof Revision

**REQUEST:** Petitioner requests approval of a revision to their roof material for their multi-family apartment buildings on the remaining +/- 8 acres of multi-family zoned property in the Gateway Crossing development.

**LOCATION:** The subject property is along the eastside of Kensington Way, between the existing apartments and the single-family homes to the south.

**STAFF REVIEW:** The project originally received approval from the ARC in March of this year. As a reminder, the project features a total of 128 apartment units, within 8 buildings. In addition, the project includes garages, and a clubhouse/amenity area. All buildings will use the same color brick, and will stay within the overall color scheme, as proposed.

The petitioner is requesting approval to make one change. The previously approved plans denoted some ancillary roof planes to be covered with a black standing seam metal roof. The petitioner is seeking to convert all roof planes to shingles. The petitioner's packet highlights the areas seeking this change.

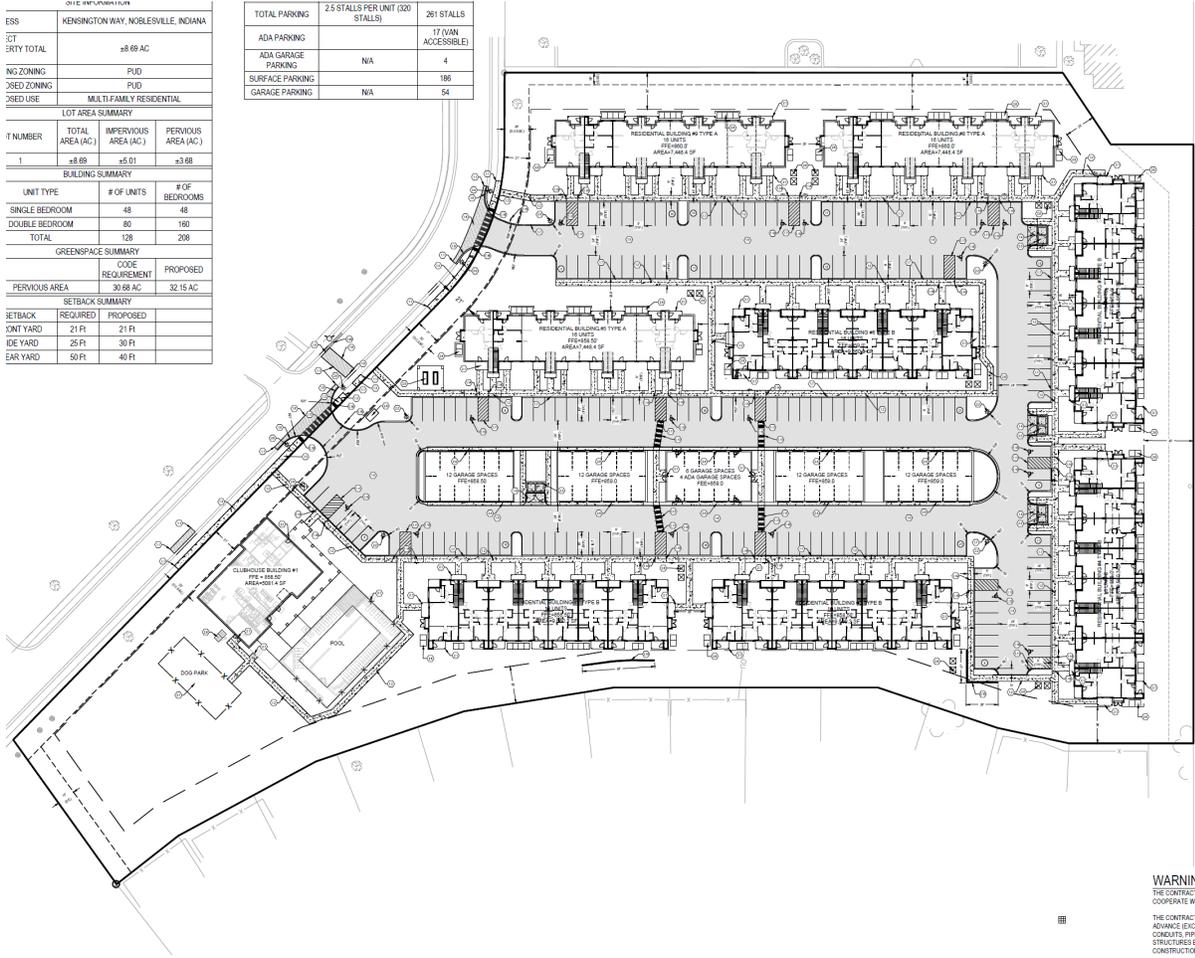
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### **STAFF RECOMMENDATION:**

Staff finds the revised proposal still meets the applicable requirements, and therefore recommends approval of the petition.

SITE INFORMATION		
ESS	KENNINGTON WAY, NOBLESVILLE, INDIANA	
SIT	SIT	
TOTAL	≈8.69 AC	
NG ZONING	PUD	
USED ZONING	PUD	
USED USE	MULTI-FAMILY RESIDENTIAL	
LOT AREA SUMMARY		
T NUMBER	TOTAL AREA (AC)	PERVIOUS AREA (AC)
1	≈8.69	≈5.01
BUILDING SUMMARY		
UNIT TYPE	# OF UNITS	# OF BEDROOMS
SINGLE BEDROOM	48	48
DOUBLE BEDROOM	80	160
TOTAL	128	208
GREENSPACE SUMMARY		
PERVIOUS AREA	CODE REQUIREMENT	PROPOSED
	30.89 AC	32.15 AC
SETBACK SUMMARY		
SETBACK	REQUIRED	PROPOSED
FRONT YARD	21 FT	21 FT
SIDE YARD	25 FT	30 FT
REAR YARD	50 FT	40 FT

TOTAL PARKING	2.5 STALLS PER UNIT (320 STALLS)	261 STALLS
ADA PARKING		17 (VAN ACCESSIBLE)
ADA GARAGE PARKING		4
SURFACE PARKING		186
GARAGE PARKING		54



**WARNING:**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COOPERATING WITH ALL UTILITY COMPANIES.  
 THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES TO ADVANCE EXISTING UTILITIES, CONDUITS, PIPES, MANHOLES, AND STRUCTURES BEFORE DIGGING. THIS CONSTRUCTION IS AT THE CONTRACTOR'S RISK.