

McCordsville

ESTD  1988

INDIANA

Architectural Review Committee Staff Report Meeting Date: October 15, 2024

PETITIONER: Fischer Homes

PETITION: Approval of Product Line-up for Hampton Walk Area F

REQUEST: Petitioner requests approval of models and elevations from their Masterpiece Series for Area F of Hampton Walk.

LOCATION: The subdivision is located along the westside of CR 600W between CR 750N and just south of CR 700N.

STAFF REVIEW: Each area of the PUD includes a different set of design standards. Area F is designed to feature single-family homes on 80'-wide lots, which are the largest lots within Hampton Walk.

Some of the proposed elevations have been previously approved by the ARC during the rezone process. Those elevations are listed in Exhibit B of this report. These elevations are being included to provide the ARC a view of the full line-up, address any secondary issues with those elevations, and review anti-monotony. The remaining elevations proposed were not included at the time of the rezone process. Those elevations will need your review and approval. They are also listed in Exhibit B of this report. The petitioner's packet includes all elevations sought to be built within Area F.

Area F

Fischer is proposing 15 models, with varying number of elevations for consideration by the ARC from their Masterpiece Series. Some of these were previously granted approval by the ARC during the rezone process.

- Seeking confirmation, at the meeting, from the petitioner that they understand the following applies to all models/elevations including those previously approved by the ARC:
 - Dimensional shingles are required (metal may be used as accent roofing as approved by the ARC), and at least 3 colors must be offered

- Minimum overhangs of 11" when adjacent to siding and 8" when adjacent to brick/stone
- Vinyl siding is prohibited
- Minimum 50% brick/stone is required on at least 75% of the homes. Any home with less than 50% brick/stone shall have no less than a brick/stone wainscot and two other siding types on the front elevation. Any home with only a brick/stone wainscot on the front elevation, shall include a wainscot wrap on all elevations
- Front elevation returns shall feature the same material as the front elevation (as detailed in Exhibit D-3 of the PUD)
- Front elevation brick/stone shall wrap corners to a depth of 24"
- Front porch columns shall include minimum of 6 x 6 posts (nominal)
- Exterior chimneys for fireplaces shall be made entirely of brick or stone
- All windows that face a street shall have shutters, mullions, or window grids
- Unless adjacent to brick/stone, all windows, doors, and corners shall have a minimum of 1 x 6 trim (the Modern Farmhouse elevation may be approved for 1 x 4 in select locations as determined by the ARC)
- Exhaust vents shall not be visible from the front elevation, and wall mounted vents and louvers shall not be located on the 1st floor exterior of a front elevation (exlc. Gable areas)
- Any home which abuts a street, open space, trail, or park along a side or rear elevation shall feature no less than a brick/stone wainscot wrap on all 4 elevations.
- Side & rear elevations of 1 and 1.5 story homes shall feature a minimum of 1 window, and any side elevation of 1 and 1.5 story homes facing a street shall feature a minimum of 2 windows
- Side & rear elevations of 2-story homes shall feature a minimum of 2 window, and any side elevation of 2-story homes facing a street shall feature a minimum of 3 windows
- Various lot specific requirements, including, but not limited to Side/Rear High Impact Lots
- Decorative garage doors required on all front-loading garages
- All garages shall be a minimum of 22' wide
- All front-load 3-car garages shall feature the 3rd bay as a separate door, which is recessed at least 2 feet from the other bays
- Any side-load garage shall have a minimum of 2 windows in the front elevation of the garage
- A min. of 50% of lots shall feature a side-load, court-yard load or rear-load garage

- No elevation shall be built on more than 10% of the lots.
 - Basements must be offered on all lots (where soils are suitable) in this Area
- Seeking confirmation that the above items, plus the following, apply to all newly proposed models/elevations:
 - Any 2-car front-loading garage doors shall not account for more than 50% of the width of the front elevation of the home. 3-car door bays shall not account for more than 60%
 - Front-loading garages that protrude at least 8' shall include a window in the side elevation and additional landscaping. No FL garage shall protrude more than 16'
 - All other architectural standards of the PUD, unless otherwise approved by the ARC

Specific Concerns/Questions:

The following notes are specific to models or elevations and appear not to meet the technical requirements of the architectural standards. The ARC has the authority to approve models or elevations not meeting the technical requirements of the architectural standards if the Board finds the model or elevation is substantially similar in character and quality to the Approved Elevations (Exhibit C of this Report).

- Beckett
 - Modern Farmhouse (both versions): It appears the main roof pitch may be less than the 6:12 required by the PUD
 - All elevations:
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the front wall articulation is at least 2' in depth & garage door widths do not exceed 50% for a 2-car and 60% for a 3-car
- Clay
 - All elevations:
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car
- Everett
 - American Heritage w/ Stone: The roof pitch is less than the 6:12 required by the PUD

- Coastal Classic w/ Brick: The roof pitch is less than the 6:12 required by the PUD
- Coastal Classic w/ Brick & Stone: The roof pitch is less than the 6:12 required by the PUD
- Modern Prairie w/ Stone: The roof pitch is less than the 6:12 required by the PUD, also the gables are less than the 8:12 required by the PUD
- All elevations:
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car and the depth of the garage protrusion measured from the widest portion of the front façade. This model may be limited to side-load garages.
- Finley
 - Coastal Classic w/ Stone: The gable pitch is less than the 8:12 required by the PUD
 - All elevations:
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car and the depth of the garage protrusion measured from the widest portion of the front façade. This model may be limited to side-load garages.
- Grayson
 - All elevations:
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car
- Teagan
 - American Classic w/ Brick & Stone: Main roof and gable pitches are not denoted
 - Coastal Classic w/ Brick: Main roof pitch is not denoted
 - Coastal Classic w/ Stone: Main roof pitch is not denoted
 - Modern European w/ Brick: Main roof pitch is not denoted
 - Modern European w/ Stone: Main roof pitch is not denoted
 - Modern Retreat w/ Brick: Main roof and gable pitches are not denoted
 - Modern Retreat w/ Stone: Main roof and gable pitches are not denoted
 - All elevations:

- Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car and the front wall articulation is at least 2' in depth
- Mitchell
 - Staff needs confirmation if the 3rd garage bay has an option to be turned into finished home space. If so, the garage would appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car and the front wall articulation is at least 2' in depth
- Huxley
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car, and the depth of the garage protrusion measured from the widest portion of the front façade. This model may be limited to side-load garages.
- Pearson
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car, and the depth of the garage protrusion measured from the widest portion of the front façade. This model may be limited to side-load garages.
- Rhoades
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car, and the depth of the garage protrusion measured from the widest portion of the front façade. This model may be limited to side-load garages.
- Leland
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car and the front wall articulation is at least 2' in depth
- Stanton
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-

car, and the depth of the garage protrusion measured from the widest portion of the front façade. This model may be limited to side-load garages.

- Paxton
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car
- Winslow
 - Coastal Classic w/ Brick: The roof pitch is less than the 6:12 required by the PUD
 - Coastal Classic w/ Stone: The roof pitch is less than the 6:12 required by the PUD
 - English Elegance w/ Brick & Stone: The roof pitch is less than the 6:12 required by the PUD
 - Modern Farmhouse w/ Brick: The roof pitch is less than the 6:12 required by the PUD
 - Modern Farmhouse w/ Stone: The roof pitch is less than the 6:12 required by the PUD
 - Modern Prairie w/ Brick & Stone: The roof pitch is less than the 6:12 required by the PUD. Staff considers the hipped gables as gables for the purpose of compliance with the gable requirement; however, the gables do not meet the min. 8:12 pitch.
 - Modern Prairie w/ Stone: The roof pitch is less than the 6:12 required by the PUD. Staff considers the hipped gables as gables for the purpose of compliance with the gable requirement; however, the gables do not meet the min. 8:12 pitch.
 - Garages appear to be less than the required 22' in width
 - Floor plans are not dimensioned, so staff needs confirmation the garage door widths do not exceed 50% for a 2-car and 60% for a 3-car, and the depth of the garage protrusion measured from the widest portion of the front façade. This model may be limited to side-load garages.

Character Exhibit Concerns:

The following elevations, staff feel needs further consideration, by the ARC, to determine if these elevations are substantially similar in character and quality to the Approved Elevations (Exhibit C of this Report).

- Clay Modern Retreat w/ Brick
- Clay Modern Retreat w/ Stone
- Finley Modern European w/ Brick

- Finley Modern European w/ Stone
- Mitchell American Classic w/ Brick
- Paxton American Classic w/ Brick and w/ Ext. Porch
- Teagan Modern European w/ Brick
- Teagan Modern European w/ Stone

Additional Staff Comments:

- Staff is conducting an anti-monotony review. We will prepare an anti-monotony presentation for review at the meeting detailing the elevation combinations that are concerns.
- There are a few architectural requirements which are lot specific and/or cannot be reviewed for at this time. That review will be conducted at the building permit stage.
- On previous projects, the ARC has expressed concern when the wainscot material on side and rear elevations does not match the wainscot material on the front elevation. Staff is in the process of confirming with the petitioner whether they extend stone wainscots on all four elevations or whether they transition to brick on side and rear elevations.
- Note: Staff does not review the various options available to buyers during the ARC review. If a buyer selects a specific option, that option and any resulting changes, will be reviewed for compliance during the building permit process.

STAFF RECOMMENDATION:

Staff will provide a recommendation following conclusion of the discussion items above.

Location Map denoting Sub-Areas within Hampton Walk



Exhibit A – Architectural Requirements of the Hampton Walk PUD

All homes constructed in the Hampton Walk PUD shall have the following minimum standards:

1. Architectural or dimensional shingles; metal accent roofs are allowed per approved plans.
2. The primary roof pitch for the Masterpiece, Maple Street, and Designer Collections shall be 6:12 or greater, ancillary roofs may be less than 6:12. For Patio, Paired-Patio, and Townhome Collections the primary roof pitch shall be 5:12 or greater.
3. Minimum roof overhang of eleven (11) inches on all sides of a structure as measured from the exterior wall framing to the fascia board; eight (8) inch gable overhang from the exterior wall where the side consists of brick.
4. All siding shall be brick, stone, wood, cement fiber board, or stucco.
5. Vinyl siding is prohibited.
6. A minimum of fifty percent (50%) of the homes (75% of the Designer and Masterpiece Collections), excluding the Townhomes, shall have a front elevation of at least fifty percent (50%) brick or stone, exclusive of windows, doors, garage doors and areas above the roof line. The remaining homes may have less than fifty percent (50%) brick or stone provided they contain brick or stone wainscot to the bottom of the first-floor windows and contain a minimum of two (2) siding colors or two (2) of the following materials on the front elevations: horizontal lap siding, vertical siding, board and batten, or shake. For the Paired-Patio and Townhome Collections, the masonry percentage requirements may vary from unit to unit but shall be achieved across the entire building or structure. Any home, within the Maple Street, Designer, Patio, or Masterpiece subareas that only features a brick or stone wainscot on the front elevation shall wrap said wainscot on all elevations. Additionally, the amount of brick or stone on any front elevation, in any Subarea, shall also be included on any front interior elevation returns, except for alcoves as illustratively shown on the Elevation Return Exhibit, attached hereto as "Exhibit D-3". The front elevation brick or stone shall wrap the corner onto side elevations at least twenty-four inches (24").
7. Townhomes shall have no less than fifty percent (50%) brick or stone on any front building elevation. No less than a 2nd floor brick or stone wrap shall be provided on any side elevation identified with a "T" on the High Impact Lot Exhibit, attached hereto as "Exhibit D-1". All other side elevations and any rear elevation shall have a minimum of a 1st floor brick or stone wrap.
8. Exhibit E depicts several townhome building styles. The more traditional style shall be built along CR 750N, while the more modern style shall be built along CR 600W.
9. For all Subareas except for Subarea A (the Townhome Collection), the front elevation of all homes shall contain one (1) two-foot (2') or greater step back and either two (2) ridgelines, or one (1) gable. In Subarea A, the front elevation of each building shall contain one (1) two-foot (2') or greater step back and either two (2) ridgelines, or one (1) gable, as illustratively shown on the Approved Elevations.

10. All side elevations of Townhome buildings shall feature either: (a) two-story brick or stone; or (b) a minimum of three (3) materials or (3) colors (excluding trim color), or in the case of a hip roof, a minimum of two (2) materials or (2) colors (excluding trim color).
11. For all Subareas except for Subarea A (the Townhome Collection) and Subarea E (the Paired-Patio Collection), a single front elevation shall not be repeated unless it is separated by at least three different front elevations along either side of the same street frontage. In Subarea A, a single unit front elevation shall not be repeated unless it is separated by at least one different unit front elevation along either side of the same street frontage. In Subarea E, a single building front elevation shall not be repeated unless it is separated by at least one different building front elevation along either side of the same street frontage.
12. The side and rear elevations of residences that abut a street, open space, trail, or park, shall have a brick or stone wainscot on all four (4) sides of the structure. The exterior elevations of all single-story residences 1,200 square feet or less in livable floor area shall be masonry. This requirement shall include all sides of the structure, exclusive of windows, doorways, and bays.
13. Exterior chimneys for fireplaces shall be made entirely of brick or stone.
14. The front porch columns shall be a minimum of 5.5" by 5.5" or as approved by the ARC.
15. All one (1) story or one and a half story (1.5) homes (includes loft) shall contain a minimum of one (1) window on all four (4) sides with the exception of a façade facing a public street which shall contain a minimum of two (2) windows. A service door with a window, set of three (3) "bullet" windows a min. of 1' x 1' each, a transom window a min. of 1' x 4', and/or a decorative garage door with windows may count as one (1) window.
16. All two-story homes shall contain a minimum of two (2) windows on all four (4) sides with the exception of a façade facing a public street which shall contain a minimum of three (3) windows. A service door with a window, set of three (3) "bullet" windows a min. of 1' x 1' each, a transom window a min. of 1' x 4', and/or a decorative garage door with windows may count as one (1) window.
17. Townhome buildings shall have no less than four (4) windows on any side elevation. Any side elevation that faces a street, alley, or open space shall have a minimum of six (6) windows.
18. With the exception of large picture windows, casement windows, and small accent windows which do not open, all windows on a façade facing a public street shall have shutters, mullions, or window grids.
19. Unless adjacent to brick or stone wrap, all windows, doors and corners shall have a minimum nominal one-inch by six-inch (1" x 6") wood or vinyl surround, shutters, decorative trim, or headers. However, elements of Urban Modern and Modern Farmhouse elevations may have a minimum nominal one-inch by four-inch (1" x 4") wood or vinyl surround, shutters, decorative trim, or headers if appropriate for the architectural style as determined by the ARC.
20. All of the rear elevations of homes on lots identified with an "R" on the High Impact Lot Exhibit, attached hereto as "**Exhibit D-1**", shall contain a rear-facing gable and at least one (1) of the following: (i) first floor brick wrap, (ii) brick wainscot wrap (to sill of first floor window), (iii) covered porch, (iv) first floor rear façade extension a minimum of four feet (4') in depth and ten feet (10') in length, or (v) other rear feature as approved by the Architectural Review Committee.

21. Corner Lots (including those with a secondary elevation facing a street but separated with common area), and lots identified with an "S" on the High Impact Lot Exhibit shall feature an additional window and at least a brick/stone wainscot wrap.
22. Front-loading garages shall contain a decorative garage door similar to those depicted on the Decorative Garage Doors Exhibit, attached hereto as "Exhibit D-2".
23. The Townhome Collection shall have garages a minimum of 440 square feet. The Paired-Patio Collection shall have garages a minimum of 435 square feet. The Patio Collection shall have garages either: (i) a minimum of 460 square feet; or (ii) a minimum of 22' in width; or (iii) at least a three-car garage. The Designer, Maple Street, and Masterpiece Collections shall have garages a minimum of 22' in width or at least a three-car garage.
24. For any three (3) car garage that faces a street, at least one of the bays must have a separate door and be recessed a minimum of two (2) feet from the other bays.
25. For the front-loading garages the garage doors shall not comprise greater than fifty percent (50%) of the width of the front elevation for a two (2) car garage and sixty percent (60%) for a three (3) car garage. This standard shall not apply to the Paired-Patio or Townhome Collections.
26. The Townhome Collection shall have rear-loaded garages.
27. Any side-load or courtyard garage shall feature a minimum of two (2) windows facing the street.
28. Gable pitches shall be a minimum of 8:12.
29. There shall be a minimum of two (2) model homes at any given time during construction, except that when only one (1) product type is available for sale then there shall be a minimum of one (1) model home. All model homes shall include a basement, except the Townhome and Paired-Patio Collections.
30. Basements will be offered on detached homes as long as soils are suitable.
31. All townhome building sides facing 600 West shall feature the following: a minimum of four (4) deciduous trees, three (3) dwarf standard ornamental trees, three (3) evergreen shrubs, six (6) dwarf deciduous shrubs, and four (4) ornamental grass plantings.
32. The maximum percentage of elevation per subarea shall be 10% for the Designer, Patio, and Masterpiece Collections. The maximum percentage of elevations per subarea shall be 20% for the Maple Street Collection. The maximum percentage of elevations per subarea shall be 50% for the Paired-Patio Collection.
33. Exhaust vents shall not be visible from the front elevation of the home. Additionally, no wall-mounted vent or louver shall be located on the first-floor exterior of a front elevation (excluding gable areas).
34. All townhome units shall have a concrete walk from the front door to the perimeter sidewalk or path.
35. All townhome units shall have a minimum driveway depth of twenty feet (20').
36. All driveways shall be concrete.
37. Front-load garages that protrude at eight feet (8') or greater in front of the front elevation shall feature at least one (1) window on one of the garage's side elevations. The maximum protrusion for a front-load garage shall be sixteen feet (16') from the front elevation. Garage protrusion shall be measured from the widest part of the front elevation, which may be the front porch. The maximum protrusion does not apply to courtyard or side-load garages, nor front-load garages in the Paired-Patio subarea. For all front-load garages that

protrude eight feet (8') or more landscaping of a minimum of eight (shrubs) shall be added to the side elevation, nearest the side-lot line, of said garage.

38. There shall be a minimum of three (3) roof colors offered in Subareas B, C, D, and F.
39. In Subarea B, a minimum of 10 homes shall feature a side-load garage. In Subarea F, a minimum of 50% of homes shall feature a side-load, court-yard load or rear-load garage.

Exhibit B – Elevation List

Mode l	Elevation	Approv ed at Rezone	Propos ed	Previou sly Denied	Notes
Becket t	American Classic w/ Brick		X		
Becket t	Coastal Classic w/ Brick		X		
Becket t	Coastal Classic w/ Stone		X		
Becket t	English Elegance w/ Brick and Stone		X		
Becket t	Modern Farmhouse w/ Brick		X		
Becket t	Modern Farmhouse w/ Stone		X		
Clay	American Classic w/ Brick		X		
Clay	Coastal Classic w/ Brick	X			
Clay	English Elegance w/ Brick	X			
Clay	French Manor w/ Brick	X			
Clay	Modern Retreat w/ Brick		X		
Clay	Modern Retreat w/ Stone		X		No color elevation available
Everet t	American Heritage w/ Brick and Stone	X			
Everet t	American Heritage w/ Stone		X		No color elevation available
Everet t	Coastal Classic w/ Brick		X		No color elevation available
Everet t	Coastal Classic w/ Brick and Stone		X		No color elevation available
Everet t	Coastal Classic w/ Stone	X			
Everet t	Modern Prairie w/ Stone		X		
Everet t	American Classic w/ Brick	X			Previously approved, but dropped
Finley	Coastal Classic w/ Stone		X		
Finley	European Romantic w/ Brick		X		

Finley	European Romantic w/ Stone		X		
Finley	French Manor w/ Brick		X		
Finley	Modern European w/ Brick		X		
Finley	Modern European w/ Stone		X		
Grayson	American Classic w/ Brick		X		
Grayson	American Classic w/ Stone		X		
Grayson	Coastal Cottage w/ Stone		X		
Grayson	Modern European w/ Brick		X		
Grayson	Modern Retreat w/ Brick		X		
Huxley	Coastal Cottage w/ Brick		X		
Huxley	Coastal Cottage w/ Stone		X		
Huxley	English Elegance w/ Brick and Stone		X		
Huxley	French Manor w/ Brick		X		
Huxley	Modern Farmhouse w/ Stone		X		
Leland	American Classic w/ Brick	X			
Leland	American Classic w/ Stone	X			
Leland	Coastal Classic w/ Brick and Stone	X			
Leland	Coastal Classic w/ Stone	X			
Leland	English Elegance w/ Brick and Stone		X		
Leland	Modern Farmhouse w/ Brick	X			
Leland	Modern Farmhouse w/ Stone	X			
Leland	Western Craftsman w/ Brick		X		
Leland	Western Craftsman w/ Stone		X		
Margot	Coastal Classic w/ Brick		X		
Margot	Coastal Classic w/ Stone		X		
Margot	Modern European w/ Brick		X		
Margot	Modern Farmhouse w/ Brick		X		

Margot	Modern Farmhouse w/ Stone		X		
Margot	Modern Retreat w/ Brick		X		
Margot	Modern Retreat w/ Stone		X		
Mitchell	American Classic w/ Brick		X		No color elevation available
Mitchell	American Classic w/ Stone	X			
Mitchell	Coastal Classic w/ Brick	X			
Mitchell	Coastal Classic w/ Stone		X		No color elevation available
Mitchell	Modern European w/ Brick		X		
Mitchell	Western Craftsman w/ Brick		X		No color elevation available
Mitchell	Western Craftsman w/ Stone	X			
Mitchell	Cambridge Cottage w/ Stone	X			Previously approved, but dropped
Paxton	American Classic w/ Brick		X		No color elevation available
Paxton	American Classic w/ Brick w/ Ext Porch		X		
Paxton	Coastal Classic w/ Brick and Stone		X		No color elevation available
Paxton	Coastal Classic w/ Stone		X		
Paxton	English Elegance w/ Brick and Stone		X		
Paxton	Modern Prairie w/ Brick		X		
Paxton	Modern Retreat w/ Stone		X		
Pearson	American Classic w/ Brick		X		
Pearson	American Classic w/ Stone		X		
Pearson	Coastal Cottage w/ Stone		X		
Pearson	English Elegance w/ Brick		X		

Pearson	Modern Farmhouse w/ Brick		X		
Pearson	Modern Farmhouse w/ Stone		X		
Rhodes	American Classic w/ Brick		X		
Rhodes	American Classic w/ Stone		X		
Rhodes	Modern European w/ Brick		X		
Rhodes	Modern European w/ Brick and Stone		X		
Rhodes	Modern Farmhouse w/ Brick		X		
Rhodes	Modern Farmhouse w/ Stone		X		
Rhodes	Modern Retreat w/ Brick		X		
Rhodes	Modern Retreat w/ Stone		X		
Stanton	Coastal Classic w/ Brick		X		
Stanton	English Elegance w/ Brick and Stone	X			
Stanton	Modern Farmhouse w/ Brick		X		
Stanton	Modern Farmhouse w/ Stone		X		No color elevation available
Stanton	Western Craftsman w/ Stone	X			
Stanton	American Classic w/ Brick	X			Previously approved, but dropped
Stanton	Grande Vista w/ Brick	X			Previously approved, but dropped
Teagan	American Classic w/ Brick and Stone		X		
Teagan	Coastal Classic w/ Brick		X		
Teagan	Coastal Classic w/ Stone		X		
Teagan	Modern European w/ Brick		X		

Teagan	Modern European w/ Stone		X		
Teagan	Modern Retreat w/ Brick		X		
Teagan	Modern Retreat w/ Stone		X		
Winslow	Coastal Classic w/ Brick		X		
Winslow	Coastal Classic w/ Stone		X		
Winslow	English Elegance w/ Brick and Stone		X		
Winslow	Modern Farmhouse w/ Brick		X		
Winslow	Modern Farmhouse w/ Stone		X		
Winslow	Modern Prairie w/ Brick and Stone		X		
Winslow	Modern Prairie w/ Stone		X		
Andover	Model plan dropped	X			Previously approved, but dropped
Bradford	Model plan dropped	X			Previously approved, but dropped
Hayden	Model plan dropped	X			Previously approved, but dropped
Keller	Model plan dropped	X			Previously approved, but dropped
Marshall	Model plan dropped	X			Previously approved, but dropped

Exhibit C – Approved Elevation Exhibit

The Andover Stratford Tudor



The Andover Nantucket Retreat



The Andover Western Craftsman



The Andover Casa Bella



The Bradford Pacific Craftsman



The Bradford Nantucket Retreat



The Bradford Villa Toscano



The Bradford American Classic



The Clay French Manor



The Clay Coastal Classic



The Clay English Elegance



The Clay Bella Vista



The Everett Coastal Classic



The Everett American Classic



The Everett American Heritage



The Hayden Western Craftsman



The Hayden Grande Vista



The Hayden Cambridge Cottage



The Hayden American Classic



The Keller Villa Toscano



The Keller Pacific Craftsman



The Keller Bella Vista



The Keller Nantucket Retreat



The Keller American Classic



The Leland Modern Farmhouse with Stone



The Leland Modern Farmhouse with Brick



The Leland Coastal Classic with Stone



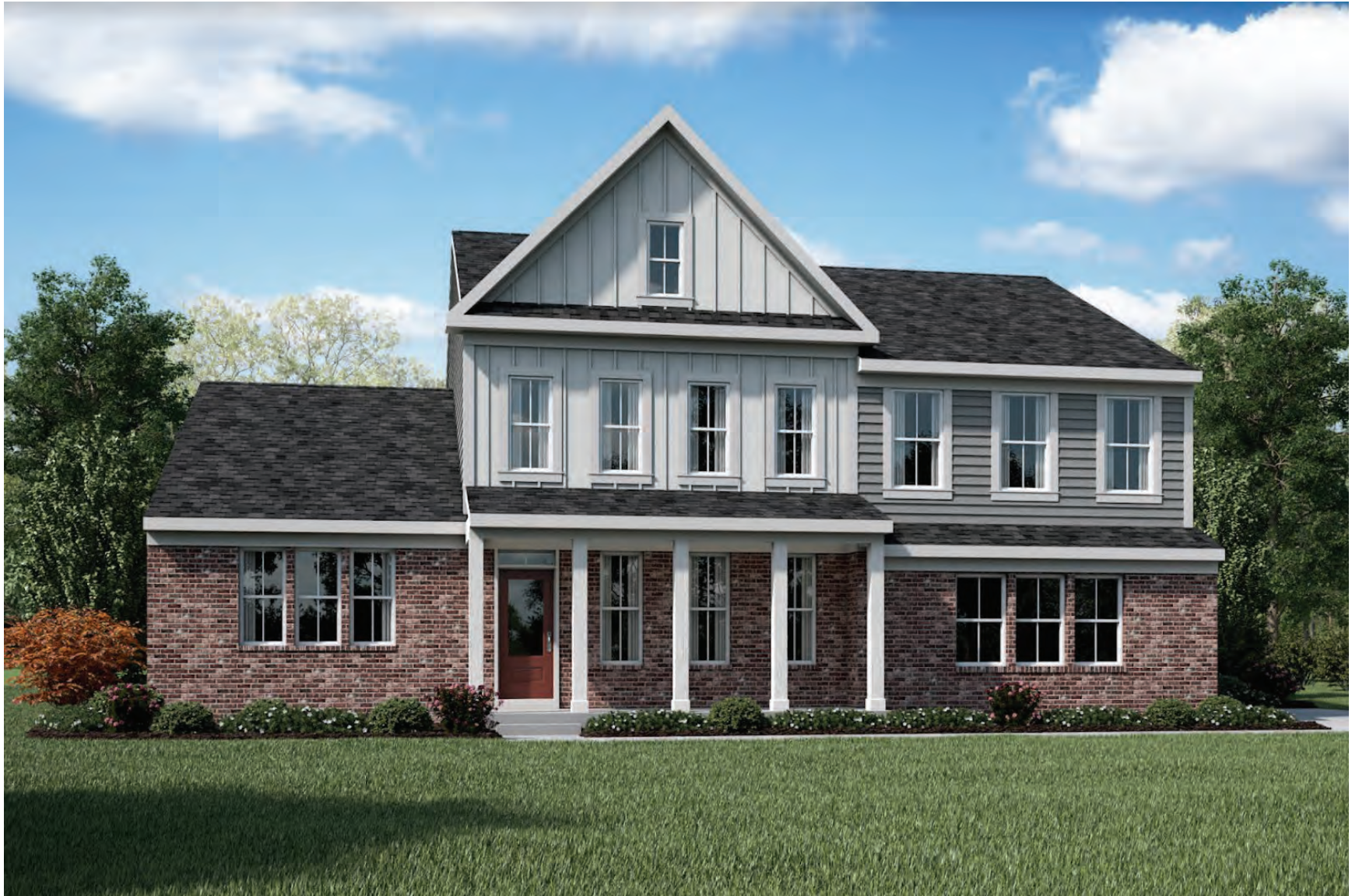
The Leland Coastal Classic with Brick



The Leland American Classic with Stone



The Leland American Classic with Brick



The Marshall French Manor



The Marshall English Elegance



The Marshall Western Craftsman



The Marshall Bella Vista



The Marshall American Classic



The Mitchell Western Craftsman



The Mitchell Coastal Classic



The Mitchell American Classic



The Mitchell Cambridge Cottage



The Stanton English Elegance



The Stanton Western Craftsman



The Stanton Grande Vista



The Stanton American Classic

